



October 20, 2016

Development Review Board
Project Narrative

Troon North Villas
8202 E. Cactus Road
Scottsdale, Arizona 85260

Project Narrative:

Troon North Village and Troon North Golf Club have been highly respected and well-established communities in North Scottsdale for over nearly 30 years. Based on extensive demographic research, our client, MBA Development Partners, LLC, determined that there is a niche that is missing in the area of Troon North that caters to the Golf Travelers. This proposal is compatible with the surrounding area and the character of the adjacent residential communities. This new Resort falls under the category of R-4R and its residents/clientele will also partake in the membership benefits that the golf club offers.

Our project, the Troon North Villas, will close the gap and provide the luxury experience for the clientele that frequently visit North Scottsdale on golf trips and family vacations. The proposed construction is a new build composed of 32 resort villas, totaling 64 keys. As a part of the scope there is also a 2,000 square-foot amenity building. This site has a long history and is actually the third DRB application with two prior cases being 89-DR-1995 and 48-DR-2007. This proposal is in line with the R-4R zoning as approved in cases 45-ZN-1990, 3-ZN-1994 and 43-ZN-1994. The overall architectural design is consistent with the concepts and scale of development embodied in case 48-DR-2007. The case sought a change in the Environmentally Sensitive Land overlay regulations, by creating two rows of two-story units, with the main entry to the north and the common facilities at the south end. The building design style is clean and modern, yet compliments the existing clubhouse and embraces the desert landscape. The gestures are timeless and encompass the vision of North Scottsdale, more specifically Troon North in the careful placement of the buildings between the wash, the Clubhouse to capture the stunning views of the city to the southwest and the mountains to the northeast.

This site is parcel #5 within the overall Parcel V1/V2 within Troon North and is connected to the other parcels within V1/V2 by an overall density cap. The other parcels have not built to their limits and this will be the last of these parcels to be developed. One major change to this proposal from the previous is the elimination of the underground parking. The new development will abandon the existing curb cut on the property along White Feather Lane and add a new drive entry to the east side of the wash. Parking onsite will consist of 44 spaces and 21 offsite parking spaces on the existing Troon North Golf Clubhouse parking lot. All of the internal site circulation and parking will occur inside of the site hidden from view of the neighboring residences. The site will be heavily planted with native plants along White Feather Lane to buffer the Villas from the driveways and existing residences.

Review Criteria:

1. Describe how the proposed development is consistent with the Character and Design Chapter of the Scottsdale General Plan, the Zoning Ordinance, any pertinent master plan, scenic corridor guideline, or streetscape guideline.

Response: The Troon North Villas are a part of a master plan within the greater master plan of the Troon North development. In a related case 48-DR-2007, this proposed development was approved by Council and Staff to have up to 37 residential units allocated, these units can be translated into **53 resort rooms** (at the ratio of 1.43) villas in this R-4R district. This proposed development follows the same standards

and design guidelines as were approved in the 2007 case, 48-DR-2007. The architecture will complement the existing clubhouse building with materials and color. Landscape will also follow the standards as set forth for Environmentally Sensitive Land.

Having resort rooms on this site actually will honor the original commitment when the golf course was allowed that the Troon North golf course would be part of a tourism activity that would generate additional revenue and benefit to the community. A golf course policy approved by the City Council in the late 1990s later solidified this intent of the city in regards to any new golf courses that might seek approval

2. Explain how the proposed development will contribute to the general health, welfare, safety and convenience of persons residing or working in the vicinity.

Response: The site is pedestrian friendly in that the onsite parking area is not the typical heat retaining field of parking, but rather permeable pavers and stamped asphalt. Walkways are mostly covered for shading and native trees are sprinkled throughout. This makes the lot easier to traverse in the high temperatures during the summer, as well as providing tactile warnings to meet accessibility guidelines. Paths are illuminated, buildings are only two-stories high which also encourages walking, although elevators are provided. Pedestrian circulation is well thought out, as the landscape creates a sense of intimacy and privacy. We have also provided a cart path that connects with the existing path to the Clubhouse that leads directly into the site on the south end. The amenity building at the southeast end of the site has a swimming pool, a fitness room and a community room for small gatherings.

3. Describe the spatial relationship that will exist between the nearby structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

Response: The project consists of a north villa building, south villa building, and the amenity building. The villa buildings buttress the north and south with parking internal to the site to create a courtyard like atmosphere. The separation varies between the buildings with an approximately 70 feet average. This is just enough for the local ingress and egress traffic, sidewalks and fire department. This also screens the parking from view from the surrounding residential communities. Natural Area Open Space has been provided on the northwest portion of the site. The topography of the site is relatively flat and easy to traverse. The existing Clubhouse is within walking distance of the villas, amenity building and pool.

4. Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

Response: As noted in the response for #3, the parking and circulation is all internal to the site. There is just one entry and exit. Paths are lit within the City of Scottsdale Design Guidelines. This intimacy encourages low speed, pedestrian traffic, and the occasional golf cart. Any large scale loading and service are exclusive to the nearby clubhouse, which keeps the oversized trucks separate from guests. The cart path indicated on the proposed site plan connects directly with the existing cart path that leads to the Clubhouse from the interior of the site. This allows the guests more convenient access to the Clubhouse, which is the managing entity of the site, than going onto the main street and around the exterior perimeter of the site.

5. Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.

Response: The overall architectural design of the villa buildings and the amenity building complement the existing clubhouse building without directly mirroring it. The patina color at the eaves of the roof, the stone walls and colors evoke a similarity across the site. The lines are crisp, clean and timeless. The native landscape character is influenced by the surrounding desert.

6. Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, appurtenances and utilities.

Response: The mechanical units that are mounted on the villa roofs will be screened from view with architectural elements that carryover from the vertical plane to horizontal to blend and not draw attention. All ground-mounted equipment will also be fully screened from view in a mechanical yard. Equipment will be consolidated as much as reasonably possible in order to reduce utility components throughout the site.

7. Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines and other design guidelines.

Response: The design conforms to the Environmentally Sensitive Lands Ordinance in this particular district. The landscape design will use a drip irrigation system consistent with the sensitive design principles. The hardscape will utilize a neutral color theme that compliments the architecture. Paint colors and other finish materials meet the required Light Reflectance Value for this location. The large overhangs at the patios, balconies and walkways provide multiple levels of shade and shadow across the buildings.

8. If the proposed development is located within the Environmentally Sensitive Lands (ESL) district, explain how the proposed development complies with the recommendations and guidelines that are described in the Environmentally Sensitive Lands (ESL) ordinance.

Response: The project is for Resort use which is consistent with the allowable use for this district. The Natural Open Space requirements have been exceeded in the proposed site design. The underground parking was eliminated from this proposal, which is a major change from previous cases.

9. If the proposed development is located within the HP, Historic Property district, then describe how the proposed development has utilized any unique or characteristic architectural features throughout the design of the project.

Response: This proposed development is not located in the Historic Property District.

10. If the proposed development is located within the Downtown District, then describe how the proposed development has incorporated urban character and pedestrian orientation throughout the design of the project.

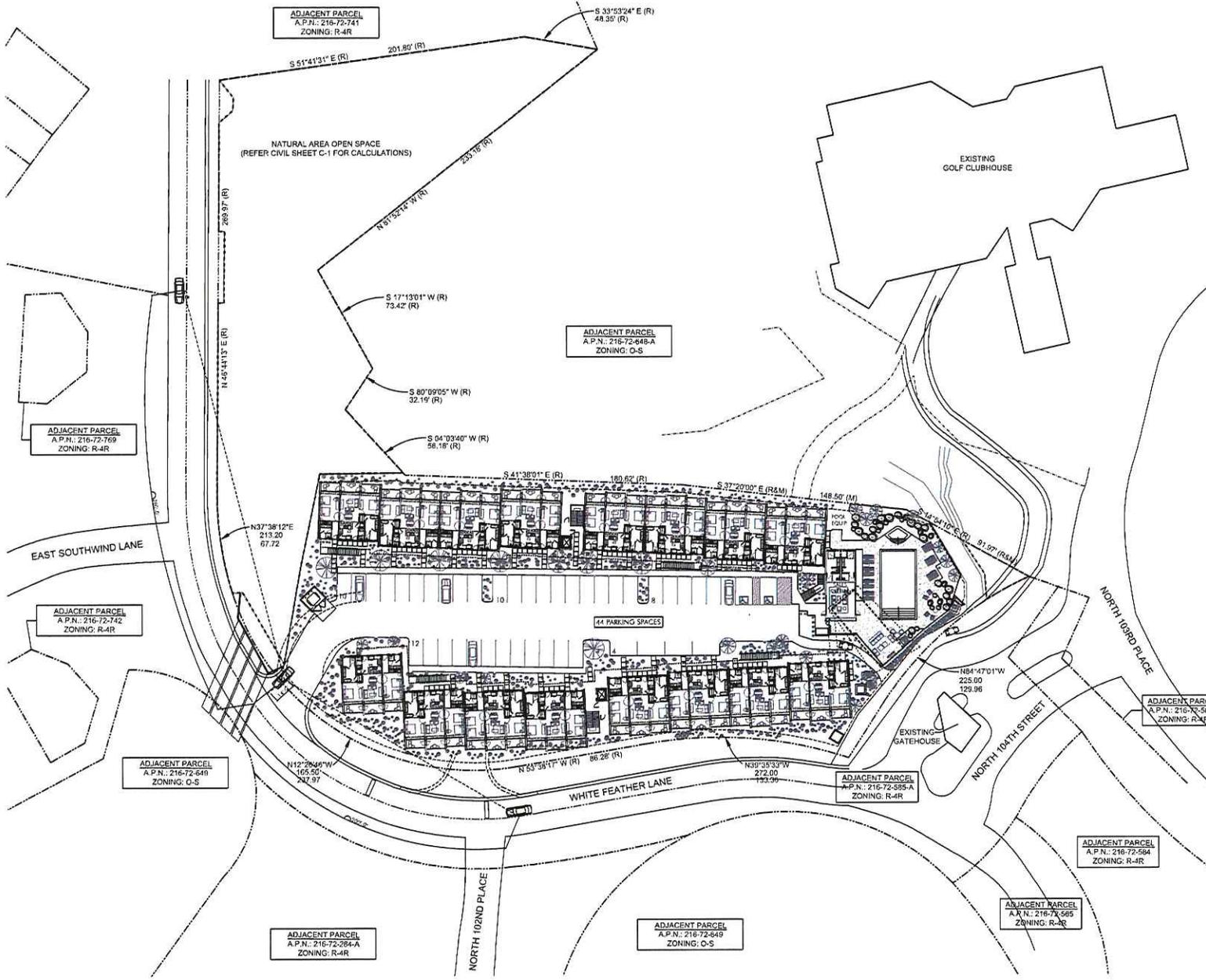
Response: This proposed development is not located within the Downtown District.

11. If the proposed development is located within the downtown district, then describe how the proposed development has incorporated traditional or southwestern design vernaculars, subdivided the building form into smaller character elements.

Response: This proposed development is not located within the Downtown District.

12. If the proposed development is located within the downtown district, then describe how the proposed development has incorporated the urban design and architectural design guidelines.

Response: This proposed development is not located within the Downtown District.



PROJECT TEAM

CLIENT: MBA DEVELOPMENT PARTNERS, LLC
 8325 E. VIA DE LOS FLORES
 SCOTTSDALE, AZ 85258
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 CONTACT: MIKE ANDERSON
 MIKE@CAPITAL.FUND1.COM

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 ANDREA LUCARELLI, AIA
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LANDSCAPE: LVA URBAN DESIGN STUDIO
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CIVIL ENGINEER: GRAHAM SURVEYING & ENGINEERING
 7406 EAST NONCHALANT
 CAREFREE, AZ 85377
 P. 480.488.4373
 CONTACT: NATHAN WYLLIE
 NWYLLIE@GRAHAMSANDE.COM

PROJECT DATA

PROJECT NAME: TROON NORTH VILLAS
 PROJECT ADDRESS: 10200 EAST DYNAMITE BLVD.
 SCOTTSDALE, ARIZONA 85262

A.P.N.: 216-72-585B
 C.O.S. QUARTER SECTION: 51-52
 LOT SIZE: NET AREA = 111,398 S.F. (2.55 ACRES)
 PARCEL ZONING: R4-R ESL (HD) RESORT
 SETBACKS: AN AVERAGE OF 5'-0" SETBACK
 BUILDING HEIGHT: 35'-0" (MAX. ALLOWABLE) ZONING CODE 28'-0" (PROPOSED BUILDING HEIGHT)

PROPOSED BUILDING AREAS:
 NORTH BUILDING: 10,250 S.F. 1ST FLR
 10,250 S.F. 2ND FLR
 SOUTH BUILDING: 10,250 S.F. 1ST FLR
 10,250 S.F. 2ND FLR
 AMENITY BUILDING: 900 S.F. 1ST FLR
 1,000 S.F. 2ND FLR
 TOTAL A/C AREA = 42,900 S.F.
 TOTAL OF 64 UNIT KEYS IN THE PROJECT
 32 KEYS IN THE N. AND S. BUILDINGS
 16 ON THE 1ST & 16 ON THE 2ND FLOOR

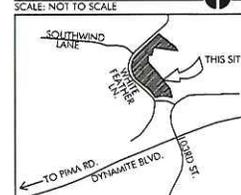
FLOOR AREA RATIO: 21,400 SF / 111,398 SF = 0.1921 F.A.R.
 PARKING CALCULATIONS:
 1.25 PARKING STALLS PER KEY REQUIRED.
 64 X 1.25 = 80 SPACES REQUIRED
 20% REDUCTION BASED ON THE MASTER PARKING STUDY - 64 SPACES REQUIRED

