

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: November 17, 2016 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Mercado Del Lago Exterior Remodel and Addition 20-DR-2016

Location: 8300 N. Hayden Rd.

Request: Approval of the site plan, landscape plan, and building elevations for an exterior remodel to existing commercial buildings, the addition of a new 9,000-square-foot commercial building and demolition of an existing commercial building, to be replaced by additional parking, all on a 5.1-acre site.

OWNER

Scottlin LLC
480-368-0111

ARCHITECT/DESIGNER

APMI

ENGINEER

Epsilon Design Group

APPLICANT CONTACT

Will Reilly
APMI
480-998-0709

BACKGROUND

Zoning

This site is zoned Planned Community District, Planned Neighborhood Center (P-C PNC). The P-C District encompasses the entire McCormick Ranch master-planned community. A master zoning plan was approved with the original zoning case identifying the comparable zoning districts that regulate land use and development for the community. The PNC District is intended to provide a focal point in the community; with projects that typically provide a mix of uses including retail, office and personal services that serve the surrounding neighborhood.

Context

Located at the northwest corner of Hayden Road and Royal Palm Road, the center was originally constructed in the 1980s and consists of a combination of single- and two-story commercial buildings. With the exception of minor façade upgrades, the design of the center has remained essentially unchanged since build-out. To the south is a similar commercial center, also built in the 1980s and consisting primarily of single-story commercial buildings and structured parking with a southwestern design. Southwest of the site is a residential condominium community and to the north and east is high density single-family residential.

Adjacent Uses and Zoning

- North Open space, zoned P-C (O-S)
- South Commercial and residential, zoned P-C (C-2) and P-C (R-5)
- East Single-family residential, zoned P-C (R1-7)
- West Open space, zoned P-C (O-S)

Key Items for Consideration

- Development Review Board Criteria
- Sensitive Design Principles; specifically shading, colors, and materials
- Commercial Design Guidelines; specifically character/context, site design, and pedestrian circulation
- Proposed building brings development nearer to Hayden Road; encourages activation with the street frontage
- Improved pedestrian circulation
- Public comment in support and opposition received by staff

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant seeks approval to renovate an existing commercial center. Improvements include demolition of one building, to be replaced by surface parking, a new multi-tenant building at the southeast corner of the project site and landscape enhancements.

Neighborhood Communication

Property owners within 750 feet of the site have been notified of the applicant’s request by mail and the site is posted with the required signage. Staff has received one written public comment regarding the proposal, which is included in this report as Attachment #15.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Site Plan

Demolition of an existing building and addition of a new building are the most substantial changes proposed to the site plan. Most of the existing buildings and site improvements will remain unchanged. Additional surface parking and parking lot landscaping will be provided in the area where the existing building is to be demolished. The proposed building is to be located at the southeast corner of the site, adjacent to the intersection of Hayden Road and Royal Palm Road. Consistent with the Scottsdale Commercial Design Guidelines and Sensitive Design Principles, site improvements around the proposed building include a new sidewalk that provides an additional pedestrian connection to Hayden Road, as well as other projects in the immediate vicinity.

Building Elevations

Proposed building design will bring a much-needed upgrade to a dated center. Existing buildings on the site will be remodeled to reflect the design characteristics of the new building proposed at the southeast corner of the site. The proposed design for the center utilizes a variety of materials and finishes to create a more contemporary appearance. Exterior building walls consist of a mix of stucco and masonry block, with green screens on select elevations capable of supporting climbing vines providing an accent and visual interest. Consistent with the Scottsdale Sensitive Design Principles, metal shade canopies are proposed over a majority of storefront windows to provide protection from solar heat gain and shading over pedestrian walkways. Also consistent with the Sensitive Design Principles, colors representative of the surrounding desert are utilized; and to acknowledge existing context, tile roofing is to remain in place on the existing buildings where appropriate.

Development Information

- Existing Use: Mixed-Use Commercial Center
- Parcel Size: 5.1 acres of net land area (224,958 square feet)
- Building / Commercial space: 61,997 square feet (including new building)
- Floor Area Ratio Allowed: 0.5 (112,479 square feet)
- Floor Area Ratio Proposed: 0.27 (61,997 square feet)
- Building Height Allowed: 36 feet, excluding rooftop appurtenances
- Building Height Proposed: 30 feet, including rooftop appurtenances
- Parking Required: 207 spaces
- Parking Provided: 235 spaces
- Open Space Required: 58,490 square feet / 1.34 acres
- Open Space Provided: 59,678 square feet / 1.37 acres
- Frontage Open Space Required: 17,650 square feet
- Frontage Open Space Provided: 17,961 square feet

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Mercado Del Lago per the attached stipulations, finding that the provisions of the Sensitive Design Principles, Commercial Design Guidelines and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

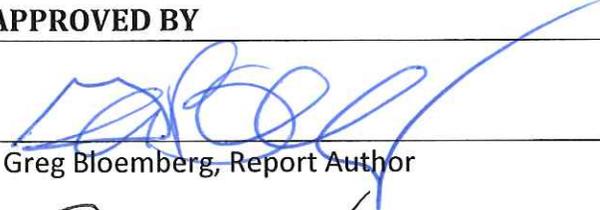
Greg Bloemberg

Senior Planner

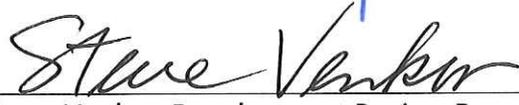
480-312-4306

E-mail: gbloemberg@ScottsdaleAZ.gov

APPROVED BY


Greg Bloemberg, Report Author

10-25-16
Date


Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

11/7/16
Date


Bandy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

11/8/16
Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 2. Close-Up Aerial
 - 3. Applicant's Narrative
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Open Space Plan
 - 7. Building Elevations (color)
 - 8. Building Elevations (black & white)
 - 9. Perspective/Streetscape Elevations
 - 10. Material and Color Board
 - 11. Landscape Plans
 - 12. Electrical Site Plan
 - 13. Exterior Lighting Cut Sheets
 - 14. Public Comment

**Stipulations for the
Development Review Board Application:
Mercado Del Lago Exterior Remodel and Addition
Case Number: 20-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations provided by APMI, with a city staff date of 9/28/16.
 - b. The location and configuration of all site improvements shall be consistent with the site plan provided by APMI, with a city staff date of 9/28/16.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan provided by Vine Maple Design, with a city staff date of 9/28/16.
 - d. The case drainage report provided by Epsilon Design Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by Epsilon Design Group and accepted in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning cases for the subject site were: 33-ZN-1973, 7-ZN-1981 and 38-ZN-1981

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

4. *The proposed sidewalk at the east end of the site, connecting the project to Hayden Road, shall be a minimum of six (6) feet in width.*
5. *With the final plans submittal, the applicant shall demonstrate that all custom pavement and/or pavement treatments are in conformance with the provisions of the Americans with Disabilities Act (ADA).*
6. All drive aisles that are designated as fire lanes shall have a minimum width of twenty-four (24) feet.
7. Before any building permit is issued for the site, the owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale's Supplements to MAG Standard Detail #2146-1.

LANDSCAPE DESIGN:

Ordinance

- B. *A minimum of 50% of proposed trees shall be mature, as defined in Article III of the Zoning Ordinance.*
- C. *There shall be no greater than seven (7) feet between the mature forms of plantings in areas of decomposed granite.*
- D. *All shrubs shall be minimum 5-gallon size, and all groundcovers shall be minimum 1-gallon size.*

EXTERIOR LIGHTING:

Ordinance

- E. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- F. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

8. All exterior luminaires shall meet IES requirements for full cutoff, and shall be aimed downward and away from property lines except for sign and landscape lighting.
9. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.

- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.0 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- G. *Drive aisles designated as fire lanes shall have a commercial turning radii (25-foot internal, 49-foot external, 55-foot bucket swing), to the satisfaction of the Fire Department.*

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- H. With the final plans submittal, the owner shall dedicate a sight distance easement over the sight distance triangles at the site driveway and the Hayden Road intersection, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.
- I. *With the final plans submittal, the owner shall dedicate a minimum 25-foot X 25-foot Traffic Control Easement at the intersection of Hayden Road and Royal Palm Road that covers the existing traffic pole to allow City staff to maintain the traffic signal equipment.*

WATER AND WASTEWATER STIPULATIONS:

DRB Stipulations

- 10. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 11. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage statement accepted in concept by the Stormwater Manager or designee.

