

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: July 7, 2016 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Enterprise
14-DR-2016

Location: 16275 N. Greenway-Hayden Loop

Request: Request approval of the site plan, landscape plan, and building elevations for a new vehicle rental facility, including two vehicle washing bays inside the building, with 3,520 square feet of building area, on a 1-acre site.

OWNER

First Fidelity Bank
480-801-8080

ARCHITECT/DESIGNER

Deutsch Architecture Group
4600 E. Indian School Road
Phoenix, AZ 85018

ENGINEER

Hunter Engineering
10450 N. 74th Street, Suite 200
Scottsdale, AZ 85258

APPLICANT CONTACT

Michele Hammond
Berry Riddell, LLC
480-385-2727

BACKGROUND

Zoning

This site is zoned Highway Commercial (C-3) district. The C-3 district is intended to permit most types of commercial activities located along major streets, including shopping and service needs, as well as vehicle related services as proposed with this application.

Context

This property is located at the northeast corner of N. Greenway-Hayden Loop and E. Paradise Lane, and also has frontage on N. 80th Street. The surrounding context contains a mix of uses including vehicle sales and service, office, bank, warehousing, and aviation related uses.

Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: Bank, zoned Industrial Park (I-1) district
- South: Office, zoned Industrial Park (I-1) district
- East: Warehousing/Hangar, zoned Industrial Park (I-1) district
- West: Vehicle sales/service, zoned General Commercial (C-4) district

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant is requesting approval of the site plan, landscape plan, and building elevations for a new vehicle rental facility on this vacant site. The proposal includes a single-story building centrally located on the site, with vehicle storage and parking around the perimeter of the building.

Neighborhood Communication

The applicant has sent notices to all property owners within 750 feet of the site. The city also sent notices to property owners within 750 feet of the site, and the site was posted. As of the date of this report staff has received general inquiries about the project.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

This proposal is consistent with the Zoning Ordinance as well as the Character and Design element of the General Plan, and the Greater Airpark Character Area Plan (GACAP), which designates the site as Employment.

A small single-story building will be centrally located on the site. Vehicular access is provided through a single driveway off E. Paradise Lane, which leads into a centralized drop-off area for patrons who are picking up or returning a vehicle. The existing 8-foot-wide sidewalk along Greenway-Hayden Loop, along with the 5-foot-wide sidewalks on E. Paradise Lane and N. 80th Street will be maintained, with new pedestrian connections added to the site and building from N. Greenway-Hayden Loop and E. Paradise Lane.

The proposed building is of a contemporary design style, with the main building material stucco, painted varying shades of white and light beige. A stacked stone element is proposed to provide a wainscot accent around the base of the building. Additionally, a decorative cornice element is proposed around the entire building, painted white. In response to the Sensitive Design Principles, metal shade canopies are proposed over the building entries on the west and east elevations of the building to provide solar protection and shading. The proposed building includes wash bays on the north end of the building, with roll-up garage doors painted to match the building. The north orientation of the wash bays is directed away from the public right-of-way, and additional screening

will be provided by a 6-foot-tall masonry screen wall on the northern property line which will be finished and painted to match the building.

All proposed mechanical equipment will be located on the roof and screened behind the parapet walls, and a new trash enclosure will be constructed northeast of the building. The new pad and associated improvement areas will be landscaped with a desert plant palette in conformance with the City landscaping requirements.

Development Information

- Existing Use: Vacant
- Proposed Use: Vehicle rental facility
- Buildings/Description: 3,520 square feet (single-story)
- Parcel Size: 1 acre
- Building Height Allowed: 36 Feet
- Building Height Proposed: 20 Feet
- Parking Required:

Employee:	18 spaces
Patron:	1 space
Storage:	18 spaces
Total Required:	37 spaces
- Parking Provided: 38 spaces
- Open Space Required: 5,496 square feet
- Open Space Provided: 11,622 square feet
- Floor Area Ratio Allowed: 0.8
- Floor Area Ratio Provided: 0.085

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Enterprise per the attached stipulations, finding that the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Bryan Cluff
Senior Planner
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E-mail: bcluff@ScottsdaleAZ.gov

APPROVED BY



Bryan Cluff, Senior Planner, Report Author

6/20/16

Date



Steve Venker, Development Review Board Coordinator

Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

6/21/16

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

6/23/16

Date

ATTACHMENTS

- A. Stipulations
 - 1. Applicant's Narrative
 - 2. Context Aerial
- 2A. Close-Up Aerial
 - 3. Zoning Map
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Building Elevations
 - 7. Material and Color Board
 - 8. Landscape Plans
 - 9. Electrical Site Plan
 - 10. Exterior Lighting Cutsheets

**Stipulations for the
Development Review Board Application:
Enterprise
Case Number: 14-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Deutsch Architecture, with a city staff date of 4/29/16.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Deutsch Architecture, with a city staff date of 6/2/16.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Deutsch Architecture, with a city staff date of 6/2/16.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning case for the site was: 23-ZN-2015

ARCHITECTURAL DESIGN:

DRB Stipulations

2. Stucco and paint shall be applied the surface of concrete block perimeter and site walls to match the on-site buildings, unless they are split-faced, grid or similar decorative types of block.
3. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
4. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

5. With the final plan submittal, the owner shall clearly identify the location of the roof access ladder/hatch on the floor plan. The location and design shall be in conformance with the requirements of the City of Scottsdale Design Standards & Policies Manual.

SITE DESIGN:

DRB Stipulations

6. One refuse enclosure shall be constructed in conformance with the City of Scottsdale Supplements to MAG Standard Details. Details for construction of the refuse enclosure can be found in the City of Scottsdale Supplements to MAG Standards Details, standard detail #2146-1 for single enclosures. Improvement plans shall show that service vehicles 40-foot-long, with 45-foot outside turning radius and 25-foot inside turning radius can maneuver through the site.

LANDSCAPE DESIGN:

Ordinance

- B. With the final plan submittal, the owner shall revise the landscape plan to include summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping in accordance with Zoning Ordinance, Article X.

EXTERIOR LIGHTING:

Ordinance

- C. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward.
- D. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

7. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.6-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

8. The owner shall provide bicycle parking on site. Bicycle parking shall be designed and constructed in conformance with City of Scottsdale Standard Detail# 2285.

AIRPORT:

DRB Stipulations

9. Prior to permit issuance, the owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The owner shall provide Aviation staff a copy of the FAA determination letter prior to final plans approval.

STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:

DRB Stipulations

10. Before any building permit is issued for the site, the owner shall submit plans and receive plan approval to construct one site driveway on Paradise Lane in general conformance with City of Scottsdale's Supplement to the MAG Standard details, detail # 2256 FOR CL, 2257 type CL-1. Sidewalk shall be flat across the driveway apron.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

DRB Stipulations

11. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

WATER AND WASTEWATER STIPULATIONS:

Ordinance

- F. All development within Industrial Park (I-1) and General Commercial (C-4) zoned districts, and all development where there are chemicals used that require pretreatment, shall provide a monitoring manhole.

DRB Stipulations

12. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Services Department requirements.

DRB Stipulations

13. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

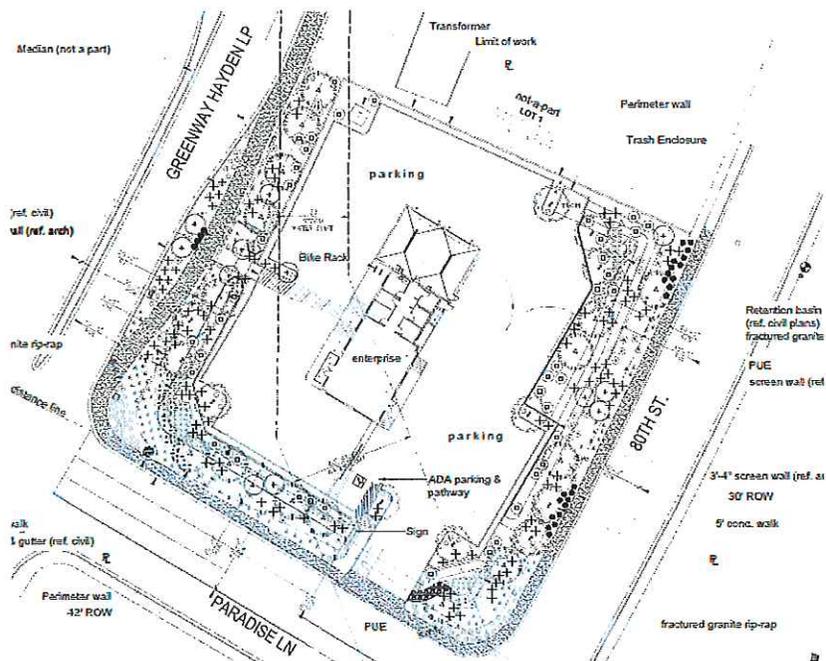
Enterprise Holdings

Project Narrative

DRB Application

Location: 16275 N. Greenway-Hayden Loop

886-PA-2015



Prepared by:

Berry Riddell, LLC

John V. Berry, Esq.