21 PARKING SPACES PROVIDED OFFSITE
 44 PARKING SPACES ONSITE
 65 SPACES PROVIDED
 ACCESSIBLE PARKING REQUIRED:
 44 ONSITE SPACES X .04 = 2 ACCESSIBLE SPACES
 2 ACCESSIBLE PARKING SPACES PROVIDED

BICYCLE PARKING:
 PARCEL CONTAINS 44 PARKING SPACES
 THEREFORE 4.4 MINIMUM BICYCLE SPACES
 REQUIRED, 6 PARKING SPACES PROVIDED.
 (SCOTTSDALE ZONING CODE, SECTION 9.103 C)

OPEN SPACE CALCULATIONS:
 REFER TO OPEN SPACE PLAN SHEET G004

VICINITY MAP



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 LIVING + ARCHITECTURE
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 SUITE C-100
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 PHARCH.COM

TROON NORTH VILLAS
 10200 EAST DYNAMITE BLVD.
 SCOTTSDALE, AZ, 85262

NOT FOR CONSTRUCTION DEVELOPMENT REVIEW SUBMITTAL

DRAWN BY: E. LOYA
 TITLE: ARCHITECT

PROJECT NO: 16027
 DATE: OCTOBER 21, 2016
 SHEET NO: SITE PLAN
 SCALE: 1" = 30'-0"
 DRAWING NUMBER: A100

1 SITE PLAN REFER ENLARGED SITE PLAN FOR ADDITIONAL INFORMATION
 SCALE: 1" = 30'-0"

KEYNOTES

1. PROPERTY LINE
2. 5'-0" SETBACK LINE
3. DASHED LINE OF SITE VISIBILITY TRIANGLE
4. DASHED LINE OF EXISTING CURB CUTS TO BE REMOVED PER CIVIL
5. EXISTING GOLF CART PATH TO REMAIN
6. EXISTING FIRE HYDRANT LOCATION
7. ACCESSIBLE PARKING SPACE, REFER DETAIL 12/A102 ON SITE DETAIL SHEET
8. 5'-0" WIDE ACCESSIBLE AISLE
9. DASHED LINE OF ACCESSIBLE TRAVEL ROUTE
10. +6'-0" MASONRY SCREEN WALL AROUND POOL EQUIPMENT
11. NEW BUILDING FOOTPRINT
12. NEW SIDEWALK
13. BIKE PARKING LOCATION, REFER DETAIL 5/A102 ON SITE DETAIL SHEET
14. NEW SES, LOCATED IN BUILDING NICHE
15. BOULDERS, REFER LANDSCAPE PLANS
16. NEW GOLF CART PATH CONNECTION
17. PROPOSED ELECTRICAL TRANSFORMER LOCATION
18. SITE ENTRY BOULDER SIGNAGE, REFER DETAIL ON LANDSCAPE SHEET
19. EXTERIOR ACCESSED FIRE RISER ROOM
20. DASHED LINE OF WALKWAY ABOVE
21. DASHED LINE OF FIRE TRUCK RADIUS (49' OUTSIDE EDGE RADIUS, 55' RADIUS FOR AERIAL BUCKET CLEARANCE)
22. +6'-0" MASONRY SCREEN WALL AROUND REFUSE REFER DETAILS 8/A102 AND 9/A102 ON SITE DETAIL SHEET
23. ACCESSIBLE PARKING SIGNAGE, REFER DETAIL 1/A102 ON SITE DETAIL SHEET
24. EXTERIOR STAIRS
25. ELEVATOR
26. POOL FENCE, REFER DETAILS ON LANDSCAPE DETAIL SHEET

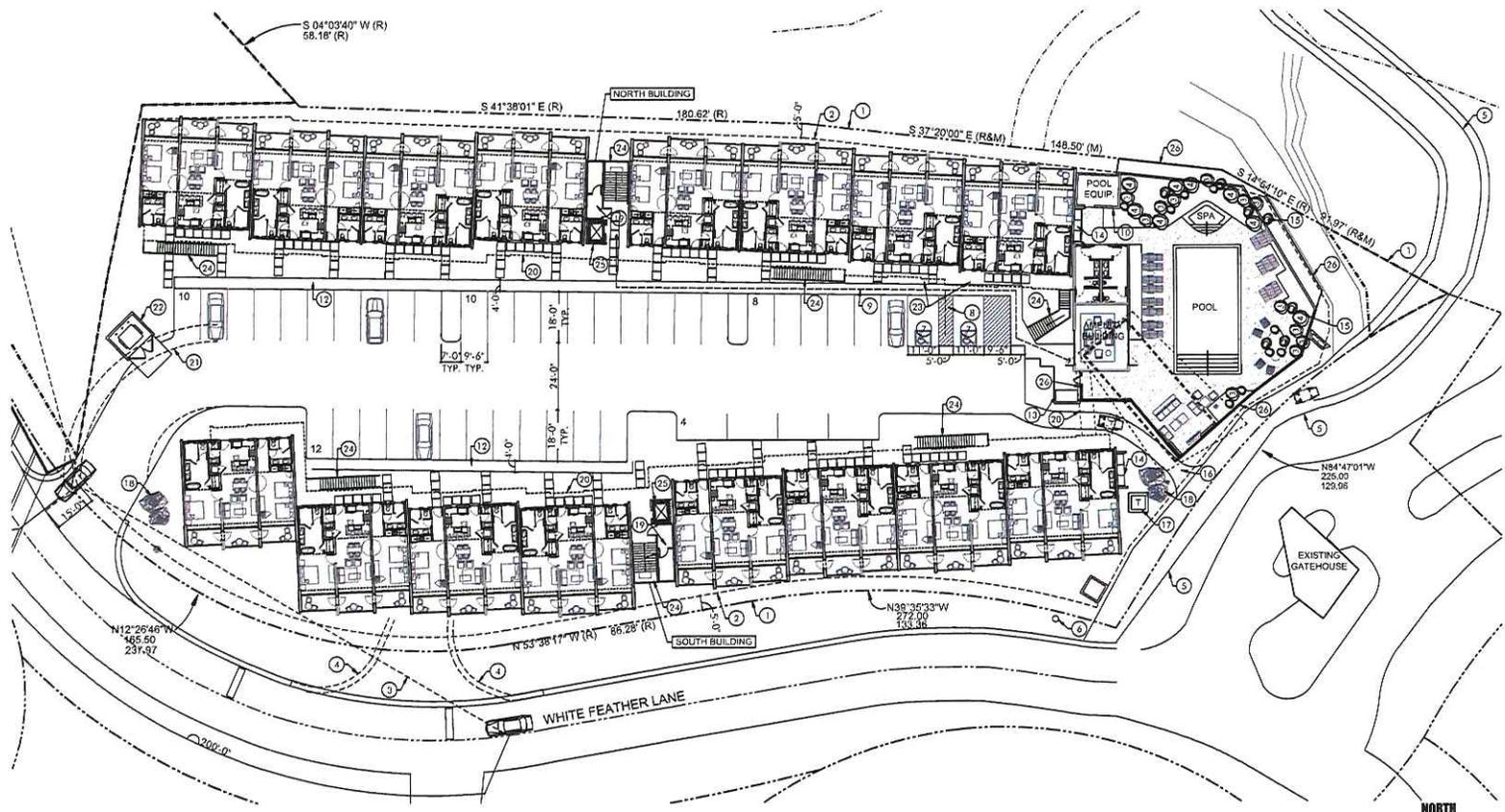
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SCOTTSDALE, AZ, 85262

NOT FOR CONSTRUCTION DEVELOPMENT REVIEW SUBMITTAL

DRAWN BY: E. LOYA
TITLE BLOCK

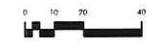


1 ENLARGED SITE PLAN

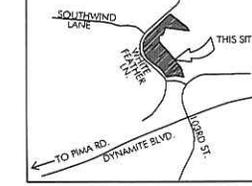
SCALE: 1" = 20'-0"

CITY OF SCOTTSDALE SITE PLAN NOTES

1. SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
2. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
3. THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES INSPECTION SERVICES DIVISION.
4. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
5. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
6. A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
7. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
8. FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
9. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
10. PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
11. BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF THE TALLEST UNIT. (DETAILS ARE STILL REQUIRED.)
12. ALL EQUIPMENT, UTILITIES, OR OTHER APPLIANCE/ENANCES ATTACHED TO THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
13. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
14. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20' IN HEIGHT.
15. NO CHAIN LINK FENCING SHALL BE ALLOWED.
16. NO TURF AREAS SHALL BE PROVIDED.



VICINITY MAP
SCALE: NOT TO SCALE

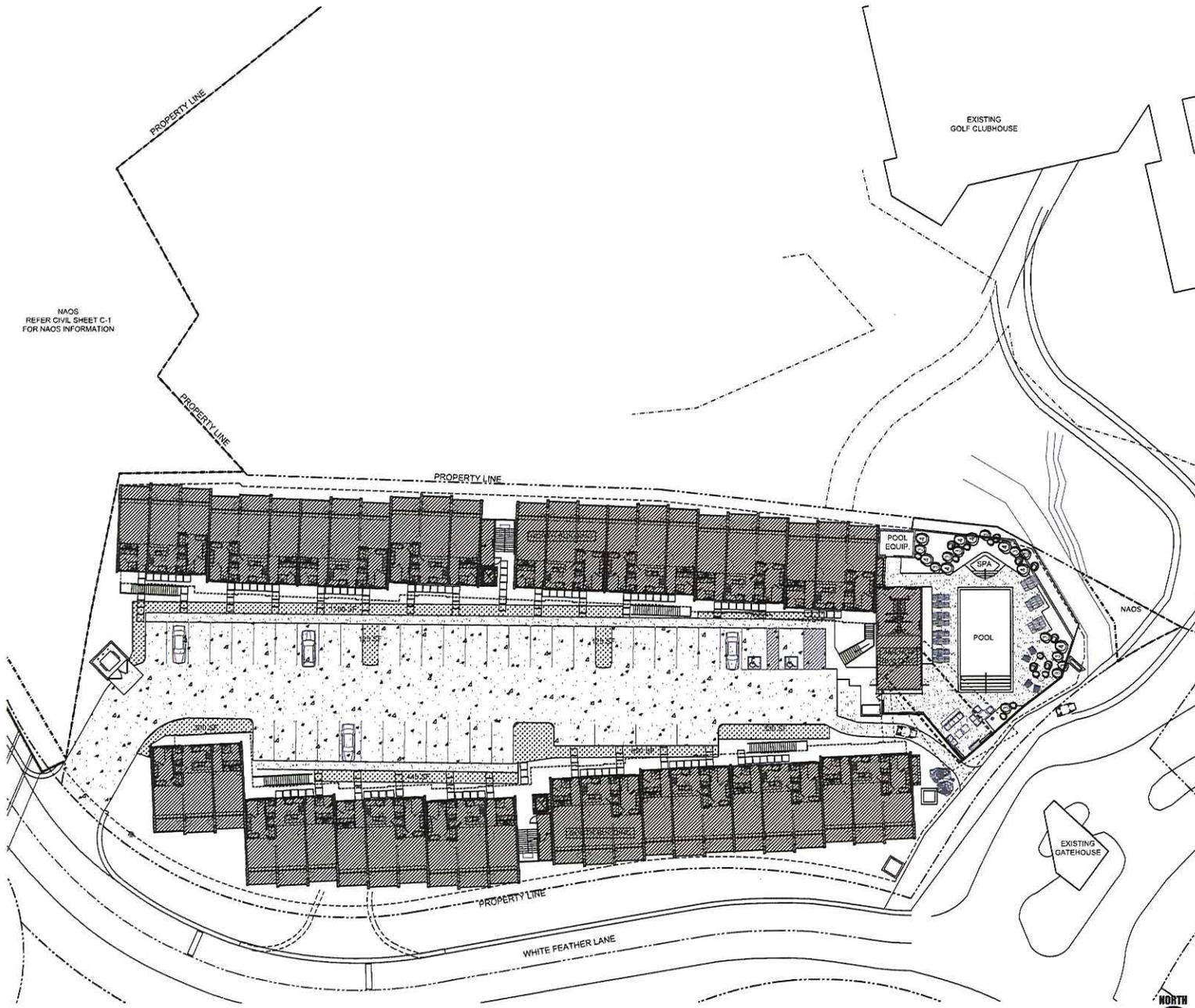


PROJECT NO: 16027
DATE: OCTOBER 21, 2016

ENLARGED SITE PLAN
SCALE: 1" = 20'-0"

A101

48-DR-2007 #2
10/21/2016



NAOS
REFER CIVIL SHEET C-1
FOR NAOS INFORMATION

EXISTING
GOLF CLUBHOUSE

OPEN SPACE CALCS.

