

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: June 16, 2016 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Scottsdale Executive Villas 15-DR-2016

Location: 6330 – 6390 E. Thomas Road

Request: Request approval of the site plan, landscape plan, and building elevations for the renovation of seven existing commercial buildings on a 7.6-acre site.

OWNER

EverWest Real Estate Partners
602-358-2081

ARCHITECT/DESIGNER

Gensler

ENGINEER

Kimley Horn

APPLICANT CONTACT

Adam Ambro
Gensler
303-893-7160

BACKGROUND

Zoning

This site is zoned Service Residential (S-R) and Neighborhood Commercial (C-1) zoning. The S-R district is intended to provide a transitional, residential scale, and character development and C-1 is intended to provide a center for convenience shopping and services for nearby neighborhoods.

Context

The property is located west of the intersection of E. Thomas Road and N. 64th Street along the north side of E. Thomas Road and is surrounded by single-family residences, multi-family residences and commercial buildings.

Adjacent Uses and Zoning

Action Taken _____

- North: Existing single-family residences are located north in the Townhouse Residential (R-4) zoning district.
- South: E. Thomas Road abuts the site to the south. An existing City of Phoenix water facility is located farther south.
- East: The Crosscut Canal and a multi-family residential development are located east in the Multiple-family Residential (R-5) zoning district.
- West: A portion of the existing office complex abuts the site to the west. A commercial shopping center is located west in the Neighborhood Commercial (C-1) zoning district.

Key Items for Consideration

- Design considerations for adequate buffering to existing neighborhood north of the site

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant is requesting approval of a site plan, landscape plan, and building elevations for a proposed renovation of seven existing commercial buildings on a 7.6-acre site with Service Residential (S-R) and Neighborhood Commercial (C-1) zoning. The proposed renovations will provide a more contemporary design for the eastern portion of the office complex and introduce a restaurant to the complex.

Neighborhood Communication

The City mailed notification postcards to the surrounding property owners within 750 feet of the site, and has posted the property notifying the public of the Development Review Board hearing. As of the date of this report, staff has received several items of correspondence related to the applicant's associated zoning map amendment request for a portion of the site from the neighborhood to the north of the site, but no citizen correspondence regarding the applicant's Development Review Board request.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

The existing site is a portion of larger overall office complex. The applicant's request is for approval of renovations to the easterly six buildings of the larger complex. That site is approximately 5.8 acres and has approximately 51,000-square feet of office space. A portion of the renovation site recently received approval from City Council to rezone to the Neighborhood Commercial (C-1) zoning district, which allows the proposed restaurant that is presented as part of the renovation. The existing one and two-story buildings have been in place since the mid-1980s. The applicant's proposal is to remodel the existing buildings on the site and provide a new restaurant of approximately 3,700 square feet in one of the existing buildings near the center of the site. In addition to the building renovation and addition, several changes will be made to the site landscaping and hardscaping to align the overall site in character with the new building design.

Access to the site is unaltered with the proposed renovations. An existing site driveway from E. Thomas Road will remain and provide access to the existing parking located on either side of the clustered buildings. New pedestrian walkways will connect the building to the existing sidewalks along E. Thomas Road and to the existing pathway along the Arizona Canal. Existing vehicular circulation and parking on the site will remain largely unchanged with the exception of revised ADA

parking located near the buildings. Access to the buildings will remain at the existing locations, which are largely from the centralized courtyards of the clustered buildings. A new steel shade canopy is provided at the front entry to the proposed restaurant in compliance with city guidelines for shading. Open space is provided around the perimeter of the buildings and the site and remains largely unaltered.

The proposed building renovations utilize a contemporary style with the use of multiple types of materials including masonry, steel, glass, and stucco. The varying heights of the existing buildings are retained with the renovations, which results in a mix of massing for the buildings, consistent with the city design guidelines. The building will utilize a muted color palette of a primary warm gray tone accented by steel canopies and a dark bronze window system. A new window system provides greater glass fenestration for the buildings allowing more light to penetrate the work spaces within the buildings. The overall heights of the buildings have not been increased and are in character with existing structures in the surrounding area. As noted above a prominent shade canopy has been provided at the location of the new restaurant to provide a prominent focal point for the office complex and to provide shading for outdoor seating at the restaurant, which extends the interior of the building outdoors. Exterior building lighting has been designed to meet the city requirements and all mechanical equipment and utilities have been appropriately screened or integrated with the building design.

As noted above, new landscaping will be added to the site that utilizes drought-tolerant plant material to enhance and complement the renovations to the buildings on the site. Plant species include mesquite, southern live oak, texas mountain laural, chuparosa, and hesperaloe. The plants have been located to provide adequate shade and enhancement to common areas within the centralized courtyards of the buildings and to enhance the site as a whole. In addition, new pathways will connect the existing sidewalks along the E. Thomas Road and the Arizona Canal.

Development Information

- Existing Use: Office
- Proposed Use: Commercial space and office
- Parcel Size: 10.3 gross acres
8.9 net acres
387,738 square feet
- Restaurant space: 3,737 square feet
- Office space: 71,180 square feet
- Building Height Allowed: 18 feet, excluding rooftop appurtenances (S-R)
36 feet, excluding rooftop appurtenances (C-1)
- Building Height Proposed: 19 feet 6 inches (maximum), including rooftop appurtenances
- Parking Required: 270 spaces
- Parking Provided: 397 spaces
- Open Space Required: 74,870 square feet / 1.72 acres
- Open Space Provided: 77,120 square feet / 1.77 acres

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the Scottsdale Executive Villas project per the attached stipulations, finding that the provisions of Character and Design Element of the General Plan and the Development Review Criteria have been met.

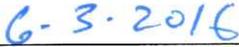
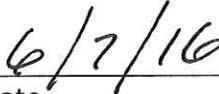
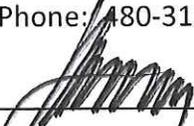
RESPONSIBLE DEPARTMENT

Planning and Development Services
Current Planning Services

STAFF CONTACT

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E-mail: bcarr@ScottsdaleAZ.gov

APPROVED BY

 _____ Brad Carr, AICP, LEED-AP, Report Author	 _____ Date
 _____ Steve Venker, Development Review Board Coordinator Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov	 _____ Date
 _____ Randy Grant, Director Planning and Development Services 480-312-2664, rgrant@scottsdaleaz.gov	 _____ Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
- 1. Applicant's Narrative
- 2. Context Aerial
- 2A. Close-Up Aerial
- 3. Zoning Map
- 4. Site Plan
- 5. Building Elevations
- 6. Perspective
- 7. Landscape Plans

**Stipulations for the
Development Review Board Application:
Scottsdale Executive Villas
Case Number: 15-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Gensler, with a city staff date of 5/4/2016.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Gensler, with a city staff date of 5/4/2016.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Trueform Landscape Architecture Studio, with a city staff date of 5/4/2016.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the site was 1-ZN-2016.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. With the final plans submittal, the owner shall modify the plans to provide a paint color for the white portions of the building that does not exceed an LRV of 70%.

SITE DESIGN:

Ordinance

- B. Relocate the required bicycle parking spaces so that they are nearer to the individual tenant suite entrances/public entrances to the individual buildings, per Scottsdale Zoning Ordinance Section 9.106(C)(2).

DRB Stipulations

- 5. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
- 6. The developer shall provide a refuse enclosure with a grease containment area for the proposed restaurant. Refuse enclosures shall be constructed in conformance with the City of Scottsdale Supplements to MAG Standard Details. Details for construction of refuse enclosures can be found in the City of Scottsdale Supplements to MAG Standards Details, standard detail #2146-1, 2 (2 is grease containment) for single enclosures.
- 7. With the final plans submittal, the plans shall be modified to provide colored concrete or exposed aggregate concrete at pedestrian crossings with vehicular paths of travel.
- 8. Bicycle parking spaces and rack design shall be in conformance with City of Scottsdale Standard Detail No. 2285, unless otherwise approved in writing by the City of Scottsdale's Transportation Department.
- 9. With the final plans submittal, the plans shall be modified to indicate the C-1 Zoning District boundary.

LANDSCAPE DESIGN:

DRB Stipulations

- 10. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.

EXTERIOR LIGHTING:

Ordinance

- C. No light fixture shall be mounted higher than sixteen (16) feet above the adjacent grade.
- D. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward.

DRB Stipulations

- 11. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
- 12. Wall-mounted luminaires located on the north side of all of the buildings shall contain house side shields, and be mounted on a minimum 4-inch-long bracket that is mounted perpendicular to the wall.
- 13. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

14. The owner shall provide one bike parking space for every 10 required vehicular parking spaces with this development. Bike racks shall be placed evenly between two building complexes. A minimum of ten (10) racks shall be provided per complex.

STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:

DRB Stipulations

15. The developer shall provide minimum 2 feet clear distance between the proposed gabion walls and the adjacent sidewalks. Gabion walls shall not be located within the public right-of-way.
16. The developer shall provide a minimum 6 feet wide sidewalk connection from the site to the bike path along the canal.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- E. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

WATER AND WASTEWATER STIPULATIONS:

DRB Stipulations

17. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Services Department requirements.
18. The owner shall provide a grease interceptor for the proposed restaurant.

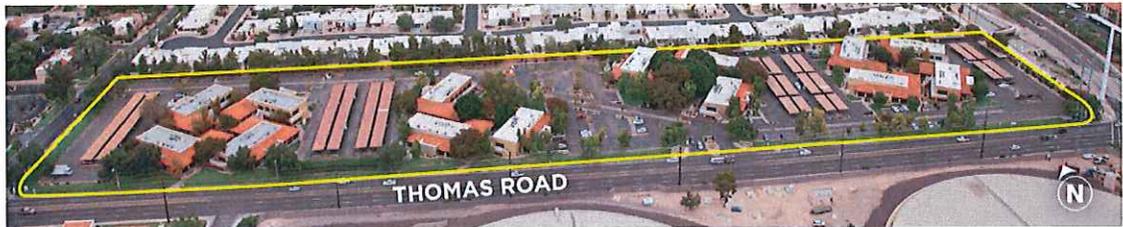


Scottsdale Executive Villas

6300 East Thomas Road
Case# 130-PA-2016

Project Narrative

The Scottsdale Executive Villas consists of 14 individual existing buildings developed in the early 1980's and has seen few improvements since that time. The new owners plan to maintain the existing buildings and site configuration, while implementing a series of upgrades including enhanced landscaping, new interiors, improved courtyards and exterior improvements. No new buildings or additional height are being requested. The entire site includes 14 buildings and will be developed in two equal phases. This request is for the eastern most 7 buildings constituting Phase I. The intent is for the Phase II development to follow and be consistent with Phase I.



Existing Site

As part of the improvements, one of the existing buildings will be remodeled to allow a boutique café and possibly a small fitness center (a rezoning application is pending to allow for this use). These new amenities, totaling less than 3,500 square feet, are positioned near the southern portion of the property close to Thomas road and necessary to attract the more sophisticated tenants that will lease space in the improved complex. The approval of this request will help upgrade and improve an aging office complex while also helping Scottsdale retain and attract highly sought after employers seeking creative office space within a community of like-minded businesses.



Proposed Amenity Building

In order to achieve the project goals of improving the physical characteristics of the existing office complex, and therefore improving the quality of tenants attracted to the project, a cohesive and consistent design concept is proposed throughout the project. This concept involves returning the buildings themselves to their basic components and then interjecting pedestrian scaled elements throughout the site that create an enhanced sense of place. The design approach is in line with the Design Guidelines which call for a more environmentally sensitive approach. This is achieved through several key changes: reduction in hardscape, use of low-water plantings, removal of most grass areas, bike parking and a dedicated bike lane, LED lighting, high-performing glass, and the addition of appropriate insulation at the roof.

It is proposed that the individual buildings will receive needed repairs and an overall refresh. This includes new glazing, roofing, and stucco repairs. Threaded between the buildings will be a new trellis to provide pedestrian shading and orientation. The existing courtyards between the buildings are also scheduled to receive improvements that respect the existing trees, and in fact better support their future growth and viability, through an overall reduction in hardscape. The courtyard spaces are intended to provide a quite respite complimentary to the adjacent office spaces.



Existing Conditions

While parking modifications and improvements are minimal, the project goals include developing a more intuitive site where parking is clearly associated with individual building entries and ADA parking stalls are appropriately allocated. The replacement of existing parking and overall site lighting with more energy efficient and site sensitive LED lighting is proposed. In addition, pedestrian connections throughout the parking will be enhanced to create a more connected site and a safer pedestrian environment.



Proposed Improvements

By creating a refreshed and more connected office environment, the project intends to develop a sense of community that is currently lacking, which in turn will instill an overall sense of pride amongst its occupants. This sense of pride traditionally leads to a greater level of respect for the site as whole as well as the surrounding communities.

Criteria

The proposed project meets the Development Review Board criteria as follows:

Architectural Character, Landscaping and Site Design

- The project consists of existing structures to remain. While outside of the owner's control, the existing relationship of structures to one another, to open spaces and topography is desirable. The project looks to enhance the opportunities presented by the existing site conditions.
- While the project consists of a single building type repeated 14 times across the site (7 within Phase I), the buildings are organized in a fashion that offers dynamic, layered views from any given point within the site. The proposed exterior enhancements give the project an architectural consistency while the building orientations add an appropriate level of variety and visual interest to the project.
- The proposed improvements appropriately address the *Sensitive Design Principles* as follows:
 1. **Design Character** While considerate of its immediate surroundings, the project site is somewhat self-contained along Thomas Road between 61st Place

and 64th Street. Due to the existing site organization, the project's primary context is within the project site itself. The perimeter landscaping and views through the site have been considered through the design process.

2. **Preservation of Natural Features** Once again, the site and orientation of the buildings is an existing site condition and outside of the owner's control. However, the views to and from the site have been considered during the design process.

3. **Existing Topography and Landscaping** The proposed modifications take into account existing topography, including necessary site accessibility upgrades. The mature landscaping on the site is a primary design driver. Saving existing landscape features and incorporating them into the project has been a priority of the project from the start.



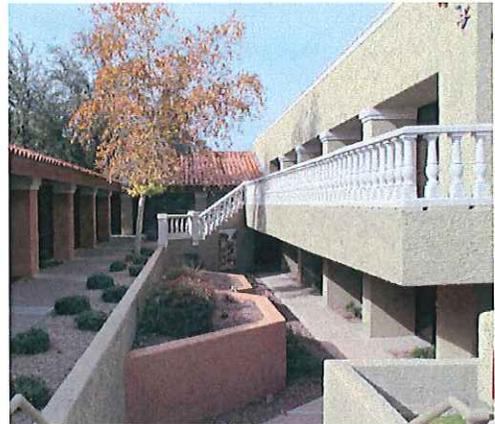
Existing Courtyards

4. **Restoring Natural Habitats** The proposed modifications includes the removal of a large quantity of exiting turf and the introduction of regionally appropriate landscape materials.
5. **Identity to the Community** The proposed improvements includes improved landscaping along the Thomas Road frontage. The landscaping developed as part of Phase I will be continued with Phase II and provide a consistent experience along the entire site. In addition, pedestrian connections have been enhanced both from the existing bike path at the south east corner of the site and from the Thomas Road sidewalk to the project's proposed amenity building.
6. **Alternative Modes of Transportation** The proposed improvements include the addition of bicycle parking and electrical vehicle charging stations. Enhanced pedestrian paths through the site are proposed to further encourage social contact and interaction within the project community.
7. **Consideration for the Pedestrian** Each of the existing buildings are organizing within a 3 or 4 building "pod". New shade trellises have been proposed to improve the pedestrian experience, improve the interior

conditions of the space, and provide a point of orientation for occupants and visitors alike.

8. Logical Hierarchy of Masses

While existing and outside of the owner's control, the architecture of the individual buildings appropriately include a hierarchy of masses that add to their visual interest. The proposed improvements look to further enhance and celebrate this hierarchy through the appropriate application of new materials and exterior enhancements.



Existing Tenant Outdoor Spaces

9. Response to the Desert Environment The proposed improvements are a result of reconnecting the project to the desert environment. A priority has been placed on developing usable outdoor spaces that extend the users' experience beyond the walls of the building – both physically and visually. These proposed spaces are currently covered, dark and rarely used. In addition, they visually disconnect the existing spaces from the outside. The



Nearby development

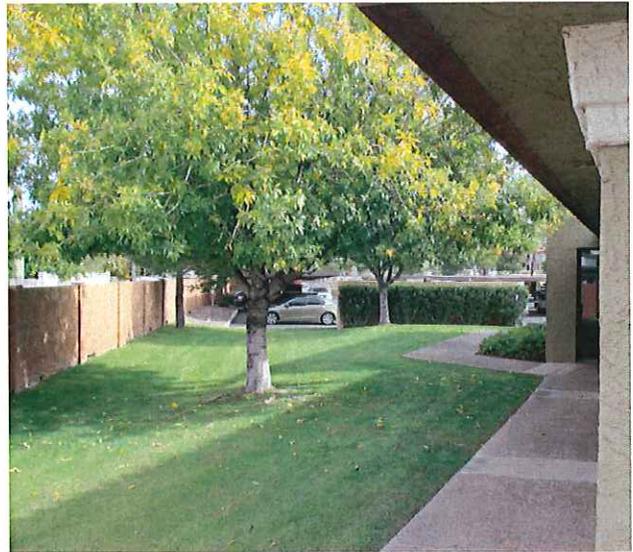
materials, colors and textures have been selected with the desert environment in mind. The rich articulation provided by the proposed trellis and guardrail system is supported by a backdrop of natural, sanded stucco. The simple, sophisticated architectural statement is further enhanced by the proposed landscape improvements and natural texture created by the existing site orientation. The materials and colors are consistent with new development occurring within the immediate area.

