

THE RESERVE at BLACK MOUNTAIN
*a planned residential community
in Scottsdale, Arizona*

1ST SUBMITTAL - NOVEMBER, 2016

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I. Purpose of Request

LVA Urban Design Studio, LLC, acting on behalf of Pinnacle Land Development, is pleased to submit this request to rezoning a 45-acre property from the existing R1-190 ESL district to R1-43 ESL on a generally vacant site located on the northwest corner of 84th Street and Black Mountain Road.

See **Exhibit 2**, *Context Aerial* for the location of the property and surrounding area.

The following specifically outlines the request for this application:

A. R1-43 ESL Rezoning

The purpose of this request is to seek a rezoning from R1-190 ESL (Single-family Residential; approximately one home per five acres) to R1-43 ESL with Amended Development Standards (Single-family Residential; approximately one home per acre) on approximately 45 gross acres. The intent of this zone change is to permit the subdivision of the property into 31 single family Homesites (including two existing homes) on the 45 acre property. The proposed R1-43 district is consistent with the land use pattern and density of adjacent communities.

II. Property Location and Relationship to Surrounding Properties

A. Site Location

The subject site is approximately 45 acres of land located at the northwest corner of 84th Avenue and Black Mountain Road, approximately ½-mile west of Pima Road. The site consists of seven individual properties (APN#216-34-267, 216-34-268, 206-34-269, 216-34-003N, 216-34-003T, 216-34-003M, 216-34-003R and 216-34-003S) consisting of five and ten acre properties. The property legal description and ALTA Survey are provided with this application.

The property is surrounded by existing and developing residential neighborhoods. **Table 1** below provides a summary of existing and surrounding land uses, General Plan designations and existing zoning:

Table 1: On-Site and Surrounding Uses, General Plan and Zoning Designation

	Existing Land Uses	General Plan Land Use Designation	Existing Zoning Designation
SITE (Reserve at Black Mtn)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-190 ESL
South of Site (Cortona)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
West of Site (Sand Flower)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
North of Site (Vista Viento)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
East of Site (Sierra Highlands)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL

B. Other Surrounding Land Uses within the Vicinity of the Site

Much of the property within the vicinity of the site consists of existing and planned single-family residential development, including several planned communities Sand Flower, Vista Viento Estates, Andaluza, Sierra Highlands, Sierra Boulders, and Cortana. As noted in **Table 1**, these communities are similar in density and land use to the proposed Reserve at Black Mountain community.

III. Site Analysis

A. General Plan Land Use Designation and Analysis

The property is currently designated as Rural Neighborhoods within the General Plan Land Use Map. The Rural Neighborhoods category includes areas of large lot single-family neighborhoods. This land use designation is intended for residential properties with anticipated densities of between 0 and 1 dwelling unit per acre. The proposed density of the Reserve at Black Mountain community is 0.69 dwelling units per acre.

Native desert preservation and landscaping are encouraged as well as clustering to avoid prominent environmental features, like washes and boulder outcroppings. The request to rezone from R1-190 to R1-43 will conform to the current General Plan designation. **Exhibit 8, General Plan Land Use Map** displays the site’s designation.

The goals and approaches of the General Plan have been and will continue to be implemented through the rezoning process. Below are the ways in which each goal and approach is addressed:

1. *Seek early and ongoing involvement in project/policy-making discussion.*

Two neighborhood meetings were held prior to the application submittal, where participants were encouraged to ask questions to the applicant team, as well as leave comments for the proposed community. The applicant has also engaged adjacent property owners in regular communication too address questions and concerns. These communications have resulted in refinements to the site plan.

2. *Proactively seek community-wide representation on issues through vigorous outreach programs that engage citizens who are not typically involved.*

Letters of notification describing the proposal and including a copy of the site plan have been provided to HOAs and land owners within a 750' radius on two separate occasions. Also two sign postings were done to alert residents in the area of the proposal and neighborhood meeting.

3. *Publish and process city issues in a manner that is relevant to citizens' daily lives and personal and professional interests.*

The applicant used the opportunity provided through the neighborhood meetings as a forum to address questions and describe the proposal/process for rezoning the property. These issues were articulated both verbally and through a comprehensive graphics package that includes aerial photography, copies of the General Plan and Zoning maps, as well as a rendered conceptual site plan.

4. *Accept and respond to new ways of communicating and new technologies*

Participants in the public meeting were able to communicate their thoughts in person or through a provided comment card. The applicant team also made their personal contact information available for future comments or concerns.

5. *Make available facts and information about community issues to increase understanding and insight into the complexity of challenges that affect the community.*

In addition to the applicant's verbal and illustrative presentation about the proposed application, citizens were given the project number and are able to view the project's status online at the City of Scottsdale.

6. *Foster community partnerships, community catalysts, and community networks as means of sharing information and responsibilities and working on collaborative solutions.*

The applicant has pledged to continue to partner with residents of the surrounding communities to maintain regular communication

throughout the rezoning process. Please refer to the Community Outreach Report for a comprehensive documentation of outreach efforts to date.

B. Character Area Plan Designation and Analysis

The proposed site does not fall within a Character Area Plan boundary. The Desert Foothill Character Area Plan is most proximate and most applicable character area plan.

1. *Preserve the natural, visual qualities of the lush upper desert by using desert-sensitive building techniques.*

The site plan has been designed to protect three prominent washes that bisect the site. Cluster development with building envelopes allow for preservation of the site's most sensitive and highest value natural areas. Much of the site's open space will be dedicated as NAOS and dedicated as protected tracts where possible.

2. *Promote connected areas of desert open spaces and trails.*

Building envelopes are situated to preserve wildlife corridors and prominent washes in the area. New pedestrian circulation elements (trails and sidewalks) along 84th Avenue and Black Mountain Road will be enhanced in association with the improvements to these alignments.

3. *Identify and celebrate the rural desert character of the Desert Foothills area.*

The natural desert is emphasized in the communities' plant and color pallet. Existing desert vegetation and neutral colors celebrate those found naturally within the Sonoran Desert. The density and rural character traits found in adjacent communities will be implemented within the Reserve community.

C. Existing Land Use

The majority of the site is vacant desert land with no uses or structures. The two existing homes within the application area will be maintained. The 2-acre homesite at the northern edge of the application area will continue to maintain access directly to 84th Street as a primary access point. The home located on Black Mountain Road will also remain and take vehicular access from a private driveway off of 83rd Street via Black Mountain Rd.

The application area and adjacent communities were a component of a larger area that was annexed into the City of Scottsdale in 1985. A majority of the surrounding area has since undergone rezoning to R1-43, with exception to the proposed 45 acres which remains R1-190. With the exception of the two existing Homesites, the subject site has never been developed.

D. Existing Zoning

Existing zoning on the property is R1-190 ESL, Single-Family Residential R1-190 in the Environmentally Sensitive Land district. **Exhibit 9, Existing & Proposed Zoning Map** shows the current zoning designation. The purpose of the R1-190 ESL is to “*promote and preserve residential development. Large lots are required to maintain a low density population. The principal land use is single-family dwelling and uses incidental or accessory thereto together with required recreational, religious and educational facilities.*”

E. Topography and Drainage

The site generally slopes from the northeast to the southwest. Stormwater flows exiting the upstream developments of Andaluza and Sierra Highlands enter the site in 3 separate wash corridors that extend through the site. The two northern washes are identified as minor washes and will generally be left in a natural state where feasible. The southernmost wash is classified as a significant wash with a flow in excess of 50 cfs and will be preserved in the natural condition and current alignment. Retention will be provided largely within drainage easements in common areas, and are typically located adjacent to the internal roadway network where feasible for ease of maintenance. All proposed pads will drain to the local street network or directly to an adjacent drainage way as depicted in the case drainage report. Because this site is located within the Environmentally Sensitive Lands Overlay, a “Pre Versus Post” drainage analysis will be conducted per the City of Scottsdale Drainage Ordinance to show that all post-development stormwater flows exiting the site will be at or below the pre-development magnitudes for both the 10-year and 100-year design storms. All drainage analysis will also meet requirements outlined in the City of Scottsdale Design Standards and Policy Manual (DSPM).

F. Natural Area Open Space (NAOS) & Native Vegetation

The proposed community intends to meet and exceed the Natural Open Space requirements as outlined under the Upper Desert Landform in the Environmentally Sensitive Land Ordinance (ELSO). NAOS may be provided between development envelopes where areas exceed 30 feet, as well as larger concentrated areas found in retention basins and perimeter buffers.

A required slope analysis determined a minimum of 14.89 acres of NAOS would need to be dedicated on the site. The applicant has provided a total of 16.38 acres; 11.47 acres (70%) of undisturbed NAOS and 4.91 acres (30%) of revegetated. With this site plan the applicant intends to provide 1.49 acres (10%) in excess of natural area open space.

Native plants are considered to be a significant environmental and theming feature of the Reserve at Black Mountain community. Areas identified as NAOS will be preserved and enhanced with the development of this site, as well as efforts to salvage and relocate native plant material when possible. Densely vegetated areas like wash corridors and perimeter buffer areas will be preserved in their natural state.

G. Roads and Right-of-Way

The entrance for the project will be located on 84th Street, directly across from the entry to Sierra Highlands Subdivision. The community will be gated with an entrance that meets or exceeds City of Scottsdale standards for emergency access. All onsite roadways will be located within private tracts owned and maintained by the HOA. The internal streets will meet the Local Rural/ESL street section as depicted in the City's DS&PM. 84th Street has been previously constructed to the ultimate street section and will not require improvements or widening, although sidewalk and landscape improvements will be constructed. Required right-of-way for the half street improvements has been dedicated.