PROJECT ZONING: R4-R ES(L) HO
 NET LOT AREA: 111,398 S.F.
 BUILDING HEIGHT: 28'-0"
 DEVELOPMENT DATA:
 NORTH BUILDING (FOOTPRINT) = 12,500 S.F.
 SOUTH BUILDING (FOOTPRINT) = 12,500 S.F.
 AMENITY BUILDING (1ST FLR.) = 900 S.F.
 POOL DECK AREA = 3,000 S.F.
 POOL + SPA = 1,215 S.F.
 POOL EQUIPMENT/REFUSE/SES = 500 S.F.
 TOTAL DEVELOPED AREA = 30,615 S.F.
 PARKING AREA OPEN SPACE:
 PARKING AREA = 16,600 S.F.
 PARKING LANDSCAPE REQUIRED = 15% AREA
 16,600 X 15% = 2,490 S.F.
 PARKING LANDSCAPE PROVIDED = 3,305 S.F.
 OPEN SPACE CALCULATIONS
 111,398 (TOTAL LOT SITE)
 - 38,593 (NAOS AREA PER CIVIL SHEET)
 - 30,615 (PROPOSED DEVELOPMENT AREA)
 - 16,600 (PARKING AREA)
 - 3,305 (PARKING LANDSCAPE AREA)
 = 22,285 S.F. OPEN SPACE ON SITE (20.0%)

PHX
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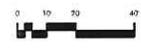
HATCH LEGEND

- PARKING AREA
= 16,600 s.f.
- PARKING LOT LANDSCAPING
= 3,305 S.F.
- BUILDING FOOTPRINT
- HARDSCAPE AREA

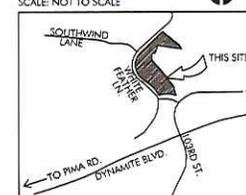
TROON NORTH VILLAS
10200 EAST DYNAMITE BLVD.
SCOTTSDALE, AZ, 85262

NOT FOR
CONSTRUCTION
DEVELOPMENT
REVIEW SUBMITTAL

DESIGNER: E. LOYA
SCALE:



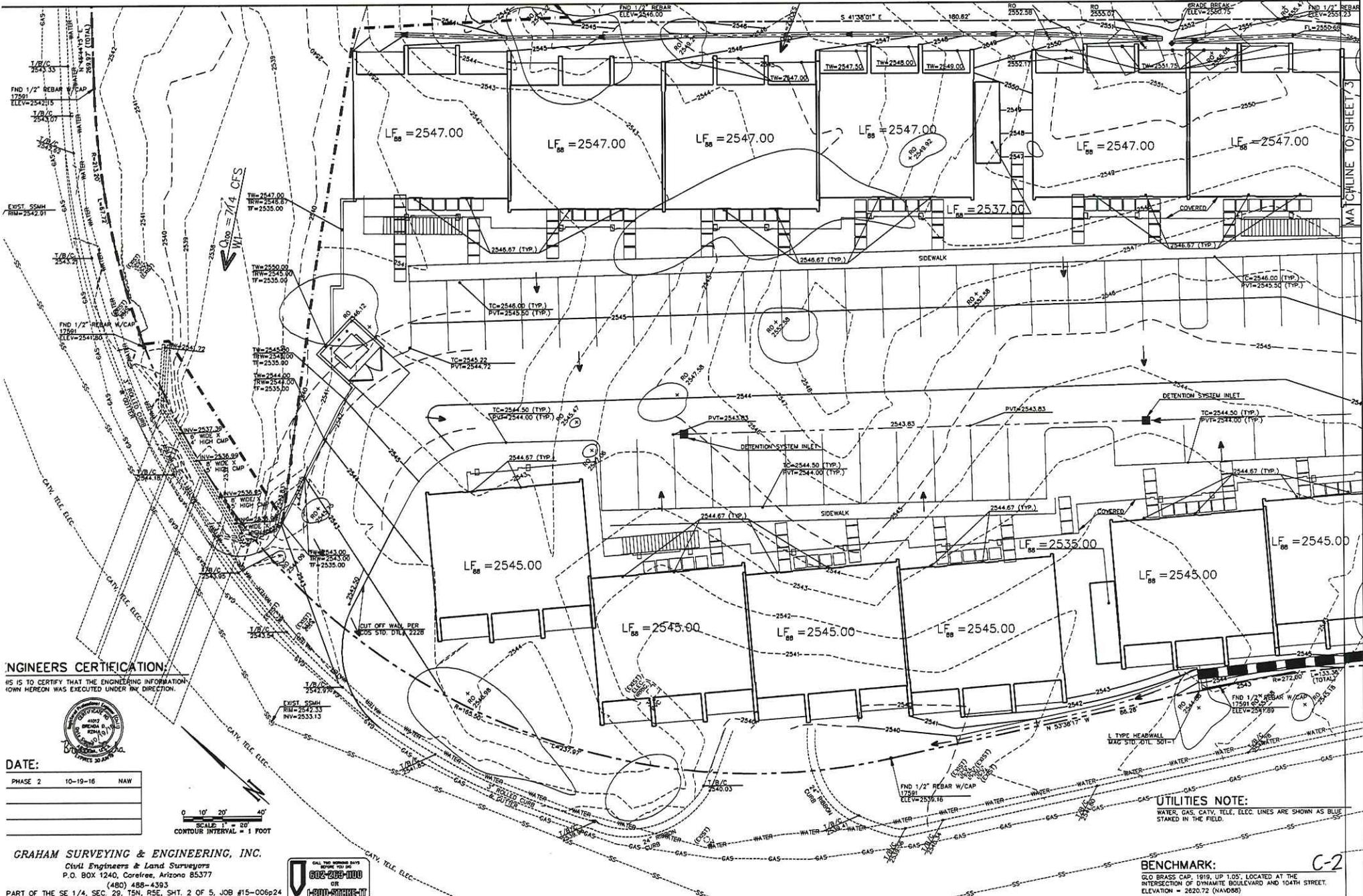
VICINITY MAP



PROJECT NO: 16027
DATE: OCTOBER 21, 2016
DRAWN BY: OPEN SPACE
PLAN
SCALE: 1" = 20'-0"

1 OPEN SPACE PLAN REFER SITE PLAN SHEET A100 FOR ENTIRE PARCEL / REFER CIVIL SHEET C-1 FOR NAOS CALCULATIONS
SCALE: 1" = 20'-0"

G004



ENGINEERS CERTIFICATION:

WE HEREBY CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



DATE: PHASE 2 10-19-16 NAW

SCALE: 1" = 20'
CONTOUR INTERVAL = 1 FOOT

CRAHAM SURVEYING & ENGINEERING, INC.
Civil Engineers & Land Surveyors
P.O. BOX 1240, Coconino, Arizona 85377
(480) 488-4393



PART OF THE SE 1/4, SEC. 29, T5N, R5E, SHT. 2 OF 5, JOB #15-006p24

UTILITIES NOTE:
WATER, GAS, CATV, TELE, ELEC. LINES ARE SHOWN AS BLUE STAKED IN THE FIELD.

BENCHMARK:
GLO BRASS CAP, 1819, UP 1.05', LOCATED AT THE INTERSECTION OF DYNAMITE BOULEVARD AND 104TH STREET. ELEVATION = 2620.72 (NAVD88)

C-2

48-DR-2007 #2
10/21/2016

OFFSITE PARKING LOT

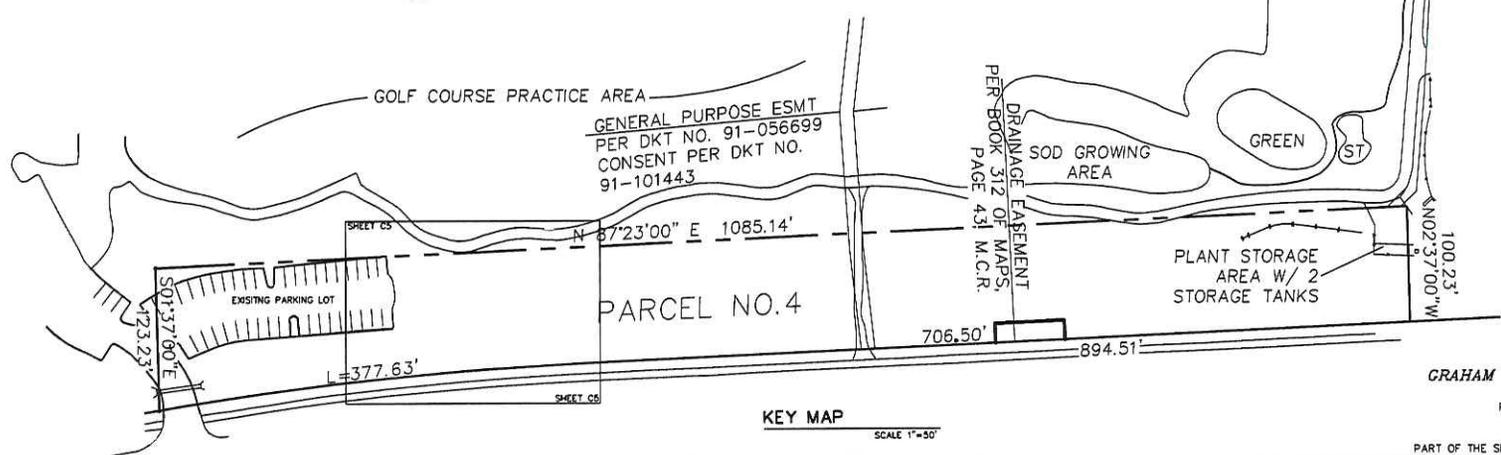
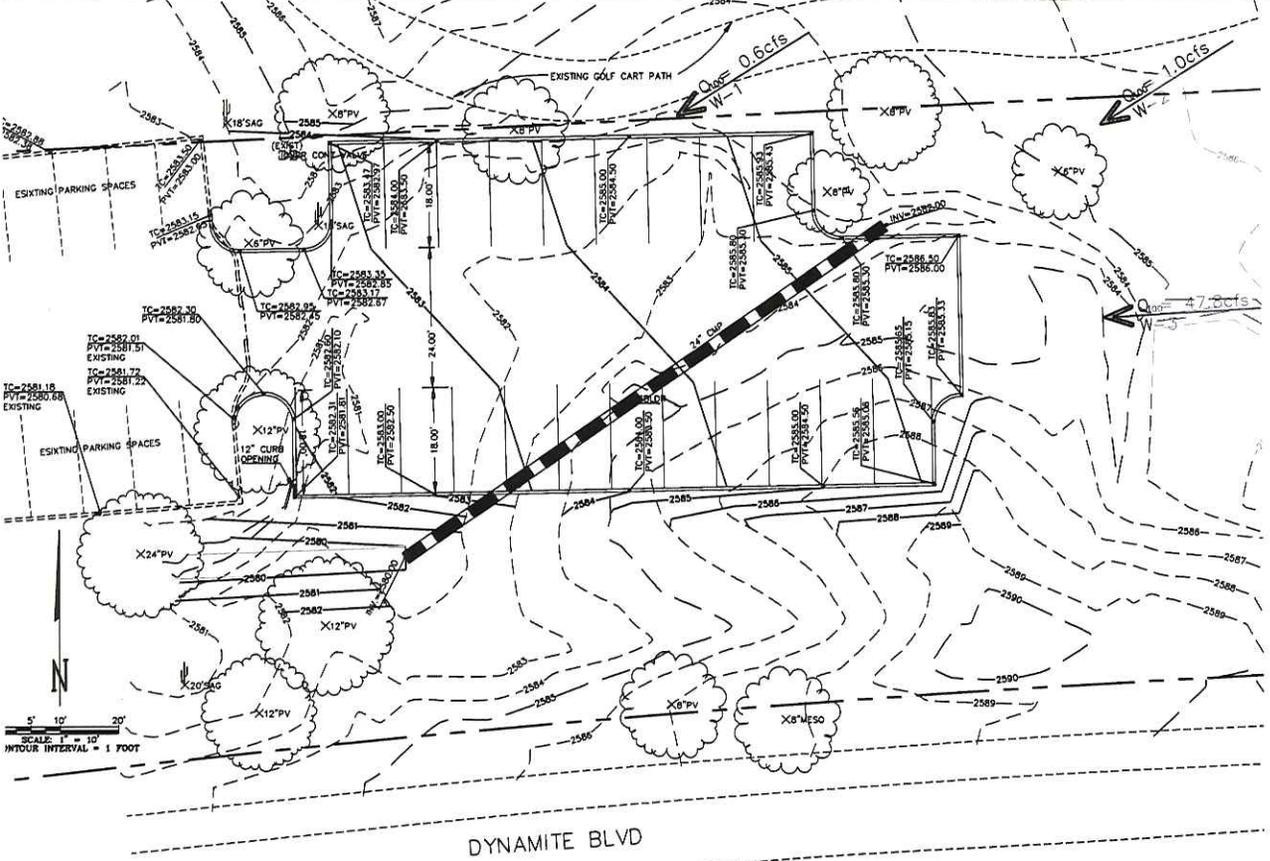
LEGAL DESCRIPTION:

PARCEL NO. 4
 THAT PORTION OF SECTIONS 28 AND 29, TOWNSHIP 5 NORTH, RANGE 13 EAST OF THE 6TH AND 54TH MERIDIAN AND MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE NORTH 02 DEGREES 57 MINUTES 00 SECONDS WEST A DISTANCE OF 140.00 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF DYNAMITE BLVD AS SHOWN ON THE MAP OF DESIGNATION FOR MARICOPA COUNTY RECORDS IN BOOK 202 OF MAPS, PAGE 43 MARICOPA COUNTY RECORDS, MARICOPA COUNTY, ARIZONA; THENCE NORTH 02 DEGREES 27 MINUTES 00 SECONDS WEST A DISTANCE OF 706.50 FEET; THENCE NORTH 87 DEGREES 23 MINUTES 00 SECONDS EAST A DISTANCE OF 1085.14 FEET; THENCE SOUTH 87 DEGREES 23 MINUTES 00 SECONDS EAST A DISTANCE OF 894.51 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID DYNAMITE BLVD AS SHOWN ON THE MAP OF DESIGNATION FOR MARICOPA COUNTY RECORDS IN BOOK 202 OF MAPS, PAGE 43 MARICOPA COUNTY RECORDS, MARICOPA COUNTY, ARIZONA; THENCE SOUTH 87 DEGREES 23 MINUTES 00 SECONDS WEST ALONG THE NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 706.50 FEET TO A POINT OF BEGINNING; WHOLE CORNER BEARS THE BEARING OF 27 MINUTES 00 SECONDS EAST A DISTANCE OF 140.00 FEET; BEING CONTAINING ALONG SAID NORTHERLY RIGHT OF WAY LINE AND ALONG THE LINE OF SAID CORNER THEREIN A CENTRAL ANGLE OF 87 DEGREES 23 MINUTES 00 SECONDS TO THE LEFT AN AREA OF 20.00 ACRES, 0.000000 ACRES BEING MORE OR LESS, A CORNER BEARING OF 87 DEGREES 23 MINUTES 00 SECONDS WEST TO THE TRUE POINT OF BEGINNING.