ADDITIONAL ITEMS:

DRB Stipulations

- 12. *There shall be no exterior vending or display.*
- 13. *Flagpoles, if provided, shall be a maximum height of 30 feet and shall be one-piece conical tapered design.*



ATTACHMENT #1

Q.S.
25-47

Multi-Family
Residential

Google Earth Pro Imagery

Multi-Family
Residential

Mercado Del Lago Exterior Remodel

20-DR-2016



Mercado Del Lago Exterior Remodel

20-DR-2016

APMI, Inc.
8300 North Hayden Road
Suite A-209
Scottsdale, Arizona 85258

Tel: 480.998.0709

Fax: 480.998.7958

Email: apmi@apmi.com

Project Narrative: April 27, 2016

Please accept this letter as Project Narrative for DR Submittal for Mercado Del Lago Center – new multi-tenant building and overall center exterior refresh. This project will be for overall center and site upgrades, demolition of Building C (9100 sq. ft.) and the addition a proposed new 9000 sq. ft. Building F in the existing “Mercado Del Lago” mixed use center at 8300, 8320 and 8340 N. Hayden Road, Scottsdale. The site is in a PNC Zone and within McCormick Ranch POA.

The proposed new building will be a one story mixed use structure with anticipated restaurant and retail usage. Outdoor patio spaces will be included at three locations around the building for restaurant use.

Overall center and site upgrades will include extending the parapet height at Buildings D & E to fully screen mechanical units (Currently some units are unscreened). A new paint scheme for the center is proposed, along with revisions to the hardscape and courtyard adjacent to Building A, B, D and E. (All buildings located along the north side of the property, adjacent to Marguerite Lake.

At Building A, the two story office building, awnings to create pedestrian path and building shading are proposed along the south elevations, at the first story level. Awnings are designed to extend over majority of sidewalk along this building. New paint is proposed at Building A. At Building B, new material treatment at the South elevation is proposed to provide design consistency at the center, along with repainting entire building to match new color scheme proposed. At Building F, the new building is designed to provide an intertie visually between the existing Mercado buildings to the north, and adjacent commercial properties to the South and Southeast of our site.

The north elevations of all buildings facing the Marguerite Lake will remain unchanged, except for repainting to new paint scheme proposed and parapet extension to screen rooftop equipment as proposed. The design objective of this project is to respect residential neighborhoods by leaving the massing and building design facing adjacent residential areas existing, while providing a more earth toned palette in the revised paint scheme.

Where building C is removed, additional parking will be install to replace the parking at the location of proposed new Building F. Landscaping associated with the above described improvements will be a part of this project, as shown in the proposed landscape plans.

Fully covered and shaded patios are being provided at new Building F, along with extensive building canopies. In addition, new fully shaded patios are being proposed for Jimmy Johns, at Building D and a fully shaded entry to the public courtyard is being proposed, to help extend all weather use of this area. The existing public courtyard between Buildings B and E will remain, and is being enhance with revised paving patterns and the removal of the large fountain which currently breaks up the space. All existing pedestrian connections to the pedestrian path around Marguerite Lake are being maintained, and a new pedestrian path from the Lake along the east side street frontage of Building D (at Chipotle and Coffee Shop) is proposed.

Full pedestrian connections are proposed from Hayden road, through the center, and to 3 access points along the lake path. In addition, we are proposing to extend a pedestrian path to our property line to the south, where we will encourage our commercial neighbor to the south to connect and extend this pedestrian path.

Applicant, **APMI, Inc.**

William Reilly, AIA
Principal

ATTACHMENT #3

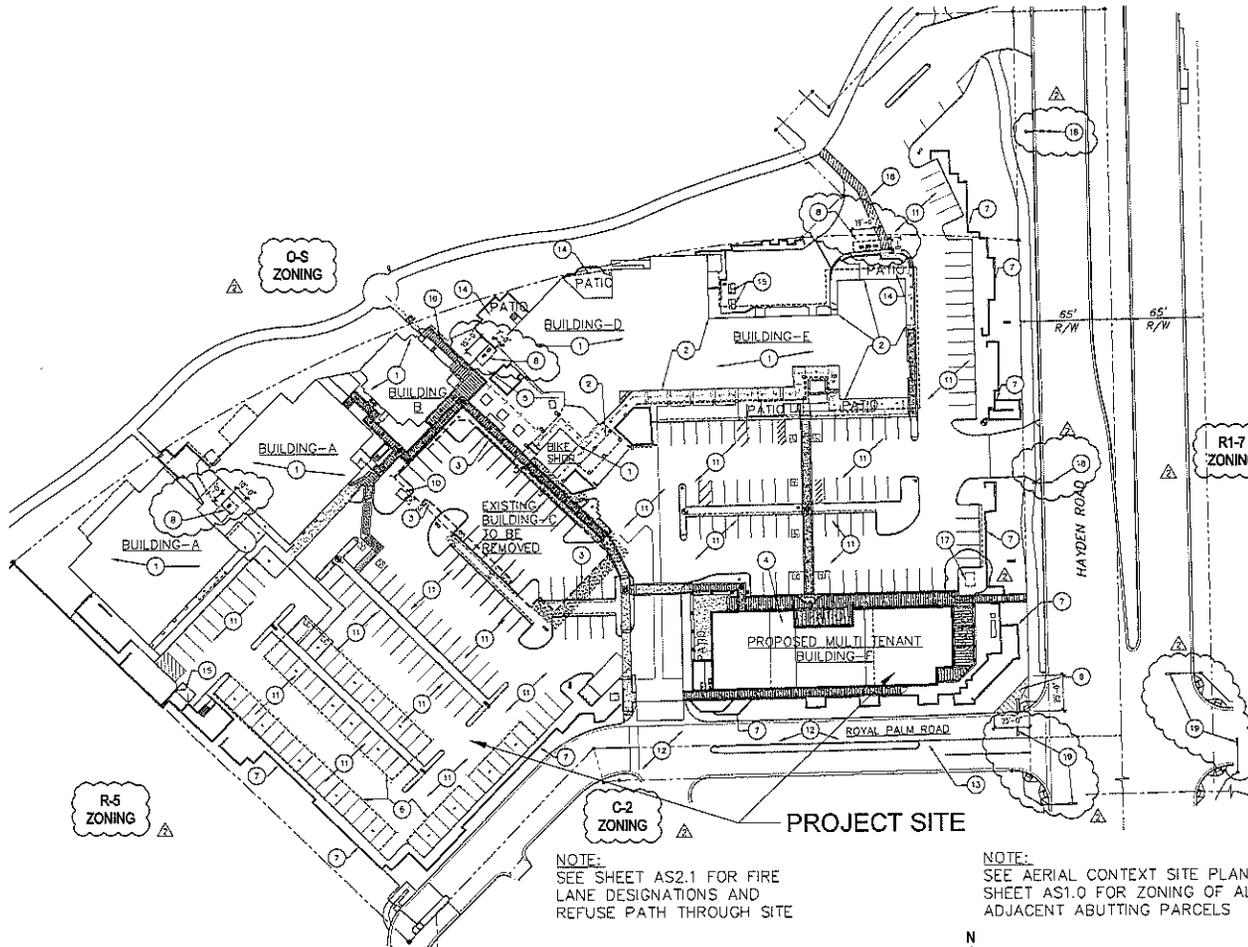
A R C H I T E C T U R E

P L A N N I N G

I N T E R I O R S



ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF AP/PMI, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF AP/PMI, INC. IS STRICTLY PROHIBITED.



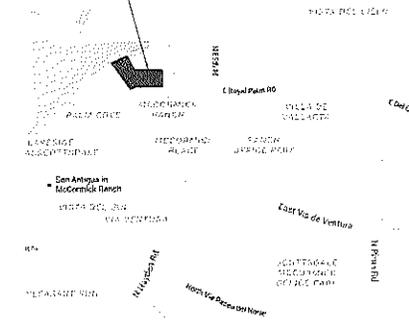
KEYNOTES

1. EXISTING BUILDING TO REMAIN - MINIMUM IMPROVEMENTS AND FINISH CHANGES AS SHOWN.
2. RAISE EXISTING PARAPET 6'-0"± TO SCREEN MECHANICAL EQUIPMENT.
3. EXISTING BUILDING "C" PROPOSED TO BE DEMOLISHED AND CONVERTED TO PARKING.
4. PROPOSED NEW MULTI-TENANT BUILDING "F" WITH RESTAURANT AND RETAIL USE, INCLUDING OUTDOOR PATIOS AT RESTAURANTS. OUTDOOR COURTYARD ARE ADJACENT TO EXISTING RESTAURANT.
5. EXISTING COVERED PARKING TO REMAIN.
6. EXISTING SCREEN WALL TO REMAIN.
7. EXISTING BICYCLE RACK TO REMAIN.
8. 25'x25' CORNER SAFETY TRIANGLE.
10. EXISTING APS TRANSFORMER - 52" TALL.
11. EXISTING PARKING AND PAVING TO REMAIN.
12. 18'-0" MINIMUM ACCESS EASEMENT.
13. NEW LEFT TURN LANE STRIPING.
14. EXISTING SITE HARDSCAPE AREA TO REMAIN.
15. EXISTING REFUSE ENCLOSURE TO REMAIN.
16. BIKE AND PEDESTRIAN PATH CONNECTION TO EXISTING PATH AT LAKE.
17. NEW BIKE RACK, MINIMUM 6.5'x9.5'.
18. EXISTING LIGHT POLE TO REMAIN.
19. EXISTING TRAFFIC SIGNALS TO REMAIN.