Black Mountain Road will require a small amount of half street improvements along the project frontage. These improvements will require the widening of the pavement by approximately 4 feet, and an addition of curb and gutter and natural surface trail. **Exhibit 6, *Pedestrian & Vehicular Circulation Plan*** displays this improvement information. Required right-of-way for the half street improvements has been dedicated.

All right of way that had previously been dedicated internal to the subject property will be abandoned subject to a formal application process.

H. Utilities

Individual public water and sewer services will be provided to each lot within the development. Each onsite roadway will contain a public water and sewer main within a public utility easement over the roadway tract. A gravity service will be provided to the existing home located at 34822 N. 83rd Street (APN 216-34-268). This property is currently served by septic which will be taken off-line and abandoned with this project. Water will be looped through the development from the existing main located in Black Mountain Road to the existing main located in 84th Street. The sewer main system will connect to the existing public main located just east of the project in E. Sandflower Drive. A public sewer easement will be secured over Lot 9 of the Sandflower Subdivision (APN 216-34-027) in order to make this connection. If for any reason this easement cannot be secured, a number of other sewer outfall alternatives have been identified in the Sewer Basis of Design Report. Due to challenging terrain in the southeast corner of the site, 3 proposed lots will be sewerered with grinder or ejector pumps to the nearest public gravity manhole onsite. All other sewer services on the project are designed to be gravity services.

Franchise utilities will be incorporated into this project within public utility easements over all onsite roadway tracts. The following utilities are likely to serve the development: APS Electric, Southwest Gas, Century Link, and Cox Communications. These utilities will likely be joint-trenched and transformers/terminals will be placed within PUE's adjacent to roadway tracts at lot lines in various locations, as-needed, and designed by the franchise utility companies.

IV. Description and Justification of Request

A. R1-43 ESL Zoning Designation and Analysis

The proposed conceptual site plan includes 45 acres for a planned community that utilizes the Amended Development Standards to allow for modified development standards to the R1-43 ESL zoning designation to better accommodate preservation of natural environmental features. The plan includes 29 new Homesites (plus 2 existing), private gated access off of 84th Street aligned with Sierra Highland's entry, and 16.38 acres of natural open. See **Exhibit 4**, *NAOS Plan* for NAOS dedications.

The design intent is to create an environmentally sensitive community that is consistent with the density and character of surrounding planned communities. Enhanced buffers along the western and norther sides of the community were incorporated to better suit the adjacent communities. Lot orientation and a sensitive grading approach have played a role in preserving existing view corridors and minimizing drainage impacts to neighboring developments. **Exhibit 3**, *Conceptual Subdivision Plan* depicts the proposed community.

V. Design Review

A. Architectural Character

At this time the no product has been chosen for the proposed community. The applicant intends to work with a builder to incorporate homes that integrate elements of surrounding neighborhoods and characteristics that compliment the natural desert.

B. Environmental Response

The proposed site plan recognizes the prominent natural features on the site and has strategically placed building pads to accommodate prominent washes, concentrated vegetation, and wildlife habitats. Open space easements have been identified throughout the community in order to preserve natural open space and maintain undisturbed desert lands. **Exhibit 7**, *Environmental Features Map* identifies prominent natural feature.

C. Design Principles & Site Development Character

Road alignments that respond the natural topography of the site, clustering of homes, and sensitive building practices are all elements that have been incorporated into the design of the Reserve at Black Mountain community. Heat tolerant materials like stucco and tile will be the preferred building resources, while native drought tolerant plants will be utilized for landscaping of the community. Mature plant materials will provide relief from the Arizona climate for active residents. Neutral desert colors and low lighting will seamlessly integrate this community into the Sonoran Desert. **Exhibit 5**, *Conceptual Landscape Character Zones* show the site's landscape character.

D. Landscape Character

The Reserve at Black Mountain will utilize three landscape character zones and a variety of different walls and fencing to theme the 45 acre planned community.

Zone A – Natural Vegetation will depict undisturbed portions of the property which will remain in its current natural state. Areas include but are not limited to wash corridors and NAOS tracts. Zone B – Enhanced Planting are concentrated in portions of the site that establish character and theming within the community. These areas can include salvaged plant material from onsite or nursery grown landscaping and are maintained by the community's HOA. Zone C – Native Planting are primary revegetated areas to visually mitigate the disturbance caused by construction. Plant selection and density will be designed to appear similar to the natural surrounding vegetation. Salvaged plant material from on site may also be used in this zone. Zone D – Maintained Landscaping are privately owned and maintained landscape areas that usually consist of areas adjacent to building envelopes. **Exhibit 5, *Conceptual Landscape Character Zones*** identifies these areas in relation to the site plan.

One of the main grading design goals for this project is to minimize retaining wall and exposed wall heights. In areas where retaining walls are needed (as shown in the case grading and drainage plan) they will meet the amended zoning ordinance, requirements outlined in the Environmentally Sensitive Lands Ordinance, and the City of Scottsdale DS&PM. All retaining wall heights will be limited to 6' of retained height from finished grade to finished grade. All retained differentials greater than 6' will require a tiered wall with horizontal spacing of 6'. For retaining walls with mounted screen wall, overall wall height will be limited to 12'. No single wall will expose more than 8' in height of solid block. In addition, all screen wall will be limited to a height of 8' as measured from the high side of the pad. All headwalls or singular retaining wall that are adjacent to public walkways with greater than 30" of exposed drop will have handrails that match theming for the development.

EXHIBIT 1:



THE RESERVE at BLACK MOUNTAIN

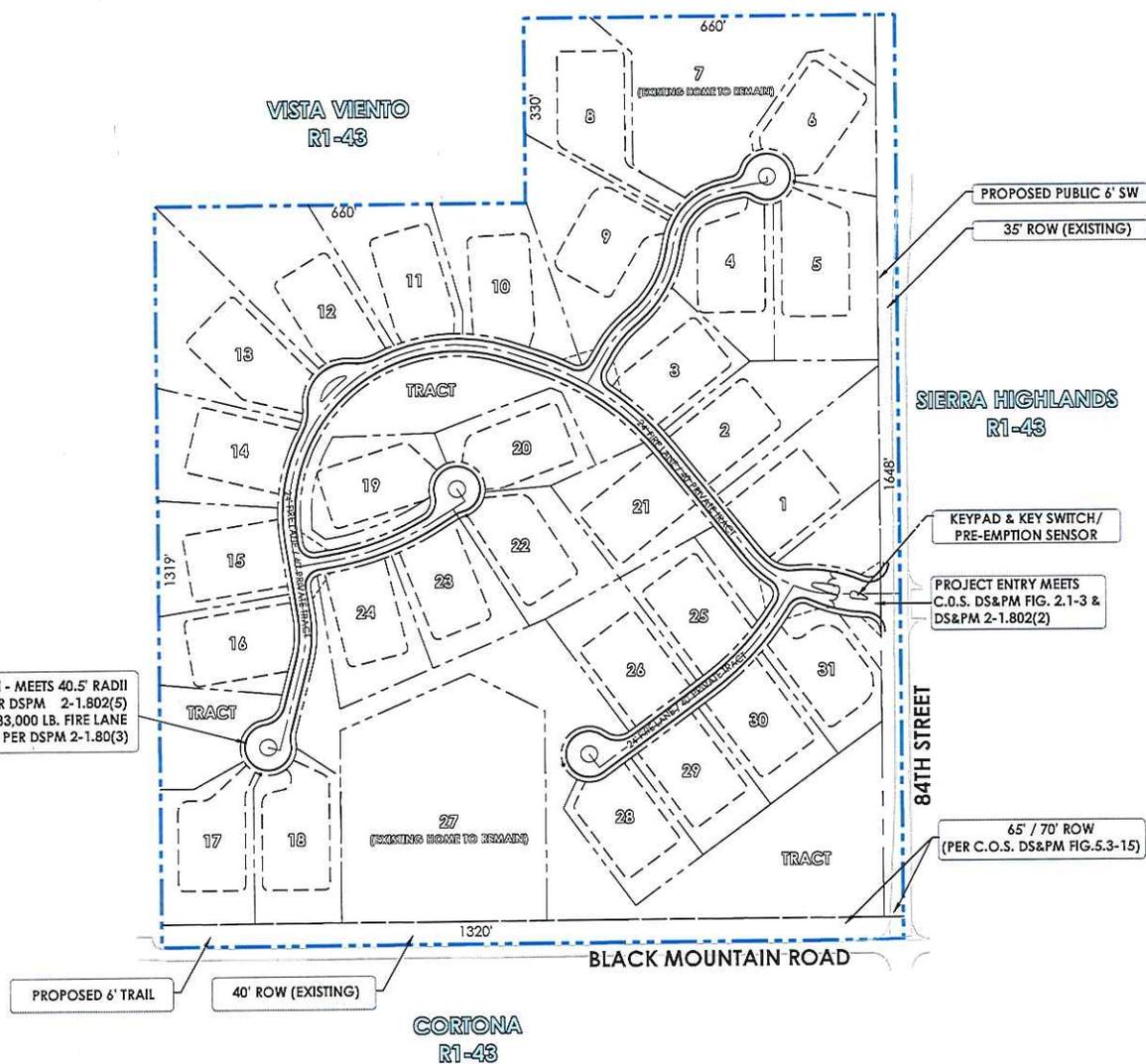
DIMENSION PLAN

EXHIBIT 2:



THE RESERVE at BLACK MOUNTAIN
CONTEXT AERIAL WITH SITE PLAN

EXHIBIT 3:



LEGEND

--- GROSS BOUNDARY --- LOT LINES - - - DEVELOPMENT ENVELOPES

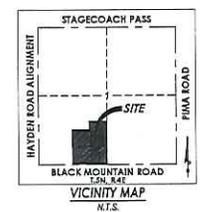
SITE INFORMATION

LOCATION:	NWC 84TH ST. & BLACK MOUNTAIN RD.
SITE AREA (GROSS):	45.0 AC (1,957,785 SQ. FT.)
SITE AREA (NET):	42.4 AC (1,852,093 SQ. FT.)
EXISTING G.P. LAND USE:	RURAL NEIGHBORHOODS (0-1 DUA/C)
EXISTING ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
NUMBER OF LOTS:	31
GROSS DENSITY:	0.69 DU/AC
REFUSE COLLECTION:	INDIVIDUAL RESIDENTIAL REFUSE CONTAINERS
PROVIDED PARKING:	2 SPACES/UNIT TO BE PROVIDED IN GARAGE
NAOS REQUIRED:	14.89 AC (PER SLOPE ANALYSIS)
NAOS PROVIDED:	16.38 AC (+1.49 AC - 10% EXCESS)
	REVEG.: 4.91 AC (30%)
	UNDISTURBED: 11.47 AC (70%)

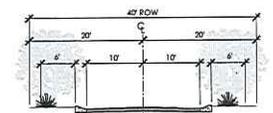
PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

MIN. LOT AREA:	32,250 SF (25% REDUCTION PER E.S.L.)
MIN. LOT WIDTH:	113' (25% REDUCTION PER E.S.L.)
MAX. BUILDING HEIGHT:	24' (0% REDUCTION PER E.S.L.)
MIN. FRONT YARD SETBACK:	30' (25% REDUCTION PER E.S.L.)
MIN. SIDE YARD SETBACK:	15' (25% REDUCTION PER E.S.L.)
MIN. REAR YARD SETBACK:	26' (25% REDUCTION PER E.S.L.)

VICINITY MAP



CROSS-SECTION



C.O.S. DS & PM FIG 5.3-19 LOCAL RESIDENTIAL - RURAL/ESL CHARACTER

INTERNAL LOCAL PRIVATE STREET CROSS SECTION

EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
- FIRE LANE SURFACE TO SUPPORT 83,000 LB GVW
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DS&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

SAND FLOWER R1-43

VISTA VIENTO R1-43

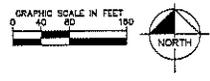
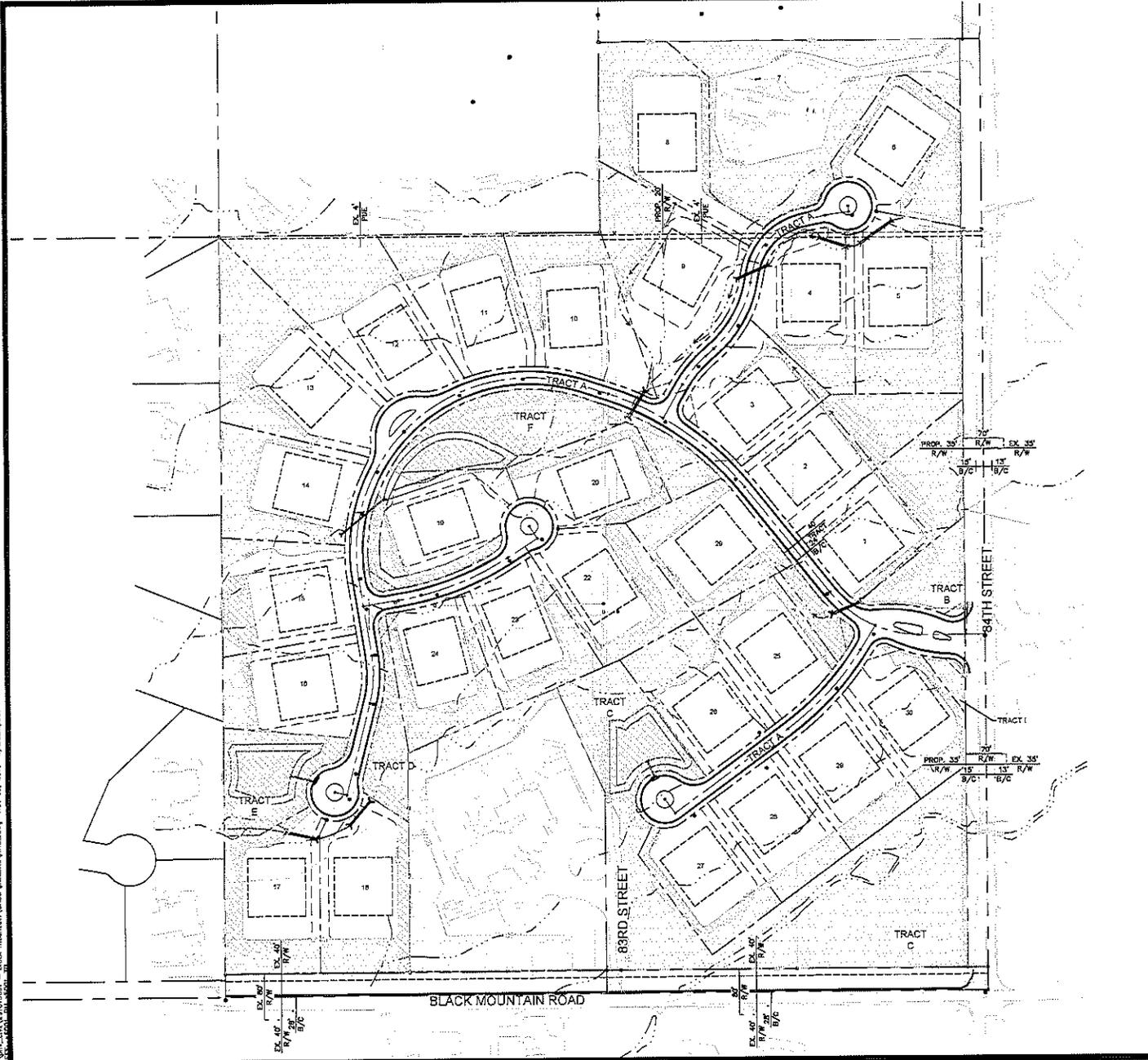
SIERRA HIGHLANDS R1-43

CORTONA R1-43

EXHIBIT 4:

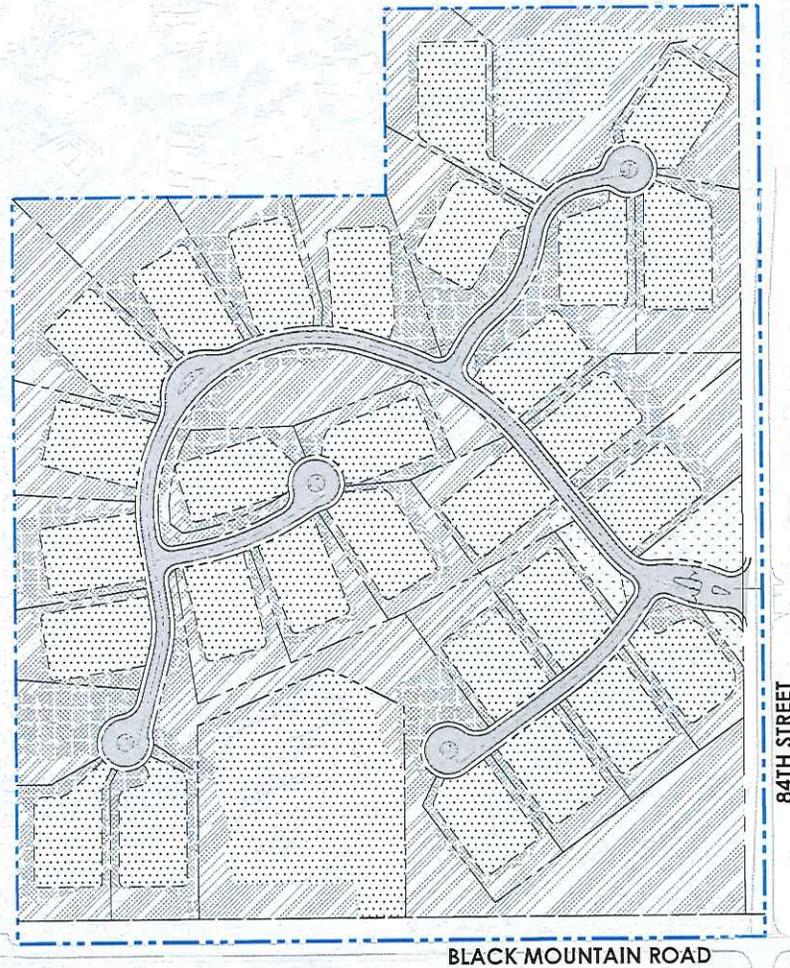
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NAOS SUMMARY		
	AREA (AC)	PERCENT OF TOTAL
	NAOS REVEG 4.81	30%
	NAOS UNDIST 11.47	70%
TOTAL NAOS*		16.36
REQUIRED NAOS		14.89
EXCESS NAOS		1.49 +10%



NAOS ANALYSIS
Kimley»Horn
 November 2, 2016

EXHIBIT 5:



LEGEND:

- 
ZONE A: NATURAL VEGETATION
 The identified areas depict undisturbed portions of the site which will remain in the current state.
- 
ZONE B: ENHANCED PLANTING
 The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
- 
ZONE C: NATIVE PLANTING
 The identified areas are primarily revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
- 
ZONE D: MAINTAINED LANDSCAPING
 The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

1. All plant material to comply with City of Scottsdale ESL plant list.
2. All disturbed areas to be top dressed with 'desert floor' decomposed granite to match color and size of adjacent inert material.
3. All berms to have maximum 4:1 side slopes.
4. Boulders are to be surface select site boulders, 1/3 buried in soil, typ.
5. 3 trees per dwelling unit shall be provided with a minimum of 234 tree per Section 10.502 of the Zoning Ordinance.