NO NATIVE PLANTS TO BE DISTURBED

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



GRAHAM ENGINEERING & SURVEYING INC.
 Civil Engineers & Land Surveyors
 P.O. BOX 1243, Coonville, Arizona 85377
 (480) 488-4393

PART OF THE SE 1/4, SEC. 29, T5N, R5E, SHT. 5 OF 5, JOB #15-006P24

48-DR-2007 #2
 10/21/2016



Troon North Golf Villas

Design Review Landscape Plan



POOL DECK & COPING
TO BE ARTISTIC PAVERS

DOUBLE SIDED
CAMP FIRE STYLE
FIRE PIT AREA

SPA

POOL

SALES
CENTER

EQ

FP

POOL ENTRY GATE

GOLF CART PARKING

PRIMARY
CART PATH

ACCENT VIEW FENCING

MESH POOL FENCING

SECONDARY
CART PATH

PEDESTRIAN
SIGNAGE

LVA urban design studio
land planning • development entitlements • landscape architecture
120 south ash avenue • tempe, arizona 85281 • 480.994.0994

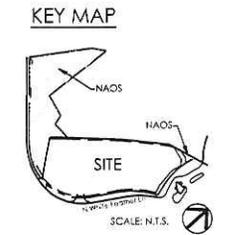
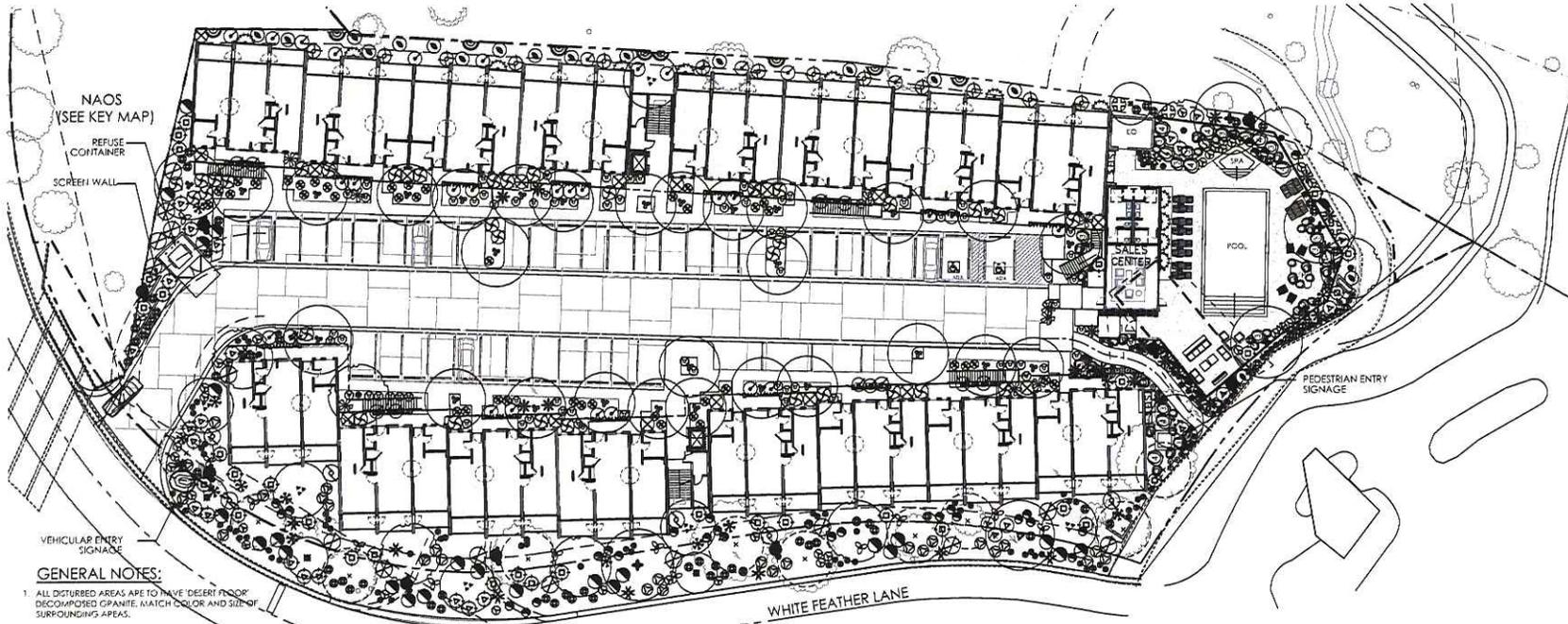
Troon North Golf Villas

Design Review Amenity Plan

APPROX. SCALE: 1"=10'
NORTH
1654 DRAWN BY: TEAM 10/19/16

PRELIMINARY NOT FOR CONSTRUCTION - SUBJECT TO ENGINEERING AND CITY REVIEW AND APPROVAL - © COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.
This document, together with the sketches and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it is prepared. Re-use of said instrument without the written authorization and redaction by LVA Urban Design Studio, LLC shall be without liability to LVA Urban Design Studio, LLC.
U:\1654-TROON NORTH GOLF VILLAS\CAD\LSI\DWG\1654-1654 TROON PRELIM.dwg 04.18.2016

48-DR-2007 #2
10/21/2016



GENERAL NOTES:

1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE, MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOLLARDS ARE TO BE SURFACE SELECT SITE BOLLARDS, 1/3 BURIED IN SOIL, TYP.
4. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUND COVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
7. MEDIANS LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE DS&PA.
8. EMERGENCY ACCESS TO BE KEPT CLEAR.

REVEGETATION & IRRIGATION METHOD

1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS. MANUAL FOR REVEGETATED PORTIONS OF THE SITE. A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT GROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPE. CONTAINER-GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH DRIP IRRIGATION, DEPENDING UPON THE SEASON AT TIME OF HYDROSEED INSTALLATION. EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GERMINATION.

PLANT LEGEND

TREES		MIN. SIZE
EXISTING TREE	N/A	N/A
ACACIA GREGGII	CATCLAW ACACIA	3/4" CALIPER
CELTIS RETICULATA	DESERT HACKBERRY	3/4" CALIPER
CERCIDIUM FLORIDUM	BLUE PALO VERDE	3" CALIPER
CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	1.5" CALIPER
CHILOPSIS LINEARIS	DESERT WILLOW VAR. 'BURBID'	1.5" CALIPER
OLNEYA TESOTA	IRONWOOD	3" CALIPER
PROSOPIS VELUTINA	MESQUITE	1.5" CALIPER
SHRUBS & ACCENTS		MIN. SIZE
AGAVE SP.	CENTURY PLANT	5 GAL.
AMBROSIA AMBROSIOIDES	GIANT BURSAE	3 GAL.
AMBROSIA DELTOIDEA	BURSAGE	3 GAL.
CALLANDRA ERIOPHYLLA	FAIRY DUSTER	3 GAL.
CARNEGIEA GIGANTEA	SAGUARO	SPEAR
CYLINDROPUNTIA FULGIDA	CHOLLA	5 GAL.
DASYLIRON WHEELERI	DESERT SPOON	5 GAL.
EPICAMERIA LARICIFOLIA	TURPENTINE BUSH	3 GAL.
FEROCACTUS WILZHENII	BARREL CACTUS	5 GAL.
FOUGIERIA SPLENDENS	DESERT LAVENDER	5 GAL.
HOLCANTHA EMORYI	CRUCIFIXION THORN	3 GAL.
HYPTIS EMDRYI	DESERT LAVENDER	3 GAL.
JUSTICIA CALIFORNICA	CHUPAROSA	3 GAL.
LARREA TRIDENTATA	CREOSOTE	3 GAL.
OPUNTIA ENGELMANNII	PRICKLY PEAR	5 GAL.

Ⓟ	SIMMONDSIA CHINENSIS	JOJOBA	3 GAL.
Ⓟ	VIGUIERA DELTOIDEA	GOLDENEYE	3 GAL.
Ⓟ	YUCCA ELATA	YUCCA	5 GAL.
Ⓟ	GROUND COVERS		MIN. SIZE
Ⓟ	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL.
Ⓟ	DYSSODIA PENTACHETA	DOGWEED	1 GAL.
Ⓟ	MELAMPODIUM LEUCANTHUM	BLACKFOOT DAISY	1 GAL.
Ⓟ	PELISTEMON SP.	PENTAGON	1 GAL.
Ⓟ	PSILOSTROPHIE COOPERI	PAPERFLOWER	1 GAL.
Ⓟ	SPHAERALCEA AMBIGUA	DESERT GLOBEMALLOW	1 GAL.
Ⓟ	VERBENA SP.	VERBENA	1 GAL.
Ⓟ	INERT MATERIALS		
Ⓟ	SURFACE SELECT BOLLARDS	TO MATCH ON-SITE ROCK COLOR	
Ⓟ	RAVED NATIVE SOIL	IN ALL PLANTING AREAS	

REVEGETATED NAOS AND ENHANCED DESERT OPEN SPACE TO INCLUDE A COMBINATION OF REVEGETATED PLANT MATERIALS, PLANT MATERIAL AS LISTED ABOVE AND HYDROSEED MIX. AREAS AND LOCATIONS TO BE DETERMINED AT FINAL PLAN SUBMITTAL.

HYDROSEED MIX - APPLY AT RATE OF 15 PLS LBS/ACRE

	PLS LBS / ACRE
AMBROSIA DELTOIDEA	3.0
ATROPIS CANESCENS	3.0
ENCELIA FARINOSA	2.0
ERICAMERIA LARICIFOLIA	1.0
LARREA TRIDENTATA	2.0
SENNA COVESEI	2.0
SPHAERALCEA AMBIGUA	2.0
TRIANGLE-LEAF BURSAE	3.0
FOUR-WINGS SALTBUCH	2.0
BRITTLEBUSH	2.0
TURPENTINE BUSH	1.0
CREOSOTE BUSH	2.0
DESERT SENNA	2.0
GLOBEMALLOW	2.0

PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2.1903.

INTERIOR PLANT LEGEND

Ⓟ	TREES		
Ⓟ	PARKINSONIA HYBRID	'DESERT MUSEUM'	36" BOX
Ⓟ	PALO VERDE	PALO VERDE	SIZE
Ⓟ	SHRUBS & ACCENTS		SIZE
Ⓟ	ALOE SP.	ALOE	5 GAL.
Ⓟ	CAESALPINIA PULCHERRIMA	BIRD OF PARADISE	5 GAL.
Ⓟ	CALLISTEMON VIMINALIS	LITTLE JOHN BOTTLEBRUSH	5 GAL.
Ⓟ	EREMOPHILA MACULATA	VALENTINE BUSH	5 GAL.
Ⓟ	HESPERALOE SP.	HESPERALOE	5 GAL.
Ⓟ	JUSTICIA SPICIGERA	MEXICAN HONEYSUCKLE	5 GAL.
Ⓟ	MUHLENBERGIA LINDHIBERI	DEER GRASS	5 GAL.
Ⓟ	PHOENIX ROEBELII	PYGMY DATE PALM	5 GAL.
Ⓟ	PACHYCEPERUS MARGINATUS	MEXICAN FENCEPOST	5 GAL.
Ⓟ	PEDILANTHUS MACROCARPUS	SLIPPER PLANT	5 GAL.
Ⓟ	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL.
Ⓟ	RUELLIA SP.	PUELLIA	5 GAL.
Ⓟ	TECOMA ALATA	'ORANGE JUBILEE'	5 GAL.
Ⓟ	VINES		SIZE
Ⓟ	BIGNONIA CAPREOLATA	CROSSVINE	5 GAL.
Ⓟ	BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL.
Ⓟ	HARDYBERGIA VIOLEACEA	PURPLE VINE LILAC	5 GAL.
Ⓟ	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GAL.
Ⓟ	TRACHELOSPERMUM SP.	STAR JASMINE	5 GAL.
Ⓟ	GROUND COVER		SIZE
Ⓟ	BOUGAINVILLEA 'X'OO LA LA'	BOUGAINVILLEA	1 GAL.
Ⓟ	HYMENOXYS ACAULIS	ANGELITA DAISY	1 GAL.
Ⓟ	LANTANA 'NEW GOLD'	LANTANA	1 GAL.
Ⓟ	ROSMARINUS OFFICINALIS	'PROSTRATUS' ROSEMARY	1 GAL.
Ⓟ	RUELLIA BRITTONIANA 'KATIE'	DWARF KATIE RUELLIA	1 GAL.
Ⓟ	SEICRESEA PALLIDA	PURPLE HEART	1 GAL.
Ⓟ	TEUCRIUM C. 'PROSTRATA'	CREEPIG GERMANDER	1 GAL.
Ⓟ	WEDELIA TRILOBATA	YELLOW DOT	1 GAL.
Ⓟ	ZEPHYRANTHES SP.	PRAIRIE SUNSET RAIN LILY	1 GAL.