10. Sustainable and Healthy Practices The proposed improvements look to extend the useful life of an existing set of structures – one of the most sustainable strategies available. Other sustainable strategies include the

removal of water-dependent landscaping features, increased access to daylighting, introduction of LED site lighting throughout, and increased pedestrian connects to, and through, the site.

11. Landscape Design

Using the architecture as a backdrop, the proposed landscape design a) incorporates as appropriate the existing, mature trees, b) replaces existing turf with more appropriate plantings and materials, and c) enhances the pedestrian experience through appropriately scaled and placed plantings.



Existing Landscape

12. **Water Use** In addition to the incorporation of water-efficient landscape materials, water is minimally incorporated into the site design at the intimate, pedestrian courtyards around which the existing buildings are organized.
13. **Lighting** Existing site lighting is being replaced with LED fixtures. The lighting strategy is to create a safe pedestrian environment with appropriate points of emphasis – primarily the individual tenant entries and pedestrian paths.
14. **Signage** While not a component of the proposed improvements and this submittals, signage opportunities have been analyzed during the design process to ensure compatibility with the architecture and site design.

Ingress, Egress, Internal Traffic Circulation

- Modifications to the existing site access and internal vehicular circulation are proposed to remain mostly unchanged. Improvements are proposed to a) better allocate ADA parking stalls throughout the site, b) enhance pedestrian connects to and through the site, and c) promote bicycle usage.



Q.S.
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Google Earth Pro Imagery

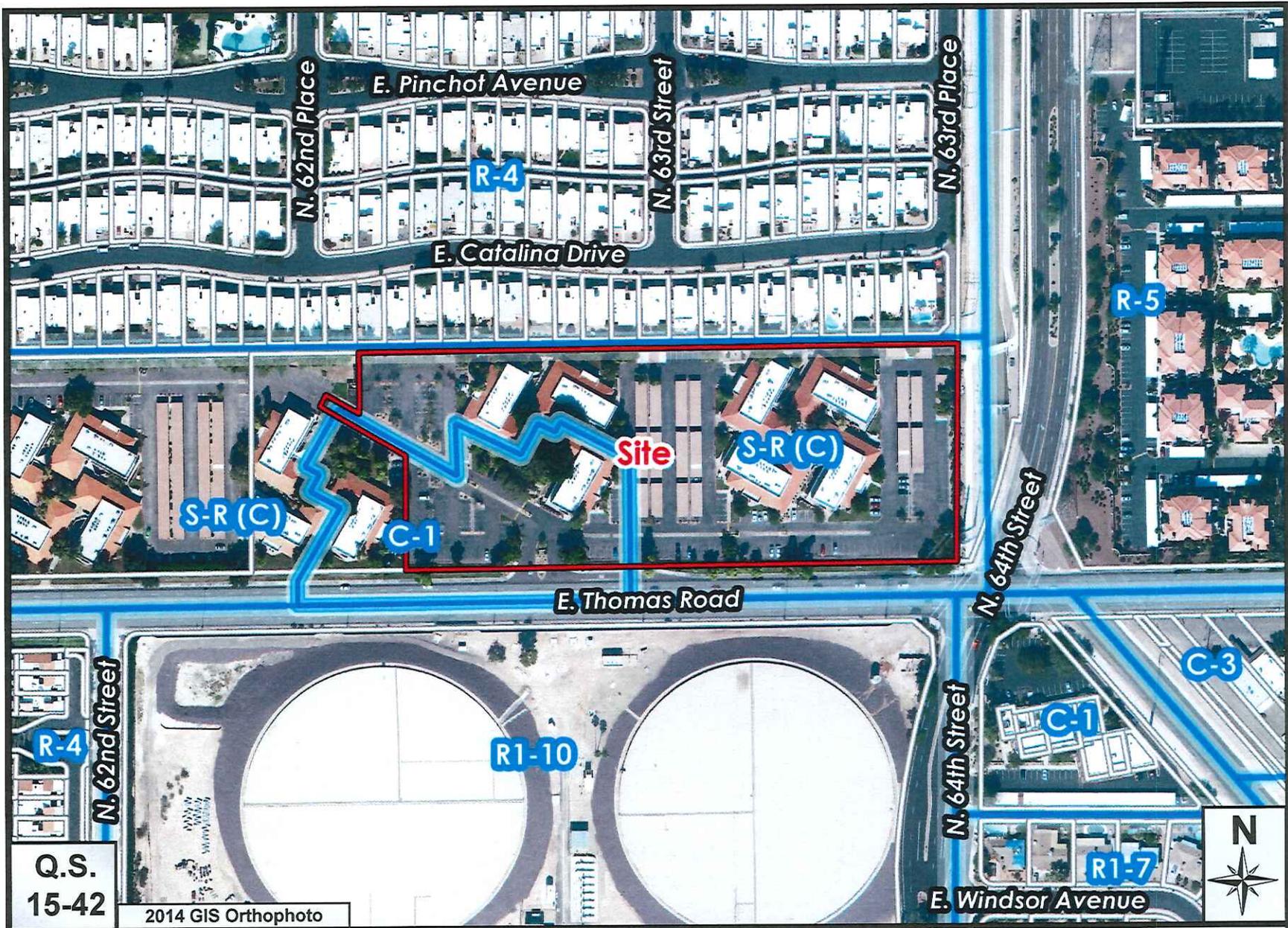
Scottsdale Executive Villas

15-DR-2016



Scottsdale Executive Villas

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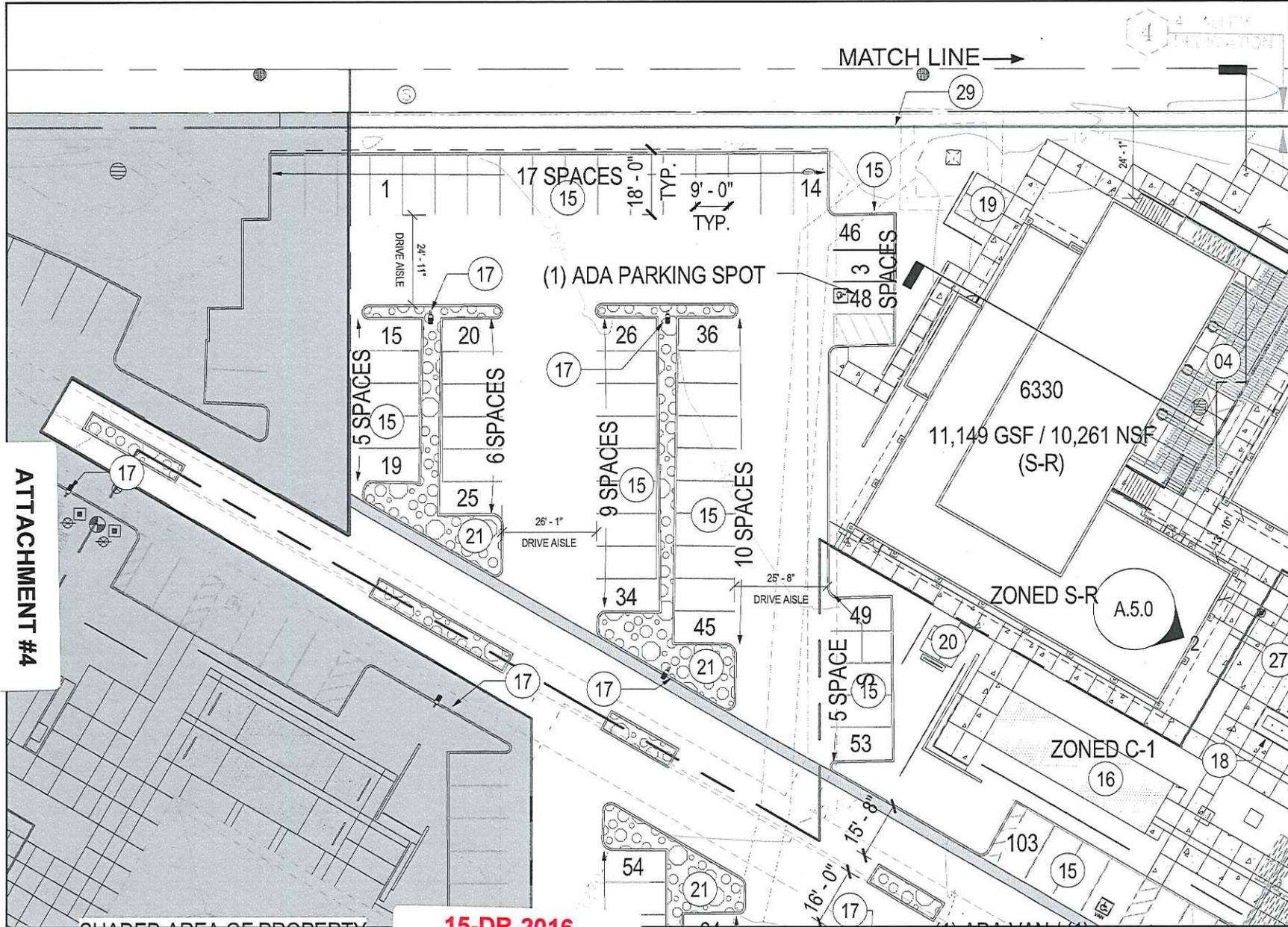
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2014 GIS Orthophoto

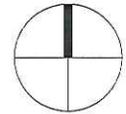
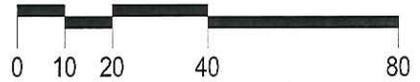
Scottsdale Executive Villas

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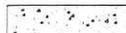
SITE PLAN



ATTACHMENT #4



LEGEND:

-  NOT IN PROJECT
-  NEW HARDSCAPE
-  EXISTING SIDEWALK

KEY:

A	B	C	D
E	F	G	H

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Date	Description
7/05/03/16	Design Review Submittal #2

Seal/Signature _____

Project Name
SEV Scottsdale

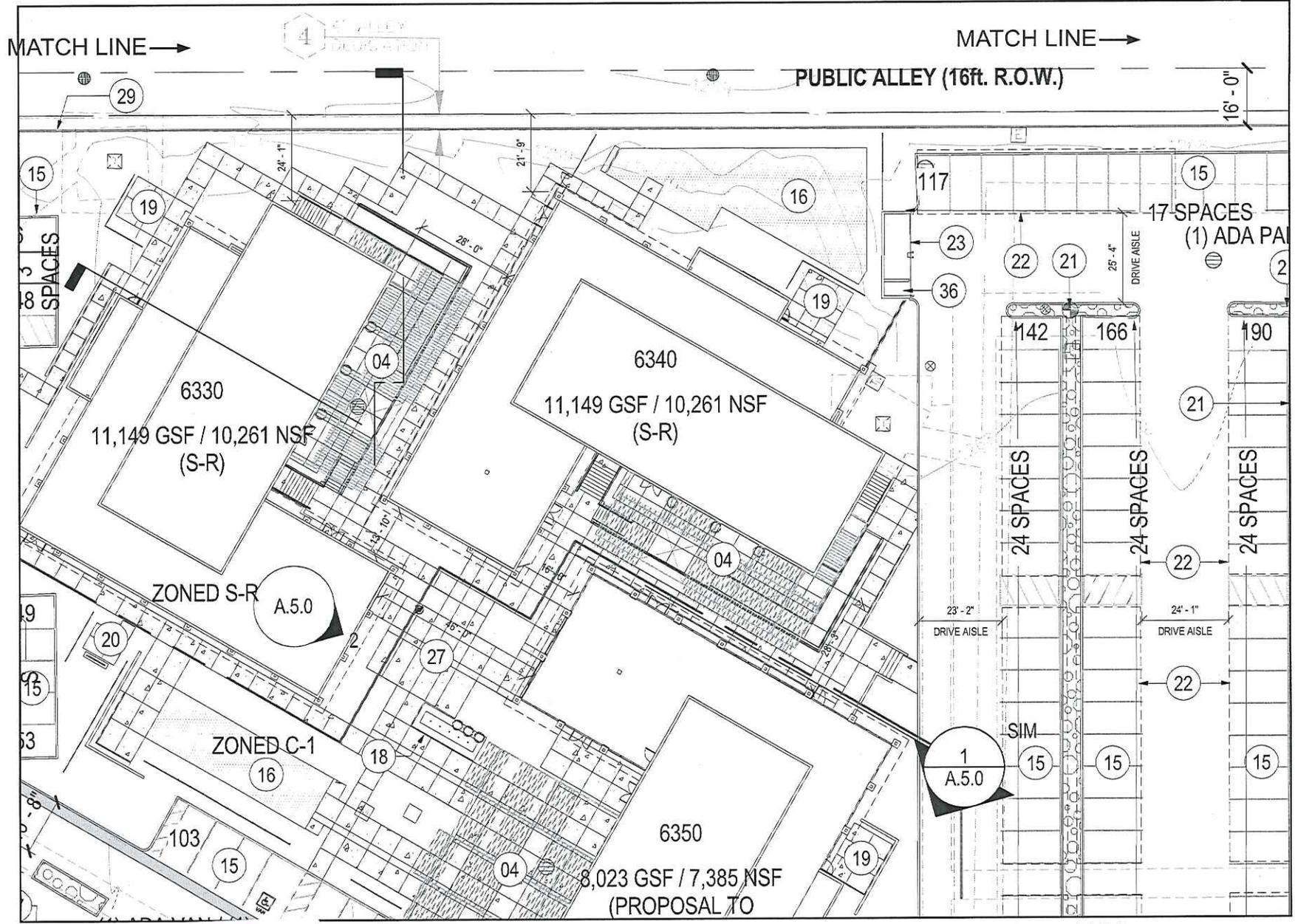
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Description
SITE PLAN

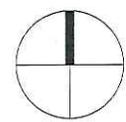
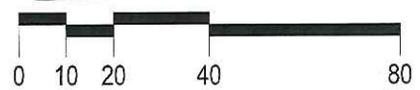
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SITE PLAN



15-DR-2016
05/04/16



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- NEW HARDSCAPE
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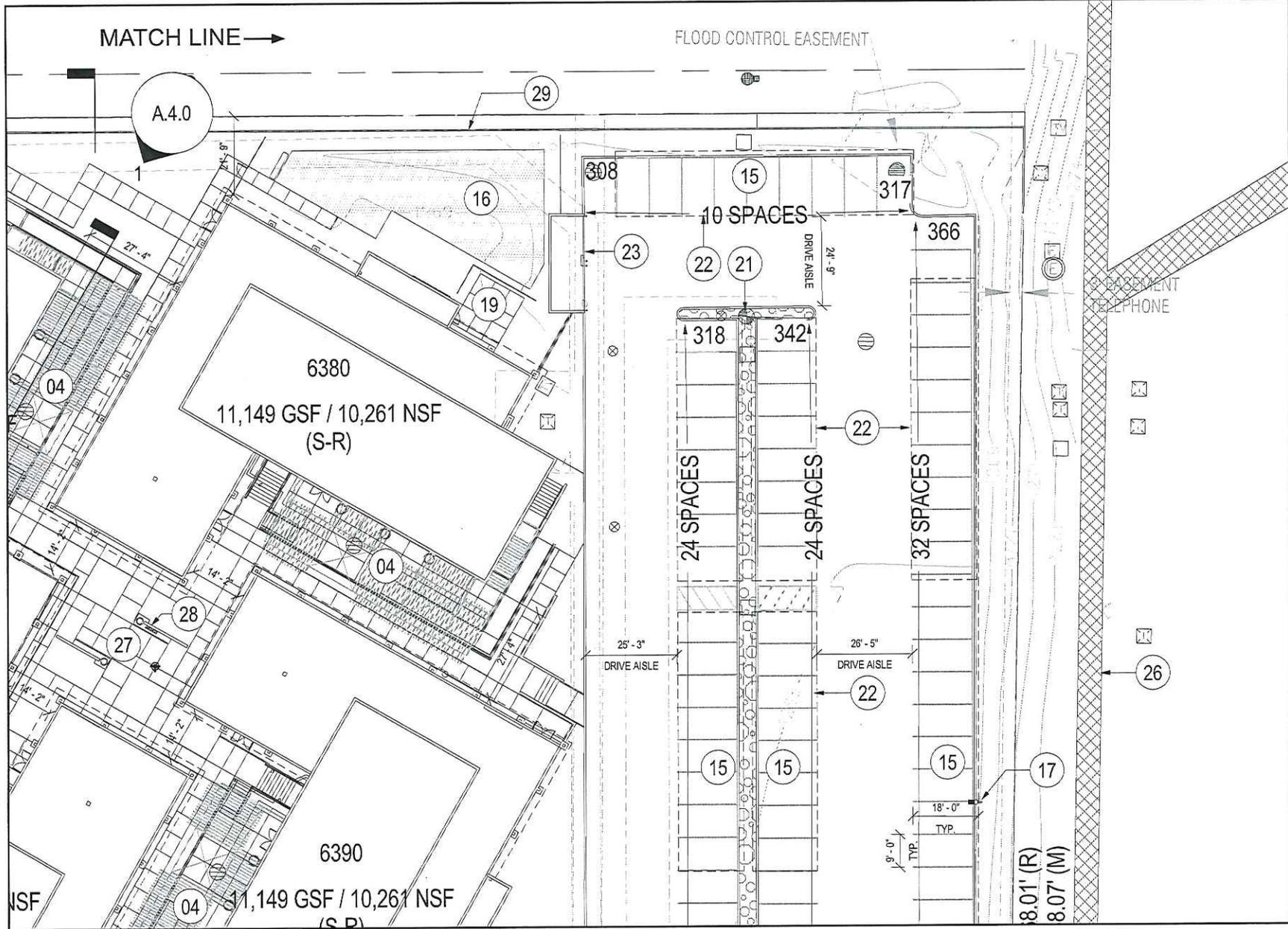
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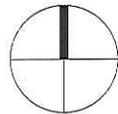
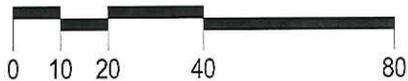
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A.2.0.B