CLIENT / OWNER
 SCOTTLIN, LLC
 8300 N SCOTTSDALE RD.
 SUITE A200
 SCOTTSDALE, ARIZONA
 85258

ARCHITECT (APPLICANT)
 AP/PMI, INC.
 8300 N HAYDEN RD, SUITE
 A209
 SCOTTSDALE, ARIZONA
 85258
 WILLIAM J. REILLY, A.I.A.
 T 480.998.0709
 F 480.998.7958
 E wreilly@apmi.com

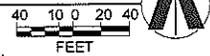
PROJECT SITE



VICINITY MAP
 SCALE: N.T.S.

OVERALL SITE PLAN

SCALE: 1" = 40'-0"



NOTE:
 SEE SHEET AS2.1 FOR FIRE
 LANE DESIGNATIONS AND
 REFUSE PATH THROUGH SITE

NOTE:
 SEE AERIAL CONTEXT SITE PLAN
 SHEET AS1.0 FOR ZONING OF ALL
 ADJACENT ABUTTING PARCELS

PROJECT DATA
 PROJECT LOCATION:
 8300 N HAYDEN RD
 SCOTTSDALE, ARIZONA 85258
 APN: 174-03-004H AND 174-04-004P

EXISTING ZONING: PNC
 NO PROPOSED ZONING CHANGE

NET AREA (TOTAL PARCEL): 5.164 ACRES (224,958 S.F.)

GROSS FLOOR AREA (NEW BLDG): 9,000 S.F.
 GROSS FLOOR AREA (TOTAL): 61,997 S.F.

REQUIRED OPEN SPACE:
 SEE SHEET AS2.3 FOR OPEN SPACE CALCULATIONS

PARKING AND PARKING LOT LANDSCAPING:

PARKING LOT AREA:	91,813 SF	
REQUIRED PARKING LANDSCAPE:	91,813 SF x 0.15 =	13,772 SF
PROVIDED PARKING LANDSCAPE:		14,200 SF
GROSS OFFICE AREA PARKING REQUIRED:	61,997 S.F./300 =	207 SPACES
PARKING SPACES PROVIDED (INCLUDING ADA SPACES):		235 SPACES
ADA PARKING REQUIRED (4% OF TOTAL):	235 SPACES x 0.04 =	9.4 ADA SPACES REQUIRED
ADA PARKING PROVIDED:		10 SPACES
BICYCLE PARKING REQUIRED: 24 SPACES (1 PER 10 VEHICULAR PARKING PROVIDED)		
BICYCLE PARKING PROVIDED: 24 SPACES.		

BUILDINGS:

BLDG.-A (TWO STORY)	29,985 S.F.
BLDG.-B	2,786 S.F.
BLDG.-C (TO BE DEMOLISHED)	-9,100 S.F.
BLDG.-D	6,472 S.F.
BLDG.-E	13,301 S.F.
BLDG.-F (PROPOSED NEW BUILDING)	9,000 S.F.
BIKE SHOP	453 S.F.
TOTAL AREA	61,997 S.F.

MERCADO DEL LAGO

AP/PMI ARCHITECTURE PLANNING

AP/PMI ARCHITECTURE PLANNING

DEVELOPMENT REVIEW SUBMITTAL

DRAWN DATE PROJECT: 06 JULY 2015 181049

OVERALL SITE PLAN

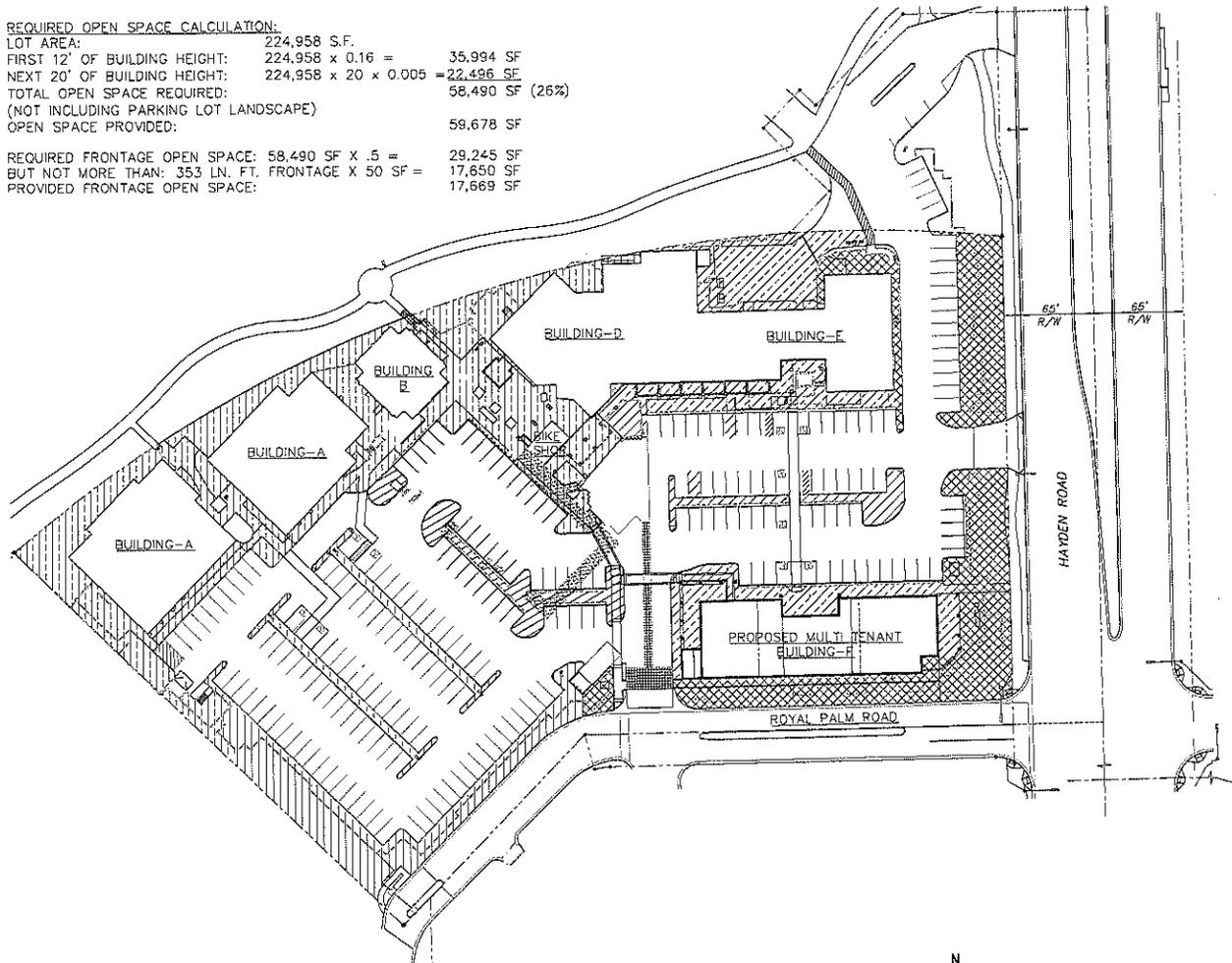
AS2.0

800 N HAYDEN ROAD, SCOTTSDALE, ARIZONA 85258

800 N HAYDEN ROAD, SUITE A209, SCOTTSDALE, ARIZONA 85258

REQUIRED OPEN SPACE CALCULATION:
 LOT AREA: 224,958 S.F.
 FIRST 12' OF BUILDING HEIGHT: $224,958 \times 0.16 = 35,994$ SF
 NEXT 20' OF BUILDING HEIGHT: $224,958 \times 20 \times 0.005 = 22,496$ SF
 TOTAL OPEN SPACE REQUIRED: 58,490 SF (26%)
 (NOT INCLUDING PARKING LOT LANDSCAPE)
 OPEN SPACE PROVIDED: 59,678 SF

REQUIRED FRONTAGE OPEN SPACE: $58,490 \text{ SF} \times .5 = 29,245$ SF
 BUT NOT MORE THAN: 353 LN. FT. FRONTAGE X 50 SF = 17,650 SF
 PROVIDED FRONTAGE OPEN SPACE: 17,669 SF

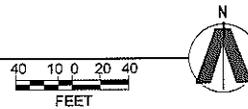


SITE DATA
 EXISTING ZONING: PNC
 (NO PROPOSED ZONING CHANGE)
 NET AREA (TOTAL PARCEL): 5,164 ACRES
 (224,958 S.F.)

PARKING LOT LANDSCAPING:
 PARKING LOT AREA: 91,813 SF
 REQUIRED PARKING LANDSCAPE: $91,813 \text{ SF} \times 0.15 = 13,772$ SQ.FT.
 PROVIDED PARKING LANDSCAPE: 14,026 SQ.FT.