Michele Hammond, Principal Planner

6750 E. Camelback Road, Suite 100
Scottsdale, AZ 85251

14-DR-2016
4/29/2016

14-DR-2016
3/4/16

Date: February 25, 2016

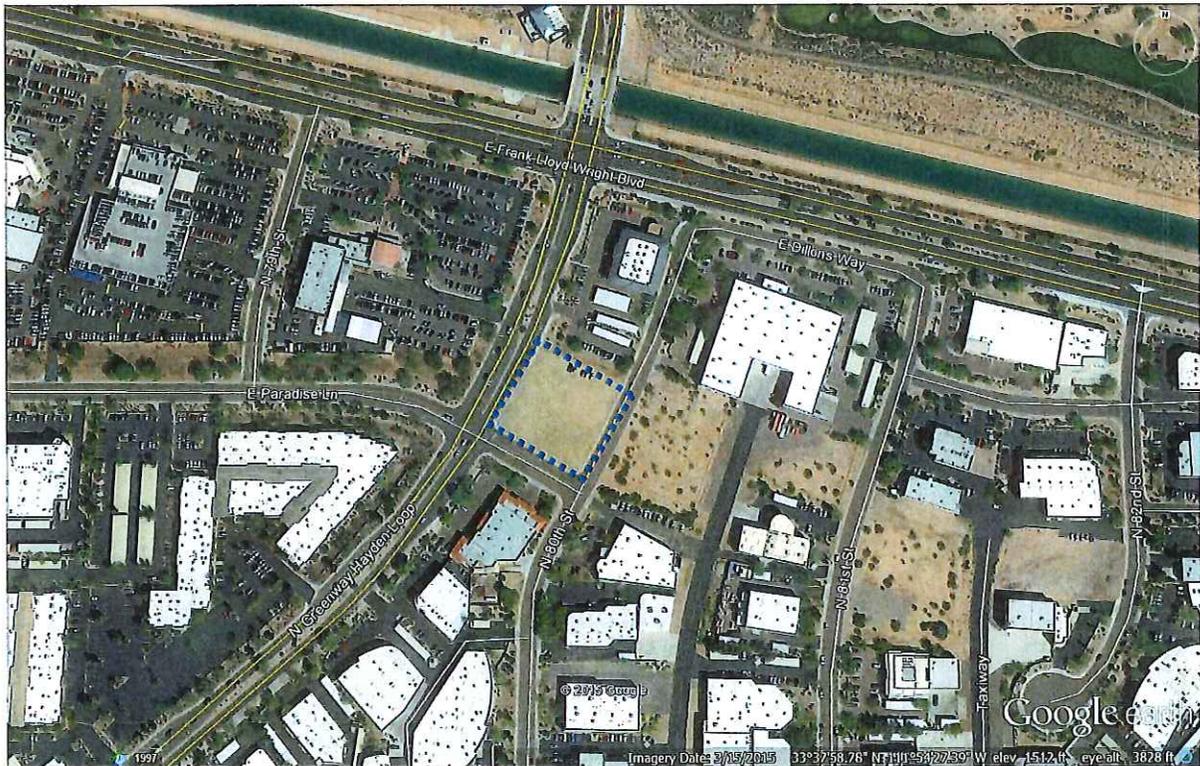
ATTACHMENT #1

I. Purpose of Request

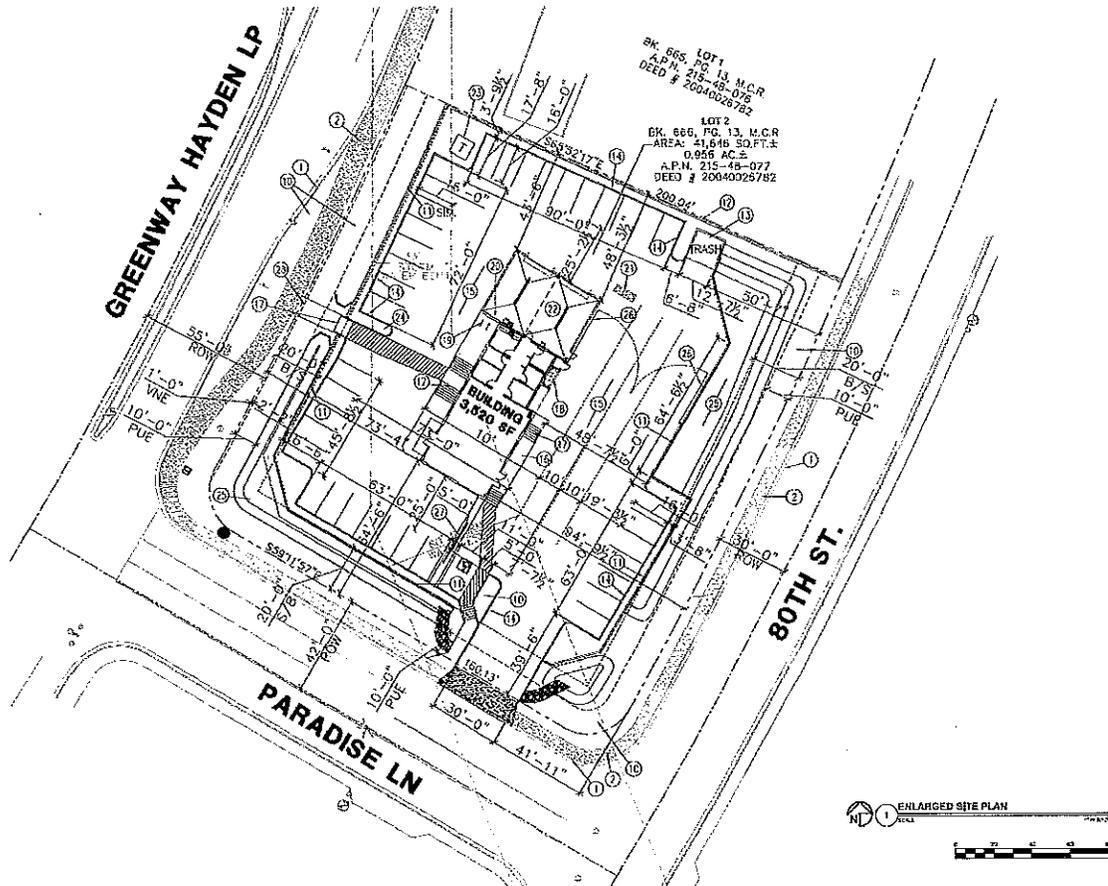
The request is for Development Review Board approval of a new rental car facility on a property located at 16275 N. Greenway-Hayden Loop, at the northeast corner of Greenway-Hayden and Paradise Lane, just south of Frank Lloyd Wright Boulevard in the Scottsdale Airpark (the "Property"). The currently vacant, undeveloped site is approximately 1-acre in size and has frontage on 3 streets, Greenway-Hayden Loop, Paradise Lane and 80th Street. The site is located in the Greater Airpark Character Area Plan ("GACAP") and is designated as Employment land use. The companion zoning case, 23-ZN-2015 is currently under review by City Staff and will be heard by Planning Commission and City Council this spring.

Case 23-ZN-2015 is a rezoning request from I-1(Industrial Park) to C-3 (Highway Commercial). No amendment to the character area plan is required with this rezoning request. The proposed facility would accommodate auto rentals for Enterprise in a small centrally located building with parking on all 4 sides, a car return area on the east side of the building, and fully enclosed wash bays on the north side of the building. The C-3 zoning category allows for vehicle rentals as a permitted use.

Context Aerial



Proposed Site Plan



II. Context & Background

The Property constitutes 1+/- gross acre and is bordered by Greenway-Hayden Loop on the west, Paradise Lane on the south and 80th Street on the east. The surrounding context includes First Fidelity Bank and Plexus Worldwide, Inc. to the north (I-1), vacant land to the east (I-1), Dillion Precision to the northeast (I-1), Earnhardt Cadillac to the west (C-4) and Hacienda Home Interiors to the south (I-1). Along Frank Lloyd Wright Boulevard further to the west there are several dealerships including not only the Earnhardt Cadillac dealership, but also Right Honda, Right Toyota, Pinnacle Nissan and Airpark Dodge, Chrysler and Jeep. East of the Airport runway along Frank Lloyd Wright Boulevard are additional area dealerships including Earnhardt Hyundai, AutoNation Ford, Van Buick GMC and Van Chevrolet. It is the intent that this new Enterprise facility will primarily serve the Airpark dealerships.

About Enterprise

- Enterprise was established in 1957 in St. Louis, MO by owner Jack Taylor
- One of the founding corporate principles is Complete Customer Satisfaction
- Enterprise's "Home City" branches specialize in the vehicle replacement market
- Home City branches are closer to their consumer base and timely service helps to achieve their goal of completely satisfied customers
- Many of the Home City branches compliment dealerships and service centers in the area
- The high utilization and turnover of vehicles means only a small percentage of the fleet is ever on the ground at the customer service branches

III. Development Review Board Criteria

Sec. 1.904. - Criteria.

A. In considering any application for development, the Development Review Board shall be guided by the following criteria:

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.***

Response: The proposed Enterprise facility is consistent with the DS&PM and General Plan goals and policies as established in this DRB application (see graphics) and in the companion zoning case, 23-ZN-2015 (see the zoning case for specific General Plan goals and policies).

- ***General Plan/Greater Airpark Character Area Plan ("GACAP")***

The proposed car rental facility on the 1+/- acre vacant site fulfills this goal by providing a much needed service to the existing dealerships along Frank Lloyd Wright Boulevard. The current Enterprise branch located at 15075 N. Hayden Road (Hayden & Raintree) is a high volume facility and the proposed site is anticipated to reduce waiting times and divide the customer service base to better service the area, specifically the Airpark dealerships. Characteristics of successful employment cores include a range of land uses as mentioned in the GACAP definition above, which states these areas should include an "array of office, commercial, warehousing, and light industrial land uses that provide opportunities for business enterprises, as well as regional and local jobs." This service based use will complement the surrounding context of dealerships, light industrial, warehouse, retail and office development.

GACAP Definition:

Employment includes an array of office, commercial, warehousing, and light industrial land uses that provide opportunities for business enterprises, as well

as regional and local jobs. These areas should have access to regional multi-modal transportation systems, including access for truck traffic and transit facilities. Residential is not appropriate in employment areas. Employment is appropriate adjacent to the Aviation Land Use are and within the Airport's 55 DNL areas or higher.