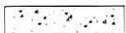
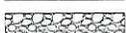
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15-DR-2016
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Tel: 480.451.4900

Date	Description
7 05.03.16	Design Review Submittal #2

Seal/Signature

Project Name
SEV Scottsdale

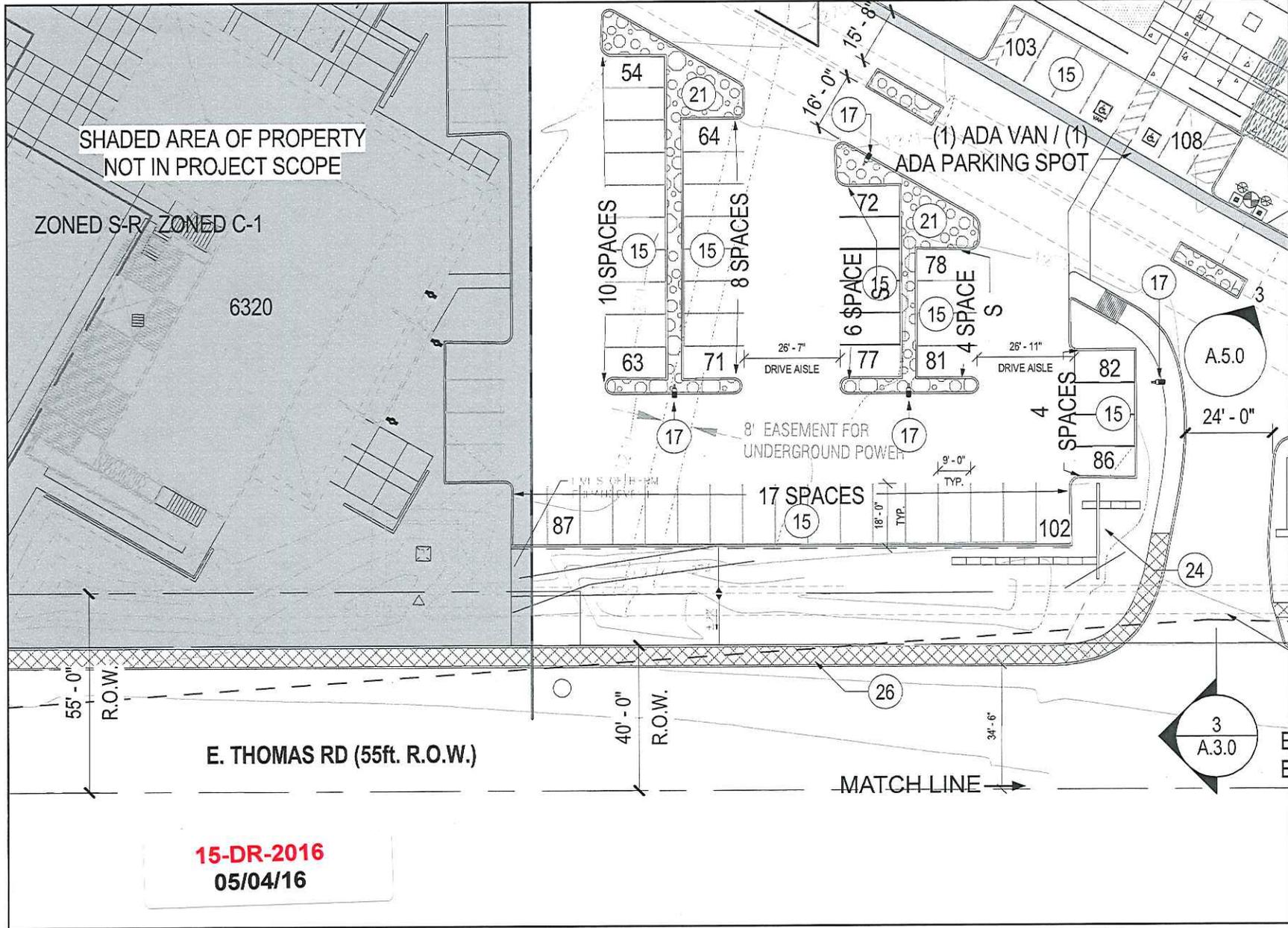
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Description
SITE PLAN

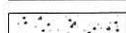
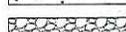
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SITE PLAN

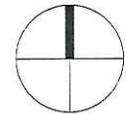


LEGEND:

-  NOT IN PROJECT
-  NEW HARDSCAPE
-  EXISTING SIDEWALK

KEY:

A	B	C	D
E	F	G	H



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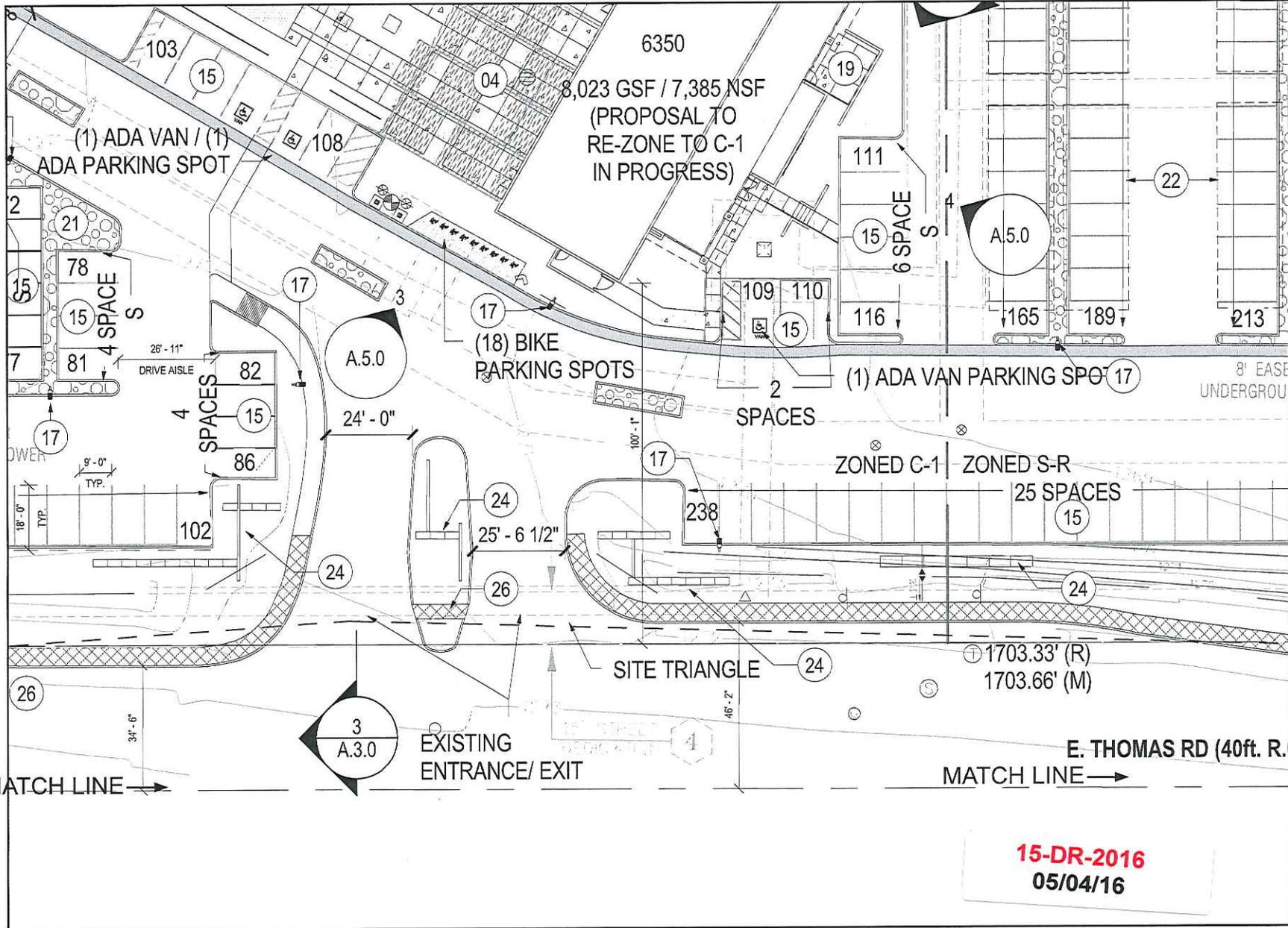
Project Number
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Description
SITE PLAN

Scale

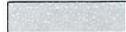
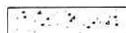
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SITE PLAN



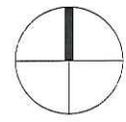
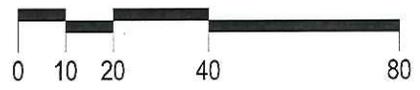
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LEGEND:

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-  EXISTING SIDEWALK

KEY:

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E	F	G	H



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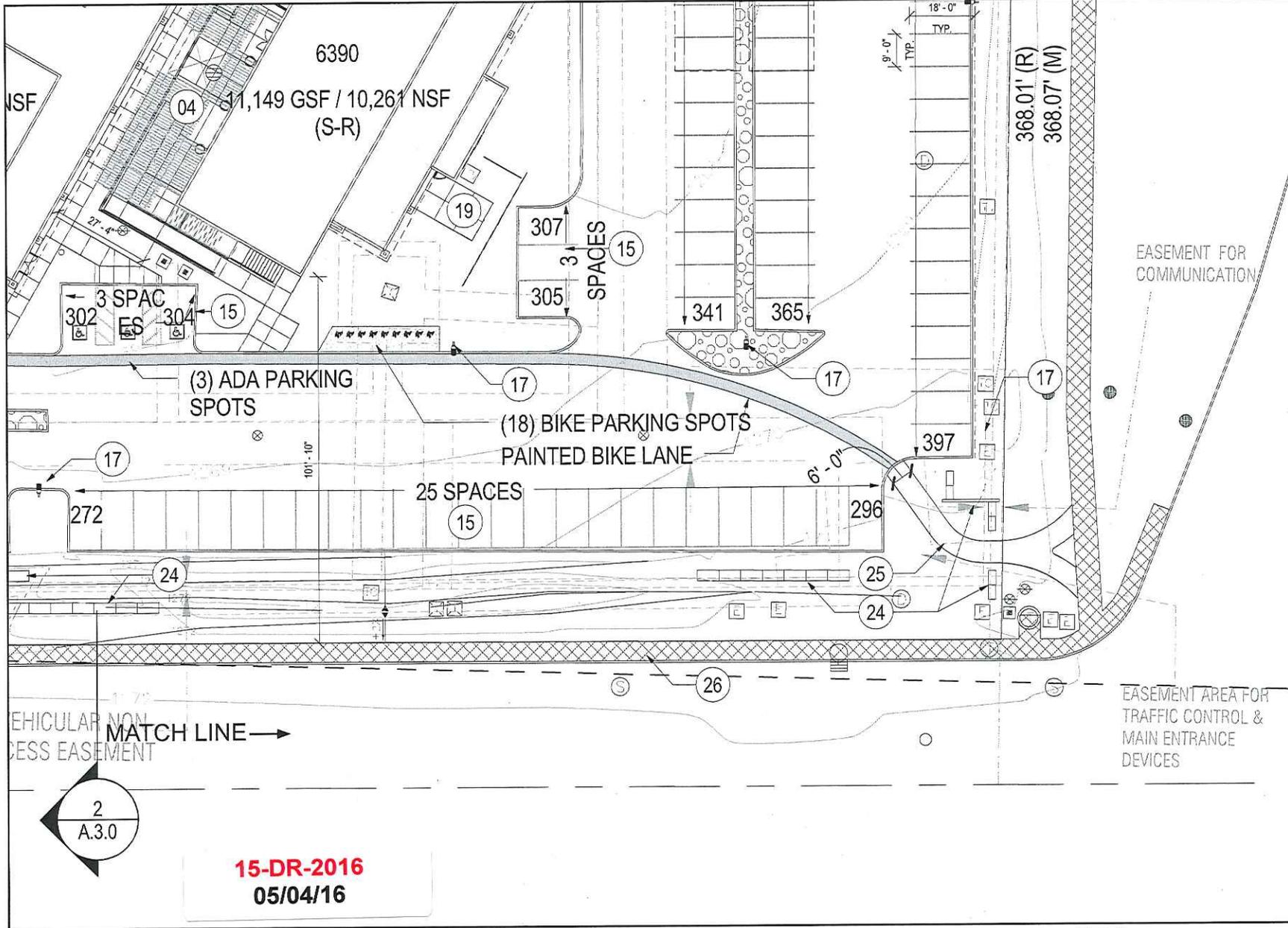
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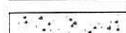
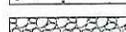
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SITE PLAN



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LEGEND:

-  NOT IN PROJECT
-  NEW HARDSCAPE
-  EXISTING SIDEWALK

KEY:

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E	F	G	H

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SITE PLAN

Scale

A.2.0.H

SHEET KEYNOTES

- | | |
|---|---|
| 01 NEW STUCCO FINISH ON EXISTING SURFACE | 18 WATER FEATURE |
| 02 NEW STOREFRONT GLAZING AND FRAMING IN EXISTING OPENING | 19 CONCRETE PATIO |
| 03 NEW ROOF - STANDING SEAM METAL ROOF ASSEMBLY W/ INSULATION ON EXISTING STRUCTURE | 20 CMU & STEEL MAIL BOX |
| 04 NEW STEEL SHADE TRELIS | 21 EXISTING MEDIAN TO RECEIVE NEW RIVER ROCK GROUND COVER |
| 05 NEW METAL COPING TO MATCH STANDING SEAM ROOF FINISH | 22 EXISTING CAR CANOPY |
| 06 NEW METAL ROOF TRIM | 23 EXISTING TRASH ENCLOSURE TO RECEIVE NEW PAINTED STEEL GATE |
| 07 NEW DOOR | 24 NEW 30" GABION / CONCRETE SITE WALL ACCENT |
| 08 EXISTING DOOR, PAINTED TO MATCH NEW STUCCO | 25 NEW SIDEWALK CONNECTION TO CROSS-CUT CANAL BIKE TRAIL |
| 09 NEW STEEL STAIR | 26 EXISTING SIDEWALK |
| 10 NEW DOOR SYSTEM (BASIS OF DESIGN: SLIDING DOOR) | 27 NEW CONCRETE HARDSCAPE |
| 11 NEW GUARDRAIL SYSTEM - STEEL POST AND RAIL WITH MESH INFILL | 28 NEW BENCH AND FIREPLACE |
| 12 NEW STEEL BALCONY | 29 EXISTING PROPERTY WALL TO BE REPAIRED AS NECESSARY |
| 13 EXISTING ROLLER DOOR, PAINTED TO MATCH ADJACENT STUCCO | 30 NEW WOOD ACCENT SCREEN |
| 14 EXISTING STAIR, REPAIRED AS NECESSARY | 31 NEW METAL SCUPPER |
| 15 PARKING | 32 NEW DOOR SYSTEM (BASIS OF DESIGN: GARAGE DOOR) |
| 16 AMENITY GRASS LAWN | 33 RECESSED CAN LIGHT (WITHIN EXISTING BUILDING OVERHANG) |
| 17 SITE LIGHTING FIXTURE, REFER TO PHOTOMETRIC PLAN | 34 NEW STUCCO FINISH ON EXISTING SURFACE, ACCENT COLOR |
| | 35 EXTERIOR MOUNTED LIGHT, RE: PHOTOMETRIC PLAN |
| | 36 NEW GREASE CONTAINMENT AREA. |

GENERAL NOTES

- UNLESS OTHERWISE NOTED, PARKING AS SHOWN EXISTING AND TO REMAIN.
- ADJACENT EXISTING BUILDINGS TO REMAIN, NO CHANGE TO ZONING.
- THERE WILL BE NO CHANGES TO EXISTING OVERALL BUILDING HEIGHT OR MASS.
- REFER TO LANDSCAPE PLAN FOR PLANTING & GROUND MATERIAL INFORMATION

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REQUIRED PARKING PER TABLE 9.103.A. (ARTICLE IX)

"OFFICE, ALL OTHER"	= (1) PER 300 SQUARE FEET OF GROSS FLOOR AREA
"RESTAURANT"	= (1) PER 120 SQUARE FEET OF GROSS FLOOR AREA
OFFICE GSF	= 71,180 GSF / 300 = 238 SPACES
RESTAURANT GSF	= 3,737 GSF / 120 = 32 SPACES
TOTAL REQUIRED	= 270 SPACES
TOTAL PROVIDED	= 397 SPACES

REQUIRED ACCESSIBLE PARKING PER ADAAG/ANSI A117.1

REQUIRED ACCESSIBLE SPACES (301 TO 400)	= 8
PROVIDED ACCESSIBLE SPACES	= 8
REQUIRED VAN READY SPACE (1 OF EVERY 6)	= 2
PROVIDED VAN READY SPACE	= 2

**NOTE: CALCULATIONS FOR AREA OF PROJECT WORK ONLY*

REQUIRED BIKE PARKING

PER ZONING ORDINANCE 9.103C	= 1 BIKE PARKING PER 10 VEHICULAR PARKING
MINIMUM REQUIRED SPOTS	= 250 VEHICULAR PARKING SPOTS / 10 = 25 BIKE
PROVIDED SPOTS	= 36 BIKE PARKING SPOTS