PROJECT TEAM

Discipline	Company Contact Info.
Client	ODR West Dier Roommiller 8322 E Via De Las Flores Scottsdale, AZ 85258 602-486-5338
Landscape Architect	LVA Urban Design Studio Laura Thelen, RLA, LEED-AP 120 South Ash Avenue Tempe, Arizona 85281 480.994.0994 lthelen@lva-design.com
Architect	PHX Architecture Andrea Lucarelli, AIA 15970 N. Greenway-Havdon Loop Suite C 100 Scottsdale, AZ 85260 480-477-1111 althelen@phxarch.com

LVA urban design studio
land planning • development entitlements • landscape architecture
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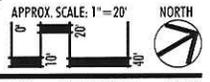
Troon North Golf Villas

Design Review Landscape Plan
1 of 5 - OVERALL LANDSCAPE PLAN

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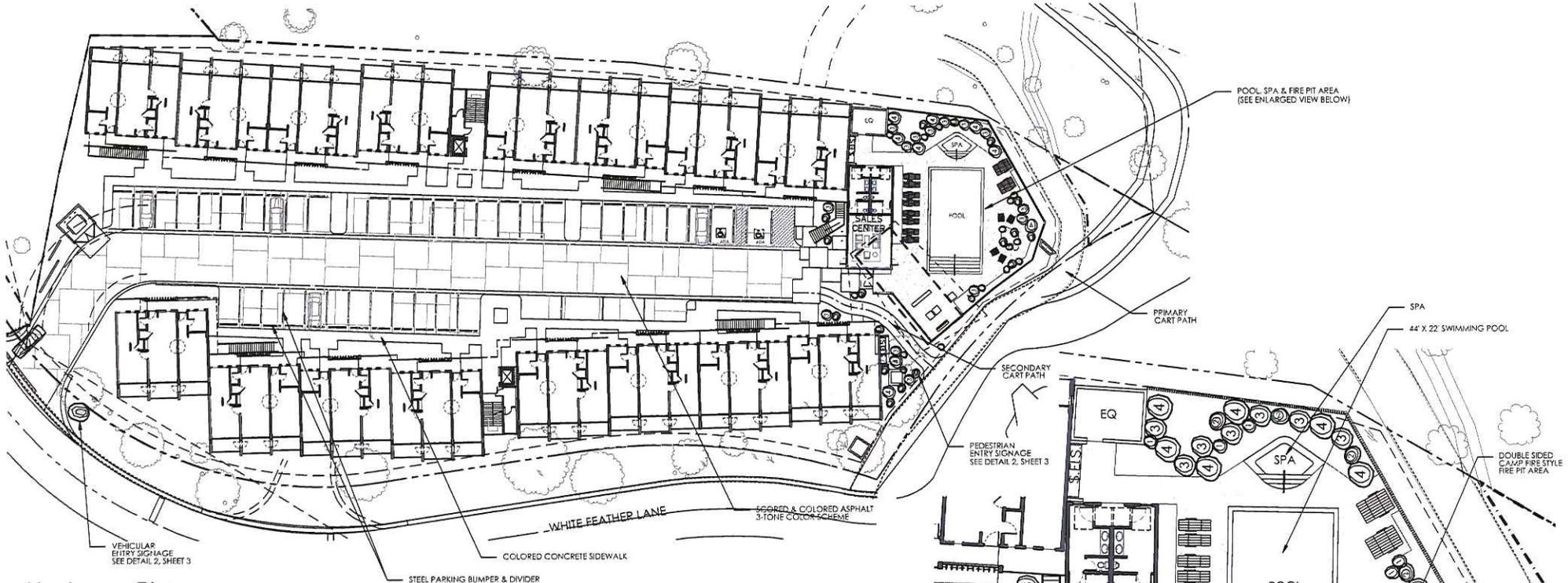
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11/16/24 TROON NORTH GOLF VILLAS CAD/LS/SH/HT/MS/KLS/BAK-16/4 TROON PRELIM.dwg Oct 20, 2014

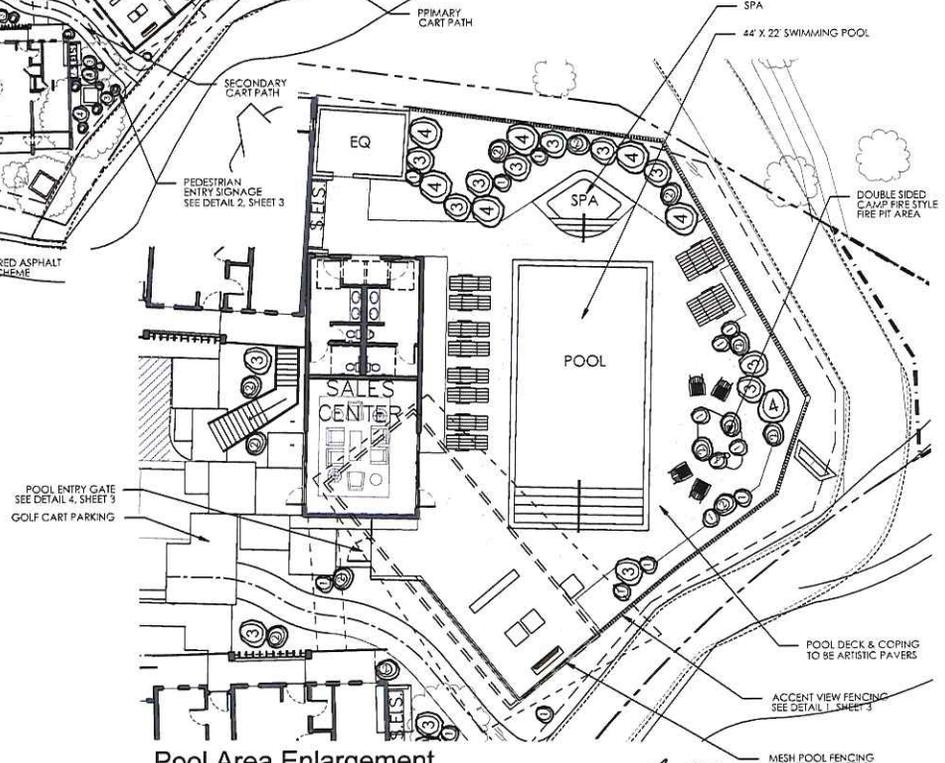


1654 DRAWN BY: TEAM 10/19/16

48-DR-2007 #2
10/21/2016



Hardscape Plan
SCALE: 1" = 20'-0"



Pool Area Enlargement
SCALE: 1" = 10'-0"

Troon North Golf Villas

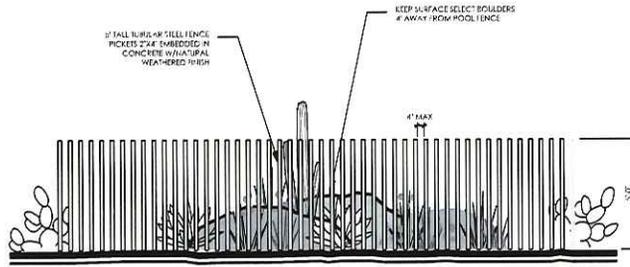
Design Review Landscape Plan
2 of 5 - HARDSCAPE PLAN

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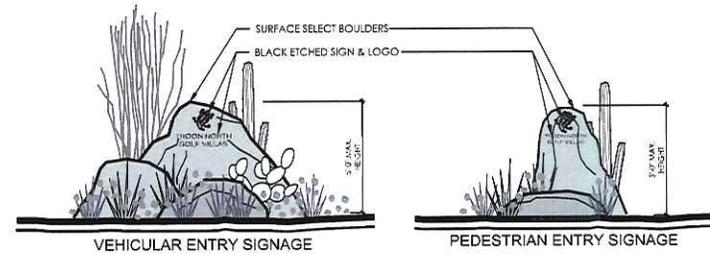
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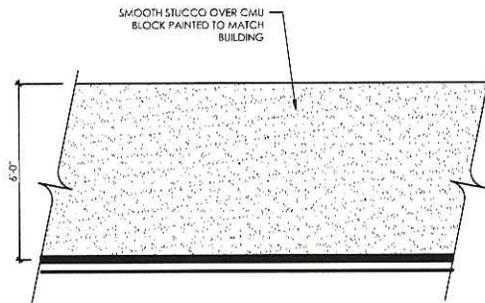
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10/21/2016



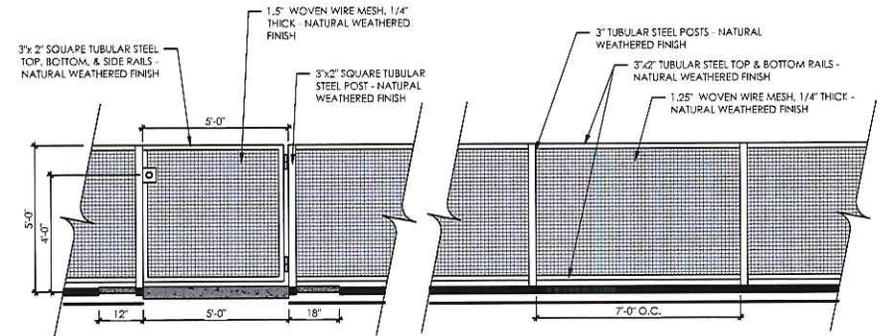
1 Accent View Fence Elevation
SCALE: 3/8" = 1'-0"



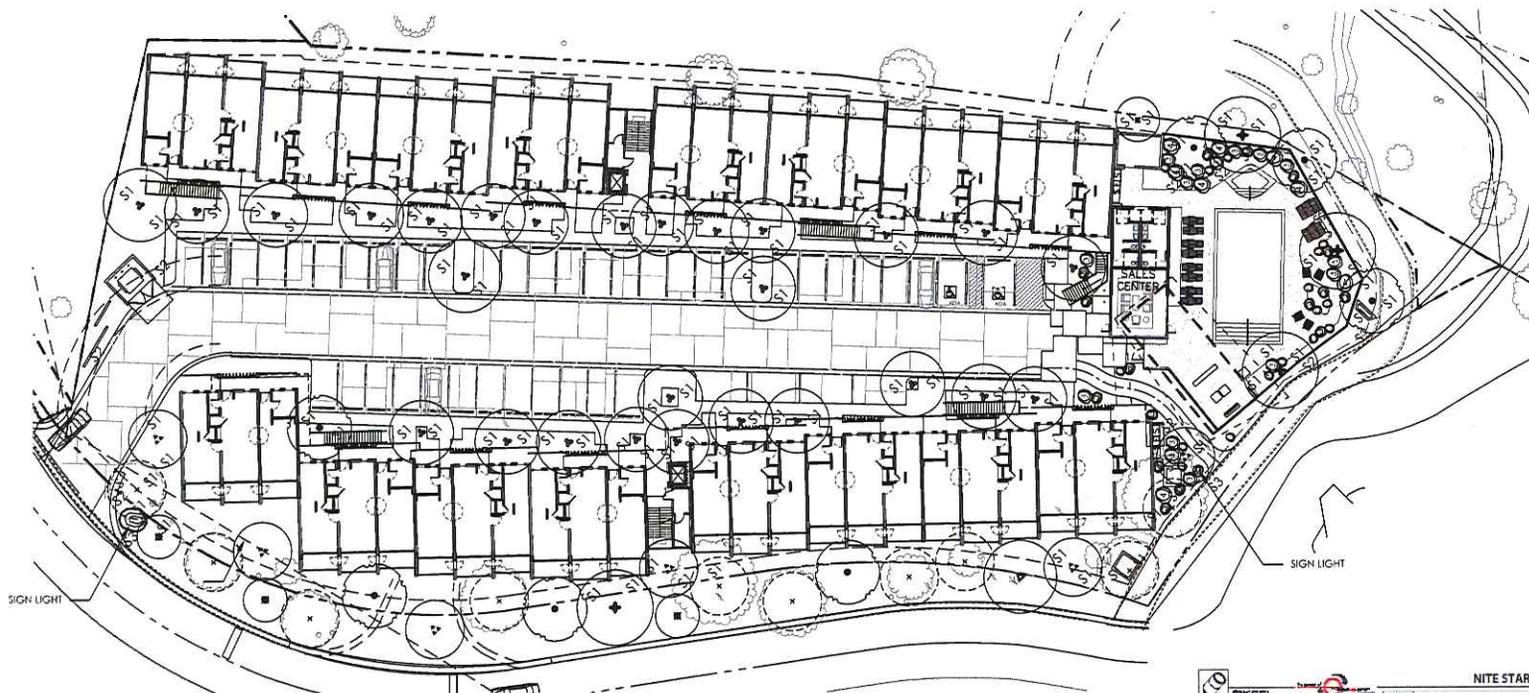
2 Project Signage
SCALE: 3/8" = 1'-0"



3 Screen Wall Elevation
SCALE: 3/8" = 1'-0"

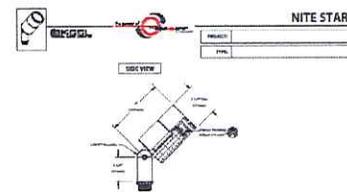


4 Pool Fence & Gate
SCALE: 1/2" = 1'-0"



Landscape Lighting Plan
SCALE: 1" = 20'-0"