The Conceptual Development Type Map designates the Property as "Type B – Medium to Higher Scale" which is defined in the GACAP as follows:

***Type B** development denotes areas appropriate for continuous building forms, medium- to higher-scales, and fewer open spaces between buildings. These areas are typically associated with aircraft hangers and warehousing/industrial buildings, and larger event centers and are encouraged in and around the Aviation Land Use designation, where large convention and event facilities are appropriate (ie: WestWorld), and in areas with access to multiple modes of transportation.*

The request is consistent with the existing GACAP land use designation of Employment in a number of ways that are outlined below. The Property is located adjacent to Greenway-Hayden Loop (minor arterial) and just south of Frank Lloyd Wright Boulevard (major arterial), which are both classified as Signature Corridors in the GACAP. Additionally, the site is located within the Airport's 55 DNL area, which is appropriate for employment land uses such as the proposed car rental facility.

- ***DS&PM***

Scottsdale has established a set of guidelines for the design of public and private projects within the city. These guidelines are contained within the Design Standards and Policy Manual, commonly known as the DS&PM. The DS&PM is made up of 12 chapters all dealing with various areas of public and private development issues and is intended to provide direction during final design and preparation of the construction documents for development within the City of Scottsdale. The relevant standards and policies conveyed by the DS&PM will be pursuant to following:

- Exterior building materials and architectural design will adhere to the City's policies.
- Site design will adhere to the City's policies including emergency access, pedestrian access, vehicular access and parking.
- Landscaping varieties and placement will adhere to the City's policies.

2. The architectural character, landscaping and site design of the proposed development shall:

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;***

-and-

b. Avoid excessive variety and monotonous repetition;

Response:

The proposed development achieves this requirement in the following ways:

- Provides rental car service to existing Airpark dealerships
- Includes context appropriate massing, architecture and building materials
- Maintains pedestrian linkages around the perimeter of the site and provides a new sidewalk from Greenway-Hayden Loop
- Site and building design focuses on arid-climate conditions through the use of solar shading, material/texture selection, earth-tone paint colors, recessed windows, insulated glazing and metal shade canopy over store front glass and entries
- Open space maximized; development provides 11,600 s.f of open space (double the requirement) providing a richly landscaped setting for the building and surrounding parking area.

c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

Response: The architectural character, site circulation, quality of landscaping, and amount of open space all factor into providing a design that enhances the unique Southwestern character of Scottsdale. Enterprise has keyed off surrounding car dealerships' architectural theming, materials, and details for contextual appropriateness. The proposed development will uphold the Scottsdale Sensitive Design Principles, which are described below, understanding the City's sensitivity to corporate architecture and unsuitable lighting.

Refer to Scottsdale's Sensitive Design Principles below and responses to a. and b. above.

d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and

Response: Not applicable.

e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

Response: Not applicable.

3. *Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.*

Response: Enterprise selected this Property because of its close proximity to numerous auto dealerships along Frank Lloyd Wright Boulevard, which are currently serviced from the Hayden & Raintree location. It is anticipated that service satisfaction will improve due to the closer proximity to Enterprise's customer base. Dealership business is typically a combination of short term and long term rentals, anywhere from 1 day to multiple weeks. Enterprise's business model is one that allows them to pick up customers, which typically yields lower traffic levels than the average retail operation. There is only one access driveway proposed for this facility, which will be located via Paradise Lane.

Because this Enterprise location will be primarily servicing the retail public and car dealerships on Frank Lloyd Wright Boulevard, we anticipate minimal left turn movements onto Greenway-Hayden Loop Road. Enterprise has a location on-site at the Scottsdale Airport to service airport customers and has an additional site (under their national brand) located at the Signature FBO to service private charter flights. In addition, Landmark Aviation, the other FBO servicing the terminal, has GO car rental on-site and they service any customers for that FBO from the Scottsdale Airport location. Thus, no traffic should be going to the terminal from the Greenway-Hayden Loop Road location.

The existing sidewalks along all 3 street frontages will be maintained with the development of site. A new sidewalk connection point will be constructed at the midpoint of the site from Greenway-Hayden Loop, connecting to the main rental car building allowing pedestrians to access the site on foot as well has a pedestrian sidewalk connection along driveway from Paradise. The adjacent and nearby street network provides a framework for pedestrian and bicycle connections in the immediate area. Bike racks will be provided along the east side of the building in accordance with the City's requirements for employees and customers.

4. *If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.*

Response: Mechanical equipment and appurtenances will be fully screened and integrated within the building design.

- 5. *Within the Downtown Area, building and site design shall:***
- a. *Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;***
 - b. *Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;***

- c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;*
- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and*
- e. Incorporate enhanced design and aesthetics of building mass, height, materials, and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.*

Response: Not applicable.

- 6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:*
 - a. Accessibility to the public;*
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;*
 - c. Location near the primary pedestrian or vehicular entrance of a development;*
 - d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and*
 - e. Location in conformance to standards for public safety.*

Response: Not applicable.

B. The property owner shall address all applicable criteria in this section.

IV. Scottsdale's Sensitive Design Principles

The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and remodel of the Property.

- 1. The design character of any area should be enhanced and strengthened by new development.*

Response: The proposed development will highlight Greenway-Hayden Loop as a Signature Corridor (GACAP) and provide design elements that cater to the pedestrian and provide an urban character through the use of building design, signage, connectivity, landscaping, hardscape and lighting. The site will be richly landscaped along all 3 street frontages. Vehicles will be screened with a low perimeter wall and the car wash bays will be fully enclosed with the bay doors facing north.

The new Enterprise rental car facility is a single story 3,500 s.f. structure centered on the Property with parking and access around the entire building. This is a unique site due to the 3 street frontages, which makes it challenging for a traditional office or warehouse development. The proposed use is a logical fit given the site constraints.

The surrounding built environment consists of predominately 2-story buildings and single story dealership structures with heights ranging between 20-36 feet. The proposed single story building (approximately 20 feet in height) will be in character with the surrounding context.

- 2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.*

Response: This infill Airpark site does not provide any significant vistas or natural features. The single story building will not be imposing on any off site views. The streetscape along Greenway-Hayden Loop is well established and any new streetscape design will match the existing landscape theme along this frontage. All existing sidewalk connections will be maintained. The design for the project complements the surrounding commercial, office and industrial developments.

- 3. Development should be sensitive to existing topography and landscaping.*

Response: The Property is a relatively flat suburban site with an existing development on all four sides. The proposed remodel will increase the amount of landscaping and open space on site utilizing low-water use desert appropriate plant materials.

- 4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.*

Response: The proposed development will preserve and restore natural habitats and ecological processes through the inclusion of desert appropriate landscaping. Desert landscaping and additional open space will contribute to the suburban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand.

- 5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.*

Response: Pedestrian circulation along both the perimeter and internal to the site is an important part of the proposed Enterprise facility.

6. *Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.*

Response: The existing sidewalks along all 3 street frontages will be maintained with the development of site. A new sidewalk connection point will be constructed at the midpoint of the site from Greenway-Hayden Loop, connecting to the main rental car building allowing pedestrians to access the site on foot as well has a pedestrian sidewalk connection along driveway from Paradise. The adjacent and nearby street network provides a framework for pedestrian and bicycle connections in the immediate area. Bike racks will be provided along the east side of the building in accordance with the City's requirements for employees and customers.

7. *Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.*

Response: The proposed remodel will incorporate design elements that respect human-scale, providing shade and shelter through building, site and landscaping. Connectivity will be provided via sidewalk connections along the street frontages as well as internal to the site. To the extent possible, shade trees will be provided along these connection points.

8. *Buildings should be designed with a logical hierarchy of masses.*

Response: The proposed building is a small single story structure with design elements that are compatible with the surrounding context.

9. *The design of the built environment should respond to the desert environment.*

Response: The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and recessed windows, and celebrate the desert climate.

10. *Developments should strive to incorporate sustainable and healthy building practices and products.*

Response: Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized to the extent feasible.

11. *Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.*

Response: Context appropriate native plant materials will be utilized with the revitalization of the Property. The desert character will be upheld through the careful

selection of plant materials in terms of scale, density, and arrangement. Also, refer to 3. and 4. above.

- 12. *Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.***

Response: The proposed development will maintain a low-water use plant palette consistent with City standards.

- 13. *The extent and quality of lighting should be integrally designed as part of the built environment.***

Response: Lighting is designed in a manner that is respectful of the surrounding context while maintaining safety for patrons.

- 14. *Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.***

Response: Project identification will be low-scale and contextually appropriate.