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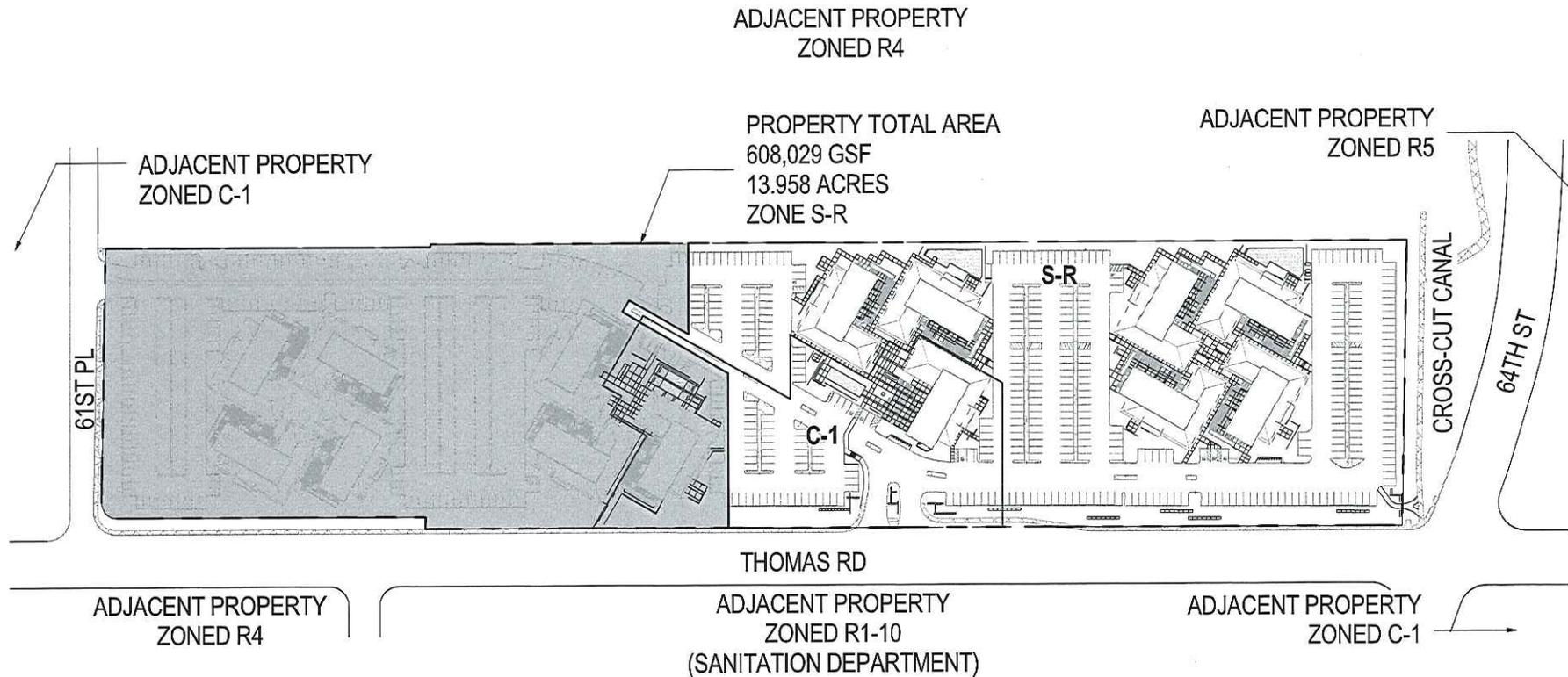
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PROPERTY PLAN



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ZONING:

	S-R
Height Limit	18 ft
Maximum Density	1 dwelling unit/3,500 square feet gross land area
Minimum Setbacks	15 ft if adjacent to residential
Minimum Open Space Required	24% - 36% net lot area

	C-1
Height Limit	36 ft
Floor Area Ratio (FAR)	0.8 net lot area
Maximum Density	N/A
Minimum Setbacks	Front= 30 ft; Side & Rear = 25 ft if adjacent to multi-family residential or 50 ft if adjacent to single-family residential
Minimum Open Space Required	10% of total lot area for 1 st 12 ft of building height, plus 4/10% for each foot of height above 12 ft

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 Project Number
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 Description
 SITE PLAN

 Scale

A.2.0

OPEN SPACE CALCULATION (S-R)

PROJECT SITE AREAS (S-R):

PROJECT SITE AREA: **252,467 SF**
 BUILDING AREA: **50,927 SF**
 OPEN SPACE: **60,767 SF**
 PAVED AREA: **123,655 SF**
 PARKING LANDSCAPE: **17,118 SF**

BUILDING PERCENTAGE:

50,927 SF / 252,467 SF = 20%
 (BLDG) / (TOTAL) = (BLDG AREA PERCENTAGE)

REQUIRED OPEN SPACE:

MINIMUM OPEN SPACE = **24-36% NET LOT AREA**
 REQUIRED OPEN SPACE @ 24% = **252,467 SF x 24% = 60,592 SF**
 REQUIRED OPEN SPACE @ 36% = **252,467 SF x 36% = 90,888 SF**

PROVIDED OPEN SPACE:

PROVIDED OPEN SPACE = **60,767 SF / 252,467 SF = 24%**
 (OPEN SPACE) / (TOTAL AREA) = (OPEN AREA PERCENTAGE)

PROPOSED RE-ZONING OPEN SPACE CALCULATION (C-1):

PROPOSED RE-ZONING AREAS (C-1):

RE-ZONED PROPERTY AREA: **76,545 SF**
 BUILDING AREA: **8,508 SF**
 OPEN SPACE: **16,588 SF**
 PAVED AREA: **44,067 SF**
 PARKING LANDSCAPE: **7,382 SF**

BUILDING PERCENTAGE:

8,508 SF / 76,545 SF = 11%
 (BLDG) / (TOTAL) = (BLDG AREA PERCENTAGE)

REQUIRED OPEN SPACE:

MINIMUM OPEN SPACE = **10%**
 ADDITIONAL OPEN SPACE WITH BUILDINGS OVER 12FT = **4/10% PER FOOT**
 EXISTING BUILDING HEIGHT = **19.5 FT**
 ADDITIONAL OPEN SPACE REQUIRED = **19.5 FT - 12 FT = 7.5 FT x 4/10% = 3%**
 REQUIRED OPEN SPACE PERCENTAGE = **10% + 3% = 13%**
 REQUIRED OPEN SPACE = **109,828 SF x 13% = 14,278 SF**

PROVIDED OPEN SPACE:

PROVIDED OPEN SPACE = **16,353 SF / 76,545 SF = 21%**
 (OPEN SPACE) / (TOTAL AREA) = (OPEN AREA PERCENTAGE)

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 Scale

A.3.0.E

OPEN SPACE CALCULATION (S-R)

LANDSCAPED PARKING AREAS:

REQUIRED PARKING LANDSCAPE = 15% OF PARKING
 REQUIRED PARKING LANDSCAPE = 15% X 123,655 SF
 = 18,548 SF

PROVIDED PARKING LANDSCAPE AT EDGES = 14,435 SF
 PROVIDED PARKING LANDSCAPE IN ISLANDS = 2,683 SF
 PERCENTAGE OF ISLAND TO EDGE = 19%
 PROVIDED PARKING LANDSCAPE = 17,118 SF (14%)

**NOTE: LIMITED SCOPE OF WORK IN PARKING AREAS, CALCULATIONS BASED ON EXISTING CONDITIONS (SEE PROJECT NARRATIVE FOR ADDITIONAL INFO)*

OPEN SPACE DEFINITION (ZONING ORDINANCE SECTION 3.100):

OPEN SPACE IS MEANINGFUL OUTDOOR SPACE FOR PASSIVE OR ACTIVE USE. IT INCLUDES, BUT IS NOT LIMITED TO, SETTINGS FOR DEVELOPMENT, RECREATION AREAS, LANDSCAPING, HARDSCAPE, WATER FEATURES, SEATING AREAS, PLAZAS, GAZEBOS, SIDEWALKS AND TRAILS. OPEN SPACE DOES NOT INCLUDE PARKING AREAS OF PARKING LOT LANDSCAPING.

OPEN SPACE SETBACKS:

IF ADJACENT TO RESIDENTIAL = 15 FT

PROPOSED RE-ZONING OPEN SPACE CALCULATION (C-1)

LANDSCAPED PARKING AREAS:

REQUIRED PARKING LANDSCAPE = 15% OF PARKING
 REQUIRED PARKING LANDSCAPE = 15% X 42,067 SF
 = 6,310 SF

PROVIDED PARKING LANDSCAPE AT EDGES = 4,769 SF
 PROVIDED PARKING LANDSCAPE IN ISLANDS = 2,613 SF
 PERCENTAGE OF ISLAND TO EDGE = 55%
 PROVIDED PARKING LANDSCAPE = 7,382 SF (18%)

**NOTE: LIMITED SCOPE OF WORK IN PARKING AREAS, CALCULATIONS BASED ON EXISTING CONDITIONS (SEE PROJECT NARRATIVE FOR ADDITIONAL INFO)*

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OPEN SPACE SETBACKS:

FRONT = 30 FT; SIDE & REAR (ADJACENT TO MULTI-FAMILY RESIDENTIAL) = 25 FT
 OR SIDE & REAR (ADJACENT TO SINGLE-FAMILY RESIDENTIAL) = 50 FT

FAR (S-R):

NOT APPLICABLE

FAR (C-1):

0.8 NET LOT AREA

C-1 (PROPOSED) AREA = 76,545 SF
 FAR = 76,545 SF X .8 = 61,236 SF
 PROJECT = 8,023 SF

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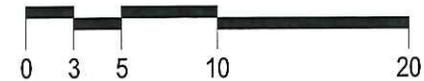
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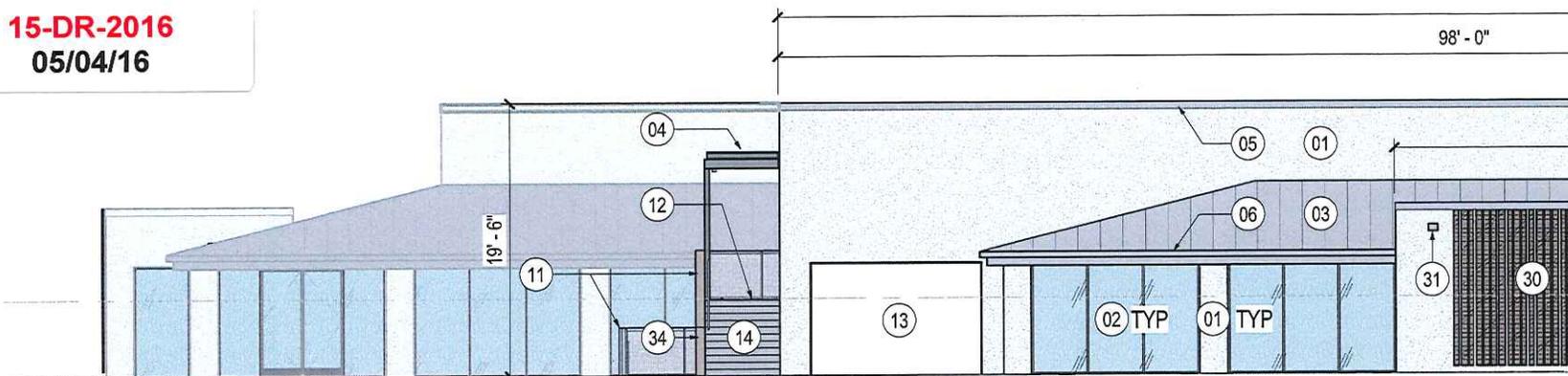


1- BUILDING ELEVATION - NE TYPICAL



ATTACHMENT #5

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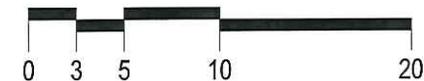
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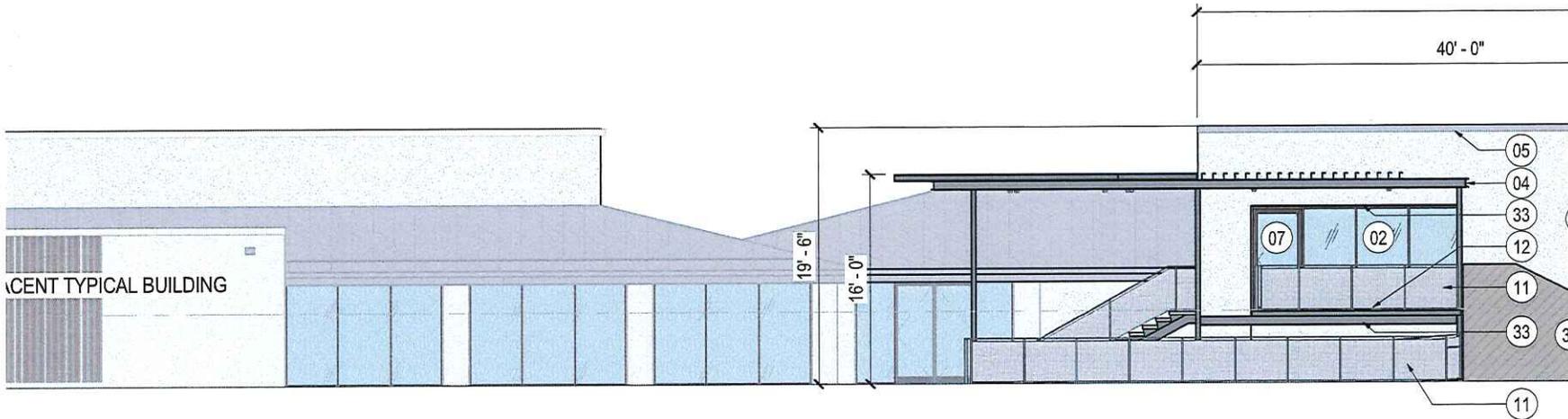
Description
SITE PLAN

Scale

2- BUILDING ELEVATION - NW TYPICAL

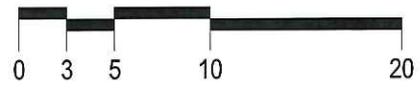


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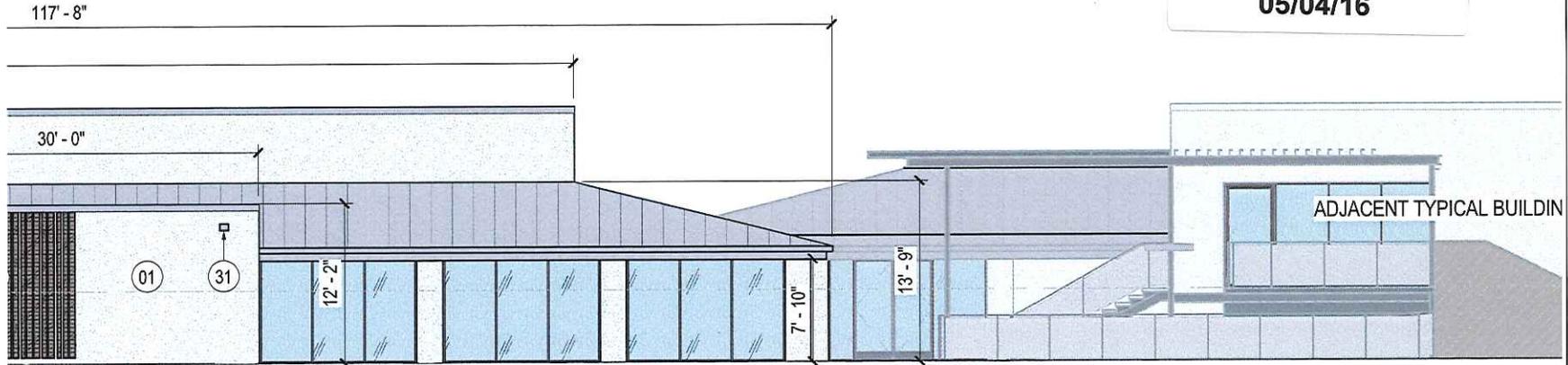