*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

EXHIBIT 6:



LEGEND:

- SITE BOUNDARY
- EXISTING 5' PUBLIC SIDEWALK
- EXISTING 6' PUBLIC TRAIL
- PROPOSED 6' PUBLIC SIDEWALK
- PROPOSED 6' PUBLIC TRAIL
- RESIDENTIAL TURNING RADII (16.5'-40.5')

BLACK MOUNTAIN RD. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING WEST)

C.O.S. DS&PM FIG 5.3-15 LOCAL COLLECTORS-RURAL/ESL WITH TRAILS

84TH ST. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING NORTH)

C.O.S. DS&PM FIG 5.3-15 LOCAL COLLECTORS-RURAL/ESL WITH TRAILS

INTERNAL LOCAL PRIVATE STREET CROSS SECTION

C.O.S. DS & PM FIG 5.3-19 LOCAL RESIDENTIAL - RURAL/ESL CHARACTER

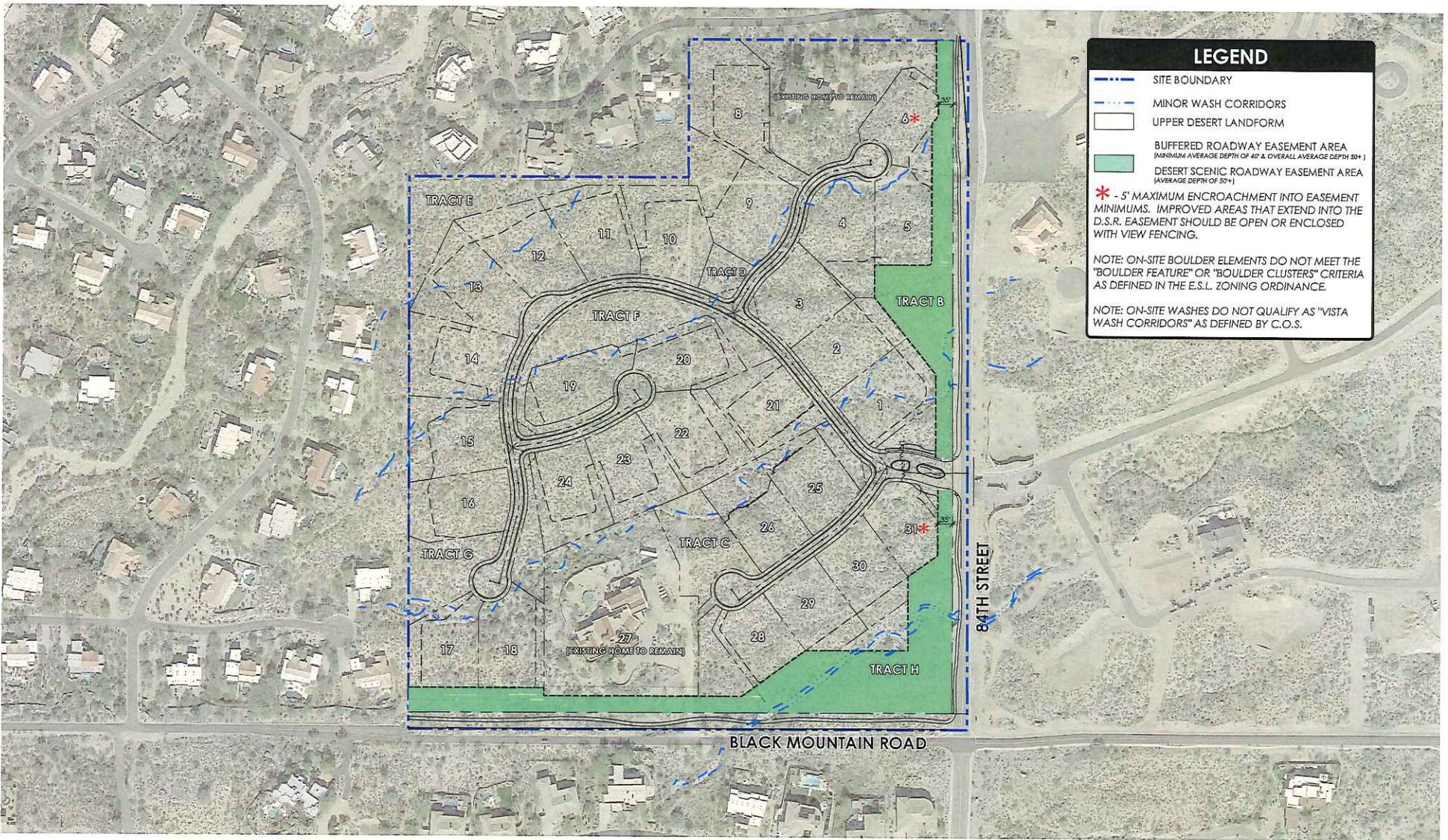
EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

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- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

THE RESERVE at BLACK MOUNTAIN
PEDESTRIAN AND VEHICULAR CIRCULATION PLAN

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 D:\1622-84TH & BLACK MOUNTAIN RD\CAD\PLANS\RD-1622-PED & VEHICULAR PLAN.dwg Nov 2, 2016

EXHIBIT 7:



LEGEND

- - - SITE BOUNDARY
- - - MINOR WASH CORRIDORS
- UPPER DESERT LANDFORM
- BUFFERED ROADWAY EASEMENT AREA
(MINIMUM AVERAGE DEPTH OF 40' & OVERALL AVERAGE DEPTH 50+')
- DESERT SCENIC ROADWAY EASEMENT AREA
(AVERAGE DEPTH OF 50+')

*** - 5' MAXIMUM ENCROACHMENT INTO EASEMENT MINIMUMS. IMPROVED AREAS THAT EXTEND INTO THE D.S.R. EASEMENT SHOULD BE OPEN OR ENCLOSED WITH VIEW FENCING.**

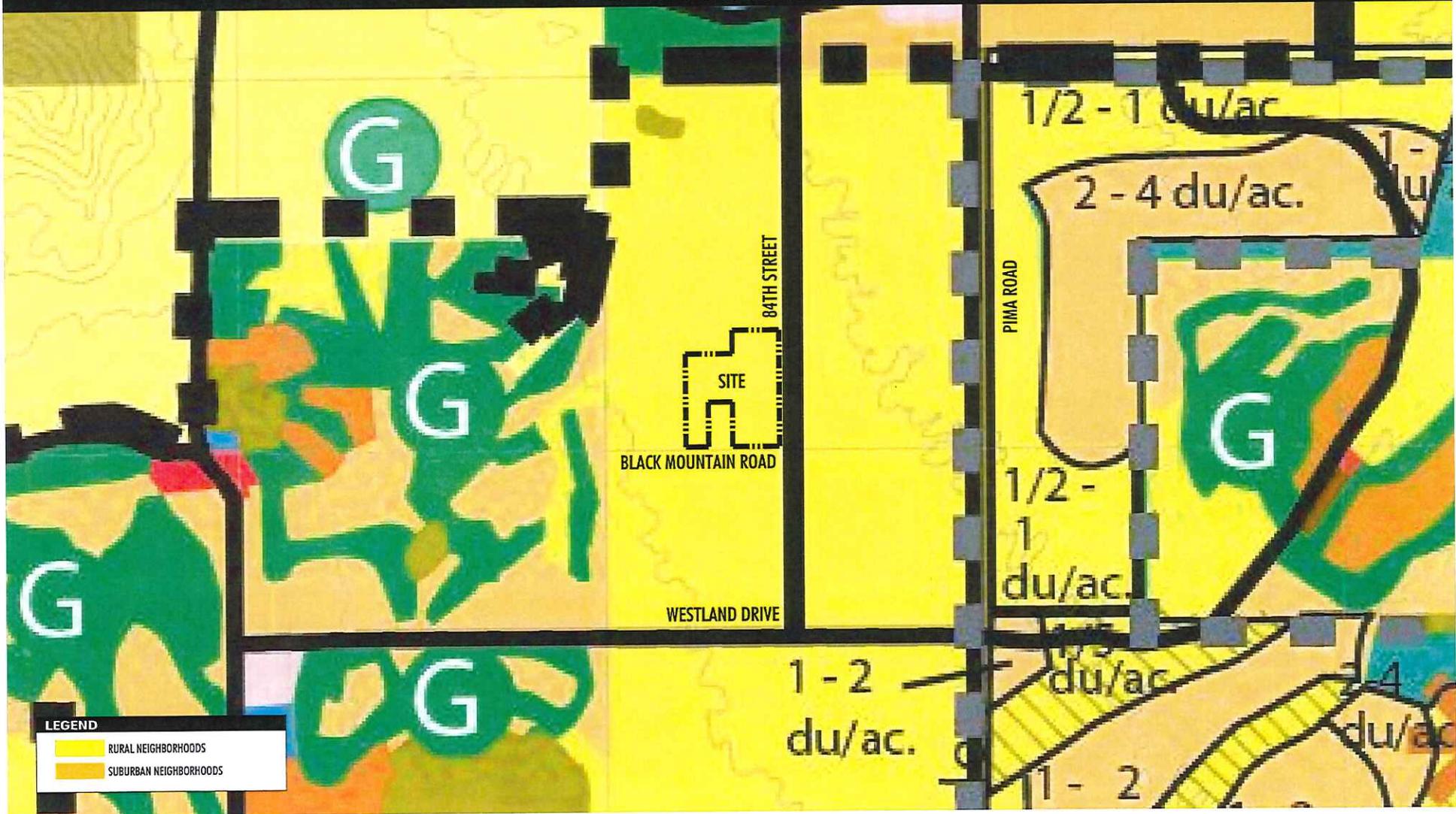
NOTE: ON-SITE BOULDER ELEMENTS DO NOT MEET THE "BOULDER FEATURE" OR "BOULDER CLUSTERS" CRITERIA AS DEFINED IN THE E.S.L. ZONING ORDINANCE.