Landscape Schedule								
Symbol	Quantity	Description	Quantity	Height	Width	Material	Notes	
S1	3000	B-K_LIGHTING NS-LED-66-MFL-13-RUST-3000K-TREE CABLE	3000	1,000	6,95	394	N.A.	37
S2	3000	MK_USA CMBL-150-RUST FINISH-3000K- 16" TALL BOLLARD	3000	1,000	7,77	178	BD-UH-GO	10
S3	3000	B-K_LIGHTING NS-LED-66-MFL-13-RUST FINISH-3000K- AT GRADE SIGN	3000	1,000	6,95	394	N.A.	4



Specifications

Material Selection:

- Finish: Rust finish
- Material: Aluminum
- Light Source: LED
- Color Temperature: 3000K

Installation:

- Mounting: At-grade
- Height: 16"
- Width: 1.78"

Notes:

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

2. The lighting fixtures shall be installed in a manner that provides uniform illumination of the site.

3. The lighting fixtures shall be installed in a manner that provides a high level of safety and security.

4. The lighting fixtures shall be installed in a manner that provides a high level of energy efficiency.

5. The lighting fixtures shall be installed in a manner that provides a high level of durability.

6. The lighting fixtures shall be installed in a manner that provides a high level of aesthetic appeal.

7. The lighting fixtures shall be installed in a manner that provides a high level of performance.

8. The lighting fixtures shall be installed in a manner that provides a high level of reliability.

9. The lighting fixtures shall be installed in a manner that provides a high level of safety.

10. The lighting fixtures shall be installed in a manner that provides a high level of security.

11. The lighting fixtures shall be installed in a manner that provides a high level of energy efficiency.

12. The lighting fixtures shall be installed in a manner that provides a high level of durability.

13. The lighting fixtures shall be installed in a manner that provides a high level of aesthetic appeal.

14. The lighting fixtures shall be installed in a manner that provides a high level of performance.

15. The lighting fixtures shall be installed in a manner that provides a high level of reliability.

16. The lighting fixtures shall be installed in a manner that provides a high level of safety.

17. The lighting fixtures shall be installed in a manner that provides a high level of security.

18. The lighting fixtures shall be installed in a manner that provides a high level of energy efficiency.

19. The lighting fixtures shall be installed in a manner that provides a high level of durability.

20. The lighting fixtures shall be installed in a manner that provides a high level of aesthetic appeal.

HK USA Lighting Group

ZXL11-HP
Vintage - 2011 Series

Characteristics

- Material: Heavy duty cast aluminum
- Finish: Powder coated aluminum
- Light Source: LED
- Color Temperature: 3000K
- Height: 11"
- Width: 11"
- Depth: 11"

Technical Data

- Power: 10W
- Beam Spread: 120°
- Mounting: Flush

Ordering Guide

Series	ZXL11-HP
Finish	Black
Light Source	LED
Color Temp	3000K
Height	11"
Width	11"
Depth	11"

HK USA Lighting Group

CMBL-150
Bollard and Sign - LED

Characteristics

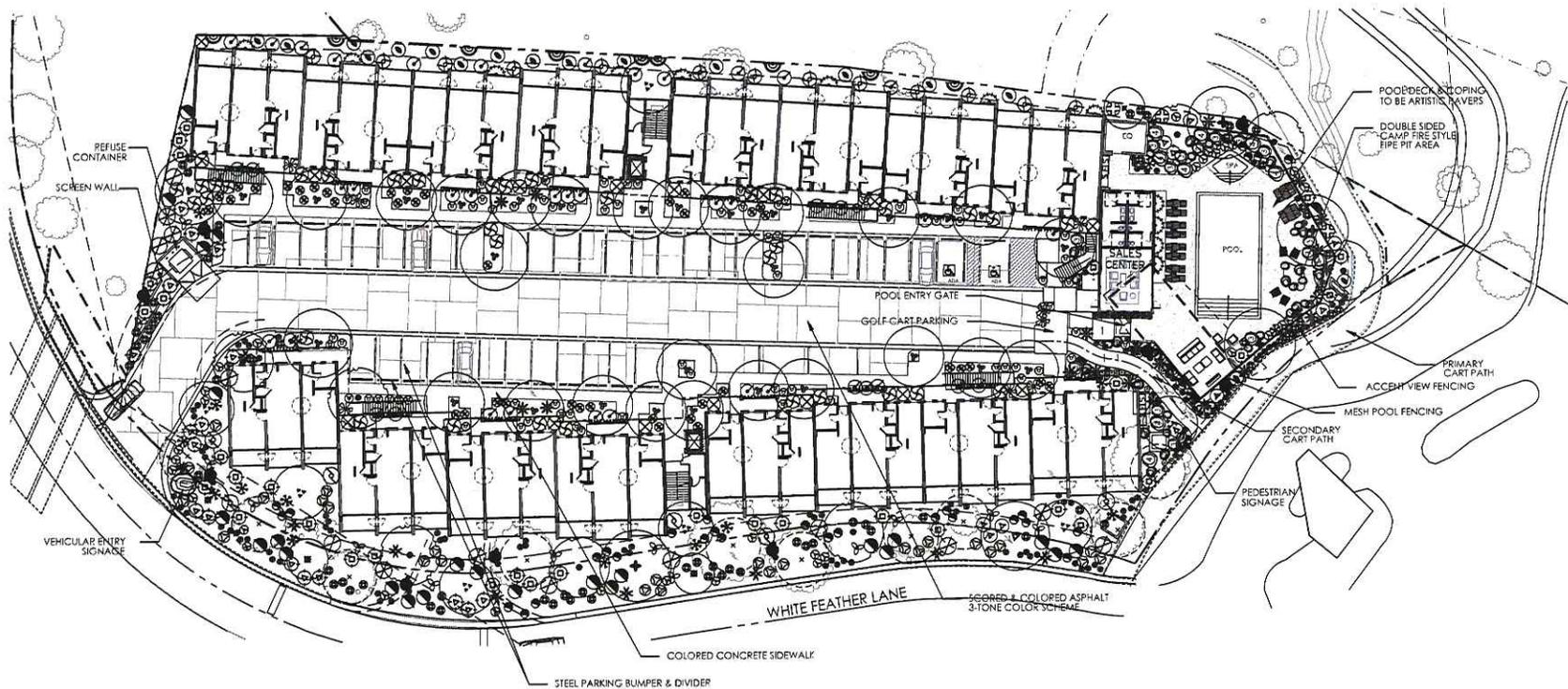
- Material: Heavy duty cast aluminum
- Finish: Rust finish
- Light Source: LED
- Color Temperature: 3000K
- Height: 16"
- Width: 1.78"
- Depth: 1.78"

Technical Data

- Power: 10W
- Beam Spread: 120°
- Mounting: At-grade

Ordering Guide

Series	CMBL-150
Finish	Rust
Light Source	LED
Color Temp	3000K
Height	16"
Width	1.78"
Depth	1.78"

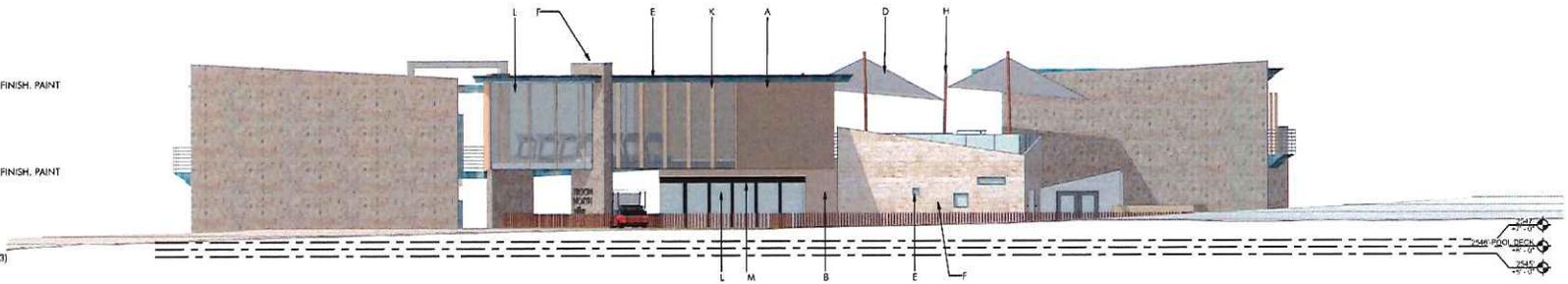


Tron North Golf Villas

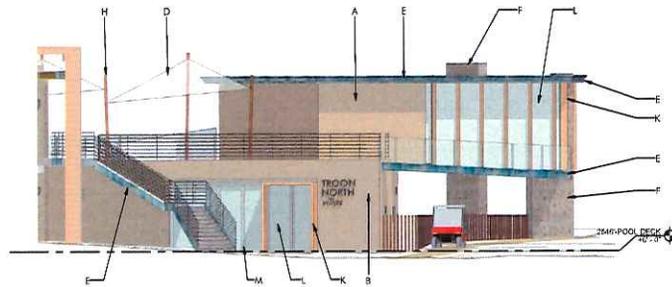
Design Review Landscape Plan

MATERIAL LEGEND

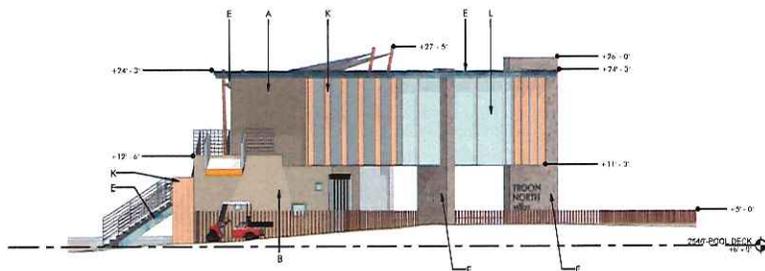
- A  PORTLAND CEMENT PLASTER/STUCCO FINISH. PAINT DEC215 WOODEN PEG (LRV 31)
- B  PORTLAND CEMENT PLASTER/STUCCO FINISH. PAINT DEC740 DESERT GRAY (LRV 34)
- C  PAINT DE6376 LOOKING GLASS (LRV 23)
- D  TENSILE FABRIC STRUCTURE, SOLTIS 92; COLOR: CHAMPAGNE 92-2175
- E  COPPER PATINA CLADDING
- F  CACTUS STONE-HOCE SPLITFACE TRAVERTINE- 6' x RANDOM
- G  BOARDFORM CONCRETE CAST-IN-PLACE PLINTH
- H  4" DIA HSS STEEL TUBE; OXIDIZED/RUSTED
- I  FROSTED GLASS BY SKYLINE DESIGN-5+ COLLECTION-HERRINGBONE SE
- J  HSS 4" x 12" STEEL TUBE; POWDERCOATED H304-GR312 GRAY ANTI-GLOSSING PRIMER BY CARDINAL
- K  A606 TYPE 4; 22 GAUGE STEEL PLATE-POWDERCOATED RAL1001 'BEIGE'
- L  GLASS: SOLARBAN 40 TINTED GLASS; COLOR: SOLERA/REFLECTANCE 11%
- M  ALUMINUM FRAME: ARCADIA; COLOR AB-S MEDIUM BRONZE



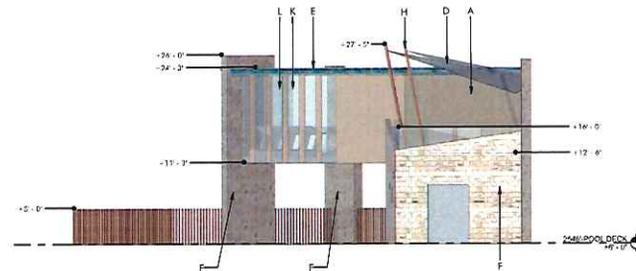
1 Fitness Center- East Elevation
SCALE: 1/8" = 1'-0"



2 Fitness Center-West Elevation
SCALE: 1/8" = 1'-0"



3 Fitness Center-South Elevation
SCALE: 1/8" = 1'-0"



4 Fitness Center-North Elevation
SCALE: 1/8" = 1'-0"

TROON NORTH VILLAS

#39: Elevations

CASE# 109-PA-2015 | DEVELOPMENT REVIEW

TROON NORTH
Villas
A TRON COMPANY GROUP

PROJECT # 16027
20 October 2016

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Not to be used for construction.