-  DENOTES FRONT OPEN SPACE
17,669 SQ.FT. TOTAL
-  DENOTES OPEN SPACE OTHER THAN
FRONTAL OPEN SPACE
41,717 SQ.FT. TOTAL
-  DENOTES PARKING LOT LANDSCAPING
(NOT INCLUDING 2'-0" PARKING
OVERHANG)
14,026 SQ.FT. TOTAL

OPEN SPACE PLAN
 SCALE: 1" = 40'-0"



ATTACHMENT #6

MERCADO DEL LAGO

800 HAYDEN ROAD, SCOTTSDALE, ARIZONA 85258

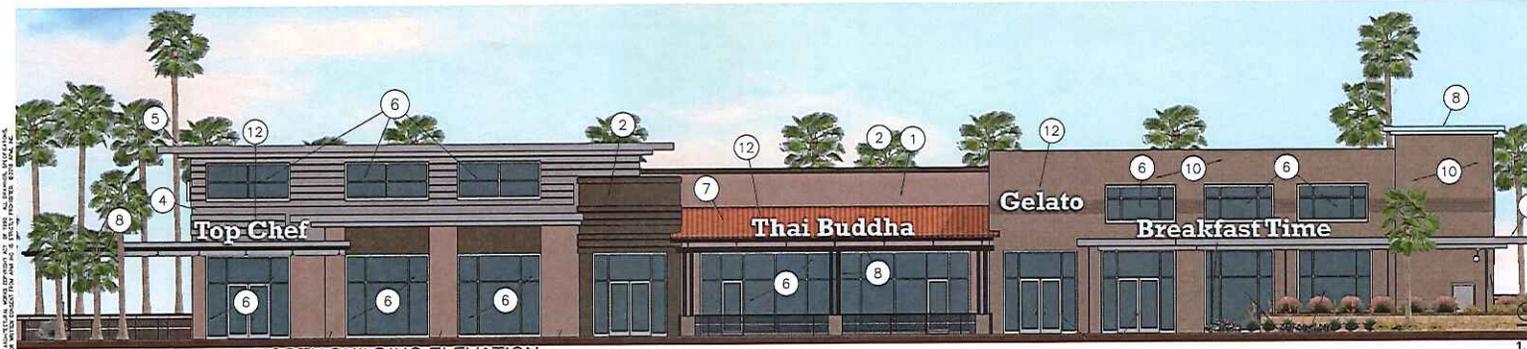
APWA
 ARCHITECTURE PLANNING INTERIORS
 800 NORTH HAYDEN ROAD, SUITE 400
 SCOTTSDALE, ARIZONA 85258
 TEL: 480.343.4444
 WWW.APWA.COM

DEVELOPMENT
 REVIEW SUBMITTAL
 DATE: 08/07/2016
 PROJECT: 16104.00

DRAWN: WR
 DATE: 08/07/2016
 PROJECT: 16104.00

OPEN SPACE
OVERALL PLAN

AS2.3



NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

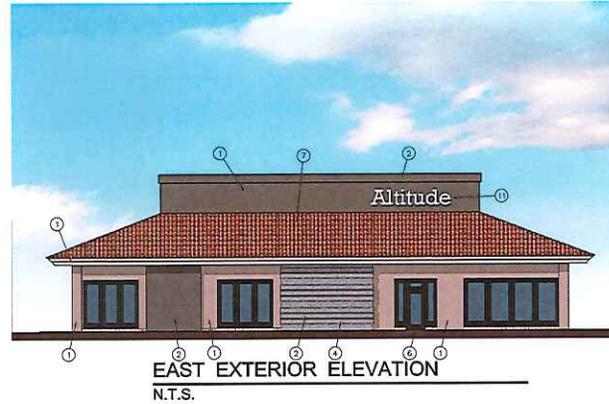


SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES

1. STUCCO / EIFS: PAINT P-1: GLIDDEN "SAND MOTIF"
2. STUCCO / EIFS: PAINT P-2: PAINT PPG "MOSQUITO"
3. STUCCO / EIFS: PAINT P-3: DUNN EDWARDS "RIVER BED"
4. WALL ACCENT DETAIL - NATURAL COLOR, 8" BOARD FINISH
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. STOREFRONT WITH SOLAR GRAY TINT GLAZING - FACTORY FINISH TO MATCH - PAINT "P-3"
7. RED TILE ROOF - MATCH EXISTING ROOFING AT CENTER
8. METAL CANOPY STRUCTURE - PAINT "P-4"
9. METAL CANOPY STRUCTURE - PAINT "P-3"
10. MASONRY BLOCK - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.
11. GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
12. SIGNAGE UNDER SEPARATE PERMIT

THE DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR IN ANY MANNER THAT IMPLICATES THE ARCHITECT OR ENGINEER IN ANY MANNER. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.



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4. WALL ACCENT DETAIL - NATURAL COLOR. 8" BOARD FINISH - WA-1
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. EXISTING WINDOW TO REMAIN - PAINT FRAME P-3
7. EXISTING RED TILE ROOF TO REMAIN
8. METAL CANOPY STRUCTURE - PAINT P-4
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11. SIGNAGE UNDER SEPARATE PERMIT.



MERCADO DEL LAGO

APMI
 ARCHITECTURE PLANNING INTERIORS
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 SCOTTSDALE, ARIZONA 85258
 T: 480.953.0209
 WWW.APMI.COM

DEVELOPMENT
 REVIEW SUBMITTAL
 08/15/2016

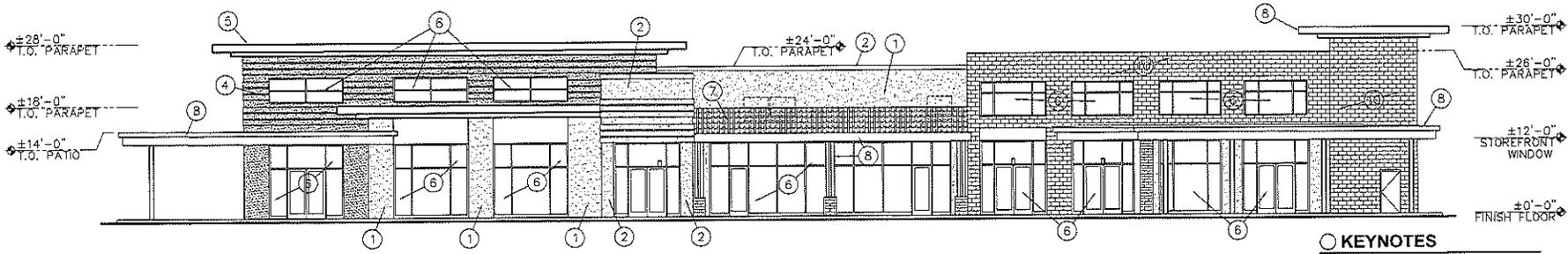
DRAWN: KCS
 DATE: 08 JULY 2016
 PROJECT: 15104.00

EXT. ELEVATIONS
'E' BUILDING

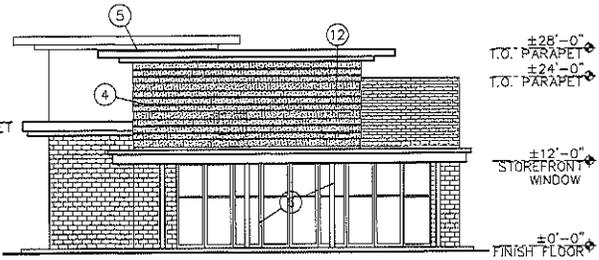
A9.3A

8300 NORTH HAVENBROOK ROAD, SUITE 200, SCOTTSDALE, ARIZONA 85258

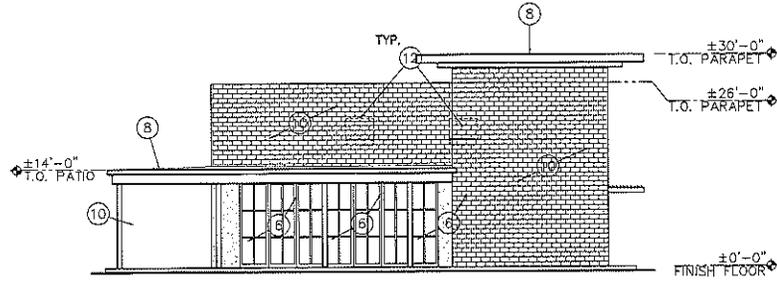
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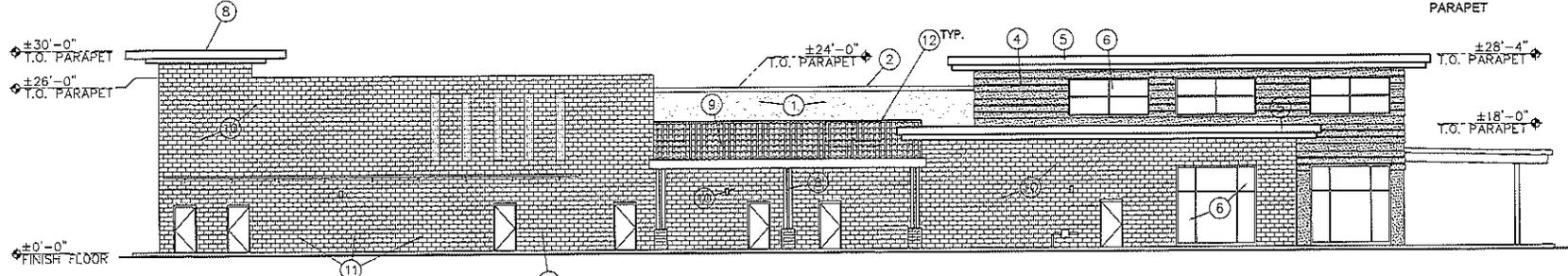
NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES

1. STUCCO / EIFS: PAINT P-1: GLIDDEN "SAND MOTIF"
2. STUCCO / EIFS: PAINT P-2: PAINT PPG "MOSQUITO"
3. STUCCO / EIFS: PAINT P-3: DUNN EDWARDS "RIVER BED"
4. WALL ACCENT DETAIL - NATURAL COLOR. 8" BOARD FINISH
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. STOREFRONT WITH SOLAR GRAY TINT GLAZING - FACTORY FINISH TO MATCH - PAINT "P-3"
7. RED TILE ROOF - MATCH EXISTING ROOFING AT CENTER
8. METAL CANOPY STRUCTURE - PAINT "P-4"
9. METAL CANOPY STRUCTURE - PAINT "P-3"
10. MASONRY BLOCK - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.
11. GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
12. SCREENED MECHANICAL EQUIPMENT PER 1.904.A.4 OF ZONING ORDINANCE - ALL MECHANICAL EQUIPMENT IS BELOW HORIZONTAL PROJECTION OR LOWEST PARAPET

MERCADO DEL LAGO

IN PLAN VIEW
GLAZING

APRM
ARCHITECTURAL PLANNING INTERIORS

DEVELOPMENT
REVIEW SUBMITTAL

DRAWN: JU
DATE: 08 JULY 2016
PROJECT: 16104-00

EXT. ELEVATIONS
BUILDING F

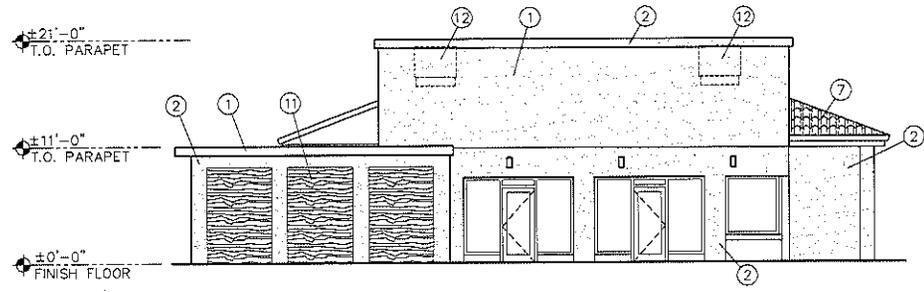
A9.1

8335 HARBERT ROAD, SCOTTSDALE, ARIZONA 85268

T: 480.947.0700
WWW.APRM.COM

8335 HARBERT ROAD, SUITE 400
SCOTTSDALE, ARIZONA 85268

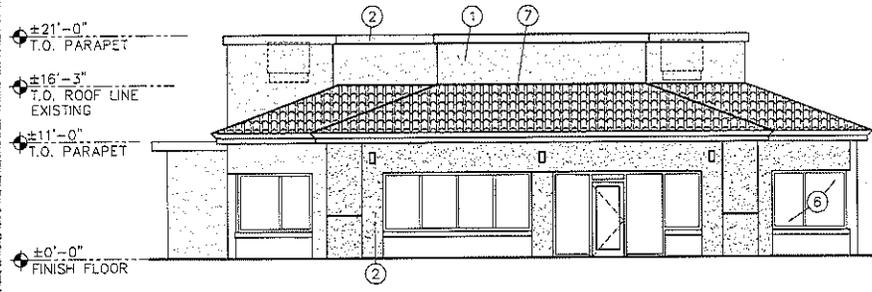
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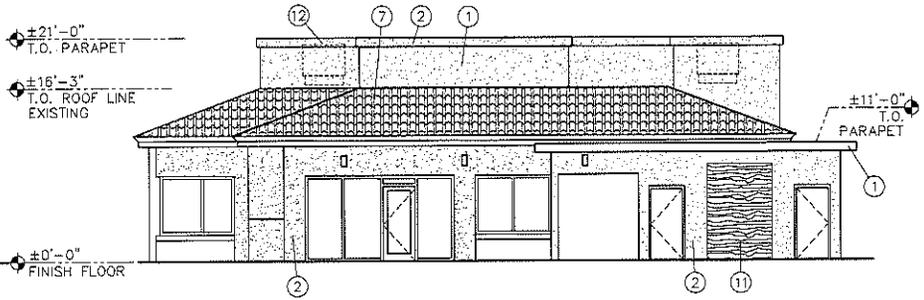
SOUTH BUILDING ELEVATION
SCALE: 3/16" = 1'-0"

KEYNOTES

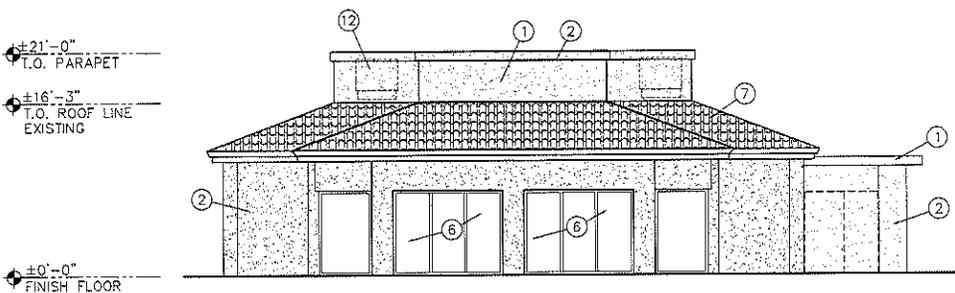
1. STUCCO / EIFS: PAINT P-1: GLIDDEN "SAND MOTIF"
2. STUCCO / EIFS: PAINT P-2: PAINT PPG "MOSQUITO"
3. STUCCO / EIFS: PAINT P-3: DUNN EDWARDS "RIVER BED"
4. WALL ACCENT DETAIL - NATURAL COLOR. 8" BOARD FINISH
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. STOREFRONT ALUMINUM WITH COLOR TO MATCH P-3. PROVIDE SOLAR GRAY TINT GLAZING
7. RED TILE ROOF EXISTING TO REMAIN
8. METAL CANOPY STRUCTURE - PAINT CARBON -
9. METAL ROOFING - ZINC FINISH TO MATCH METAL TRIM
10. MASONRY BLOCK - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.
11. GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
12. SCREENED MECHANIC EQUIPMENT PER 1.904.A.4 OF ZONING ORDINANCE



EAST BUILDING ELEVATION
SCALE: 3/16" = 1'-0"



WEST BUILDING ELEVATION
SCALE: 3/16" = 1'-0"



NORTH BUILDING ELEVATION
SCALE: 3/16" = 1'-0"

MERCADO DEL LAGO

AP/PM
 ARCHITECTURAL PLANNING INTERIORS, INC.
 1500 NORTH AVENUE, SUITE 400
 SCOTTSDALE, ARIZONA 85259

DEVELOPMENT
 REVIEW SUBMITTAL
 07/20/2016

DRAWN: JU
 DATE: 08 JULY 2016
 PROJECT: 16104.00

EXT. ELEVATIONS
'B' BUILDING

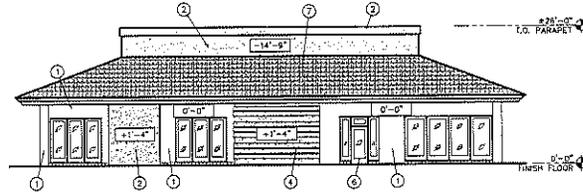
A9.2

8591 HAVEN ROAD, SCOTTSDALE, ARIZONA 85258

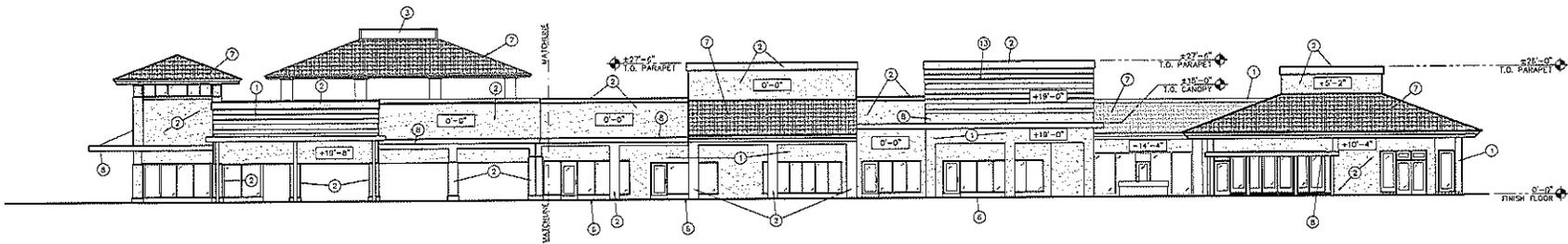
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KEYNOTES

1. STUCCO / EIFS: PAINT P-1: GLIDDEN "SAND MOTIF"
2. STUCCO / EIFS: PAINT P-2: PAINT PPG "MOSQUITO"
3. STUCCO / EIFS: PAINT P-3: DUNN EDWARDS "RIVER BED"
4. WALL ACCENT DETAIL - NATURAL COLOR, 8" BOARD FINISH - WA-1
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. EXISTING WINDOW TO REMAIN - PAINT FRAME P-3
7. EXISTING RED TILE ROOF TO REMAIN
8. METAL CANOPY STRUCTURE - PAINT P-4
9. METAL CANOPY STRUCTURE - PAINT P-3
10. MASONRY BLOCK - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.