Q.S.
35-47

Google Earth Pro Imagery

Enterprise

14-DR-2016

ATTACHMENT #2



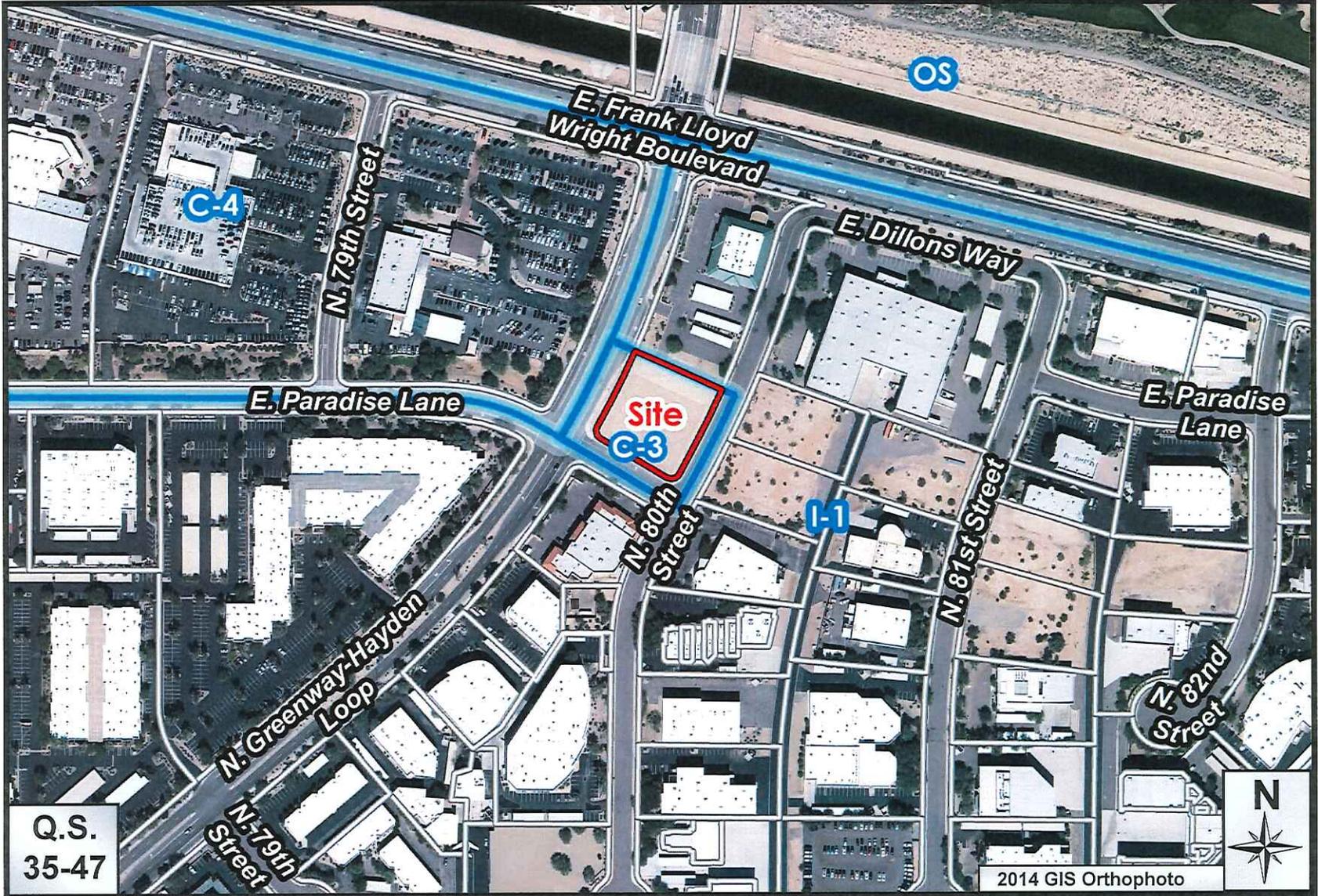
Q.S.
35-47

Google Earth Pro Imagery

Enterprise

14-DR-2016

ATTACHMENT #2A



Enterprise

14-DR-2016

ATTACHMENT #3

GENERAL NOTES

A. PROVIDE A KNOX ENTRY ACCESS SYSTEM
 --- KNOX KEY BOX
 --- KNOX KEY CYLINDER
 --- KNOX OVERRIDE AND PER-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.

B. REFER TO DETAIL #1 FOR EXHIBIT OF MIN. WINDOW GLAZING RECESS IN AN EXTERIOR WALL. REQUIRED IS 50%.

C. REFER TO DETAIL #2 FOR EXHIBIT OF MIN. DOOR RECESS IN AN EXTERIOR WALL, REQUIRED IS 30%.

D. EXISTING SITE HAS NO STREET LIGHTS.

- KEYNOTES**
- EXISTING CONCRETE CURB AND CUTTER.
 - EXISTING CONCRETE SIDEWALK.
 - LANDSCAPE AREA.
 - 3'-4" MASONRY SCREEN WALL/RETAINING WALL - PAINTED TO MATCH BUILDING. REFER TO A4/AS120
 - 6'-0" MASONRY SCREEN WALL - PAINTED TO MATCH BUILDING. REFER TO A3/AS-120
 - TRASH ENCLOSURE- REFER TO C4/AS120.
 - 6" CONCRETE CURB.
 - PAVEMENT PER CIVIL AND GEOTECH REPORT.
 - RAISED CONCRETE SIDEWALK.
 - ADA ACCESS RAMP.
 - SES LOCATION SHALL BE FLUSH WITH EXTERIOR FACE OF BLDG PER SECTION 2-1.402.
 - BIKE RACK/PARKING - REFER TO B1/AS-120
 - FIRE RISER LOCATION.
 - SAND/OIL SEPARATOR PRELIMINARY LOCATION.
 - ENCLOSED WASH BAY.
 - PRELIMINARY LOCATION OF UTILITY TRANSFORMER.
 - RETENTION PER CIVIL.
 - WROUGHT IRON SWING GATES WITH KNOX BOX PER FD.
 - WROUGHT IRON SLIDER GATES WITH CONCRETE PAD.
 - PEDESTRIAN ACCESSIBLE ACCESS TO SITE.
 - PRELIMINARY FDC LOCATION PER ORD. 4045, SECTION 902.2.3.

PROJECT CODE DATA

PROJECT:
ENTERPRISE SCOTTSDALE

ADDRESS:
16275 N. GREENWAY-HAYDEN LP.
SCOTTSDALE, AZ 85260

APN:
215-48-077

GOVERNING MUNICIPALITY:
CITY OF SCOTTSDALE

APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODES
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2011 NATIONAL ELECTRICAL CODE
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2010 ADA GUIDELINES

PROJECT DESCRIPTION:
NEW 3,520 SF BUILDING TO BE USED AS AN ENTERPRISE CAR RENTAL FACILITY.

OCCUPANCY(IES): (GROSS FLOOR AREA)
NEW BUILDING #1 OFFICE = 3,520 SF - B

CONSTRUCTION TYPE(S): V-B W/ SPRINKLERS
FLOOR AREA RATIO: ALLOWED .80/PROPOSED .09

BUILDING HEIGHT:
ALLOWED: 36'-0" PROVIDED 20'-0"

CURRENT ZONING: I-1
REQUIRED ZONING: C-3

SITE AREA:
GROSS SITE = 71,141 (1.63 ACRES)
NET SITE = 41,646 (.956 ACRES)

REQUIRED OPEN SPACE:
FIRST 12' OF HEIGHT:
10% X NET LOT AREA = .10 X 41,646 = 4,164 SF
NEXT 10' OF HEIGHT:
8' X .004 X 41,646 = 1,332 SF
TOTAL = 5,496 SF

OPEN SPACE DISTRIBUTION:

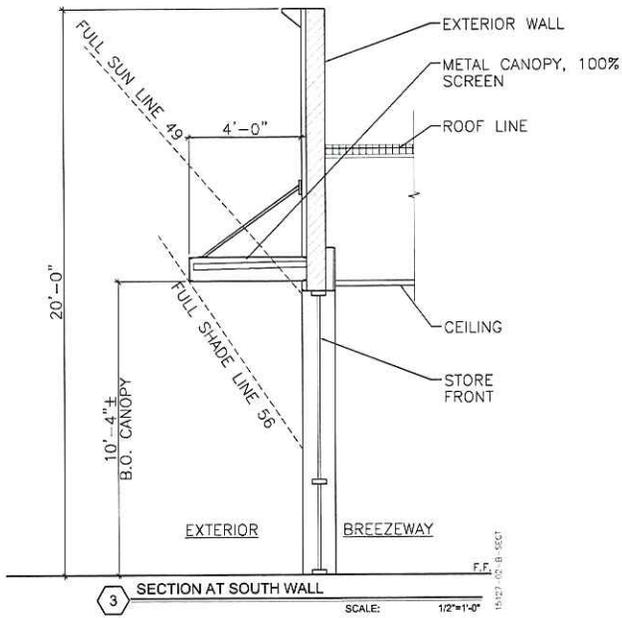
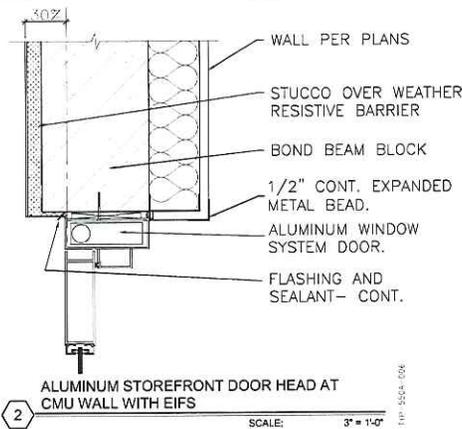
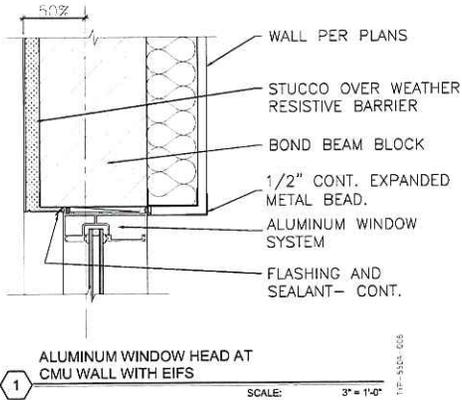
OPEN SPACE	FACTOR	REQUIRED	PROVIDED
FRONTAGE	0.5 X 5,496	2,748 SF MIN.	10,743 SF
OPEN SPACE	5,496-2,748	2,748 SF	879 SF
PARKING O.S.	20,597 X .15	3,089 SF	4,597 SF