NOTE: ON-SITE WASHES DO NOT QUALIFY AS "VISTA WASH CORRIDORS" AS DEFINED BY C.O.S.

THE RESERVE at BLACK MOUNTAIN
ENVIRONMENTAL FEATURES MAP

EXHIBIT 8:

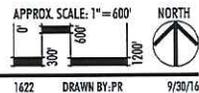
EXISTING GENERAL PLAN



LEGEND	
	RURAL NEIGHBORHOODS
	SUBURBAN NEIGHBORHOODS

LVA urban design studio
 land planning • development entitlements • landscape architecture
 120 south osh avenue • tempe, arizona 85281 • 480.994.0994

THE RESERVE at BLACK MOUNTAIN
 GENERAL PLAN MAP



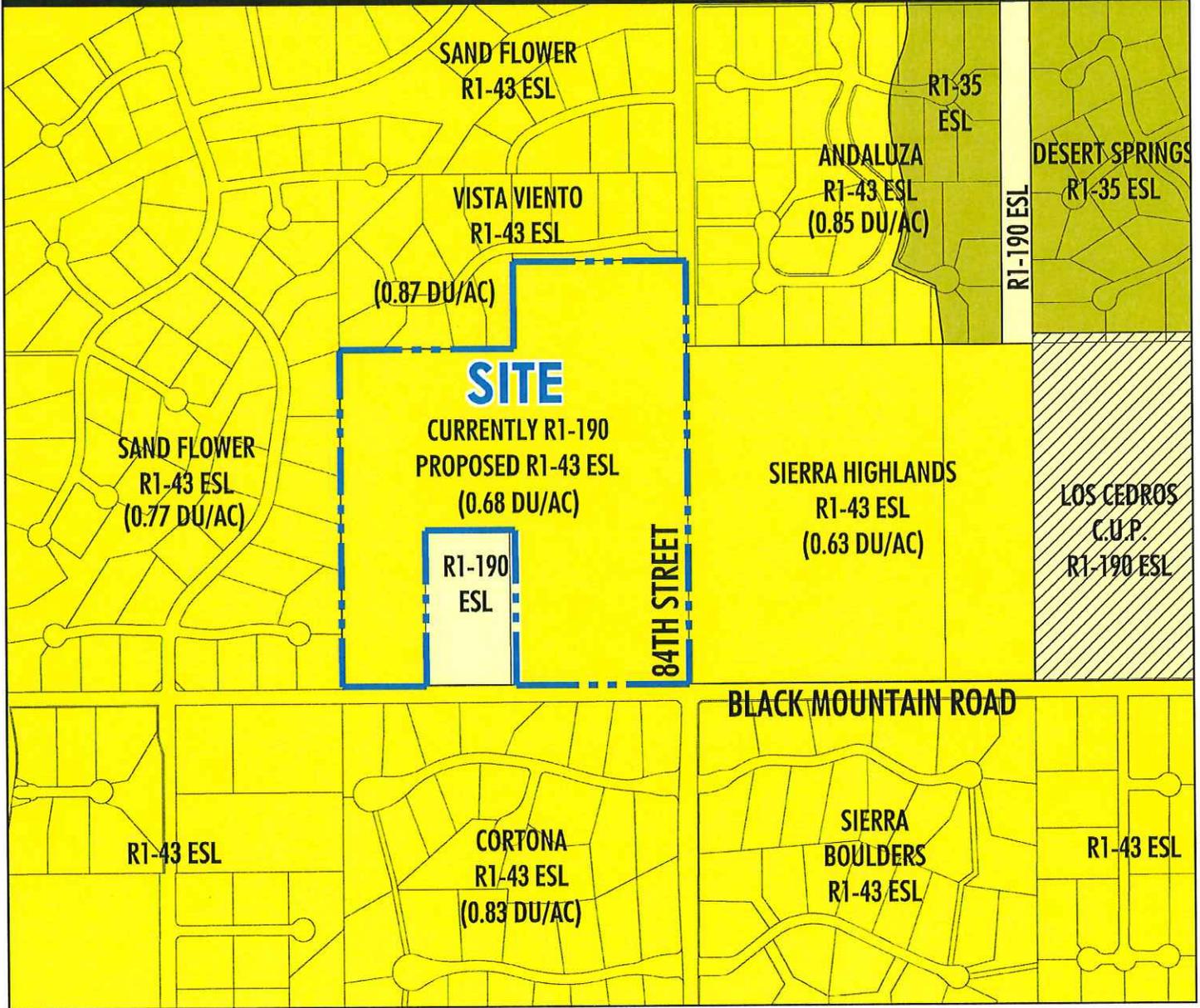
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1622 DRAWN BY: PR 9/30/16

EXHIBIT 9:

PROPOSED ZONING



LEGEND

- R1-190 ESL
- R1-43 ESL
- R1-35 ESL



APPENDIX 1:

PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

Sec. 5.100. - Single-family Residential (R1-43).

(Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 24), 4-3-12)

Sec. 5.101. - Purpose.

This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Sec. 5.102. - Use regulations.

- A. *Permitted uses.* Buildings, structures or premises shall be used and buildings and structures shall hereafter be erected, altered or enlarged only for the following uses:
1. Accessory buildings, swimming pools, home occupations and other accessory uses. The landing and taking-off of aircraft is not a valid accessory use in residential districts and is prohibited.
 2. Adult care homes; subject to the following criteria:
 - a. Floor area ratio: Is limited to thirty-five hundredths (0.35) of the net lot area.
 - b. Capacity: The maximum number of residents other than the manager or property owner at the home is ten (10).
 - c. Location: An adult care home shall not be located within seven hundred fifty (750) feet of another adult care home on the same street frontage or within five hundred (500) feet in any other direction of another adult care home.
 - d. Compatibility: The home and its premises shall be maintained in a clean, well-kept condition that is consistent in materials and design style with homes in the surrounding or adjacent neighborhood.
 - e. Parking: All parking for the property owner and any employees shall be provided in off-street locations but in no case shall parking occupy more than three-tenths (0.3) of the required front yard.
 3. Charter school located on property with a net lot size of one (1) acre or more.
 4. Day care home.
 5. Day care group home.
 6. Dwelling units, single-family.
 7. Guest houses, as an accessory use subject to the following criteria:
 - a. No more than one (1) per lot shall be permitted.
 - b. The square footage shall be no greater than one-half (½) the square footage of the principal building.
 - c. The guest house shall not be rented or offered for rent independent of the main building.
 - d. A guest house that is a portion of the main building shall comply with the yard requirements of the main building.
 8. Model homes.
 9. Municipal uses.

10. Wireless communications facilities; Types 1, 2, and 3, subject to the requirements of Sections 1.906, 3.100 and 7.200.
11. Private tennis courts.
12. Public, elementary and high schools.
13. Temporary sales office buildings and buildings for uses incidental to construction work, to be removed upon completion or abandonment of construction work.
14. Churches and places of worship; subject to Development Review Board approval and compliance with the following standards, as well as those otherwise required in the R1-43 District:
 - a. Lot area: The minimum lot area shall be equal to that required for the district, except that no lot shall be less than twenty thousand (20,000) square feet (net).
 - b. Floor area ratio: In no case shall the gross floor area of the structure(s) exceed an amount equal to 0.20 multiplied by the net lot area.
 - c. Building height: Development Review Board may allow building heights, including towers, spires, and mechanical equipment (such equipment must be screened) limited to thirty (30) feet in height, and may allow a maximum of ten (10) percent of the roof area to exceed the height limit by fifteen (15) feet. Height and location are subject to the Development Review Board review and approval for compatibility with the established neighborhood character. Maximum permissible heights may not be achievable in all neighborhoods. (This provision supersedes Sections 7.100 through 7.102, exceptions to height restrictions, which shall not apply to churches within this district.)
 - d. Required open space.
 - i. Minimum: 0.24 multiplied by the net lot area.
 - ii. For building heights over twenty (20) feet: the minimum open space requirement plus 0.004 multiplied by the net lot area for each foot of building height over twenty (20) feet.
 - iii. NAOS may be included in the required open space.
 - e. Parking: Parking shall observe the minimum front yard setbacks of the district for all frontages. On streets classified in the Transportation Master Plan as major arterial or greater, parking may be located between the established front building line and the front yard setback. On all other street classifications, parking shall be located behind the established front building line(s).
 A minimum of fifteen (15) percent of all parking areas shall be landscaped.
 A ten-foot minimum landscape setback shall be provided where parking is adjacent to residential districts shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.
 - f. Lighting: All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height.
 All lighting adjacent to residential districts shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A., shall be set back a minimum of thirty (30) feet from the property line. All lighting, other than security, shall be shut off by 10:00 p.m.
 - g. Screening: There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines that are adjacent to residential districts shown on Table 4.100.A., or the residential portion of a

Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.