48-DR-2007 #2
10/21/2016

MATERIAL LEGEND

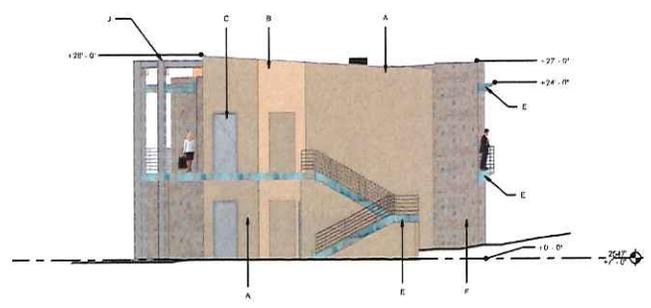
- A  PORTLAND CEMENT PLASTER/STUCCO FINISH. PAINT DEC215 WOODEN PEG (LRV 31)
- B  PORTLAND CEMENT PLASTER/STUCCO FINISH. PAINT DEC760 DESERT GRAY (LRV 36)
- C  PAINT DE6376 LOOKING GLASS (LRV 23)
- D  TENSILE FABRIC STRUCTURE; SOLTIS 92; COLOR: CHAMPAGNE 92-2175
- E  COPPER PATINA CLADDING
- F  CACTUS STONE-NOCE SPLITFACE TRAVERTINE. 6' x RA400M
- G  BOARDFORM CONCRETE CAST-IN-PLACE PLINTH
- H  4" DIA HSS STEEL TUBE, OXIDIZED/RUSTED
- I  FROSTED GLASS BY SKYLINE DESIGN-54 COLLECTION-HERRINGBONE SE
- J  HSS 6" x 12" STEEL TUBE; POWDERCOATED H304-GR312 'GRAY ANTI-GASSING PRIMER BY CARDINAL
- K  A666 TYPE 4; 22 GAUGE STEEL PLATE, POWDERCOATED RAL1001 'BEIGE'
- L  GLASS: SOLARBAN 60 TINTED GLASS; COLOR: SOLEXIA/REFLECTANCE 11%
- M  ALUMINUM FRAME: ARCADIA, COLOR AB-5 MEDIUM BRONZE



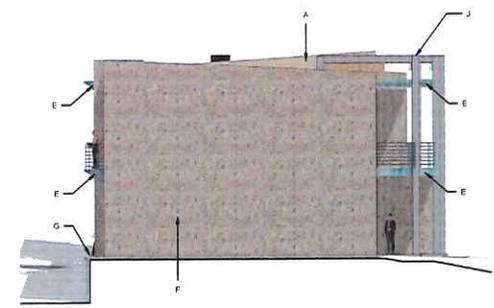
1 Typ Villa Elevation-Patio Side
SCALE: 1/8" = 1'-0"



2 Typ Villa Elevation-Courtyard Side
SCALE: 1/8" = 1'-0"



3 Typ Villa- Side Elevation A
SCALE: 1/8" = 1'-0"



4 Typ Villa- Side Elevation B
SCALE: 1/8" = 1'-0"

TROON NORTH VILLAS
#39: Elevations

CASE# 109-PA-2015 | DEVELOPMENT REVIEW

TROON NORTH
Villas
A TROON HOLDINGS PROJECT

PROJECT # 16027
20 October 2016

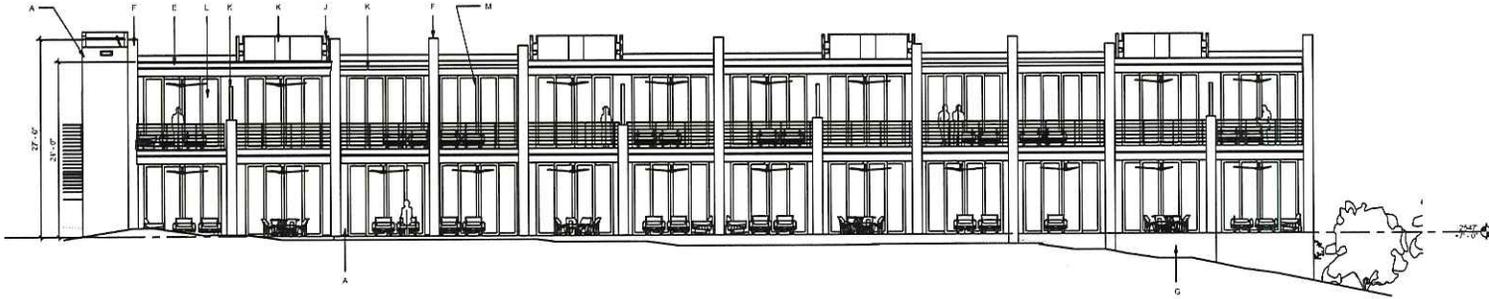
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PHX
ARCHITECTURE
LIVING + ARCHITECTURE

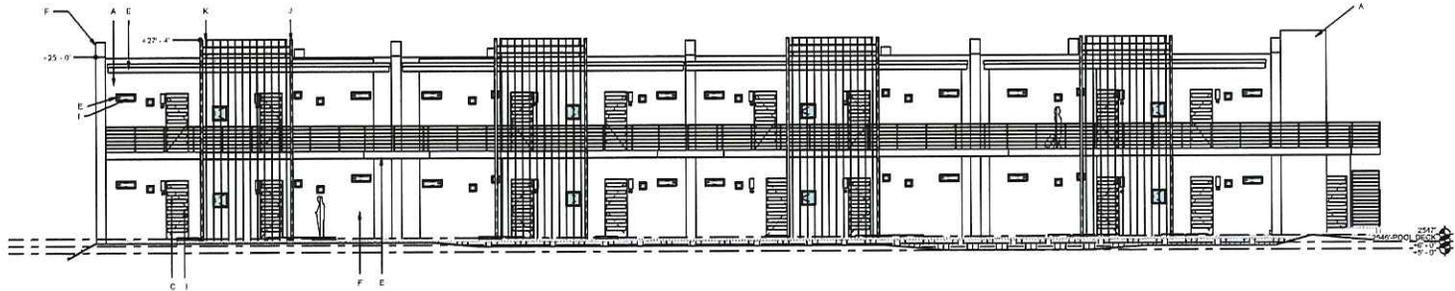
48-DR-2007 #2
10/21/2016

MATERIAL LEGEND

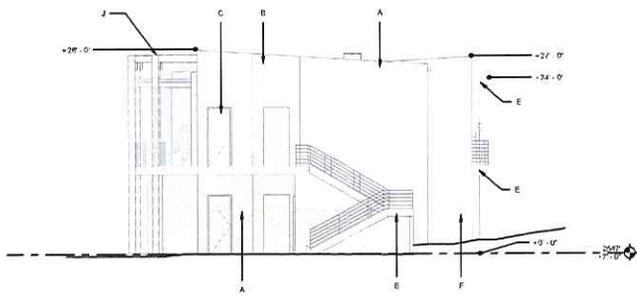
- A PORTLAND CEMENT PLASTER/STUCCO FINISH, PAINT D6215 WOODEN PEG (LRY 31)
- B PORTLAND CEMENT PLASTER/STUCCO FINISH, PAINT DEC760 DESERT GRAY (LRY 36)
- C PAINT D66376 LOOKING GLASS (LRY 23)
- D TENSILE FABRIC STRUCTURE; SOLTIS 99; COLOR: CHAMPAGNE 92-2175
- E COPPER PATINA CLADDING
- F CACTUS STONE-NOCE SPLITFACE TRAVERTINE, 6' x RANDOM
- G BOARD-FORM CONCRETE CAST-IN-PLACE PLINTH
- H 4" DIA HSS STEEL TUBE; OXIDIZED/RUSTED
- I FROSTED GLASS BY SKYLINE DESIGN-5+ COLLECTION-HERRINGBONE SE
- J HSS 6" x 12" STEEL TUBE, POWDERCOATED H304-QR12; GRAY ANTI-GASSING PRIMER BY CARDINAL
- K A606 TYPE 4; 22 GAUGE STEEL PLATE; POWDERCOATED RAL1001 BEIGE
- L GLASS: SOLARBAN 60 TINTED GLASS; COLOR: SOLID/REFLECTANCE 11%
- M ALUMINUM FRAME; ARCADIA; COLOR AB-5 MEDIUM BRONZE



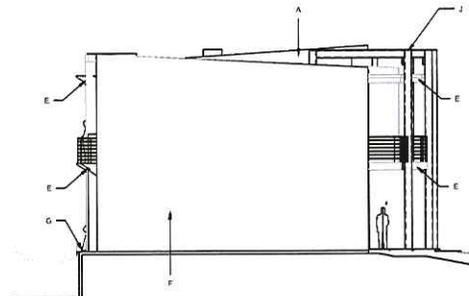
1 Typ Villa Elevation-Patio Side
SCALE: 1/8" = 1'-0"



2 Typ Villa Elevation-Courtyard Side
SCALE: 1/8" = 1'-0"



3 Typ Villa- Side Elevation A
SCALE: 1/8" = 1'-0"



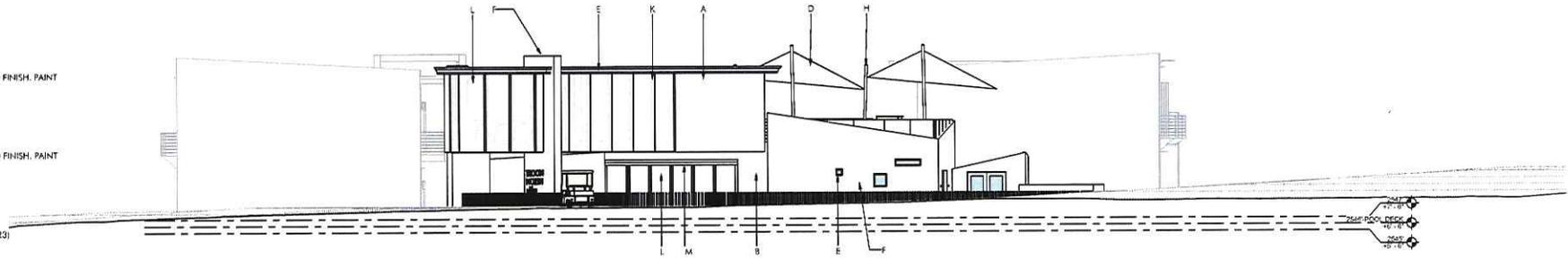
4 Typ Villa- Side Elevation B
SCALE: 1/8" = 1'-0"

Troon North Golf Villas
10200 E. Dynamite Blvd
Scottsdale, AZ. 85262
BILL DINIC ELEVATIONS

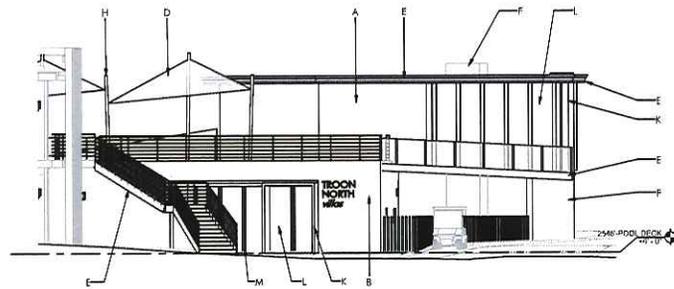


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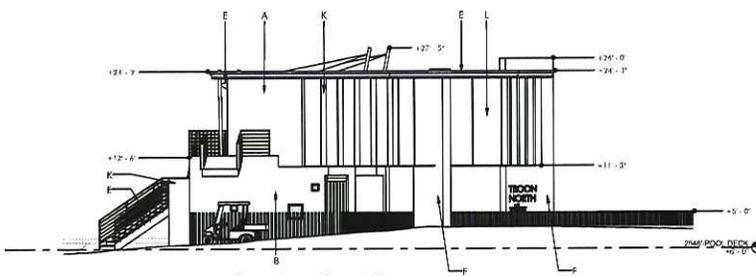
- A PORTLAND CEMENT PLASTER/STUCCO FINISH, PAINT DE6215 WOODEN PEG (LRV 31)
- B PORTLAND CEMENT PLASTER/STUCCO FINISH, PAINT DEC760 DESERT GRAY (LRV 36)
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- F CACTUS STONE-NOCE SPLITFACE TRAVERTINE, 6" RANDOM
- G BOARDFORM CONCRETE CAST-IN-PLACE PLINTH
- H 4" DIA HSS STEEL TUBE; OXIDIZED/RUSTED
- I FROSTED GLASS BY SKYLINE DESIGN 5+ COLLECTION-HERRINGBONE SE
- J HSS 6" x 12" STEEL TUBE; POWDERCOATED M304-CR312 'GRAY' ANTI-GASSING PRIMER BY CARDINAL
- K A666 TYPE 4, 22 GAUGE STEEL PLATE, POWDERCOATED RAL1001 'BEIGE'
- L GLASS: SOLARBAN 60 TINTED GLASS; COLOR: SOLEXIA/REFLECTANCE 11%
- M ALUMINUM FRAME: ARCADIA; COLOR AB-5 MEDIUM BRONZE



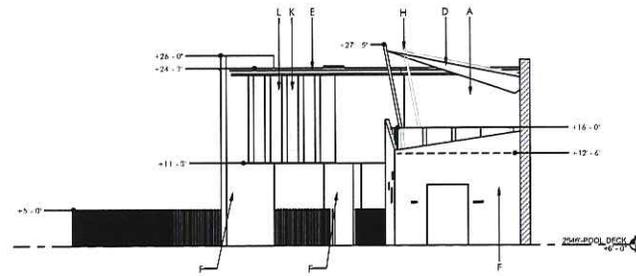
1 Fitness Center- East Elevation
SCALE: 1/8" = 1'-0"



2 Fitness Center-West Elevation
SCALE: 1/8" = 1'-0"



3 Fitness Center-South Elevation
SCALE: 1/8" = 1'-0"



4 Fitness Center-North Elevation
SCALE: 1/8" = 1'-0"

Troon North Golf Villas
 10200 E. Dynamite Blvd
 Scottsdale, AZ. 85262
 Fitness Center Elevations





TROON NORTH VILLAS
41: Perspectives-VILLA PATIOS

CASE# 109-PA-2015 | DEVELOPMENT REVIEW

TROON NORTH
Villas
A TRISTAR RESORTS RESORT

PROJECT # 16027
20 October 2016

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TROON NORTH VILLAS
#41: Perspectives-VILLA COURTYARD

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TROON NORTH
Villas
A Troon Golf Resort
PROJECT # 16027
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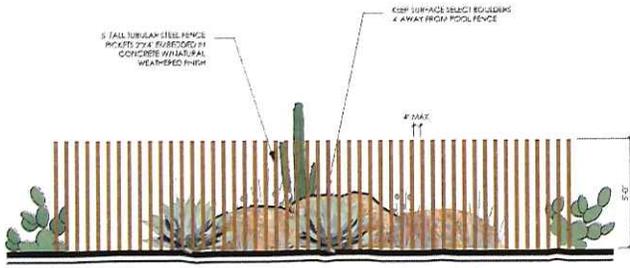
TROON NORTH VILLAS
#41: Perspectives-OVERALL