EAST BUILDING ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH BUILDING ELEVATION
SCALE: 3/32" = 1'-0"

MERCADO DEL LAGO

G. ALVARO
 G. FLORES

APMI
 ARCHITECTURE PLANNING INTERIORS

14142/10/19
 WINFARM/04
 830 NORTH HAVERTH ROAD, SUITE 402
 SCOTTSDALE, ARIZONA 85258

DEVELOPMENT
 REVIEW SUBMITTAL
 08/07/2015

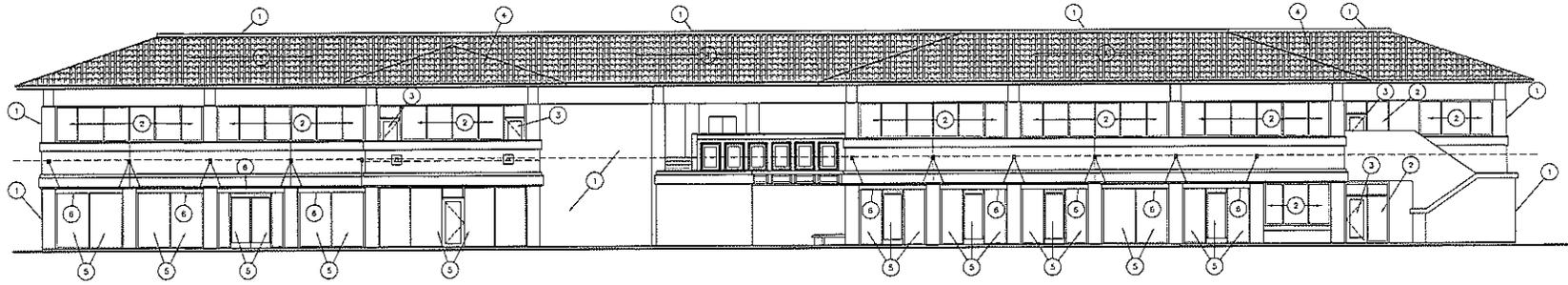
DRAWN J3
 DATE 08 JULY 2015
 PROJECT 16104.00

EXT. ELEVATIONS
 'E' BUILDING

A9.3

830 N HAVERTH ROAD, SCOTTSDALE, ARIZONA 85258

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BUILDING A - NEW SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: BUILDING "A" IS TO REMAIN EXISTING EXCEPT PAINT WITH COLOR SCHEME AND ADDITION OF NEW METAL SHADE CANOPIES AT LOWER STOREFRONT ON SOUTH ELEVATION.

KEYNOTES

1. EXISTING BUILDING TO REMAIN - PAINT
2. EXISTING WINDOWS TO REMAIN - PAINT
3. EXISTING DOOR TO REMAIN - PAINT
4. EXISTING TILE ROOF TO REMAIN
5. STOREFRONT WINDOW / DOOR, CUSTOM PAINT FRAME TO MATCH APPROVED BUILDING COLOR FOR WINDOW FRAMES
6. PROPOSED NEW STEEL TUBE CANOPY

MERCADO DEL LAGO

8307 HUNDEL ROAD, SCOTTSDALE, ARIZONA 85238

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 8307 HUNDEL ROAD, SUITE 205
 SCOTTSDALE, ARIZONA 85238
 WWW.AP/PAI.COM



DRAWN: WJR
 DATE: 06 JULY 2016
 PROJECT: 16104.00

EXT. ELEVATIONS
'A' BUILDING

A9.4

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ATTACHMENT #9



VIEW FROM NORTHEAST
N.T.S.



EAST EXTERIOR ELEVATION
N.T.S.



NORTH EXTERIOR ELEVATION
N.T.S.



WEST EXTERIOR ELEVATION
N.T.S.



SOUTH EXTERIOR ELEVATION
N.T.S.

MERCADO DEL LAGO

APRM
ARCHITECTURE PLANNING INTERIORS

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800 NORTH WOODEN ROAD, SUITE 400
SCOTTSDALE, ARIZONA 85260
WWW.APRM.COM

DEVELOPMENT
REVIEW SUBMITTAL
APR 28, 2016

DRAWN: YJR
DATE: 28 APRIL 2016
PROJECT: 16104.00

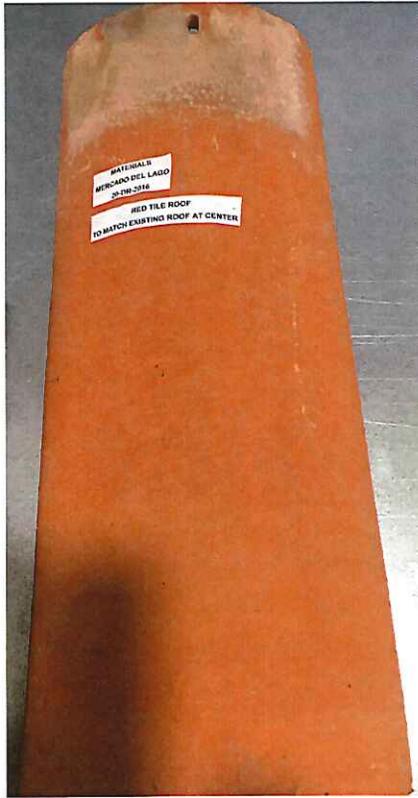
COLOR
ELEVATIONS

A3.1

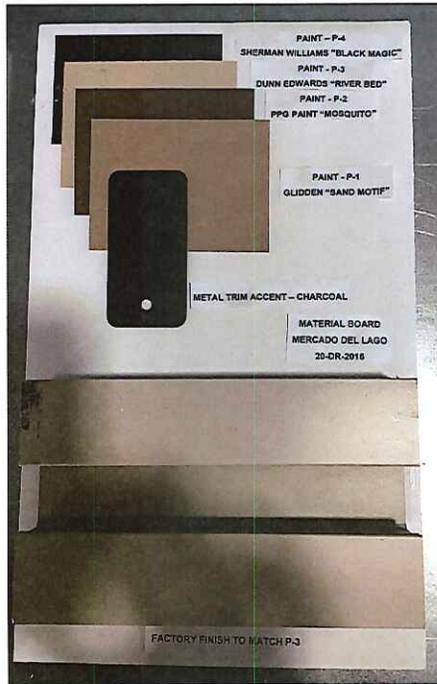
20-DR-2016
5/6/2016

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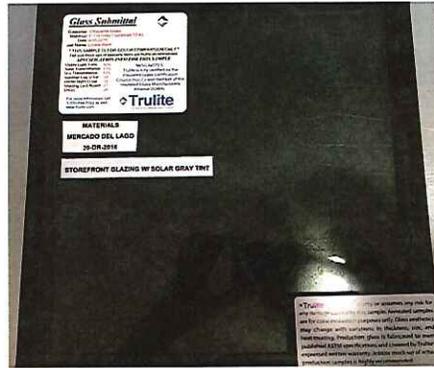
ATTACHMENT #10