There shall be a three-foot high landscaped berm along all street frontages where parking occurs.

- h. Access: All churches must have primary access to a street classified in the Transportation Master Plan as a minor collector or greater.

Access to a local or local collector residential street is prohibited when the primary worship center, auditorium or other major gathering place exceeds three thousand (3,000) square feet.

- i. Operations: No outdoor activities shall be permitted after 10:00 p.m.
- j. Noise: Outdoor speakers or paging systems are not allowed.

B. *Uses subject to conditional use permit.*

1. Cemetery (see section 1.403 for criteria).
2. Community buildings and recreational facilities not publicly owned, such as: Athletic fields, boys' clubs, etc.
3. Farms.
4. Golf course (except miniature golf course or commercial driving range).
5. Ham transmitting or receiving radio antennas in excess of seventy (70) feet.
6. Wireless communications facilities; Type 4, subject to requirements of Sections 1.400, 3.100 and 7.200.
7. Private colleges and universities having a regular curriculum, with their related services and activities.
8. Private school having no room regularly used for housing or sleeping overnight. Subject to Development Review Board approval and compliance with standards, including, but not limited to, the following as well as those otherwise required in the R1-43 District.
 - a. Lot area: The minimum lot area shall be equal to that required for the district, except that no lot shall be less than eighty-six thousand (86,000) square feet minimum lot size.
 - b. Floor area ratio: In no case shall the gross floor area of the structure(s) exceed an amount equal to 0.20 multiplied by the net lot area.
 - c. Noise: Outdoor speaker systems or bells are not allowed.
 - d. Required open space:
 - i. Minimum: 0.24 multiplied by the net lot area.
 - ii. For building heights over twenty (20) feet: the minimum open space requirement plus 0.004 multiplied by net lot area for each foot of building height over twenty (20) feet.
 - iii. NAOS may be included in the required open space.
 - e. Parking: Parking shall be allowed in the front yard setbacks of the district for schools on streets classified in the Transportation Master Plan as minor collector or greater. There shall be a three-foot high landscaped berm or wall along the street frontage where parking occurs. On all other street classifications, parking shall be located behind the established front building line(s). A minimum of fifteen (15) percent of all parking areas in addition to open space in d. above shall be landscaped. A twenty-foot minimum landscaped setback shall be provided where parking is adjacent to residential districts shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential

Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.

- f. Lighting: All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height. All lighting adjacent to residential districts shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A., shall be setback a minimum of thirty (30) feet from the property line. All lighting, other than security, shall be turned off by 10:00 p.m., unless otherwise approved through a special event permit.
 - g. Screening: There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines adjacent to residential districts shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.
 - h. Access: All private schools shall have frontage on a street classified in the Transportation Master Plan as a minor collector or greater. Side street access to a local collector residential street is prohibited when the number of students allowed to attend the school is greater than two hundred fifty (250). A drop off area shall be provided that accommodates a minimum of five (5) cars at one (1) time.
 - i. Operations: No outdoor activities shall be permitted after 8:00 p.m. unless otherwise approved through a special event permit. Any additions to, expansions of or proposed playgrounds or outdoor activity areas shall be setback fifty (50) feet from the property line (including right-of-way width) of any single-family residential district shown on Table 4.100.A., or the single-family residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the single-family residential districts shown on Table 4.100.A. or setback twenty-five (25) feet from any Two-family Residential R-2, Medium Density Residential R-3, Townhouse Residential R-4, Resort/Townhouse Residential R-4R, Multi-family Residential R-5 or Manufactured Home M-H district property line (including right-of-way width). All playgrounds and outdoor activity areas shall be screened from any residential district shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A. by a minimum six-foot high screen wall and/or landscape screen, as approved by the Development Review Board.
 - j. Building design: All buildings shall be designed to be compatible with the surrounding residential neighborhood. All building elevations shall be approved by the Development Review Board.
 - k. Circulation plan: The applicant shall submit a circulation plan to ensure minimal conflicts between the student drop-off area, potential van and bus drop-off area, parking, access driveways, pedestrian and bicycle paths on site.
9. Public utility buildings, structures or appurtenances thereto for public service uses.
 10. Recreational uses including commercial stables, ranches and tennis clubs (see section 1.403 for specific uses and development criteria for each).

(Ord. No. 2394, § 1, 9-16-91; Ord. No. 2430, § 1, 1-21-92; Ord. No. 2431, § 1, 1-21-92; Ord. No. 2470, § 1, 6-16-92; Ord. No. 2636, § 1, 2-15-94; Ord. No. 2858, § 1, 12-5-95; Ord. No. 3048, 10-7-97; Ord. No. 3034, § 1, 11-4-97; Ord. No. 3103, § 1, 1-6-98; Ord. No. 3225, § 1, 5-4-99; Ord. No. 3493, § 1, 3-4-03; Ord. No. 3697, § 1(Exh. 1), 9-26-06; Ord. No. 3879, § 1(Exh. § 6), 3-2-10; Ord. No. 3899, § 1(Res. No. 8342, Exh. A, § 4), 8-30-10; Ord. No. 3920, § 1(Exh. §§ 24, 25), 11-9-10; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 25, 26), 4-3-12; Ord. No. 4140, §

1(Res. No. 9643, Exh. A, § 2), 2-25-14; Ord. No. 4143, § 1(Res. No. 9678, Exh. A, §§ 74, 75), 5-6-14)

Sec. 5.103. - Reserved.

Editor's note— Ord. No. 4164, § 1(Res. No. 9857, § 1, Exh. A, § 8), adopted Aug. 25, 2014, repealed § 5.103 which pertained to approvals required and derived from Ord. No. 3225, § 1, adopted May 4, 1999.

Sec. 5.104. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. *Lot area.*

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000) square feet~~ **thirty two thousand two hundred fifty (32,250) square feet**.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. *Lot dimensions.*

Width. All lots shall have a minimum lot width of ~~one hundred fifty (150) feet~~ **one hundred thirteen (113) feet**.

C. *Density.* There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

D. *Building height.* No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.

E. *Yards.*

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~forty (40) feet~~ **thirty (30) feet**.
- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on both streets.
- c. On a corner lot, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~twenty (20) feet~~ **fifteen (15) feet** on each side of a building.

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~thirty-five (35) feet~~ **twenty six (26) feet**.

4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40) feet~~ **thirty (30) feet**.

- G. *Walls, fences and landscaping.* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.
- H. *Access.* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
- I. *Corral.* Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord. No. 2509, § 1, 6-1-93; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 27, 28), 4-3-12)

Sec. 5.105. - Off-street parking.

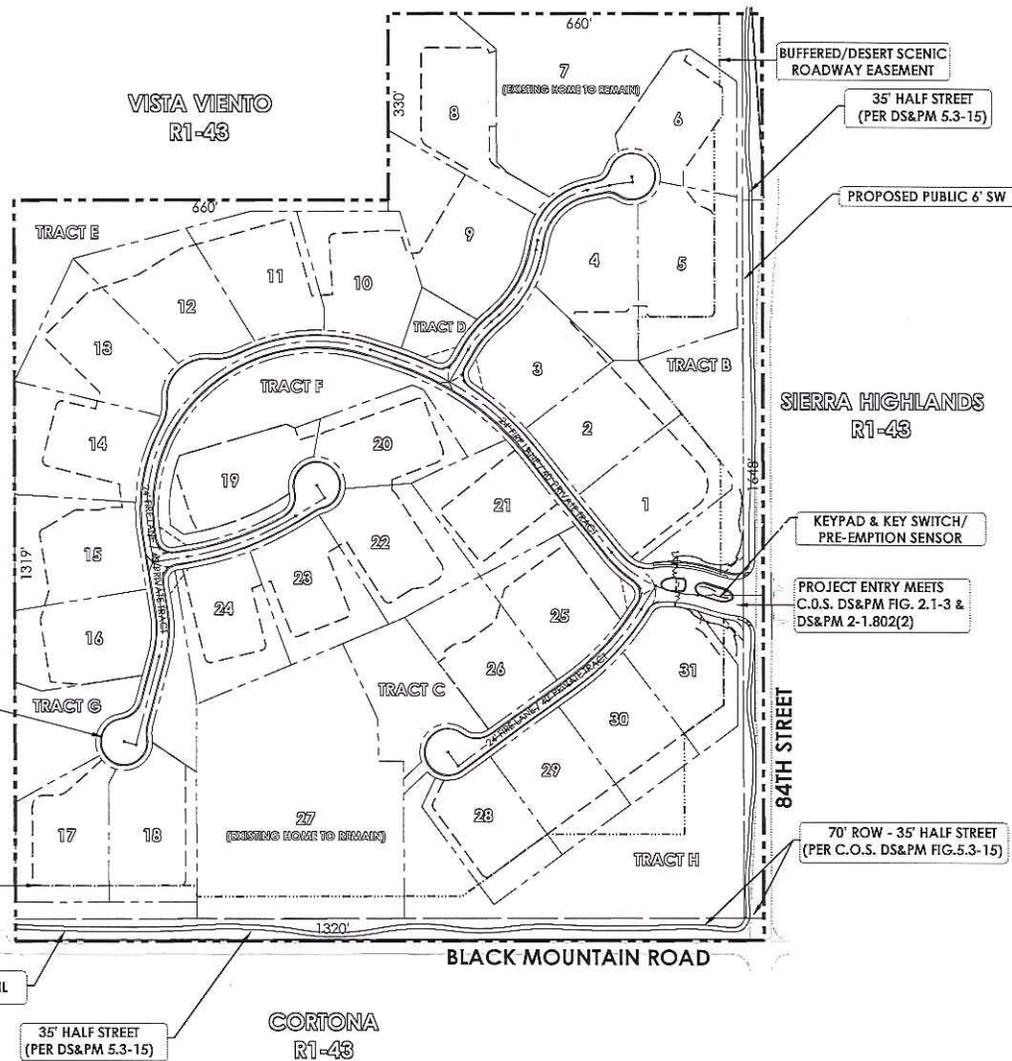
The provisions of article IX shall apply.