PARKING CALCULATIONS: PER SCOTTSDALE ZONING
SEC 9.103

USE	SF	FACTOR	SPACES REQ'D
B	3,520 SF	1 SP/200 SF	18

TOTAL NUMBER OF SPACES

	REQ'D	PROVIDED
EMPLOYEE PARKING SPACES	18	18
PATRON PARKING SPACES	1	1
ACCESSIBLE PARKING REQUIRED	1	1
STORAGE PARKING		18
TOTAL SPACES PROVIDED		38
BICYCLE PARKING	2	2



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PHOENIX, ARIZONA 85018
602-840-2829 P
602-840-6616 F

Enterprise
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SCOTTSDALE
16275 NORTH GREENWAY-HAYDEN LP, SCOTTSDALE, AZ 85260

Revisions

CITY COMMENTS AND DR	DATE
	2-11-10
	2-25-10
	4-27-10

PROJECT NO:
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ENLARGED
SITE
PLAN

AS-110



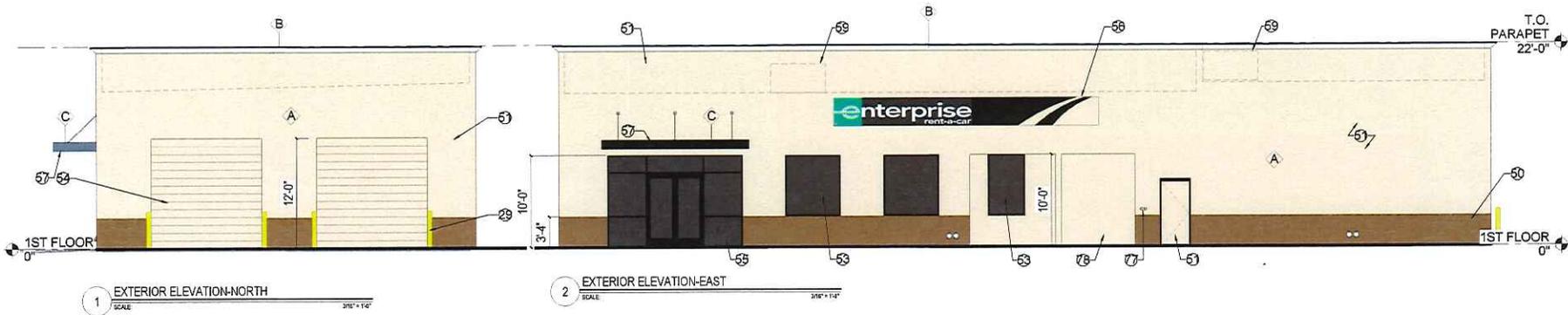
5 3D View 1
SCALE

EXTERIOR FINISH LEGEND

A	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - ICBO 'NER-3899 PAINTED SW6140 'MODERATE WHITE'
B	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - ICBO 'NER-3899 PAINTED SW7005 'PURE WHITE'
C	CORONADO MANUFACTURED STONE - PROLEDGE 'CARMEL MOUNTAIN'
	PAINTED METAL - SW4090 BLACK

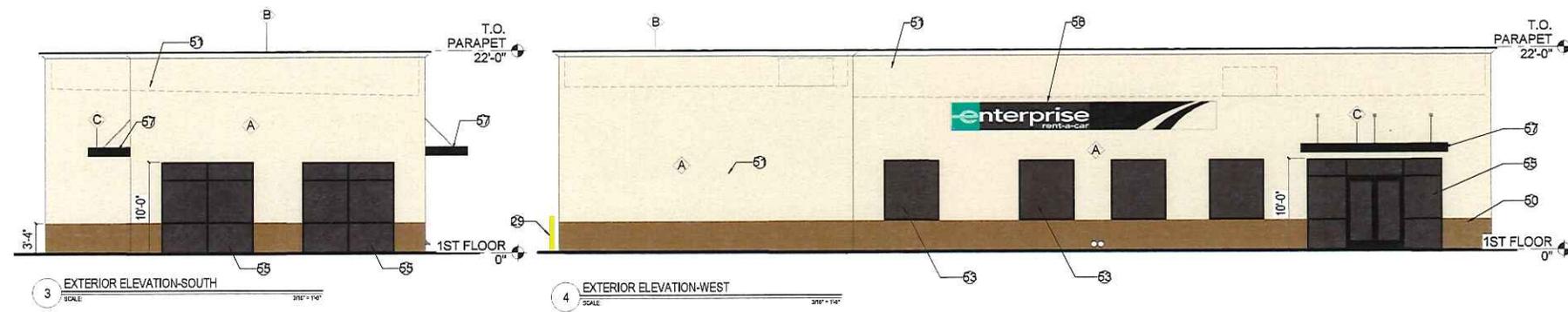
KEYNOTES

29	6"x4'-0" PIPE BOLLARD - PAINTED SAFETY YELLOW.
50	CORONADO MANUFACTURED STONE - PROLEDGE 'CARMEL MOUNTAIN'
51	WESTERN 1-KOTE STUCCO OVER CMU BLOCK - CLASSIQUE FINISH - ICBO 'NER-3899'
53	EXTERIOR WINDOW ALUMINUM FRAME WITH INSULATED GLAZING.
54	COILING DOOR - PAINTED
55	ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLAZING.
56	PRELIMINARY SIGNAGE LOCATOR. ALL EXTERIOR SIGNAGE UNDER SEPARATE SUBMITTAL.
57	METAL CANOPY OVER STOREFRONT ENTRY - REFER TO STRUCTURAL
59	OUTLINE OF ROOF TOP EQUIPMENT SCREENED BY PARAPET.
77	PRELIMINARY FDC LOCATION PER ORD. 4045, SECTION 902.2.3.
78	SES LOCATION SHALL BE FLUSH WITH EXTERIOR FACE OF BLDG PER SECTION 2-1.402.



1 EXTERIOR ELEVATION-NORTH
SCALE 3/8" = 1'-0"

2 EXTERIOR ELEVATION-EAST
SCALE 3/8" = 1'-0"



3 EXTERIOR ELEVATION-SOUTH
SCALE 3/8" = 1'-0"

4 EXTERIOR ELEVATION-WEST
SCALE 3/8" = 1'-0"

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602-848-6648



REVISIONS

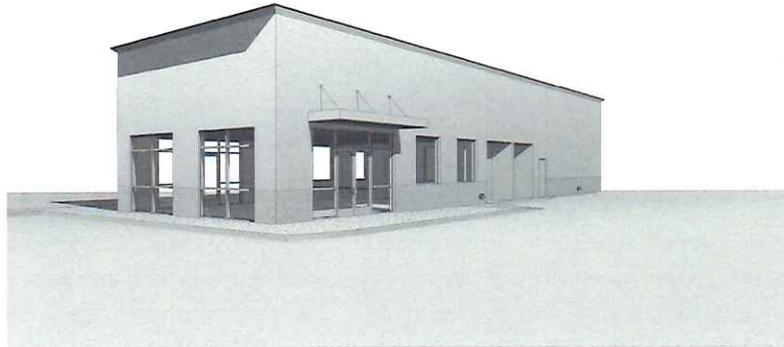
No.	DATE	DESCRIPTION

PROJECT NO: 15127-02
DATE: 03/15/2016
DRAWN BY: MJD, SCJ
CHK'D BY: DTC, DD
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EXTERIOR ELEVATIONS