CASE# 109-PA-2015 | DEVELOPMENT REVIEW

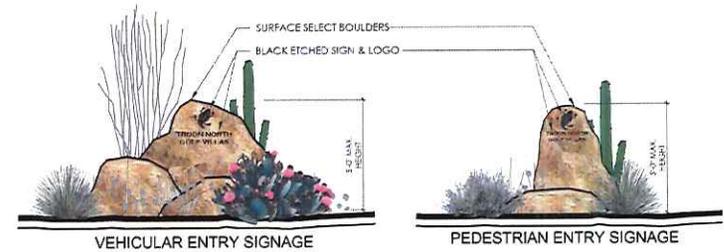
TROON NORTH
Villas
A Troon Account Project
PROJECT # 16027
20 October 2016
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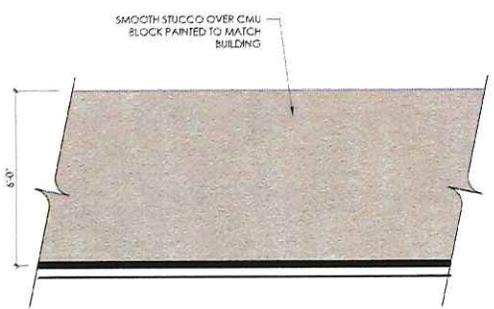
48-DR-2007 #2
10/21/2016



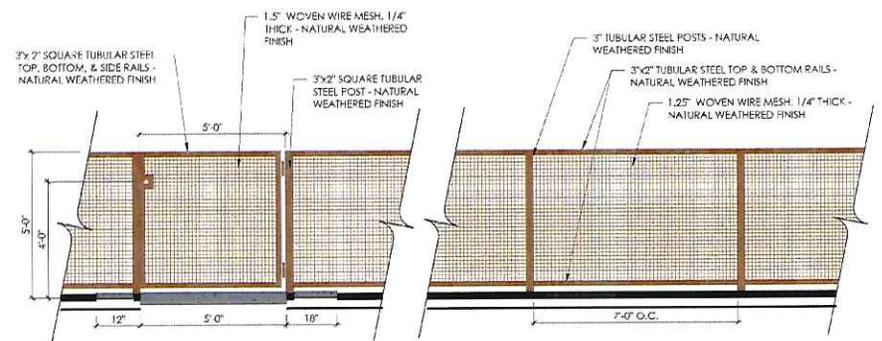
1 Accent View Fence Elevation
SCALE: 3/8" = 1'-0"



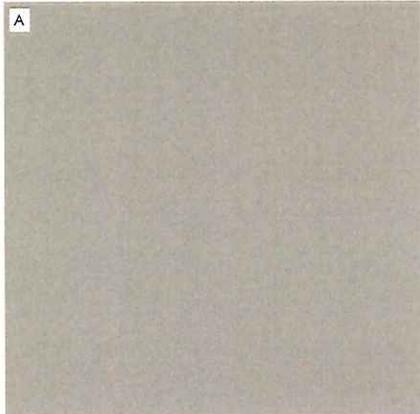
2 Project Signage
SCALE: 3/8" = 1'-0"



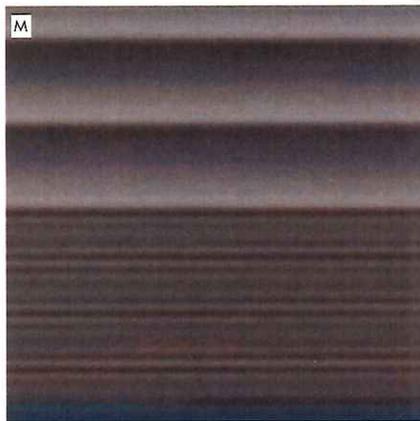
3 Screen Wall Elevation
SCALE: 3/8" = 1'-0"



4 Pool Fence & Gate
SCALE: 1/2" = 1'-0"



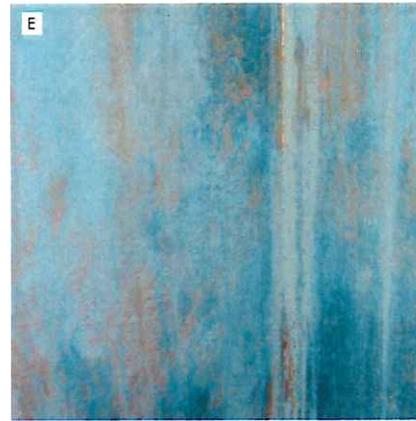
A
STUCCO FINISH. PAINT DE6215 WOODEN PEG (LRV 31)



M
ALUMINUM FRAME: ARCADIA; COLOR AB-5; MEDIUM BRONZE



F
CACTUS STONE-NOCE SPLITFACE TRAVERTINE- 6" x



E
COPPER PATINA CLADDING



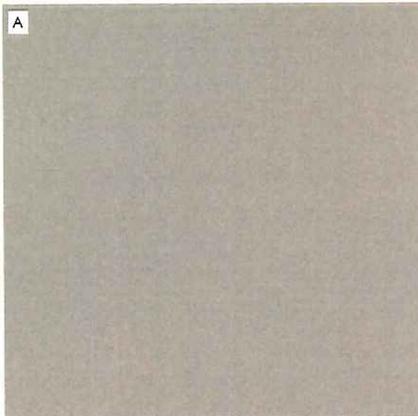
L
GLASS: SOLARBAN 60 TINTED GLASS; SOLEXIA/
REFLECTANCE 11%

TROON NORTH VILLAS
#72: MATERIAL SAMPLE BOARD-VILLAS (PATIOS)

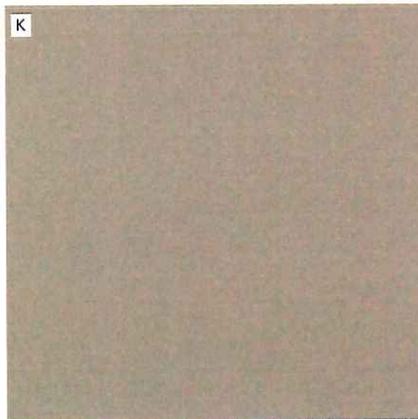
CASE# 109-PA-2015 | DEVELOPMENT REVIEW


 A TRON DEVELOPMENT
 PROJECT # 16027
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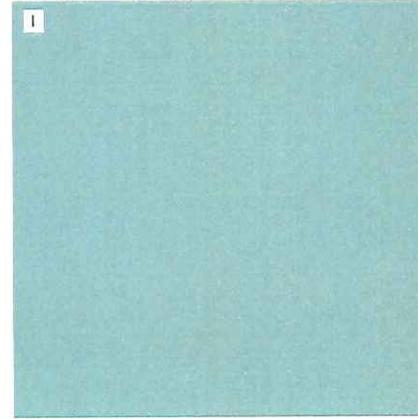
A
STUCCO FINISH. PAINT DE6215 WOODEN PEG (LRV 31)



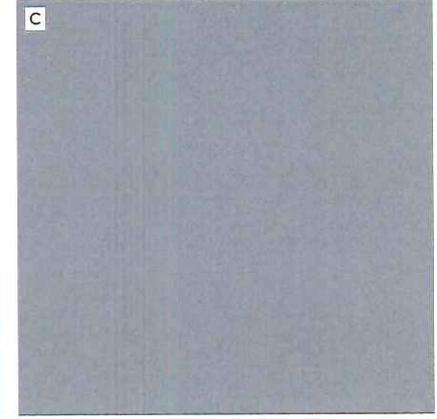
K
A606 TYPE 4; 22 GAUGE STEEL PLATE; POWDERCOATED RAL 1001 BEIGE



F
CACTUS STONE-NOCE SPLITFACE TRAVERTINE- 6" x



I
FROSTED GLASS



C
PAINT DE6376 LOOKING GLASS (LRV 23)



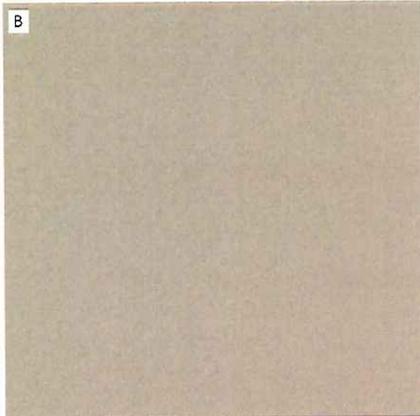
TROON NORTH VILLAS
#72: MATERIAL SAMPLE BOARD-VILLAS (COURTYARD)

CASE# 109-PA-2015 | DEVELOPMENT REVIEW

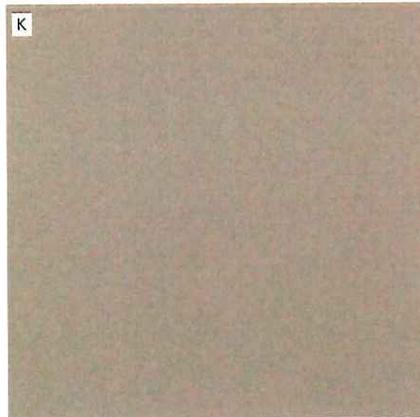
TROON NORTH
Villas
a Troon Apartment Brand
PROJECT # 16027
20 October 2016
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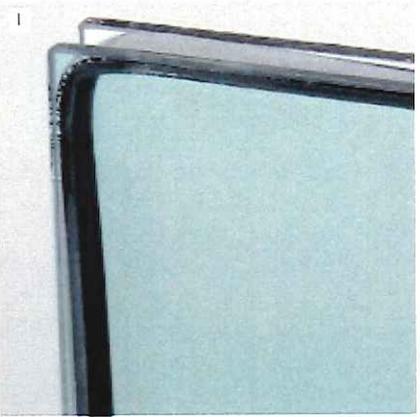
STUCCO FINISH. PAINT DEC760 DESERT GRAY (LRV 36)



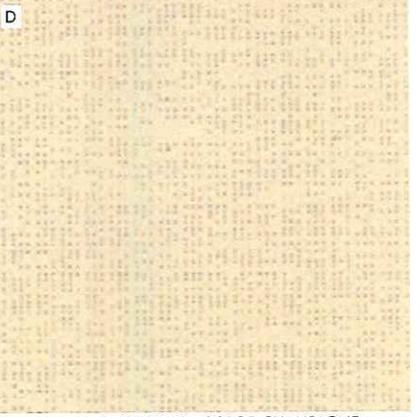
A606 TYPE 4; 22 GAUGE STEEL PLATE; POWDERCOATED RAL 1001 BEIGE



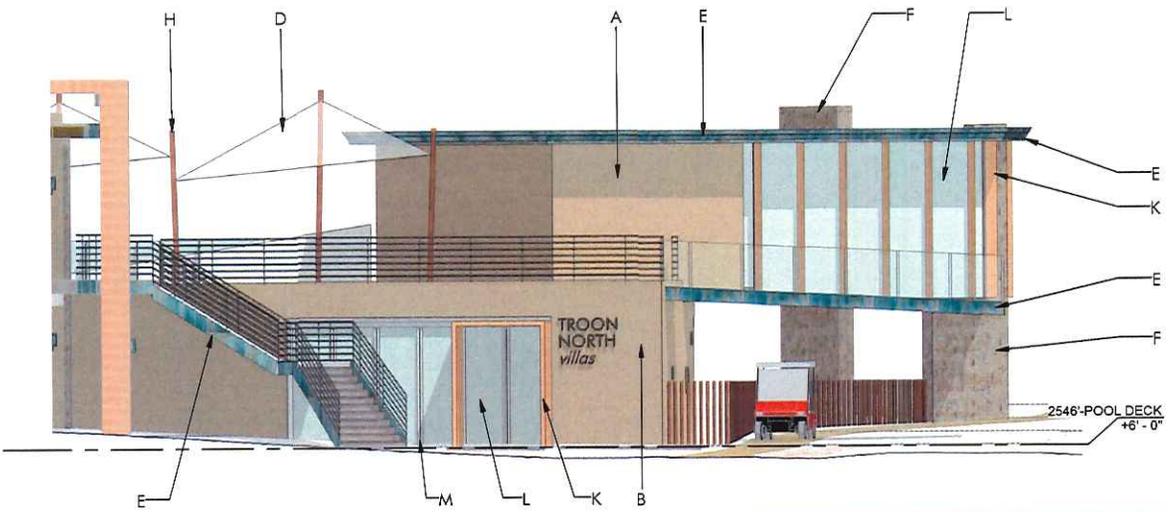
CACTUS STONE-NOCE SPLITFACE TRAVERTINE- 6" x



GLASS: SOLARBAN 60 TINTED GLASS; SOLEXIA/



TENSILE FABRIC; SOLTIS 92; COLOR CHAMPAGNE 92-2175



TROON NORTH VILLAS
#72: MATERIAL SAMPLE BOARD-FITNESS CENTER

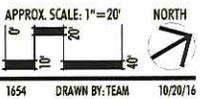
CASE# 109-PA-2015 | DEVELOPMENT REVIEW

TROON NORTH Villas
A Fitness Management Facility
PROJECT # 16027
20 October 2016
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Troon North Golf Villas

Design Review Landscape Plan
 5 of 5 - MATERIALS





TROON NORTH VILLAS
 #24: Context Aerial With Proposed Site Improvements

CASE# 109-PA-2015 | DEVELOPMENT REVIEW


 TROON NORTH
 Villas
A Troon Mountain Resort
 PROJECT # 16027
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