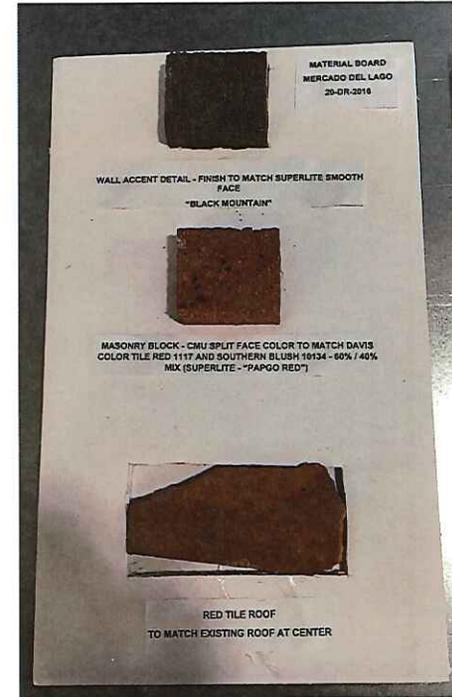
RED TILE ROOF TO MATCH EXISTING



PAINT AND METAL SAMPLES



STOREFRONT GLAZING



EXTERIOR FINISHES

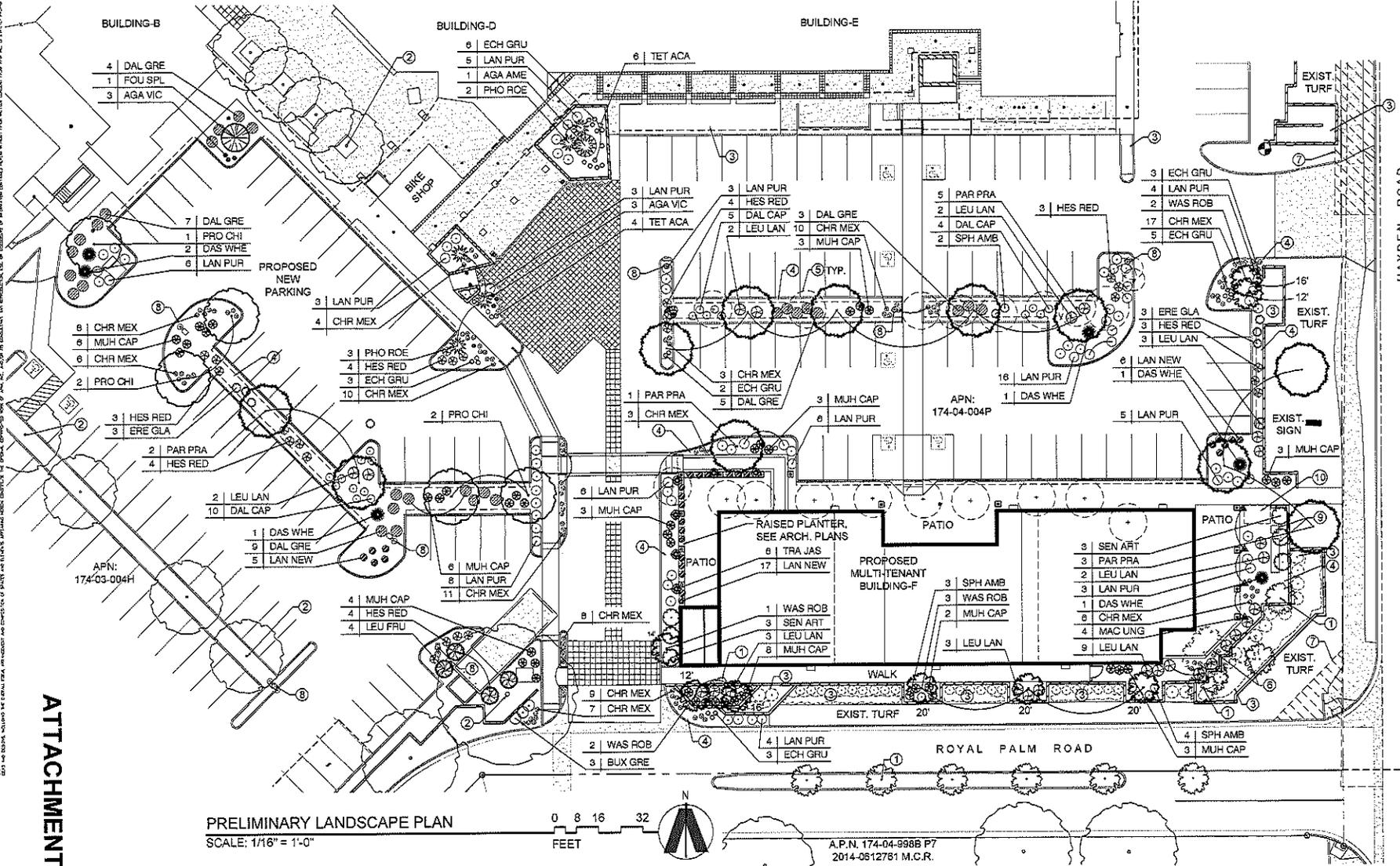
SUMMARY DATA

PARKING LOT AREA:	91,813 SF
REQ'D PARKING LANDSCAPE:	13,772 SF
PROVIDED PARKING LANDSCAP:	14,026 SF
FRONTAL OPEN SPACE:	17,669 SF
OTHER OPEN SPACE (NON-PARKING, NON-FRONTAL):	41,717 SF

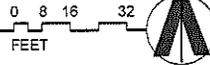
NOTE:
SEE OPEN SPACE PLAN,
SHEET AS2.3 FOR MORE
DETAILED INFORMATION

KEYNOTES

- EXISTING PALM TO REMAIN (TYP.)
- EXISTING TREE TO REMAIN (TYP.)
- EXISTING SHRUBS TO REMAIN (TYP.)
- ROCK MULCH: 2" DEEP 3/8" D.G. TO MATCH EXISTING, SUBMIT SAMPLE FOR APPROVAL. HOLD TOP OF MULCH ±3/4" BELOW TOP OF PAVING.
- TREE TO BE REMOVED
- PALM TREE TO BE REMOVED
- SIGHT DISTANCE VISIBILITY TRIANGLE
- POLE-MOUNTED LIGHT, SEE ARCH. PLANS
- UTILITY VAULT, SEE ELEC. PLANS
- BIKE PARKING, SEE ARCH. PLANS



PRELIMINARY LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"



A.P.N. 174-04-998B P7
2014-0512761 M.C.R.

ATTACHMENT #11

MERCADO DEL LAGO

VINE MAPLE DESIGN
Landscape Architecture
336 Bon Air Center #228
Greenbrae, CA 94904
415.645.8463
CA Lic. #4637 AZ Lic. #59228

APM
ARCHITECTURE PLANNING INTERIOR
1-408-008
1-408-008
WAVAK.COM
EXXONUNIONROAD 600-600
SCOTTSDALE, ARIZONA 85259

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN: MR
DATE: 8 JUL 2016
PROJECT: 16104.00

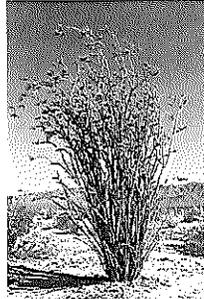
PRELIMINARY
LANDSCAPE PLAN

L1

THE PLANTS IS BEING USED AS A REFERENCE ONLY. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE AVAILABILITY OF THE PLANTS AND THE SPECIFICATIONS. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE AVAILABILITY OF THE PLANTS AND THE SPECIFICATIONS. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE AVAILABILITY OF THE PLANTS AND THE SPECIFICATIONS.