CENT TYPICAL BUILDING

1- BUILDING ELEVATION - NE TYPICAL

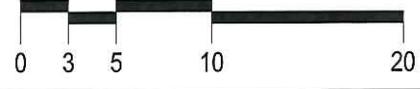


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ADJACENT TYPICAL BUILDING

2- BUILDING ELEVATION - NW TYPICAL



Date	Description
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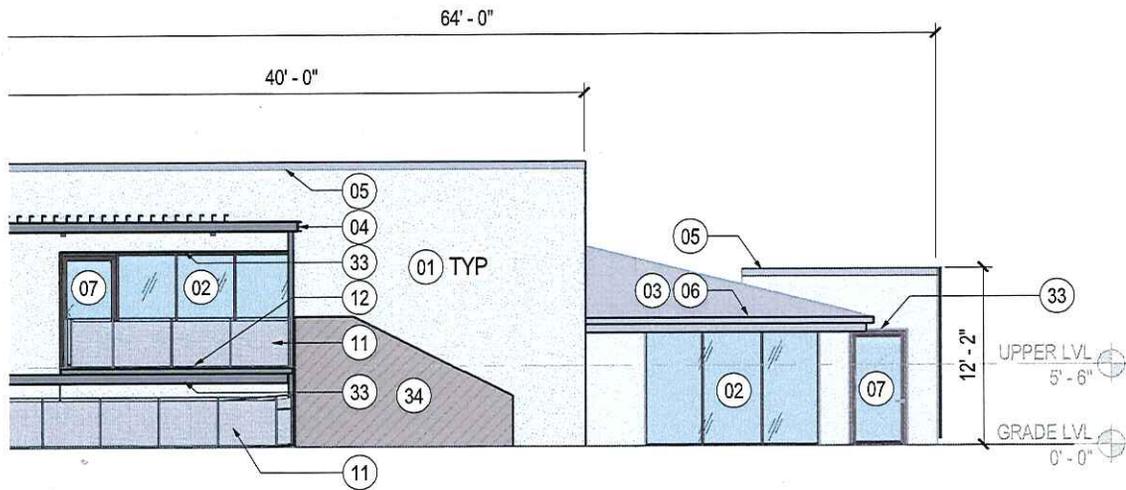
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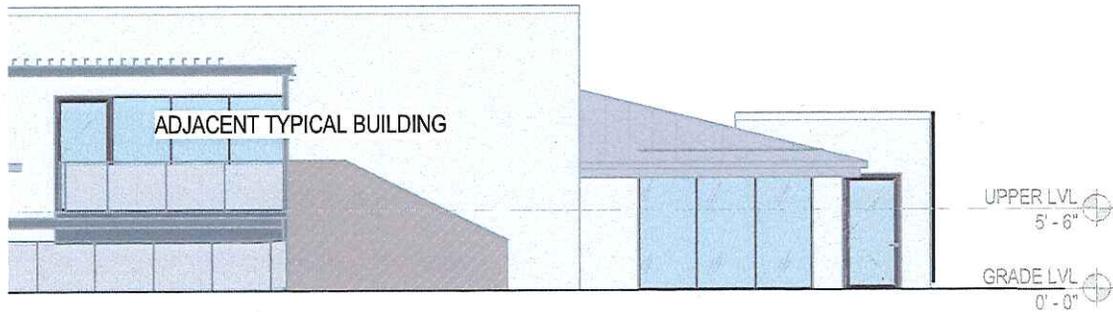
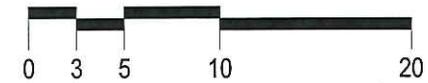
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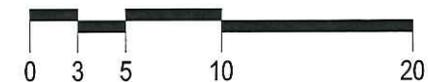
A.4.0.B



1- BUILDING ELEVATION - NE TYPICAL



2- BUILDING ELEVATION - NW TYPICAL



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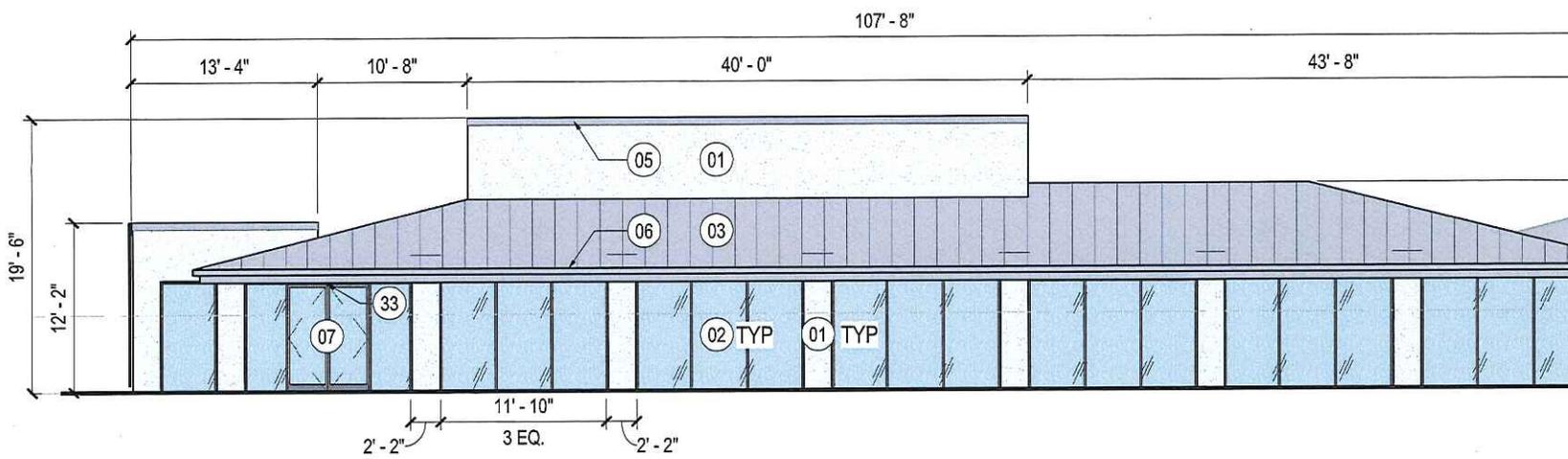
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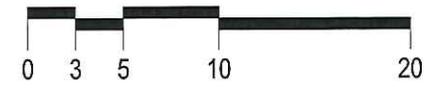
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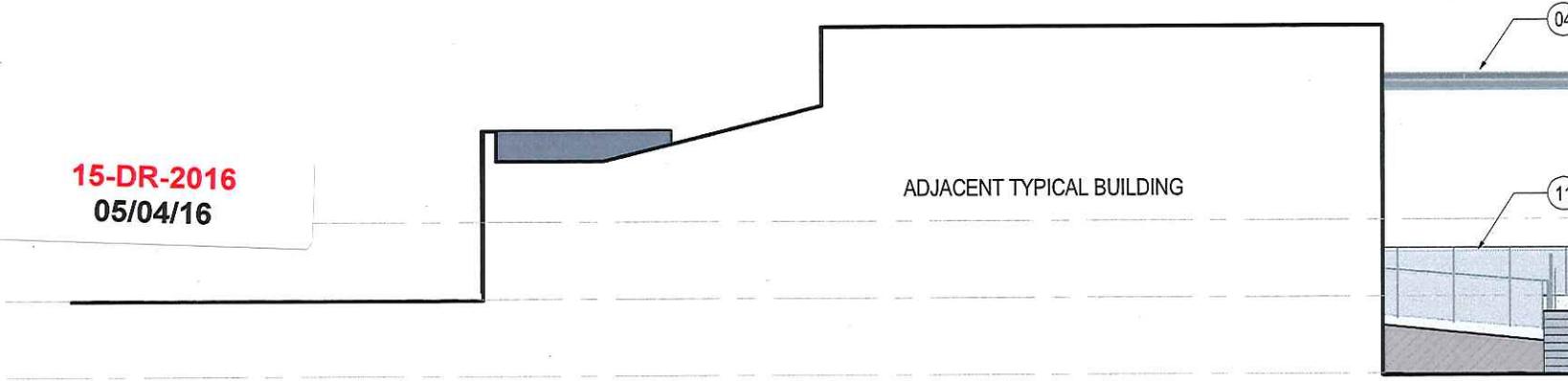
3- BUILDING ELEVATION - SW TYPICAL



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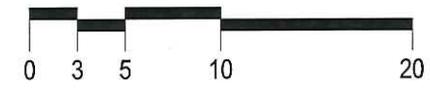
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4- BUILDING ELEVATION - SE TYPICAL



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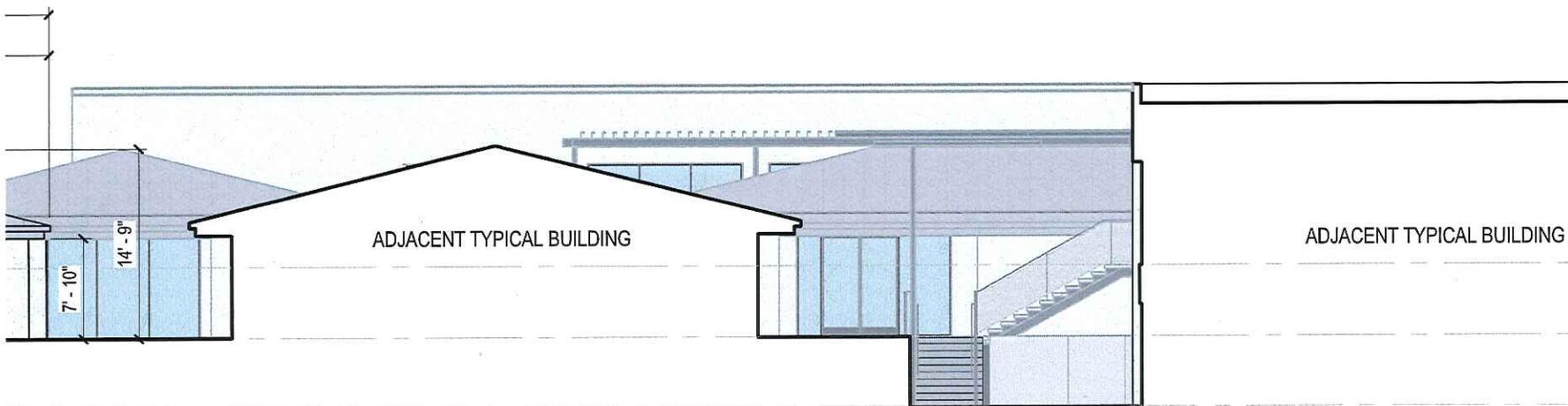
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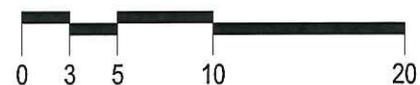
PK Associates LLC
10283 Royal Eagle St.
Highlands Ranch, CO 80111
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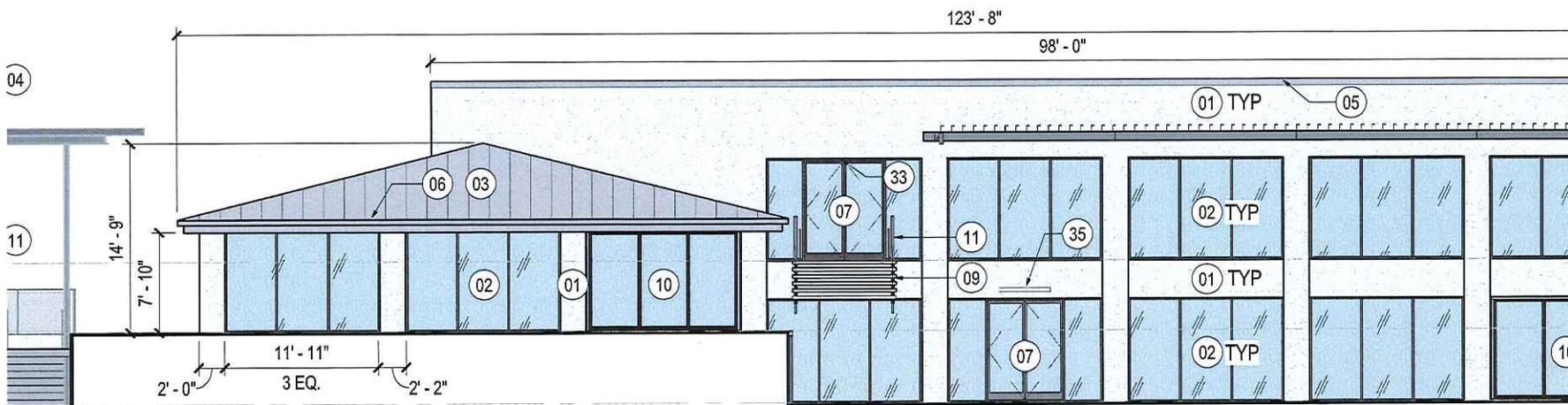
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7135 E. Camelback Road
Suite 275
Scottsdale, AZ 85251
Tel: 480.481.4900



3- BUILDING ELEVATION - SW TYPICAL



15-DR-2016
05/04/16



Date	Description
7/05/03.16	Design Review Submittal #2

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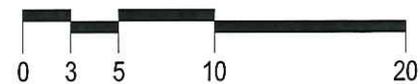
Project Name
SEV Scottsdale

Project Number
03.7426.000

Description
SITE PLAN

Scale

4- BUILDING ELEVATION - SE TYPICAL



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Gensler

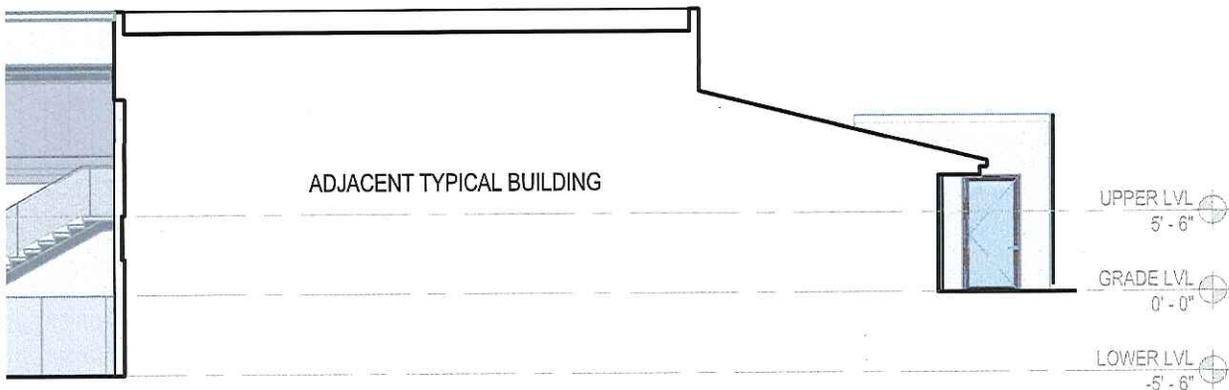
1225 17th Street, Suite 150
 Denver, CO 80202
 Tel: +1 303.893.7184
 Fax: +1 303.595.8585

Kinley Horn Associates
 7740 N. 16th Street
 Suite 300
 Phoenix, AZ 85020
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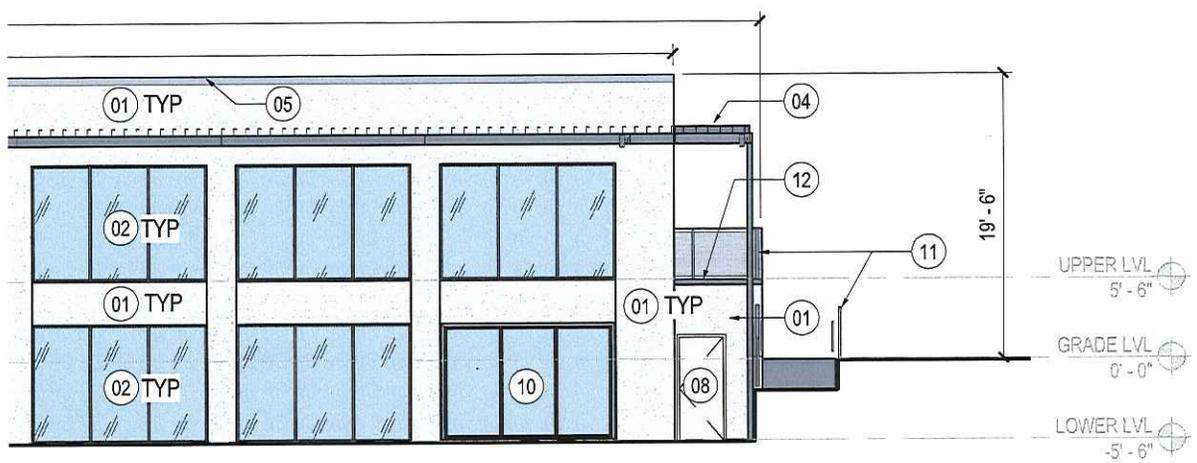
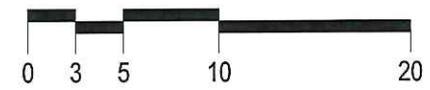
PK Associates LLC
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 2099 North 7th Street
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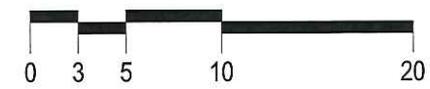
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3- BUILDING ELEVATION - SW TYPICAL



4- BUILDING ELEVATION - SE TYPICAL



Date	Description
7/05/03/16	Design Review Submittal #2

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Project Name
SEV Scottsdale

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Description
SITE PLAN

Scale _____

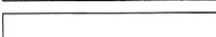
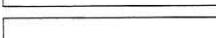
15-DR-2016
05/04/16

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SHEET NOTES

- | | |
|---|---|
| 01 NEW STUCCO FINISH ON EXISTING SURFACE | 18 WATER FEATURE |
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| | 35 EXTERIOR MOUNTED LIGHT, RE: PHOTOMETRIC PLAN |
| | 36 NEW GREASE CONTAINMENT AREA. |

MATERIAL LEGEND:

	STUCCO ACCENT *BM AC-33 MESA VERDE TAN*
	STUCCO PRIMARY *BM PM-13 ATRIUM WHITE*
	METAL TRIM ZINC GREY
	METAL ROOF ZINC GREY
	STEEL STAIRS & CANOPY BM 2121-10 GRAY
	STEEL TRELLIS SLATS GALVANIZED STEEL
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GENERAL NOTES

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- REFER TO LANDSCAPE PLAN FOR PLANTING & GROUND MATERIAL INFORMATION

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Date	Description
7 05.03.16	Design Review Submittal #2