A-210

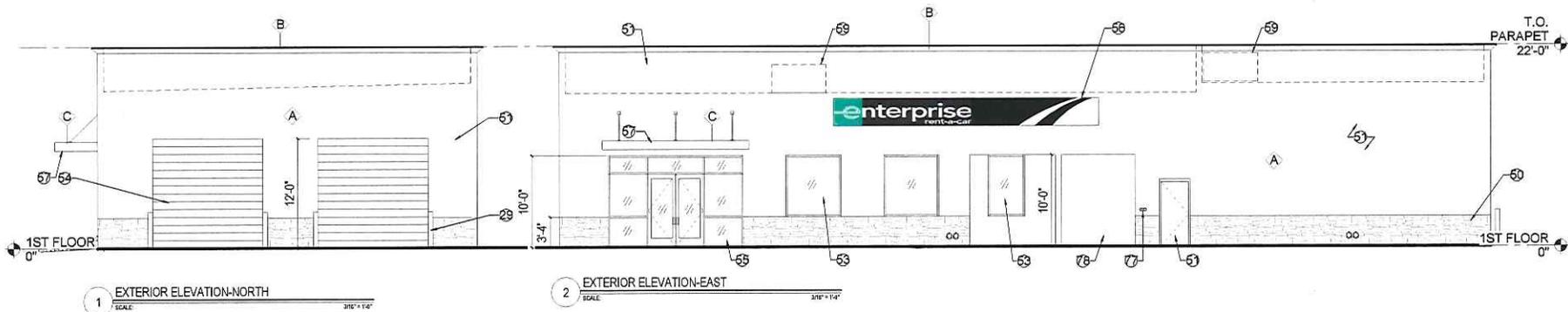
15127-02- ENTERPRISE SCOTTSDALE - DESIGN REVIEW SUBMITTAL - 4-27-16



5 3D View 1
SCALE

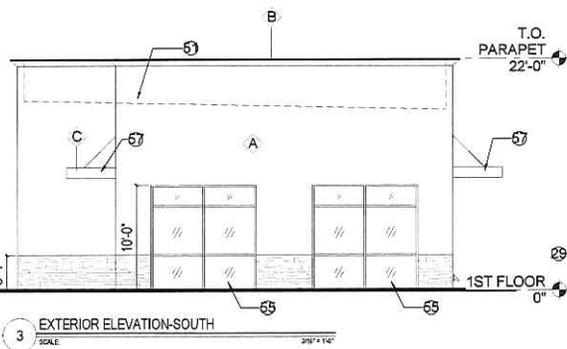
EXTERIOR FINISH LEGEND	
A	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - IC80 "NER-3899 PAINTED SW6140 'MODERATE WHITE'
B	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - IC80 "NER-3899 PAINTED SW7005 'PURE WHITE'
	CORONADO MANUFACTURED STONE - PROLEDGE "CARMEL MOUNTAIN"
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KEYNOTES	
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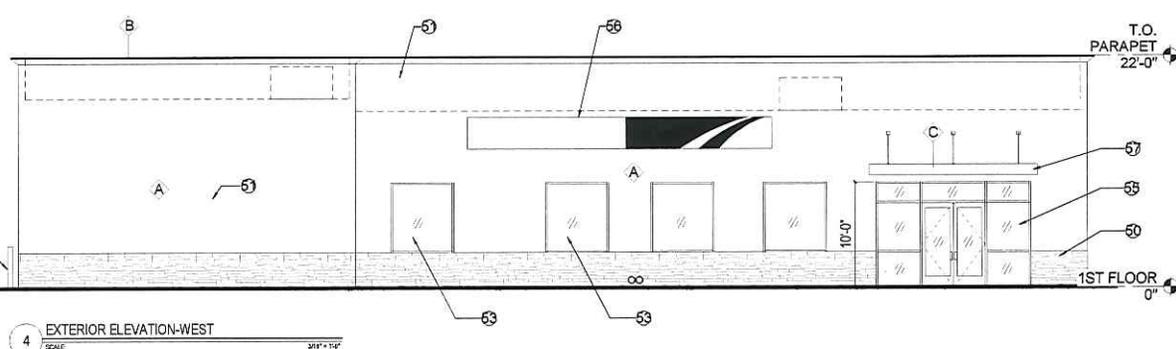


1 EXTERIOR ELEVATION-NORTH
SCALE 3/16" = 1'-0"

2 EXTERIOR ELEVATION-EAST
SCALE 3/16" = 1'-0"



3 EXTERIOR ELEVATION-SOUTH
SCALE 3/16" = 1'-0"



4 EXTERIOR ELEVATION-WEST
SCALE 3/16" = 1'-0"

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602-848-5848 F

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16275 N. GREENWAY AVENUE, L.P.
SCOTTSDALE, AZ 85268
PHOENIX OFFICE: 602-848-2929
TULSA OFFICE: 918-438-2929
WOLFE SPRING OFFICE: 405-875-2929
WEST VALLEY OFFICE: 480-448-2929

REVISIONS		
NO.	DATE	DESCRIPTION

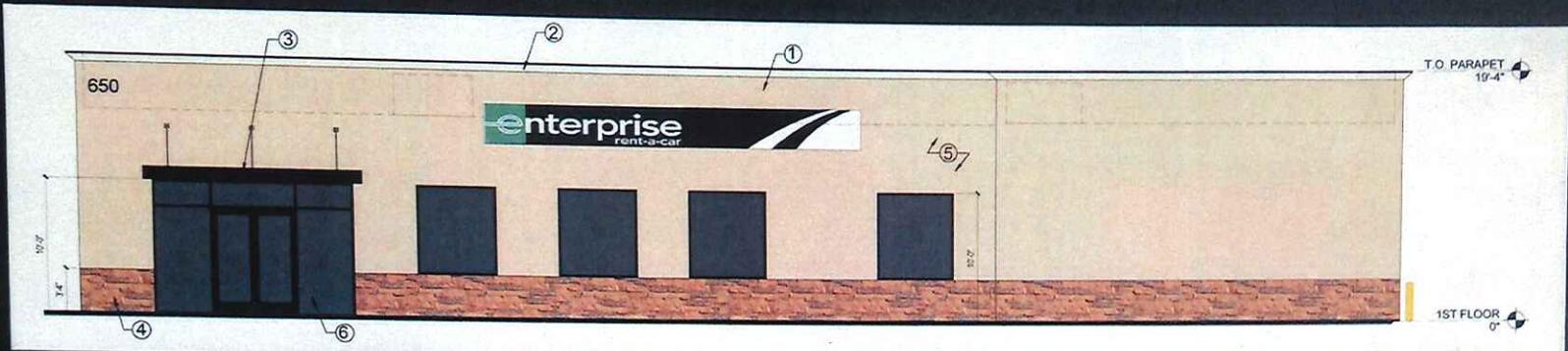
PROJECT NO. 15127.02
DATE 03/01/2016
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EXTERIOR ELEVATIONS

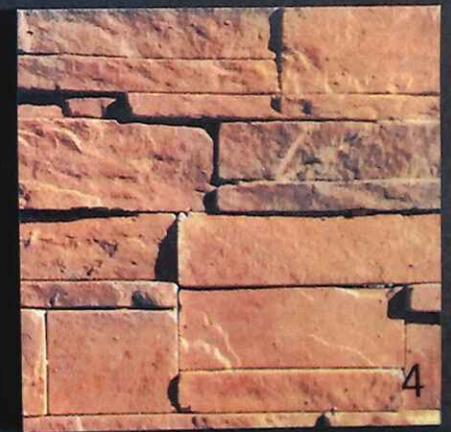
A-210

15127.02- ENTERPRISE SCOTTSDALE- DESIGN REVIEW SUBMITTAL- 4-27-16

14-DR-2016
4/29/2016



KEYNOTE	MATERIAL DETAILS
1	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - ICBO "NER-3899 - PAINTED SW6140 MODERATE WHITE (SHERWIN WILLIAMS)
2	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - ICBO "NER-3899 - PAINTED SW7005 PURE WHITE (SHERWIN WILLIAMS)
3	BLACK STORE FRONT AND CANOPY FRAME: ALUMINUM - BLACK METAL CANOPY PAINTED SW4090 BLACK (SHERWIN WILLIAMS)
4	CORONADO MANUFACTUED STONE - PROLEDGE - CARMEL MOUNTAIN
5	WESTERN 1-KOTE STUCCO - CLASSIQUE FINISH - ICBO "NER-3899 PAINTED
6	GLAZING: DOUBLE PAINT INSULATED. 1" 1/4" PPG OPTIGRAY 23 HIGH PERFORMANCE TINT - SHGC = .25 - U-FACTOR = .69



PROJECT NAME: ENTERPRISE
 ADDRESS: 16275 N. GREENWAY-HAYDEN LP.
 SCOTTSDALE, AZ 85260
 CASE NUMBER #: 23-ZM-2015

BLDG FOUNDATION LANDSCAPE & IRR. NOTES:

1. Positive drainage of a minimum of 5% needs to be maintained from building exterior wall for a min of 10'.
2. NO irrigated plants are to be planted in the first 3' next to Building. Between 3' and 5', only landscape materials that can be irrigated with a MAX of 1 GPH. NO emitters to be located between the Buildings and the Plant material.
3. Any Plant Material requiring greater than 1 GPH irrigation, including turf and annuals, shall be at least 5' from outside of face of building.
4. ALL irrigation lines, other than those supplying individual emitters, shall not be placed closer than 5' to Building.
5. NO large trees are to be planted within a min 10' from Buildings. Small patio trees with canopies of 10' or less may be planted at least 5 ft away from Buildings. Tree roots are to be discouraged to grow under bldg. foundations.

LANDSCAPE LEGEND (U.O.N. - UNLESS OTHERWISE NOTED)

ALL TREES TO MEET OR EXCEED A N.A. SPECIFICATIONS

TREES	SIZE / CLPR / HT.	QTY
<i>Parkinsonia hybrid</i> 'Desert Museum'	24" box 1.0' / 5 standard	11
<i>Desert Museum Palo Verde</i>		
<i>Prosopis velutina</i>	36" box 1.75" / 8.0	11
<i>Arizona Mesquite</i>		
<i>Caesalpinia mexicana</i>	24" Box 1.0' / 5 multi.	12
<i>Mexican Bird of Paradise</i>		
SHRUBS / ACCENTS / VINES	SIZE	QTY
<i>Agave desmetiana</i>	5 Gallon	24
<i>Agave desmetiana</i>		
<i>Hesperaloe parviflora</i>	1 Gallon	50
<i>Red Yucca</i>		
<i>Caesalpinia pulcherrima</i>	5 Gallon	37
<i>Red bird of Paradise</i>		
<i>Dasylirion wheeleri</i>	5 Gallon	10
<i>Desert Spoon</i>		
<i>Agave geminiflora</i>	5 Gallon	24
<i>Twin Flower Agave</i>		
<i>Senna artemisioides</i>	5 Gallon	5
<i>Feathery cassia</i>		
<i>Asclepias subulata</i>	5 Gallon	26
<i>Desert Milkweed</i>		
<i>Ruellia peninsularis</i>	5 Gallon	26
<i>Desert Ruellia</i>		
<i>Muhlenbergia capillaris</i>	5 Gallon	55
<i>"Regal Mist" Deer Grass</i>	5 gallon	11
GROUNDCOVERS	SIZE	
<i>Ruellia brittoniana</i> "Pink Katie"	1 Gallon	49
<i>Pink Dwarf Ruellia Katie</i>		
<i>Lantana montevidensis</i> "Gold Mound"	1 Gallon	81
INERT MATERIAL	SIZE	
<i>Decomposed Granite - Match existing</i>	3/4" Select	
2" min thickness in all landscape areas		
Submit samples to LA for approval		
<i>Fractured 'cobble' Granite</i>	3" to 6"	
(color to match standard DG)		

SCOTTSDALE CITY NOTES

Replanting in areas identified for revegetation, subject to the requirements of case.

No turf areas to be provided on this Project.

Any alteration of the approved Civil plans (additional fill, boulders, etc.) shall require additional final plans staff review and approval. Landscape specifications section of the plans have not been reviewed and shall not be part of the City of Scottsdale approval. A minimum of 50 percent of the provided trees shall be mature trees, pursuant to the City of Scottsdale's zoning ordinance ARTICLE X, SECTION 10.301, as defined in the City of Scottsdale zoning ordinance ARTICLE III, SECTION 3.100.