Sec. 5.106. - Signs.

The provisions of article VIII shall apply.

Sec. 5.107.

[Repealed by Ordinance No. 1575.]



LEGEND

--- GROSS BOUNDARY --- LOT LINES --- DEVELOPMENT ENVELOPES
 - - - - - BUFFERED/DESERT SCENIC ROADWAY EASEMENT SETBACK

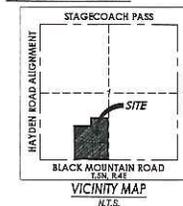
SITE INFORMATION

LOCATION: NWC 84TH ST. & BLACK MOUNTAIN RD.
 SITE AREA (GROSS): 45.0 AC (1,957,785 SQ. FT.)
 SITE AREA (NET): 42.4 AC (1,852,093 SQ. FT.)
 EXISTING G.P. LAND USE: RURAL NEIGHBORHOODS (0-1 DUA/C)
 EXISTING ZONING: R1-190 ESL
 PROPOSED ZONING: R1-43 ESL
 NUMBER OF LOTS: 31
 GROSS DENSITY: 0.69 DU/AC
 REFUSE COLLECTION: INDIVIDUAL RESIDENTIAL REFUSE CONTAINERS
 PROVIDED PARKING: 2 SPACES/UNIT TO BE PROVIDED IN GARAGE
 NAOS REQUIRED: 15.76 AC (PER SLOPE ANALYSIS ON GROSS)
 NAOS PROVIDED: 16.22 AC
 REVEG.: 4.71 AC (30%)
 UNDISTURBED: 11.51 AC (73%)

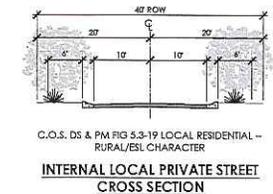
PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

MIN. LOT AREA: 32,250 SF (25% REDUCTION PER E.S.L.)
 MIN. LOT WIDTH: 113' (25% REDUCTION PER E.S.L.)
 MAX. BUILDING HEIGHT: 24' (0% REDUCTION PER E.S.L.)
 MIN. FRONT YARD SETBACK: 30' (25% REDUCTION PER E.S.L.)
 MIN. SIDE YARD SETBACK: 15' (25% REDUCTION PER E.S.L.)
 MIN. REAR YARD SETBACK: 26' (25% REDUCTION PER E.S.L.)

VICINITY MAP



CROSS-SECTION



EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
- FIRE LANE SURFACE TO SUPPORT 83,000 LB GVW
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DS&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

THE RESERVE at BLACK MOUNTAIN
CONCEPTUAL SUBDIVISION PLAN

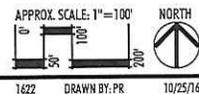
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THE RESERVE at BLACK MOUNTAIN

DIMENSION PLAN



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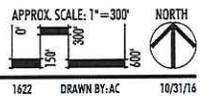
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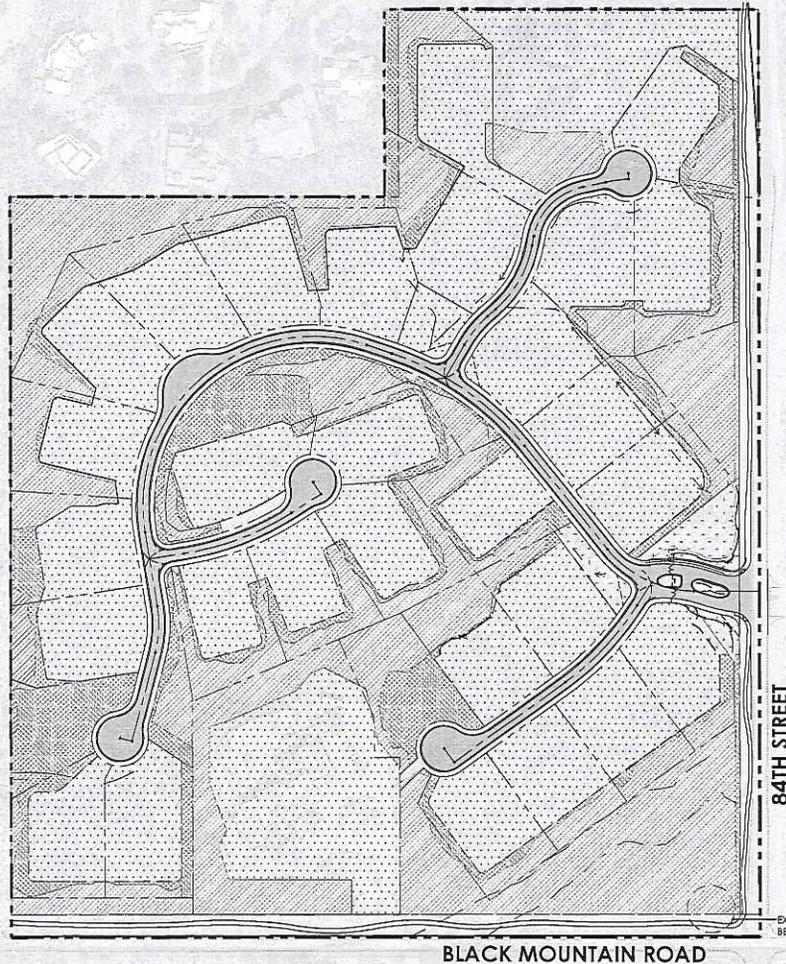
THE RESERVE at BLACK MOUNTAIN

CONTEXT AERIAL WITH SITE PLAN



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26-ZN-2016
11/02/2016



LEGEND:

- 
ZONE A: NATURAL VEGETATION
 The identified areas depict undisturbed portions of the site which will remain in the current state. Areas to be designed as undisturbed N.A.O.S.
- 
ZONE B: ENHANCED PLANTING
 The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
- 
ZONE C: NATIVE PLANTING
 The identified areas are primarily N.A.O.S. revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
- 
ZONE D: MAINTAINED LANDSCAPING
 The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE. MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOULDERS ARE TO BE SURFACE SELECT SITE BOULDERS, 1/3 BURIED IN SOIL, TYP.
4. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUND COVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
7. PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2-1.903
8. CUL-DE-SAC LANDSCAPE SHALL BE PLANTED PER ZONING ORDINANCE SECTION 1-303 REFER TO PLAN AND REPORTS REQUIREMENTS FOR DEVELOPMENT APPLICATIONS.

*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

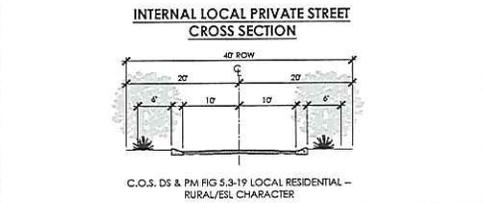
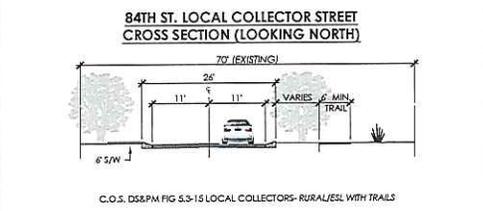
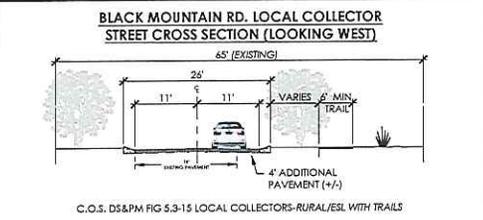
*PLANTS PROPOSED IN DRAINAGE BASINS SHALL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

THE RESERVE at BLACK MOUNTAIN
 LANDSCAPE CHARACTER PLAN



LEGEND:

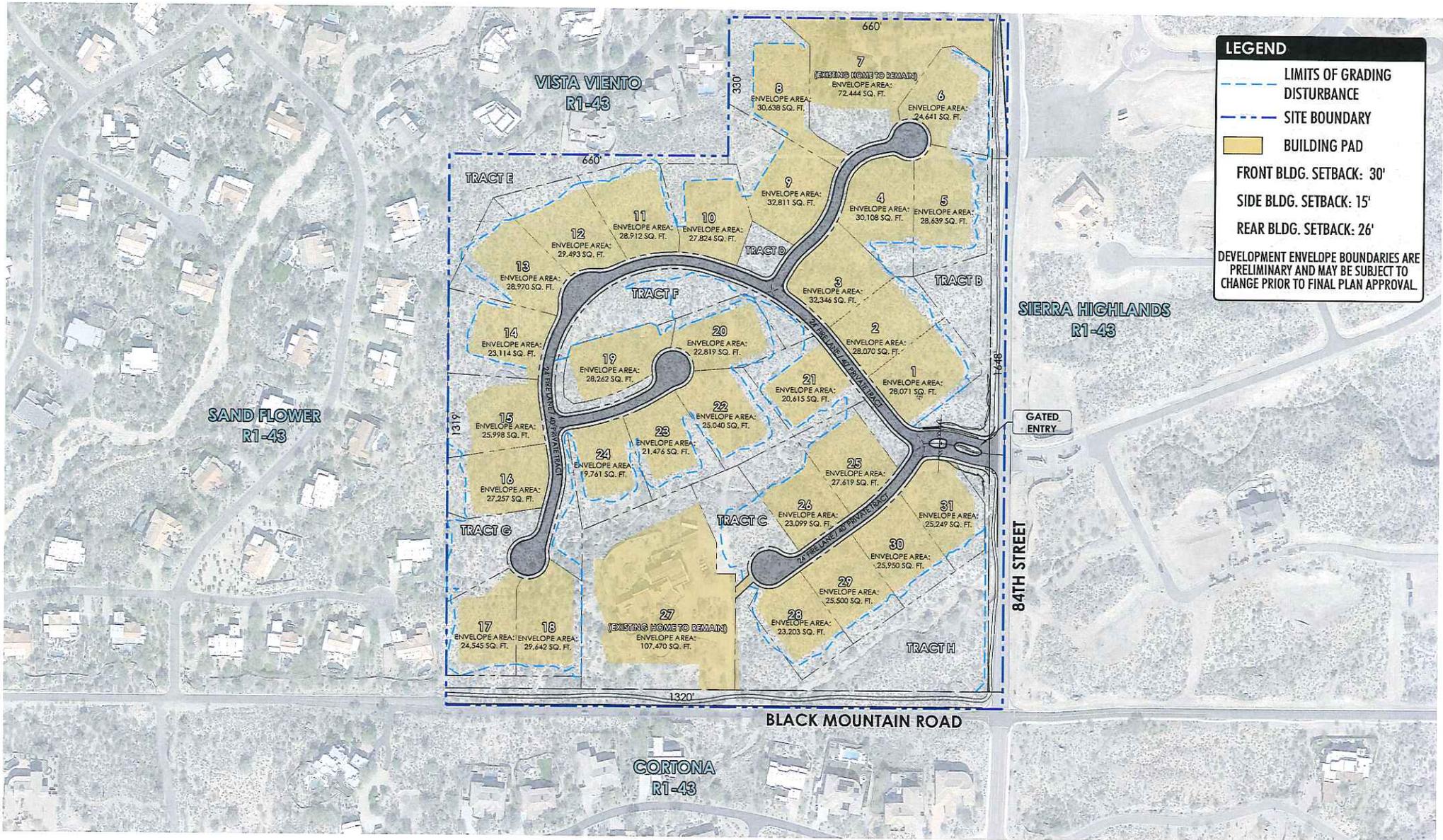
- SITE BOUNDARY
- - - - - EXISTING 5' PUBLIC SIDEWALK
- - - - - EXISTING 6' PUBLIC TRAIL
- - - - - PROPOSED 6' PUBLIC SIDEWALK
- - - - - PROPOSED 6' PUBLIC TRAIL
- RESIDENTIAL TURNING RADII (16.5'-40.5')



- EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION**
- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
 - FIRE LANE SURFACE TO SUPPORT 88,000 LB GVW
 - UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
 - KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
 - GATE DETAIL CONSISTENT WITH DS&PM
 - ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
 - PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
 - CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

THE RESERVE at BLACK MOUNTAIN
PEDESTRIAN AND VEHICULAR CIRCULATION PLAN

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LEGEND

- LIMITS OF GRADING DISTURBANCE
- SITE BOUNDARY
- BUILDING PAD

FRONT BLDG. SETBACK: 30'
 SIDE BLDG. SETBACK: 15'
 REAR BLDG. SETBACK: 26'

DEVELOPMENT ENVELOPE BOUNDARIES ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE PRIOR TO FINAL PLAN APPROVAL.

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THE RESERVE at BLACK MOUNTAIN
DEVELOPMENT ENVELOPE PLAN

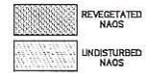
APPROX. SCALE: 1" = 100'

 NORTH
 1622 DRAWN BY: PR 1/10/17

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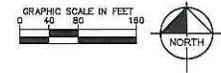


	Area (SF)	Area (AC)	Percent of Required
NAOS Revegetated	205,073	4.71	30%
NAOS Undisturbed	480,645	11.03	
NAOS Additional (Undisturbed)	20,950	0.48	73%
Provided Total NAOS	706,667	16.22	
Required Total NAOS	696,635	15.76	

LOT/TRACT	TOTAL AREA (SQFT)
1	36,790
NAOS Undisturbed	4,372
Non NAOS	32,071
NAOS Revegetated	4,147
2	34,233
NAOS Undisturbed	2,463
Non NAOS	28,484
NAOS Revegetated	3,238
3	33,049
NAOS Undisturbed	25
Non NAOS	33,246
NAOS Revegetated	679
4	37,799
NAOS Undisturbed	6,240
Non NAOS	30,108
NAOS Revegetated	1,453
5	49,870
NAOS Undisturbed	19,978
Non NAOS	28,639
NAOS Revegetated	7,253
6	39,449
NAOS Undisturbed	7,347
Non NAOS	24,641
NAOS Revegetated	7,461
7	88,894
NAOS Undisturbed	16,451
Non NAOS	72,444
8	45,961
NAOS Undisturbed	11,686
Non NAOS	30,638
NAOS Revegetated	3,637
9	45,705
NAOS Undisturbed	5,069
Non NAOS	32,811
NAOS Revegetated	3,825
10	38,656
NAOS Undisturbed	5,166
Non NAOS	27,824
NAOS Revegetated	1,665
11	36,239
NAOS Undisturbed	9,922
Non NAOS	29,812
NAOS Revegetated	3,514
12	35,178
NAOS Undisturbed	5,463
Non NAOS	23,494
NAOS Revegetated	1,218
13	42,354
NAOS Undisturbed	5,407
Non NAOS	28,970
NAOS Revegetated	3,978

14	41,764
NAOS Undisturbed	16,635
Non NAOS	23,114
NAOS Revegetated	2,015
15	40,018
NAOS Undisturbed	5,039
Non NAOS	28,650
NAOS Revegetated	16
16	35,311
NAOS Undisturbed	5,543
Non NAOS	27,257
NAOS Revegetated	2,512
17	37,766
NAOS Undisturbed	4,933
Non NAOS	25,545
NAOS Revegetated	6,790
18	38,303
NAOS Undisturbed	3,032
Non NAOS	29,642
NAOS Revegetated	5,631
19	32,175
NAOS Undisturbed	2,220
Non NAOS	28,252
NAOS Revegetated	1,704
20	32,439
NAOS Undisturbed	4,957
Non NAOS	22,840
NAOS Revegetated	4,642
21	36,906
NAOS Undisturbed	10,203
Non NAOS	20,615
NAOS Revegetated	6,088
22	39,900
NAOS Undisturbed	9,798
Non NAOS	25,040
NAOS Revegetated	5,063
23	35,434
NAOS Undisturbed	6,778
Non NAOS	21,476
NAOS Revegetated	4,180
24	35,421
NAOS Undisturbed	12,193
Non NAOS	19,761
NAOS Revegetated	3,467
25	35,886
NAOS Undisturbed	11,881
Non NAOS	23,099
NAOS Revegetated	907
27	152,265
NAOS Undisturbed	44,574
Non NAOS	107,690
28	33,285
NAOS Undisturbed	5,395

Non NAOS	23,203
NAOS Revegetated	4,868
29	32,250
NAOS Undisturbed	5,830
Non NAOS	25,500
NAOS Revegetated	900
30	32,700
NAOS Undisturbed	5,518
Non NAOS	25,950
NAOS Revegetated	1,232
31	32,999
NAOS Undisturbed	3,977
Non NAOS	26,513
NAOS Revegetated	2,493
A	160,486
Non NAOS	160,486
B	41,586
NAOS Undisturbed	31,991
Non NAOS	4,360
NAOS Revegetated	5,735
C	33,632
NAOS Undisturbed	15,923
Non NAOS	105
NAOS Revegetated	17,624
D	10,328
Non NAOS	10,328
E	55,192
NAOS Undisturbed	45,842
NAOS Revegetated	9,350
F	55,713
NAOS Undisturbed	21,214
Non NAOS	2,810
NAOS Revegetated	31,689
G	27,638
NAOS Undisturbed	1,284
Non NAOS	105
NAOS Revegetated	26,449
H	107,773
NAOS Undisturbed	99,472
Non NAOS	3,246
NAOS Revegetated	5,056
I	6,996
Non NAOS	6,996
ZS	32,765
NAOS Undisturbed	3,833
Non NAOS	27,619
NAOS Revegetated	1,314
K	9,599
NAOS Undisturbed	9,599
J	13,993
NAOS Undisturbed	8,219
NAOS Revegetated	5,774
Grand Total	1,648,802



NAOS ANALYSIS
Kimley»Horn

January 3, 2017