Seal/Signature

Project Name

SEV Scottsdale

Project Number

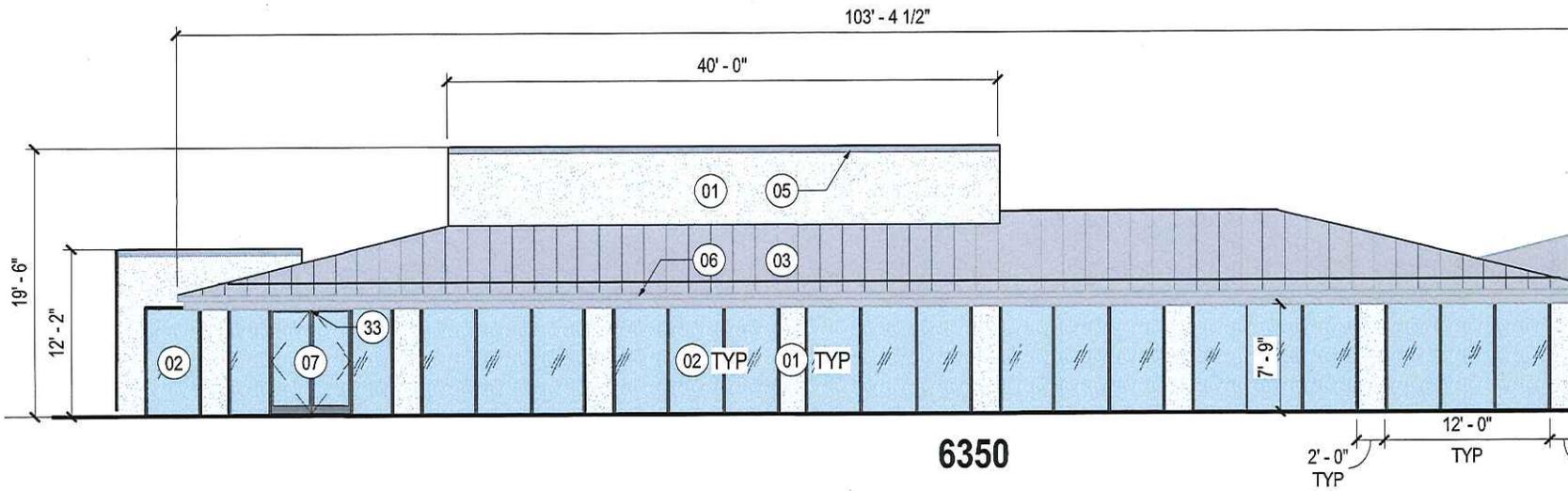
03.7426.000

Description

SITE PLAN

Scale

A.4.0.G



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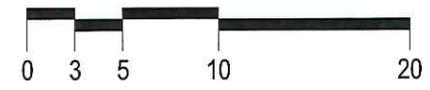
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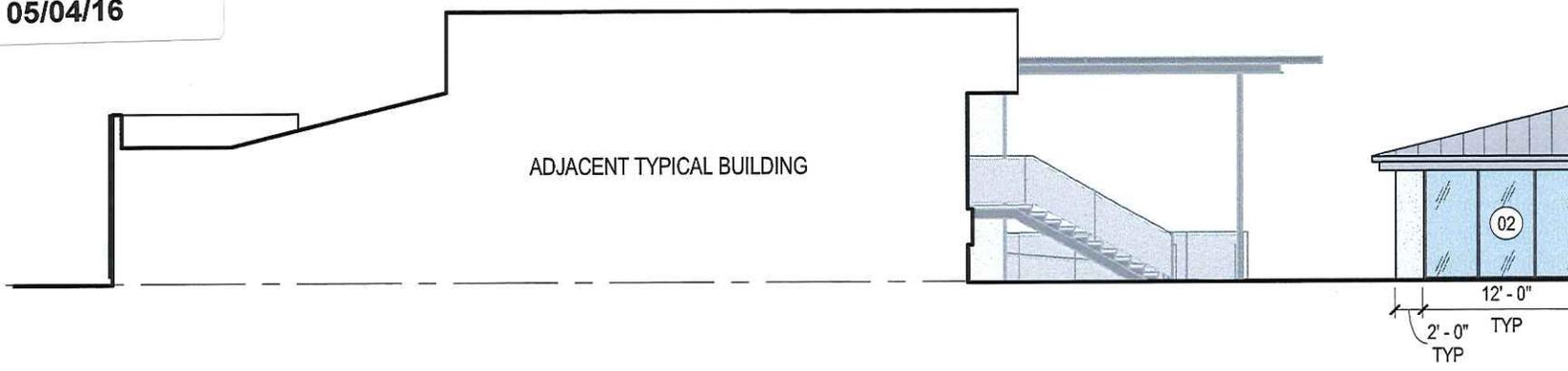
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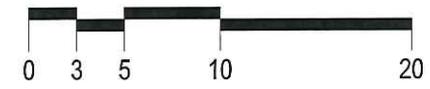
1- BUILDING ELEVATION - NE BLDG 6350



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2- BUILDING ELEVATION - NW BLDG 6350



Date	Description
7 05.03.16	Design Review Submittal #2

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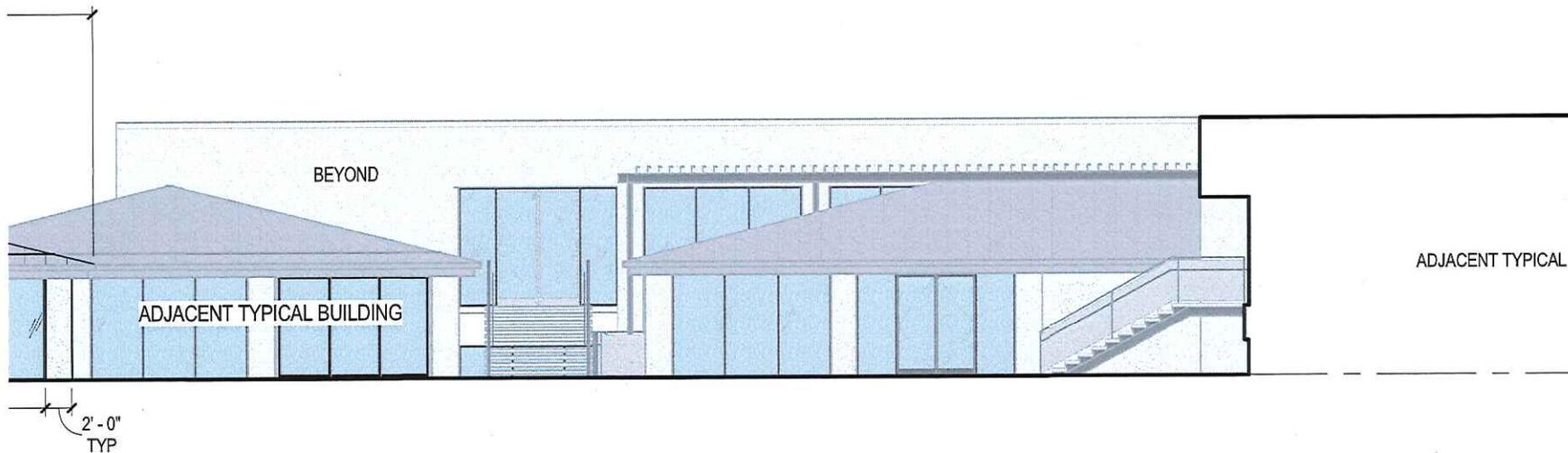
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 03.7426.000

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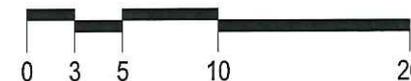
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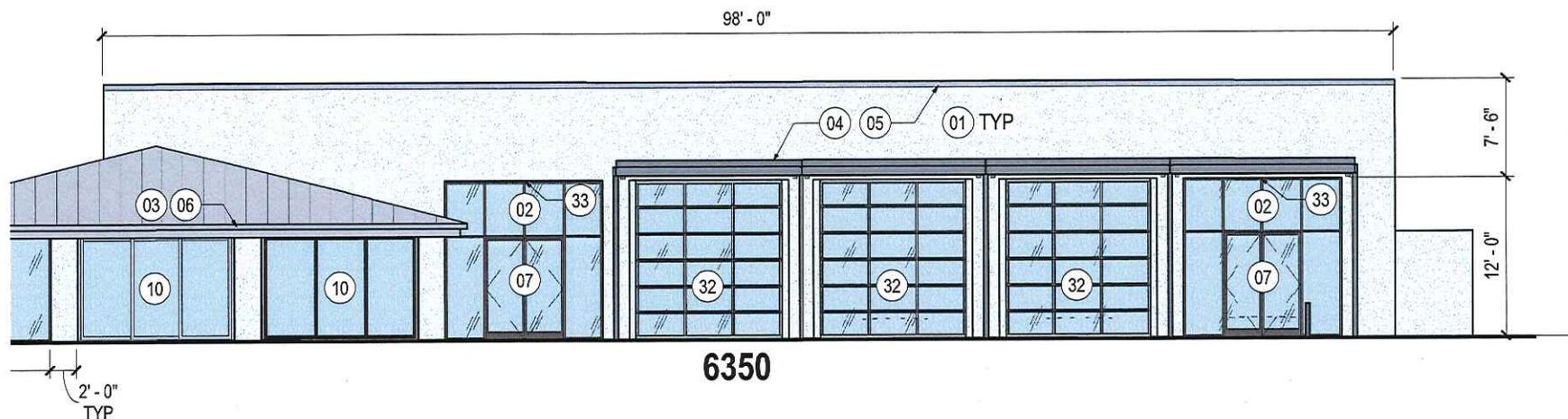


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1- BUILDING ELEVATION - NE BLDG 6350



15-DR-2016
05/04/16



Date	Description
7 05.03.16	Design Review Submittal #2

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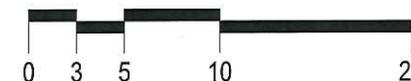
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Project Number
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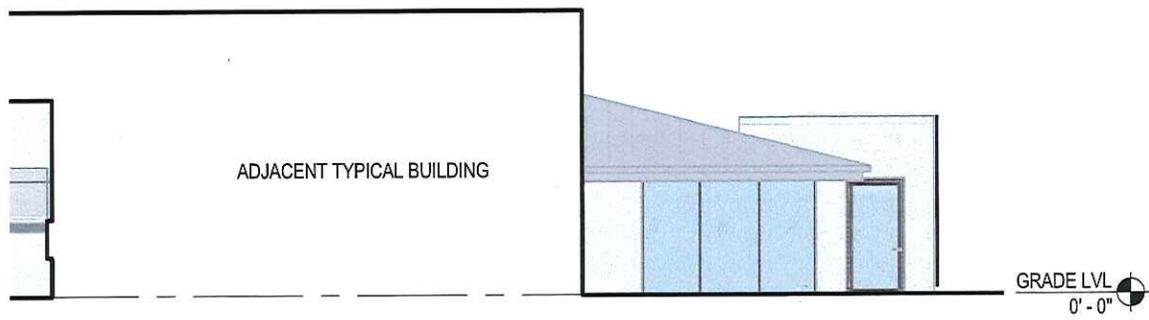
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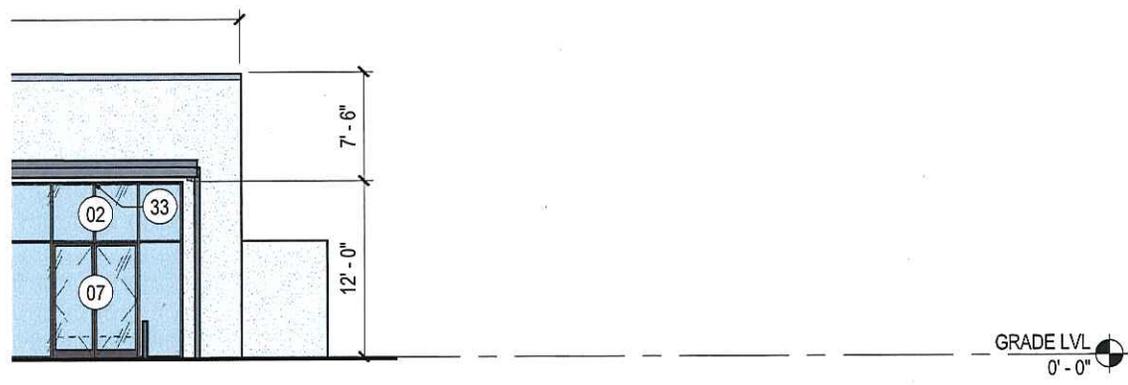
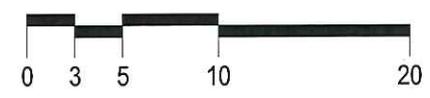
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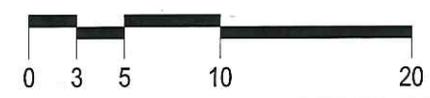
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1- BUILDING ELEVATION - NE BLDG 6350



2- BUILDING ELEVATION - NW BLDG 6350



15-DR-2016
05/04/16

△	Date	Description
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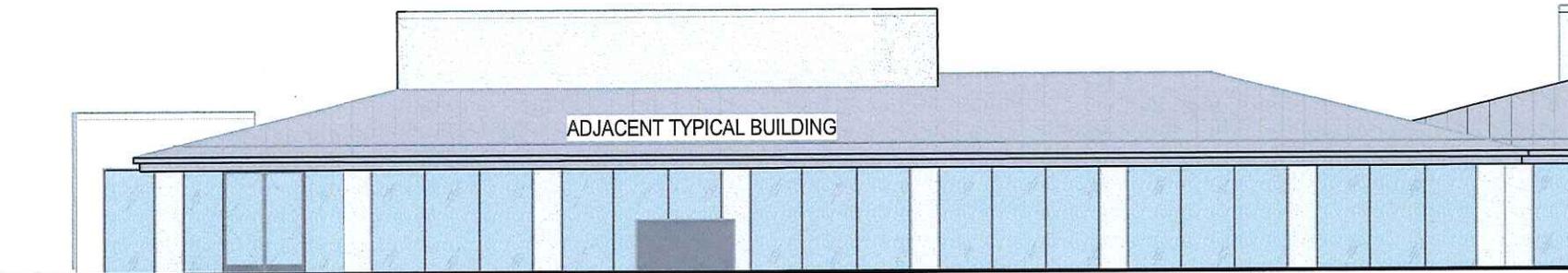
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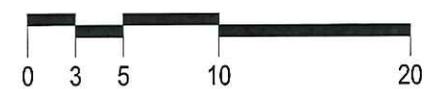
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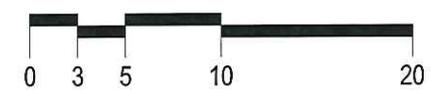
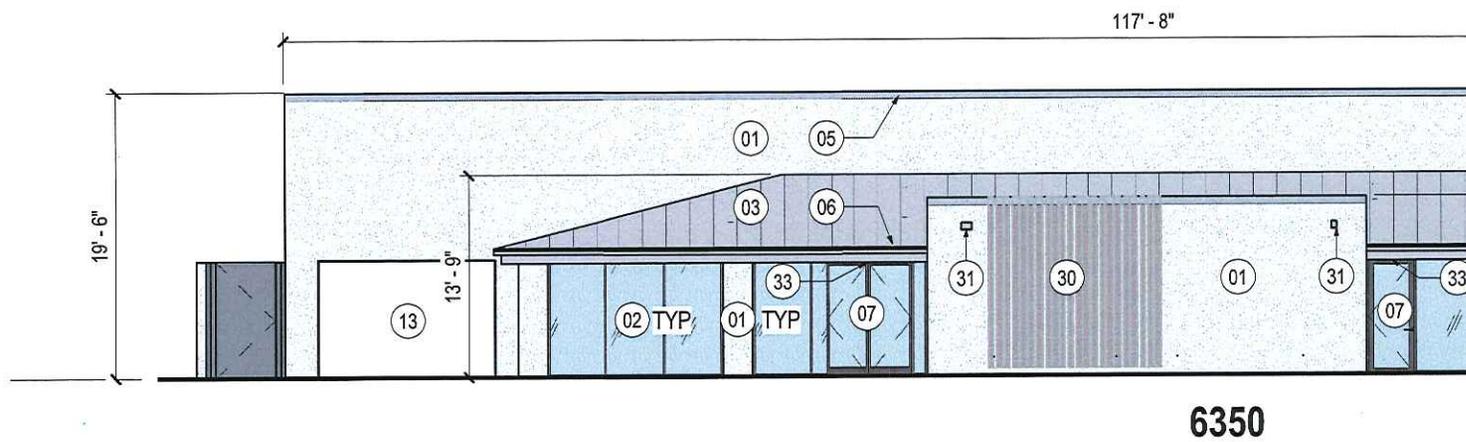
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3- BUILDING ELEVATION - SW BLDG 6350