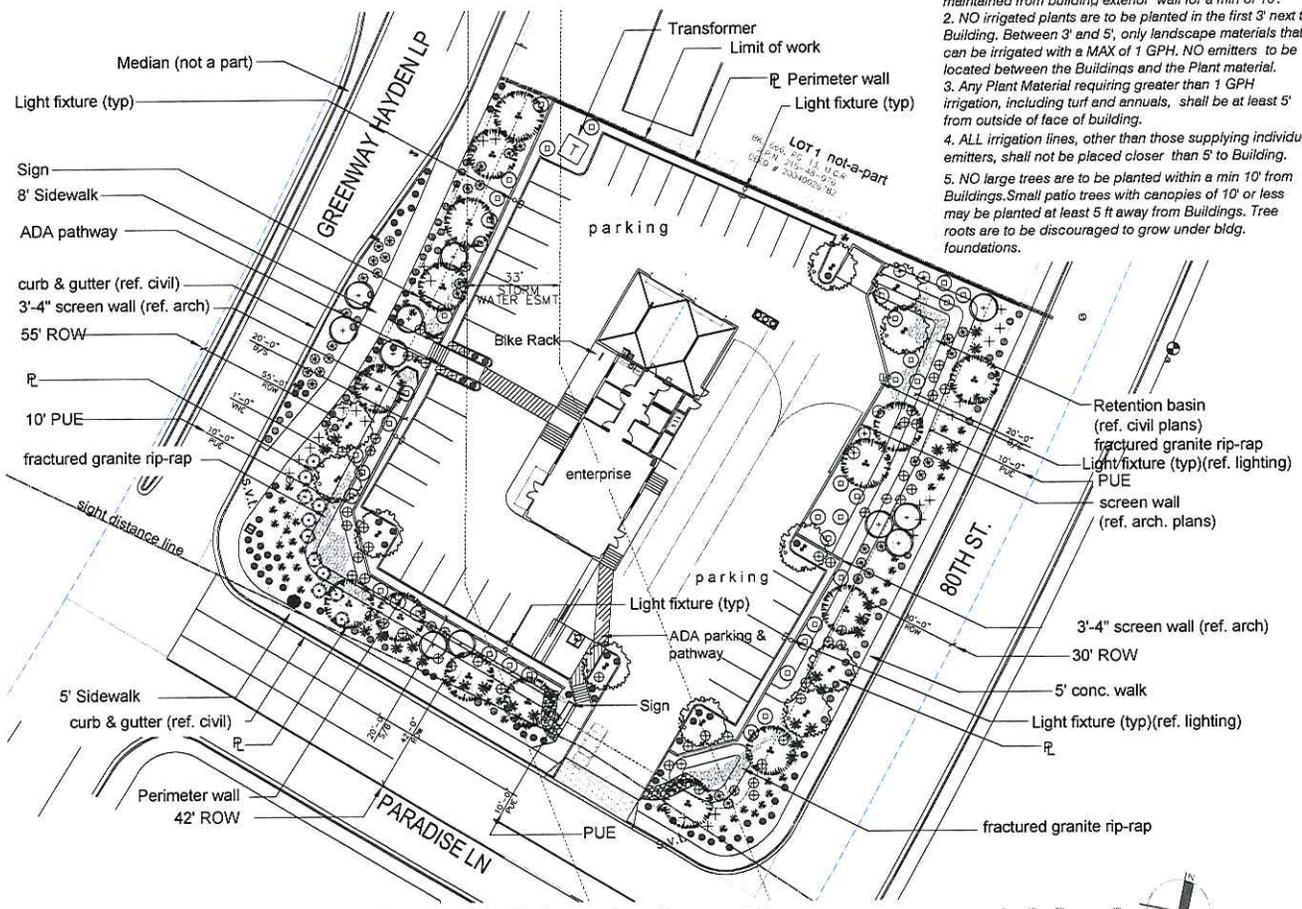
A single trunk tree's caliper size, that is to be equal or less than 4" shall be determined determined by utilizing the smallest dia. of the trunk 6" above finish grade adjacent to the trunk

A tree's caliper size for single trunk trees that are to have a dia. greater than 4" shall be determined by utilizing the smallest dia. of the trunk 12" above the finish grade adjacent to the trunk.

A multiple trunk tree's caliper size is measured at 6" above the location that the trunk split originates, or 6" above finish grade if all trunks originate from the soil. All landscape areas to receive irrigation.

Prior to the establishment of water service, non residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with SECTIONS 49-245 through 49-248 of the city code to the Water Conservation Office.

Areas within sight distance triangles are to be clear of landscaping, signs or other visibility obstruction with a height greater than 1.5'. Trees within the sight triangle shall have a canopy that begins at 8' in height upon installation. All heights are measured from the nearest street line elevation.



Enterprise Rent a Car - Scottsdale -- Preliminary Landscape Plan

EXISTING LANDSCAPE & IRRIGATION NOTES

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system ... etc.

5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100
7. Shrubs in landscape areas on SEPARATE VALVE tied into existing system
8. Landscape Contractor to provide 100% full coverage to ALL Landscaped areas and pots.

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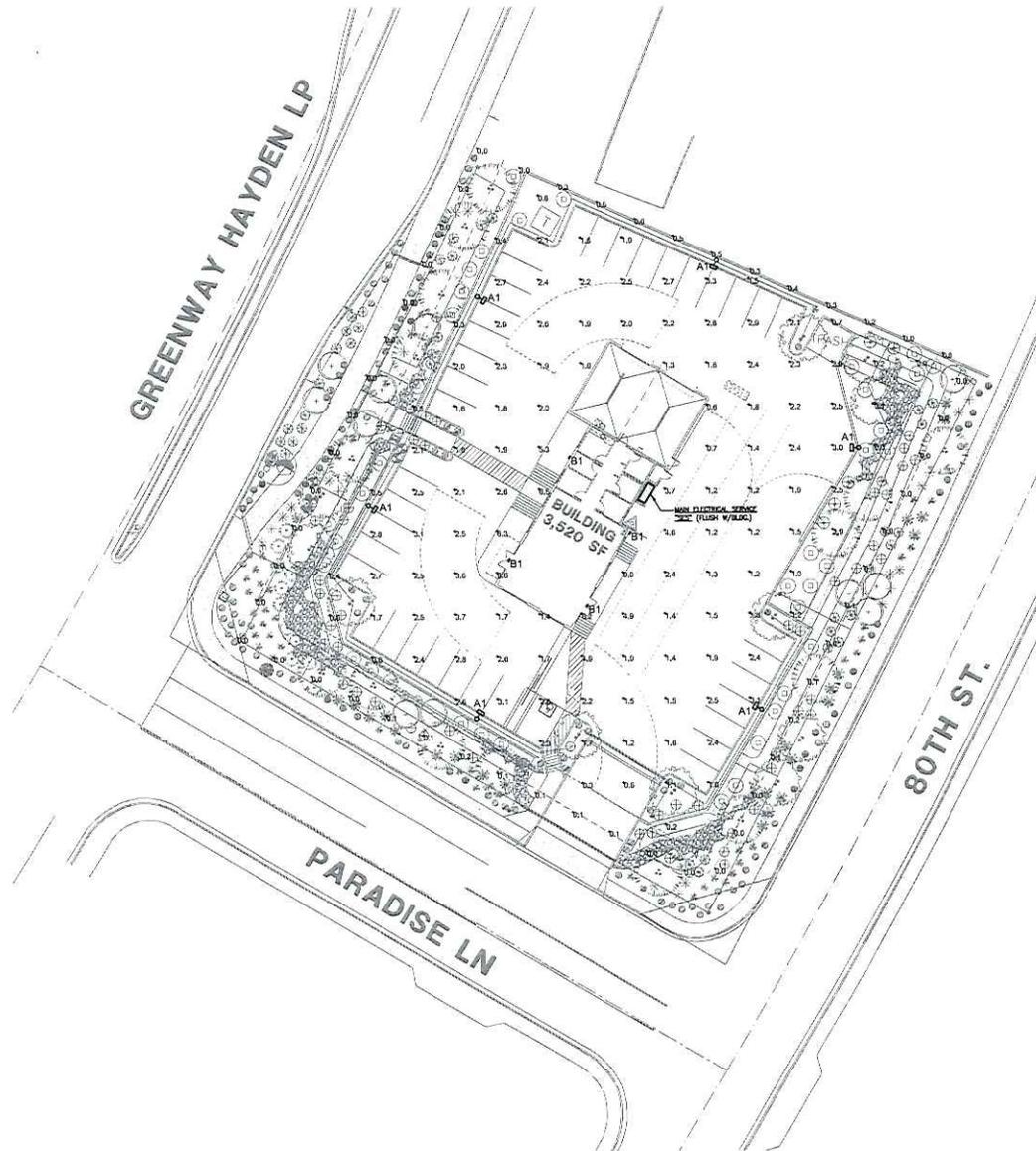
NOT FOR CONSTRUCTION

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602-840-6646 F

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SCOTTSDALE
SOUTH WEST CORNER OF GREENWAY AND PARADISE.