15-DR-2016
05/04/16



4- BUILDING ELEVATION - SE BLDG 6350

Date	Description
7 05.03.16	Design Review Submittal #2

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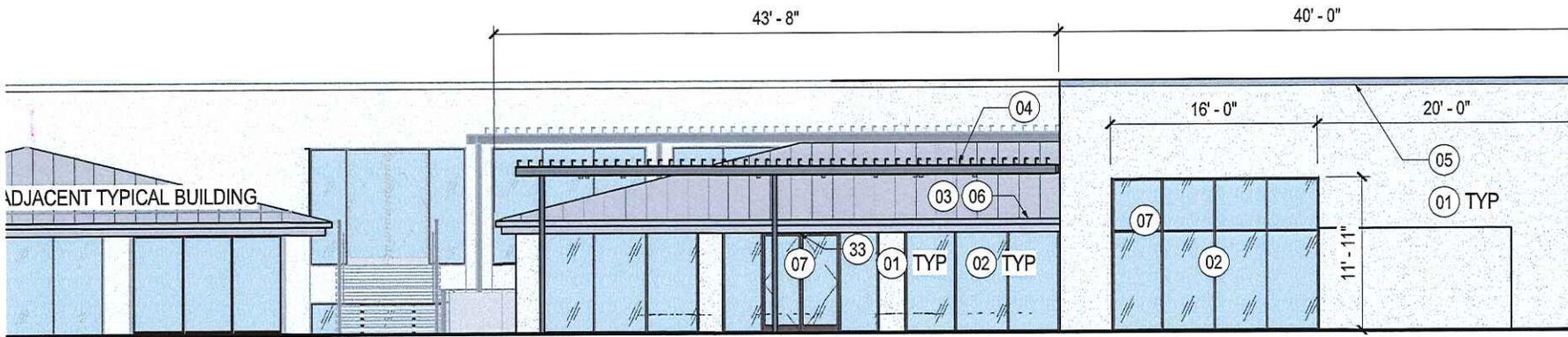
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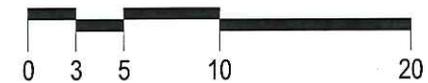
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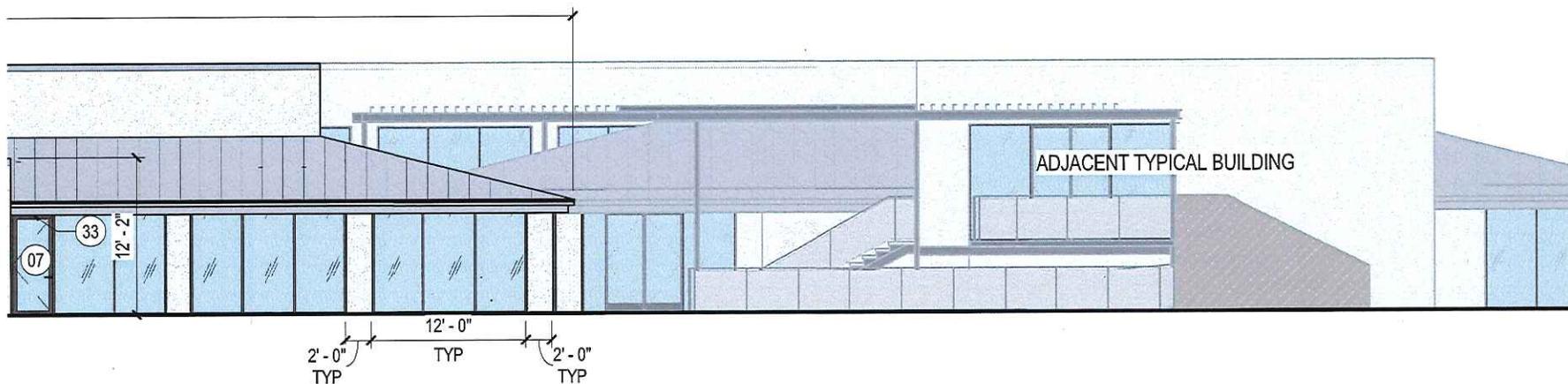


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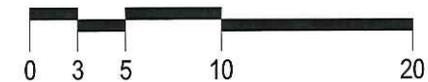
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Date	Description
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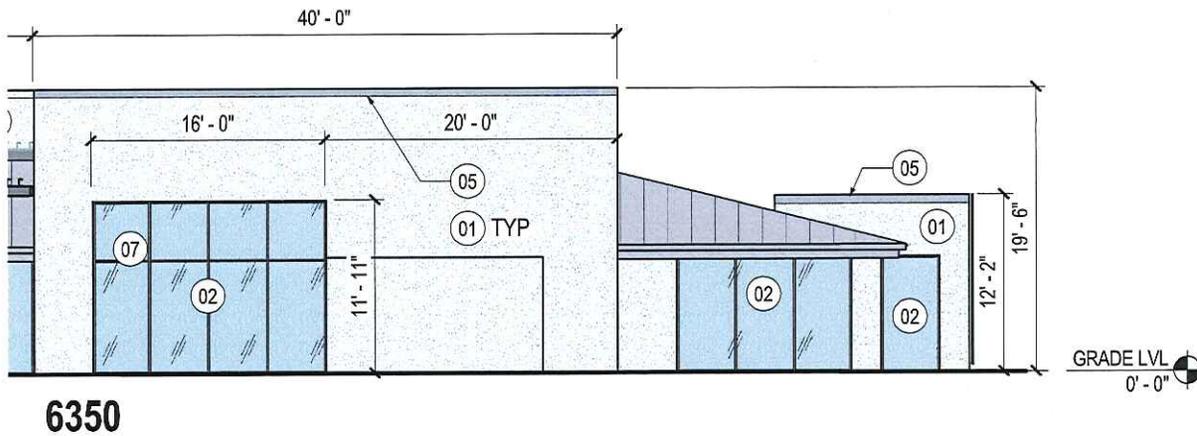
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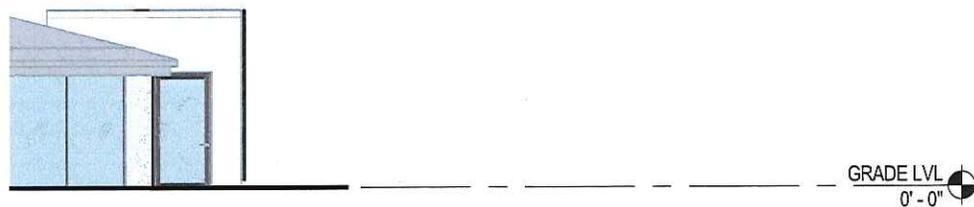
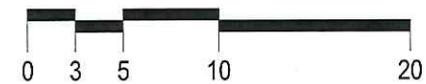
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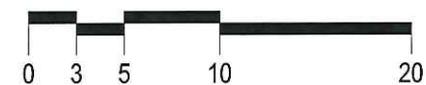
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Date	Description
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Project Name
 SEV Scottsdale

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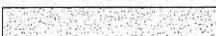
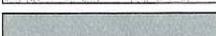
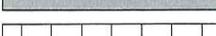
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SHEET NOTES

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| 01 NEW STUCCO FINISH ON EXISTING SURFACE | 18 WATER FEATURE |
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Truform Landscape Energy Systems Design
 Architecture Studio 7135 E. Camelback Road
 2009 North 7th Street Suite 215
 Phoenix, AZ 85016 Scottsdale, AZ 85251
 Tel 480.382.4244 Tel 480.481.4900

Date	Description
7 05.03.16	Design Review Submittal #2

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Project Name
 SEV Scottsdale

Project Number
 03.7426.000

Description
 SITE PLAN

Scale _____

15-DR-2016
05/04/16



1 PERSPECTIVE - BUILDING ENTRANCE
SCALE: 1" = 1'-0"



2 PERSPECTIVE - THOMAS ENTRANCE
SCALE: 3/8" = 1'-0"



3 PERSPECTIVE - CROSS CANAL BIKE ENTRANCE
SCALE: 1/8" = 1'-0"

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7132 E. Camelback Road
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Scottsdale, AZ 85251
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Date	Description
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Project Name

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Project Number

03.7426.000

Description

PERSPECTIVES

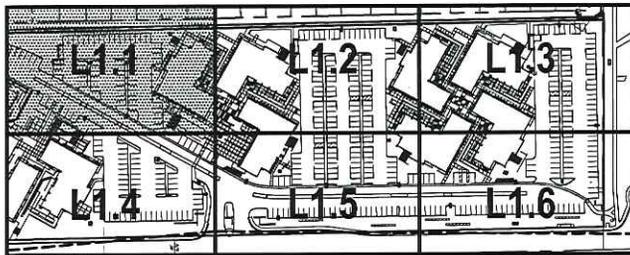
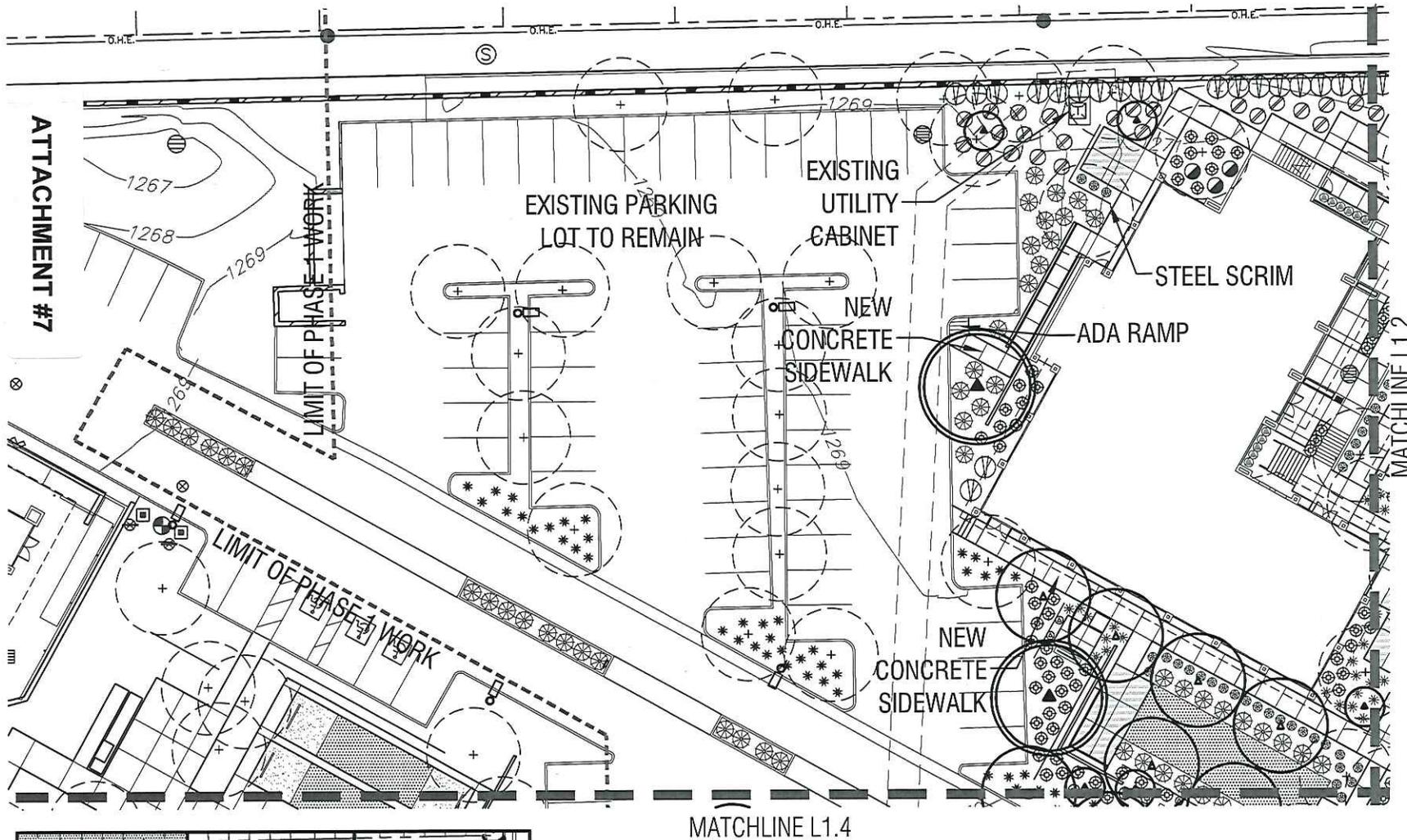
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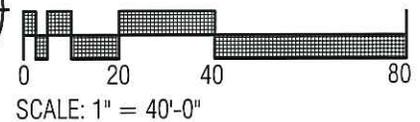
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Date	Description
03.09.16	Development Application, Design Review 1
05.03.16	Development Application, Design Review 2

Seal/Signature

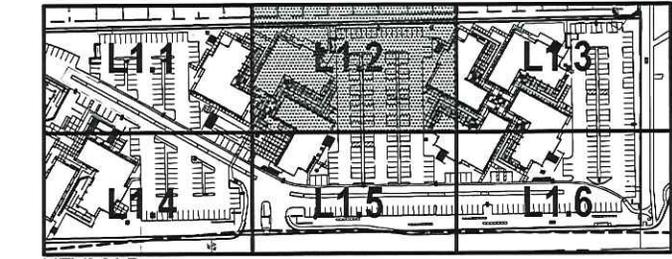
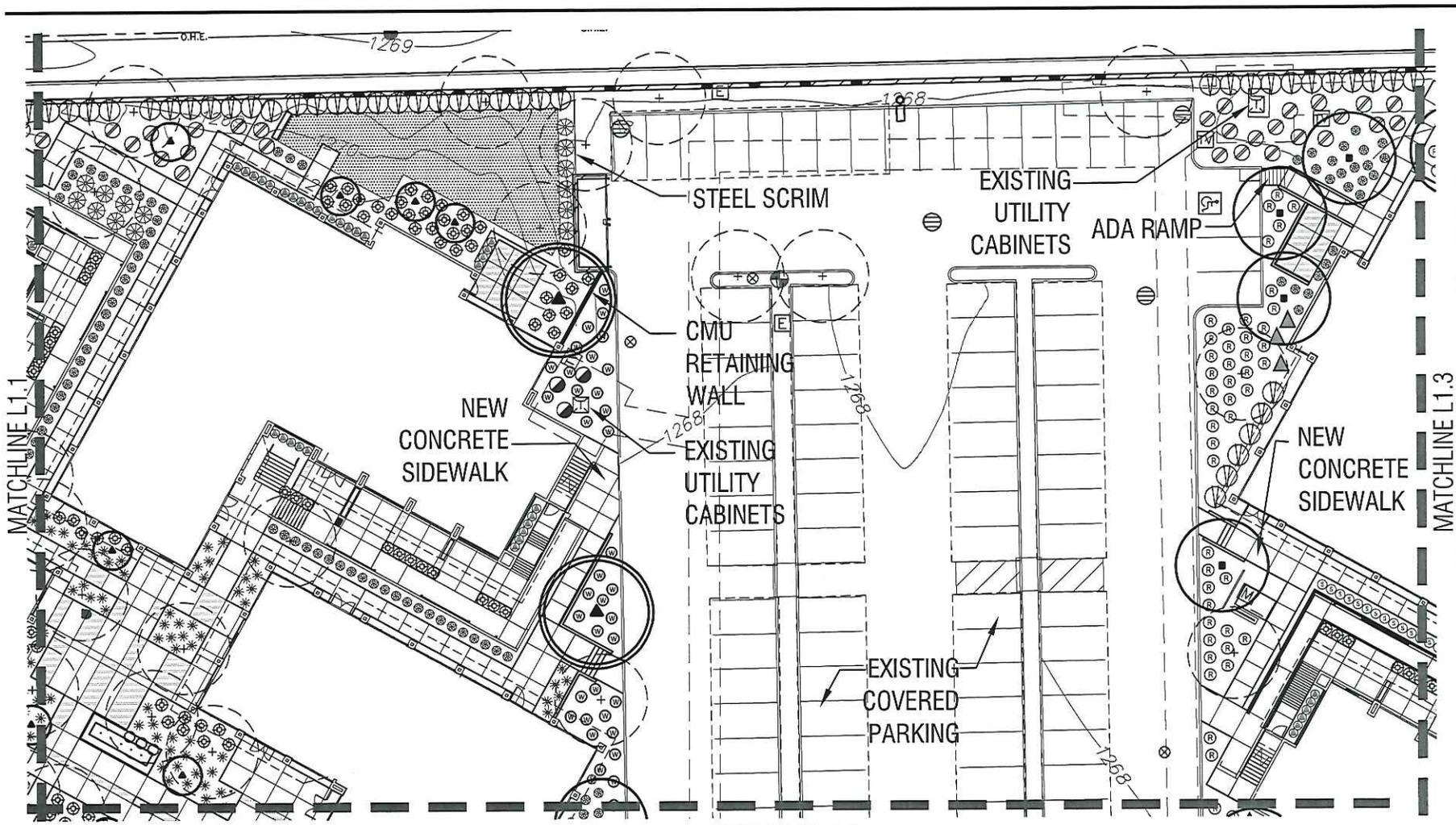


Project Name
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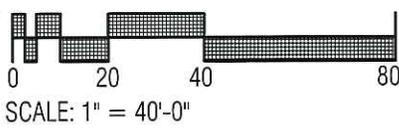
Project Number
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Description
Conceptual Planting Plan

Scale
L1.1
15-DR-2016



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Date	Description
03.09.16	Development Application, Design Review 1
05.03.16	Development Application, Design Review 2

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Registration through 06/30/2017

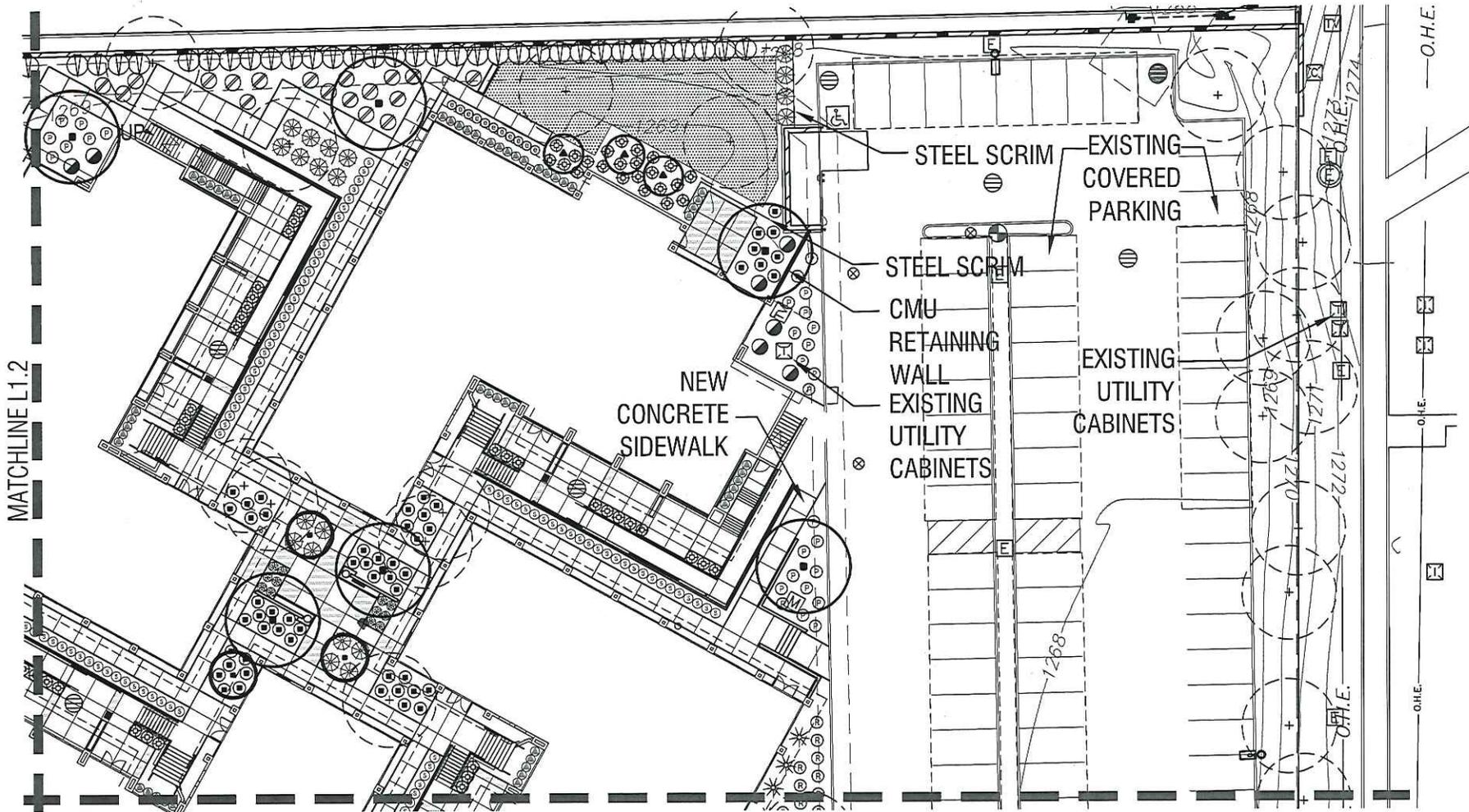
Project Name
SEV Scottsdale

Project Number
03.7426.000

Description
Conceptual Planting Plan

Scale
L1.2
15-DR-2016

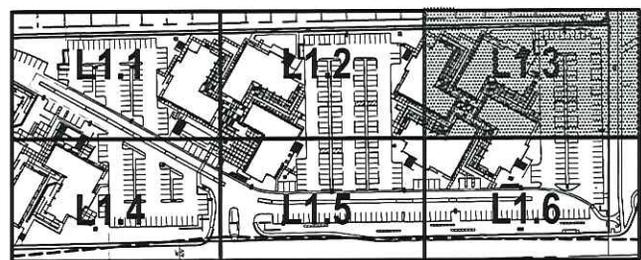
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MATCHLINE L1.2

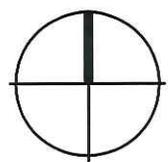
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O.H.E.
O.H.E.

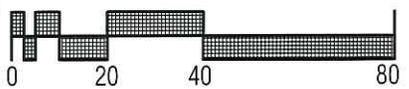


KEYMAP
n.t.s

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05/04/16



NORTH



SCALE: 1" = 40'-0"



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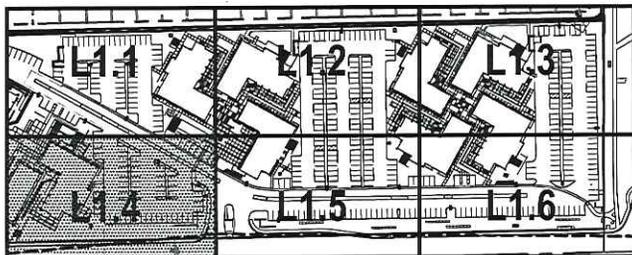
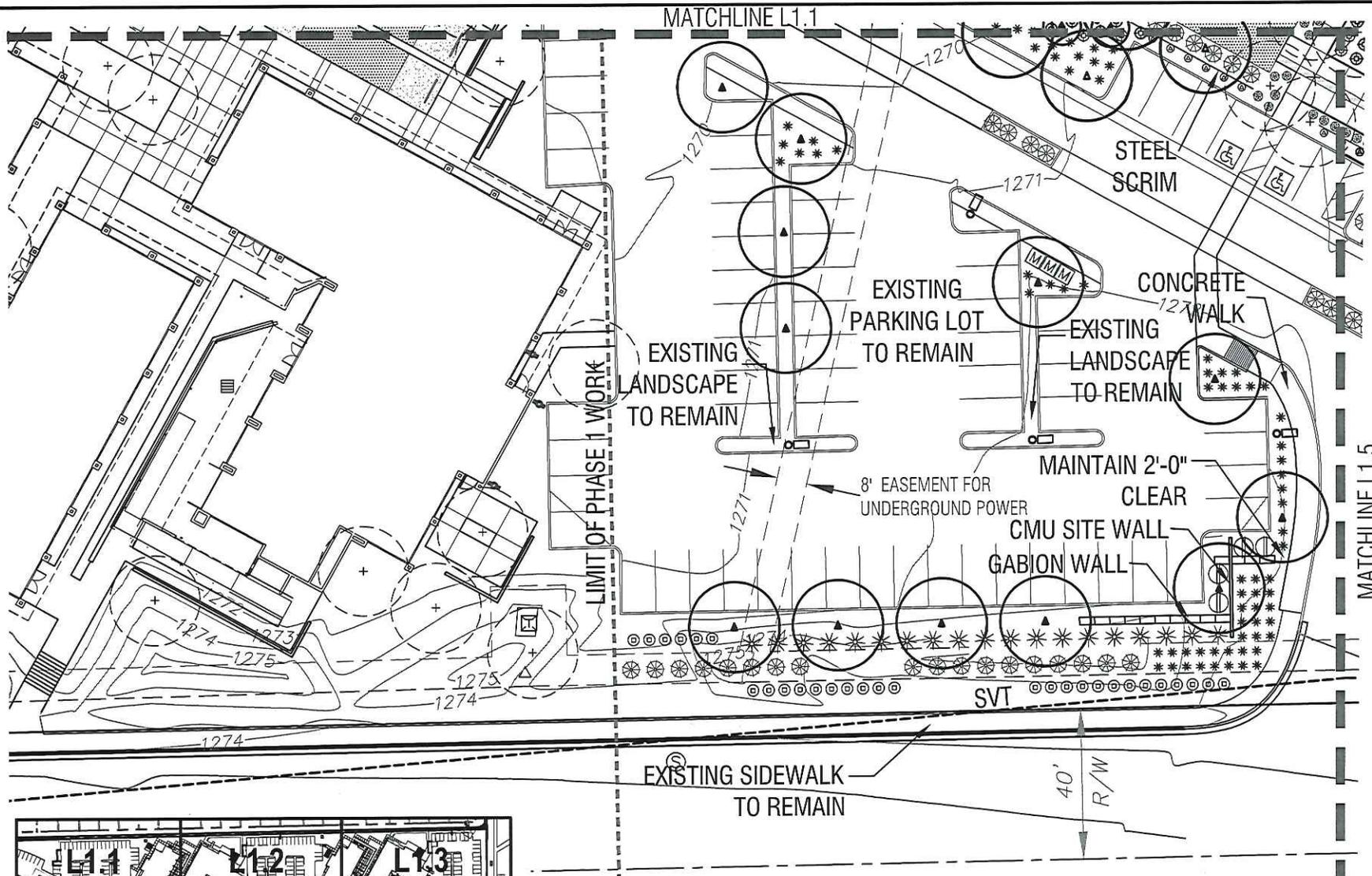
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Project Name
SEV Scottsdale

Project Number
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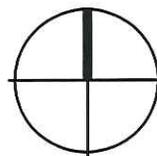
Description
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Scale
L1.3
15-DR-2016

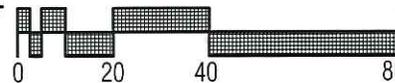


KEYMAP
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NORTH



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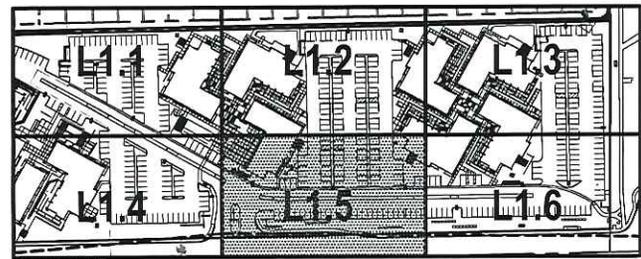
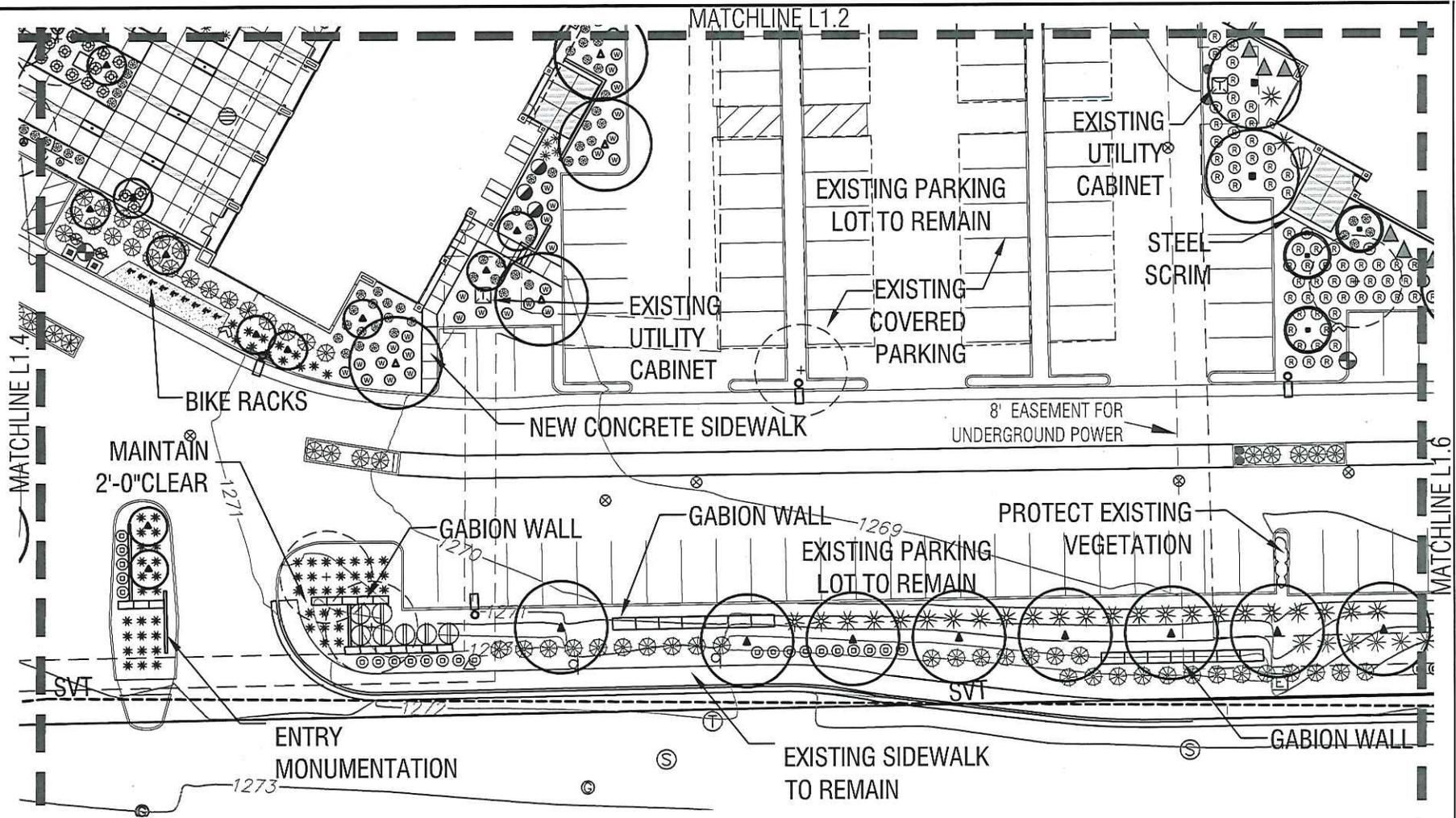
03.7426.000

Description

Conceptual Planting Plan

Scale

L1.4
15-DR-2016

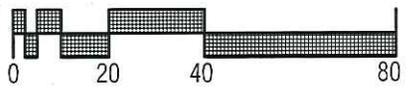


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NORTH



SCALE: 1" = 40'-0"



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Registration through 06/30/2017

Project Name

SEV Scottsdale

Project Number

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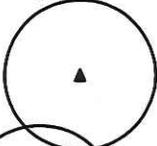
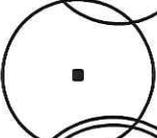
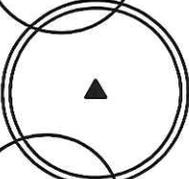
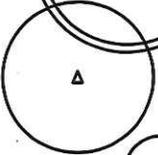
Description

Conceptual Planting Plan

Scale

L1.5
15-DR-2016

PLANT LEGEND:

SYMBOL	TYPE	SIZE	QTY	REMARKS - HEIGHT X WIDTH - CALIPER SIZE
	<u>Trees</u> Existing Tree to Remain			
	<i>Prosopis Hybrid 'Phoenix'</i> Phoenix Mesquite	36" Box	26	Multi-Trunk 8.0-10.0 6.0-8.0 1.75-2.25
	<i>Quercus virginiana</i> Southern Live Oak	36" Box	18	10.0-12.0 5.0-7.0 1.75-2.5
	<i>Ficus nitida</i> Indian Laurel Fig	36" Box	4	10.0-11.0 5.0-6.0 2.0-2.5
	<i>Ulmus parviflora</i> Evergreen Elm	36" Box	12	10.0-12.0 6.0-8.0 1.75-2.5
	<i>Bauhinia lunaroides</i> Anacacho Orchid	15 Gallon	25	Multi-Trunk 3.0-4.0 1.5-2.0 .5-.75
	<i>Sophora secundiflora</i> Texas Mountain Laurel	24" Box	6	Multi-Trunk 3.0-4.0 2.0-3.0 .75-1.0

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Registration through 06/30/2017

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03.7426.000

Description

Planting Legend

Scale

L1.7
15-DR-2016

PLANT LEGEND:

SYMBOL	TYPE	SIZE	PROJECT QTY.
<u>Shrubs</u>			
	<i>Dodonea viscosa</i> Hopbush	5 Gallon	95
	<i>Ericameria laricifolia</i> Turpentine Bush	5 Gallon	120
	<i>Jasminum sambac</i> Arabian Jasmine	5 Gallon	212
	<i>Justicia californica</i> Chuparosa	5 Gallon	11
	<i>Justicia spicigera</i> Mexican Honeysuckle	5 Gallon	54
	<i>Portulacaria afra</i> Elephant Food	1 Gallon	89 (includes plants in pots)
	<i>Ruellia brittoniana</i> Ruellia	5 Gallon	257
	<i>Viguiera deltoidea</i> Goldeneye	5 Gallon	69
SYMBOL	TYPE	SIZE	PROJECT QTY.

SYMBOL	TYPE	SIZE	PROJECT QTY.
<u>Accents</u>			
	<i>Aloe barbadensis</i> Yellow Blooming Aloe	5 Gallon	238
	<i>Dasylium wheeleri</i> Desert Spoon	5 Gallon	33
	<i>Dietes bicolor</i> Fortnight Lily	5 Gallon	87
	<i>Euphorbia candelabrum</i> Chocolate Drop	15 Gallon	16
	<i>Hesperaloe funifera</i> Giant Hesperaloe	5 Gallon	82

15-DR-2016
05/04/16



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Scale

L1.8
15-DR-2016

PRECAST CONCRETE POT/PLANTERS PLANTING LEGEND

	TYPE	SIZE	QTY
SS18			
	<i>Pedilanthus macrocarpus</i> Slipper Plant	5 Gallon	6 per SS-18 o.c. eq
	<i>Portulacaria afra</i> Elephant's Food	1 Gallon	7 per SS-18 o.c. eq
SS15			
	<i>Pedilanthus macrocarpus</i> Slipper Plant	5 Gallon	4 per SS-15 o.c. eq
	<i>Portulacaria afra</i> Elephant's Food	1 Gallon	5 per SS-15 o.c. eq
DS - 23			
	<i>Nolina spp.</i>	15 Gallon	1 per DS-23 ctr
	<i>Russelia equisetiformis</i> Coral Fountain	1 Gallon	4 per CS-30 o.c. eq
CS - 30			
	<i>Pedilanthus macrocarpus</i> Slipper Plant	5 Gallon	1 per CS-30 ctr
	<i>Portulacaria afra</i> Elephant's Food	1 Gallon	3 per CS-30 o.c. eq

NOTES

DUST CONTROL INFORMATION:
 IN ALL LANDSCAPE AREAS PROVIDE
 1/2" MINUS DECOMPOSED GRANITE
 MINIMUM 2" DEPTH
 COLOR: TBD

LANDSCAPE AREAS IN SQUARE FEET

ON-SITE LANDSCAPE AREA: 89,667 S.F.
 RIGHT OF WAY LANDSCAPE AREA: 0 S.F.
 PARKING LOT LANDSCAPE AREA: 24,660 S.F.

WATER INTENSIVE PLANTS

NEW WATER INTENSIVE PLANTS LANDSCAPE AREA: 5,140 S.F.
 EXISTING TURF TO REMAIN: 4,157 S.F.
 TOTAL TURF REMOVED: 37,700 S.F.
 NET WATER INTENSIVE PLANT AREA: -28,403 S.F.



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