Revisions
PROJECT NO: 14-DR-2016
DRAWN BY: HCS
CHECKED BY: HAL
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PRELIMINARY LANDSCAPE PLAN
PL-01
date 5.31.2016

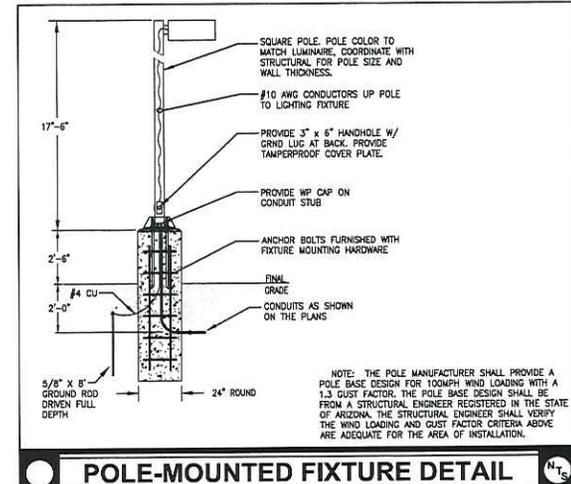


STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE LIGHTING	+	2.1 fc	9.0 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.1 fc	0.0 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF Watts
□	A1	8	McGRAW-EDISON OLEON4E-62-LED- E1-SL4-HSS BUSS 17'-6" WITH 2'-6" BASE	GALLEON LED AREA AND ROADWAY LUMINAIRE TYPE IV SPILL LIGHT LUMINATOR OPTICS WITH HOUSE SIDE SHIELD	LUMINAIRE (2) 70 CRI, 4000K 1A LIGHTS SQUARES WITH 16 LEDS EACH	Absolute 0.95 107
□	B1	4	McGRAW-EDISON E1-60A-LED-E1- BL3-7030	WALL MOUNTED AREA LIGHT AT 10'9" A.F.C.	(42) 3000K CCT, 70 CRI LEDS	Absolute 0.95 46.9

GENERAL NOTES

- ALL EXTERIOR LIGHT FIXTURES, POLES AND ASSOCIATED HARDWARE SHALL BE DARK BRONZE. (VERIFY FINAL COLOR WITH ARCHITECT.)
- ALL WALL MOUNTED FIXTURES SHALL HAVE A HOUSE-SIDE SHIELD AND MOUNTED ON A 4" LONG BRACKET, WHICH WILL BE MOUNTED PERPENDICULAR TO THE WALL.
- ALL EXTERIOR LIGHTS SHALL BE TURNED OFF AT DURING POST-CURFEW WITHIN THE EXCEPTION OF LIGHTS FOR SECURITY PURPOSES:
 - PRE-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS DUSK TO 10:00 P.M.
 - POST-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS 10:00 P.M. TO DAWN.
- A PROGRAMMABLE TIMER AND PHOTOCELL SHALL CONTROL THE PRE & POST-CURFEW LIGHTS. PHOTOCELL SHALL BE MOUNTED ON THE NORTH SIDE OF THE BUILDING. THE PROGRAMMABLE TIMER MAY CONTAIN A MAXIMUM 1-HOUR ANNUAL OVERRIDE WITH AN AUTOMATIC TURN OFF FOR AFTER HOURS AND SPECIAL EVENTS ONLY.



POLE-MOUNTED FIXTURE DETAIL

PHOTOMETRIC PLAN
1"=20'-0"

ATTACHMENT #9

ASEENGINEERING 4507 N. 14th St. Suite # 102, Phoenix, AZ 85018
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 PROJECT NO: 14-DR-2016 DATE: 6/2/16
 DRAWN BY: DSK: DH
 CHECKED BY: CSK: CS

14-DR-2016
6/2/16

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602-840-2929
602-840-6646

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SOUTH WEST CORNER OF GREENWAY AND PARADISE.

Revisions	
2nd DRB SUBMITTAL	06-27-16

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CHECKED BY:
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PHOTOMETRIC PLAN & NOTES

ESLO

McGraw-Edison

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

Catalog #	Type
	A3
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The

house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during

assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.



GLEON GALLEON LED

1-10 Light Squares

Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length	Weight with Arm (lbs., Ft.)	EPA w/ 8' Arm (sq. Ft.)
1-4	15-1/2" (393mm)	1" (17.8mm)	10" (254mm)	35.15/9.4kg	0.96
3-6	21-5/8" (548mm)	7" (178mm)	10" (254mm)	44.20/9.9kg	1.20
7-8	27-5/8" (702mm)	7" (178mm)	10" (254mm)	54.34/12.1kg	1.67
9-10	33-3/4" (867mm)	7" (178mm)	10" (254mm)	63.28/14.1kg	1.82

NOTES: 1. Extending arm option may be required when mounting two or more luminaires per pole at 90° or 120°. Refer to arm mounting requirement table. 2. 10' (3048mm) standard arm length.



McGraw-Edison Electronics

*www.designlights.org



CERTIFICATION DATA

UL/cUL West Location Listed
ISO 9001
LM79 (LM80 Compliant)
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*



ENERGY DATA

Electronic LED Driver
-0.9 Power Factor
-20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (w/1 Option)



TDS000226N
2019-10-02 11:48:13



Eaton
1011 Highway 2, South
Providence City, VA 24601
478-246-4600
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

GLEON GALLEON LED

ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family*	Light Engine	Number of Light Squares*	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON-Galleon	AE1A Drive Current	01-1 02-2 03-3 04-4 05-5 06-6 07-7 08-8 09-9 10-10	LED-Solid State Light Emitting Diodes	E1=120-277V 347-347V / 480-480V / 1	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide SNO=Type V Narrow SNO2=Type V Square Medium SNO3=Type V Square Wide SL2=Type II w/Spill Control SL3=Type II w/Spill Control SL4=Type IV w/Spill Control SL5=Spill Light Eliminator Left SL5R=Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP-Grey E2-Bronce BK-Black DP-Dark Platinum GM-Graphite Metallic WH-White	[Blank]-Arm for Round or Square Pole EA-Extended Arm* MA-Mast Arm Adapter* WM-Wall Mount
Options (Add as Suffix)							
ZL=Two Circuits** 7000-70 CRI 2000K** 8000-80 CRI 2000K** 7650-70 CRI 5000K** 7660-70 CRI 6000K** 530-Drive Current Factory Set to 530mA** 700-Drive Current Factory Set to 700mA** P=Button Type Photocontrol (120, 240, 240 or 277V) PERF=NEMA 7-PIN Twistlock Photocontrol Receptacle R=UL-50°C High Ambient** MS/DIM-L08-Motion Sensor for Dimming Operation, Maximum 8' Mounting Height MS/DIM-L28-Motion Sensor for Dimming Operation, 9' - 20' Mounting Height MS/DIM-L40-Motion Sensor for Dimming Operation, 21' - 40' Mounting Height MS/L-08-B-Level Motion Sensor, Maximum 8' Mounting Height MS/L-12-B-Level Motion Sensor, 9' - 20' Mounting Height MS/L-16-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-20-B-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) MS/L-24-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-28-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-32-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-36-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-40-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-44-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-48-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-52-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-56-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-60-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-64-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-68-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-72-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-76-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-80-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-84-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-88-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-92-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-96-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-100-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-104-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-108-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-112-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-116-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-120-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-124-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-128-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-132-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-136-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-140-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-144-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-148-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-152-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-156-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-160-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-164-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-168-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-172-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-176-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-180-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-184-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-188-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-192-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-196-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-200-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-204-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-208-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-212-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-216-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-220-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-224-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-228-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-232-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-236-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-240-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-244-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-248-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-252-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-256-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-260-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-264-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-268-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-272-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-276-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-280-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-284-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-288-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-292-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-296-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-300-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-304-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-308-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-312-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-316-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-320-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-324-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-328-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-332-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-336-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-340-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-344-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-348-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-352-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-356-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-360-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-364-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-368-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-372-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-376-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-380-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-384-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-388-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-392-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-396-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-400-B-Level Motion Sensor, 21' - 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40' Mounting Height MS/L-476-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-480-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-484-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-488-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-492-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-496-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-500-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-504-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-508-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-512-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-516-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-520-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-524-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-528-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-532-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-536-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-540-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-544-B-Level Motion Sensor, 21' - 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40' Mounting Height MS/L-620-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-624-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-628-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-632-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-636-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-640-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-644-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-648-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-652-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-656-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-660-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-664-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-668-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-672-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-676-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-680-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-684-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-688-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-692-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-696-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-700-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-704-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-708-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-712-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-716-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-720-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-724-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-728-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-732-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-736-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-740-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-744-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-748-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-752-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-756-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-760-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-764-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-768-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-772-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-776-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-780-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-784-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-788-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-792-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-796-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-800-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-804-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-808-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-812-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-816-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-820-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-824-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-828-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-832-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-836-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-840-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-844-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-848-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-852-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-856-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-860-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-864-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-868-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-872-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-876-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-880-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-884-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-888-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-892-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-896-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-900-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-904-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-908-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-912-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-916-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-920-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-924-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-928-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-932-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-936-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-940-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-944-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-948-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-952-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-956-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-960-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-964-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-968-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-972-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-976-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-980-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-984-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-988-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-992-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-996-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1000-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1004-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1008-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1012-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1016-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1020-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1024-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1028-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1032-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1036-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1040-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1044-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1048-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1052-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1056-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1060-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1064-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1068-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1072-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1076-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1080-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1084-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1088-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1092-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1096-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1100-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1104-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1108-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1112-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1116-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1120-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1124-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1128-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1132-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1136-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1140-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1144-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1148-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1152-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1156-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1160-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1164-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1168-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1172-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1176-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1180-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1184-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1188-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1192-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1196-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1200-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1204-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1208-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1212-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1216-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1220-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1224-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1228-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1232-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1236-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1240-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1244-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1248-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1252-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1256-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1260-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1264-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1268-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1272-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1276-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1280-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1284-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1288-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1292-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1296-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1300-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1304-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1308-B-Level Motion Sensor, 21' - 40' Mounting Height MS/L-1312-B-Level Motion Sensor, 21' - 40' Mounting							