CHILEAN MESQUITE



OCOTILLO



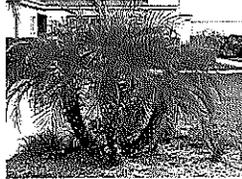
MEXICAN FAN PALM



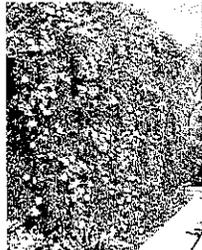
BOUGAINVILLEA



PALO BREA



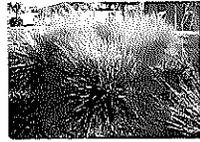
PYGMY DATE PALM



CAT'S CLAW VINE



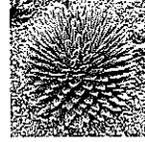
STAR JASMINE



REGAL MIST MUHLY GRASS



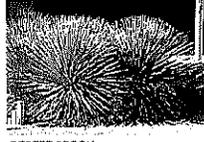
RED HESPERALOE



QUEEN VICTORIA AGAVE



GOLDEN BARREL



DESERT SPOON



CENTURY PLANT



GREEN CLOUD TEXAS RANGER



RIO BRAVO TEXAS RANGER



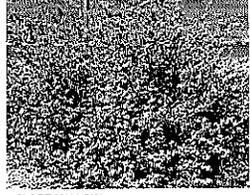
FEATHERY CASSIA



WINTER BLAZE BREMOPHILA



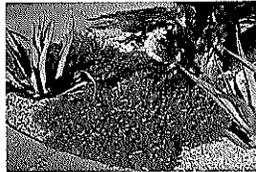
GREEN BEAUTY BOXWOOD



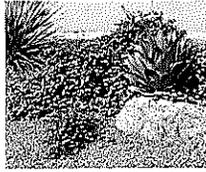
GLOBE MALLOW



DAMIANITA



SIERRA GOLD INDIGO BUSH



PURPLE LANTANA



TRAILING INDIGO BUSH



NEW GOLD LANTANA



ANGELITA DAISY

PLANT LIST

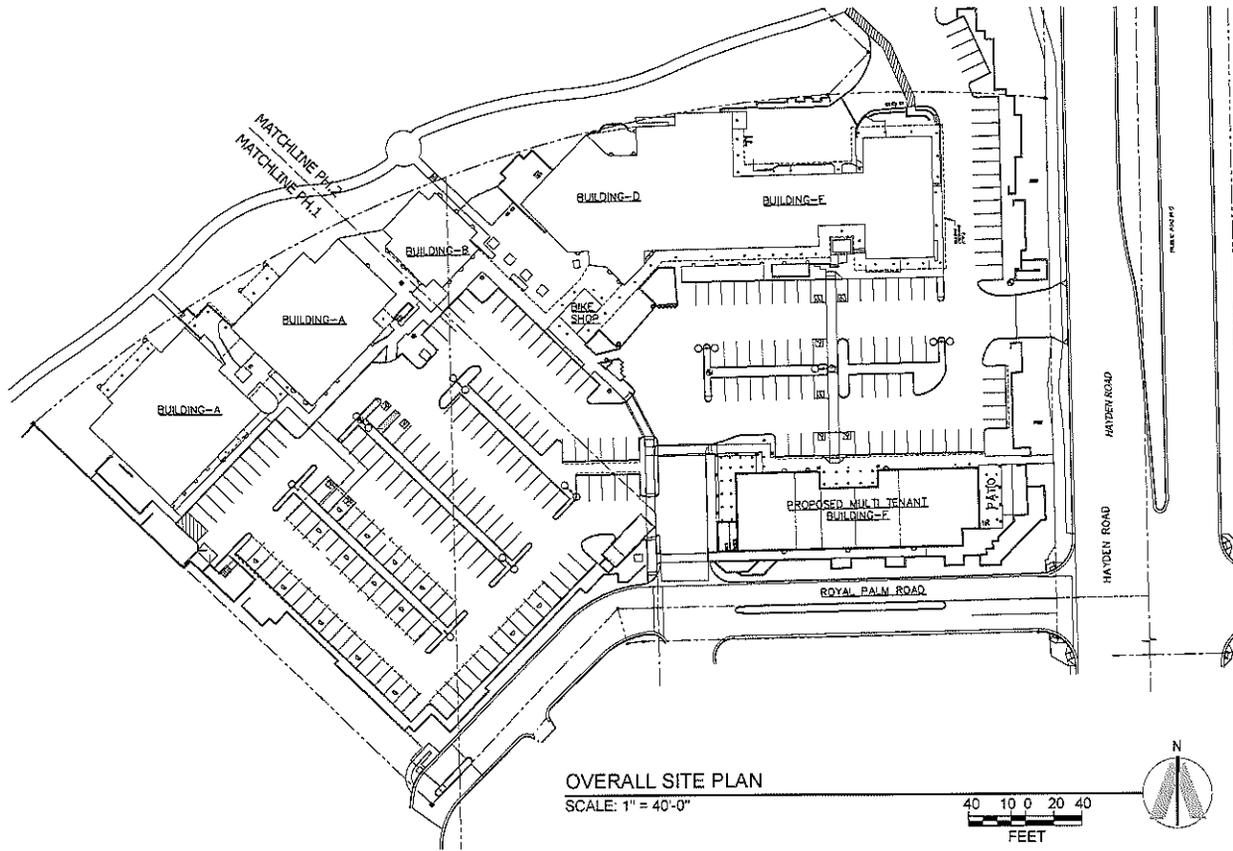
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE / COMMENTS
TREES				
1	PRO SPL	PROLIQUERIA SPLENDENS	OCOTILLO	2F BOX
11	PAL PRA	PANDANUS PRAECOX	PALO BREA	2F BOX, STD. LOW BRANCHING
5	PRO D4	PROSOPIS CHILENSIS 'THORNLESS'	THORNLESS CHILEAN MESQUITE	2F BOX, STD. LOW BRANCHING
PALMS				
5	PHO ROE	PHOENIX ROSEBELLINI	PYGMY DATE PALM	5 GAL
6	WAS ROB	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	2' X 2' X 2' MIN. ROOTBALL 12 CLR. TRUNK MIN. SEE PLANS FOR CLR. TRUNK HT.
SHRUBS				
3	BOUG CRE	BOUGAINVILLEA J. 'GREEN BEAUTY'	GREEN BEAUTY BOUQUET	4 GAL
7	ERE GLA	EREMOPHILA GLABRA 'WINTER BLAZE'	WINTER BLAZE EMU BUSH	5 GAL
4	LEU PFL	LEUCOPHYLLUM FRUTESCENS 'VIOLET CLOUD'	GREEN CLOUD TEXAS SAGE	5 GAL
26	LEU LAN	LEUCOPHYLLUM LINDENHAEI 'RIO BRAVO'	RIO BRAVO TEXAS SAGE	5 GAL
5	SEN ART	SENNA ARTENSICOIDES	FEATHERY CASSIA	5 GAL
5	SPH AMB	SPHAERALDEAMBIGUA	GLOBE MALLOW	5 GAL
CACTI, GRASSES & ACCENT PLANTS				
1	AGA AME	AGAVE AMERICANA	CENTURY PLANT	15 GAL
8	AGA VC	AGAVE VICTORIAE REGINAE	QUEEN VICTORIA AGAVE	5 GAL
0	DAS WHI	DASYLIRION WHITES ERE	DESERT SPOON	15 GAL
22	GBH SPH	GOLDEN BARREL CACTUS	GOLDEN BARREL CACTUS	5 GAL
22	HEA RED	HESPERALOE PARVIFLORA 'RED'	RED HESPERALOE	5 GAL
41	MUH CAP	MUHLENBERGIA CAPILLARIS REGAL MIST	REGAL MIST MUHLY GRASS	5 GAL
GROUND COVER				
107	CHR MEX	CHRYSANTHOSUS MEXICANA	DAMIANITA	1 GAL
14	DAL DAF	DALYRIA DARTATA 'SIERRA GOLD'	SIERRA GOLD INDIGO BUSH	1 GAL
25	DAL DAF	DALYRIA DARTATA 'SIERRA GOLD'	SIERRA GOLD INDIGO BUSH	1 GAL
29	LAN NEW	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL
72	LAN PUR	LANTANA 'PURPLE'	PURPLE LANTANA	1 GAL
10	TET ACA	TETRANEURUS ACALUIS	ANGELITA DAISY	1 GAL
VINES				
8	BOUG SPP	BOUGAINVILLEA SPP.	BOUGAINVILLEA	1 GAL, TRAIN ON TRELIS
4	MAG LIND	MACADYENA LINGUIS-CATI	CAT'S CLAW	1 GAL, TRAIN ON TRELIS
6	TRA JAS	TRACHELOSPERMA JASMINOIDES	STAR JASMINE	1 GAL, TRAIN ON TRELIS

MERCADO DEL LAGO
VINE MAPLE DESIGN
 landscape architecture
 336 Bon Air Center #298
 Greenbrae, CA 94904
 415.545.8463
 CA Lic. #4837 AS Lic. #59726
 8301 HYDEBORO ROAD, SCOTTSDALE ARIZONA 85258

APM
 ARCHITECTURE PLANNING INTERIORS
 PRELIMINARY
 NOT FOR CONSTRUCTION
 415.545.8463
 8301 HYDEBORO ROAD, SUITE 209
 SCOTTSDALE, ARIZONA 85258
 WWW.APM.COM

DRAWN: MR
 DATE: 8 JUL 2016
 PROJECT: 16104.00
 PLANT IMAGES & PLANT LIST

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Luminaire Schedule					
Symbol	Label	Description	Arrangement	Total Lamp Lumens	LLF
○	B1	KIM BN8-18L3K - 3000K - 42" OVERALL HEIGHT - PLATINUM SILVER FINISH	SINGLE	1321	1.000
•	D1	PRESCOLITE LF4LEDG4 with 4LFLED5G430K RECESSED CAN - CLEAR ANODIZED FINISH	SINGLE	1133	1.000
○	P1	KIM BNS1H5E35-60L3K - 3000K - 16'-0" OVERALL HEIGHT - PLATINUM SILVER FINISH	SINGLE	3262	1.000
○→○	P2	KIM BNS1H5E35-60L3K - TWIN - 3000K - 16'-0" OVERALL HEIGHT - PLATINUM SILVER FINISH	TWIN 180	6524	1.000
△	W1	PRESCOLITE LD6LED4SW35K8 BL - 3500K - 6'-0" INCH OVERALL HEIGHT - BRUSHED ALUMINUM FINISH	SINGLE	876	1.000

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
HORIZONTAL AT GRADE 10 FEET BEYOND PROPERTY LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
HORIZONTAL AT GRADE OVERALL SITE	Illuminance	Fc	1.08	19.8	0.0	N.A.	N.A.
VERTICAL AT 6'-0" FEET ABOVE GRADE ALONG PROPERTY LINE	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.

ATTACHMENT #12

MERCADO DEL LAGO



DRAWN: MB
 DATE: 28 APRIL 2016
 PROJECT: 16104.00

OVERALL
 SITE PLAN



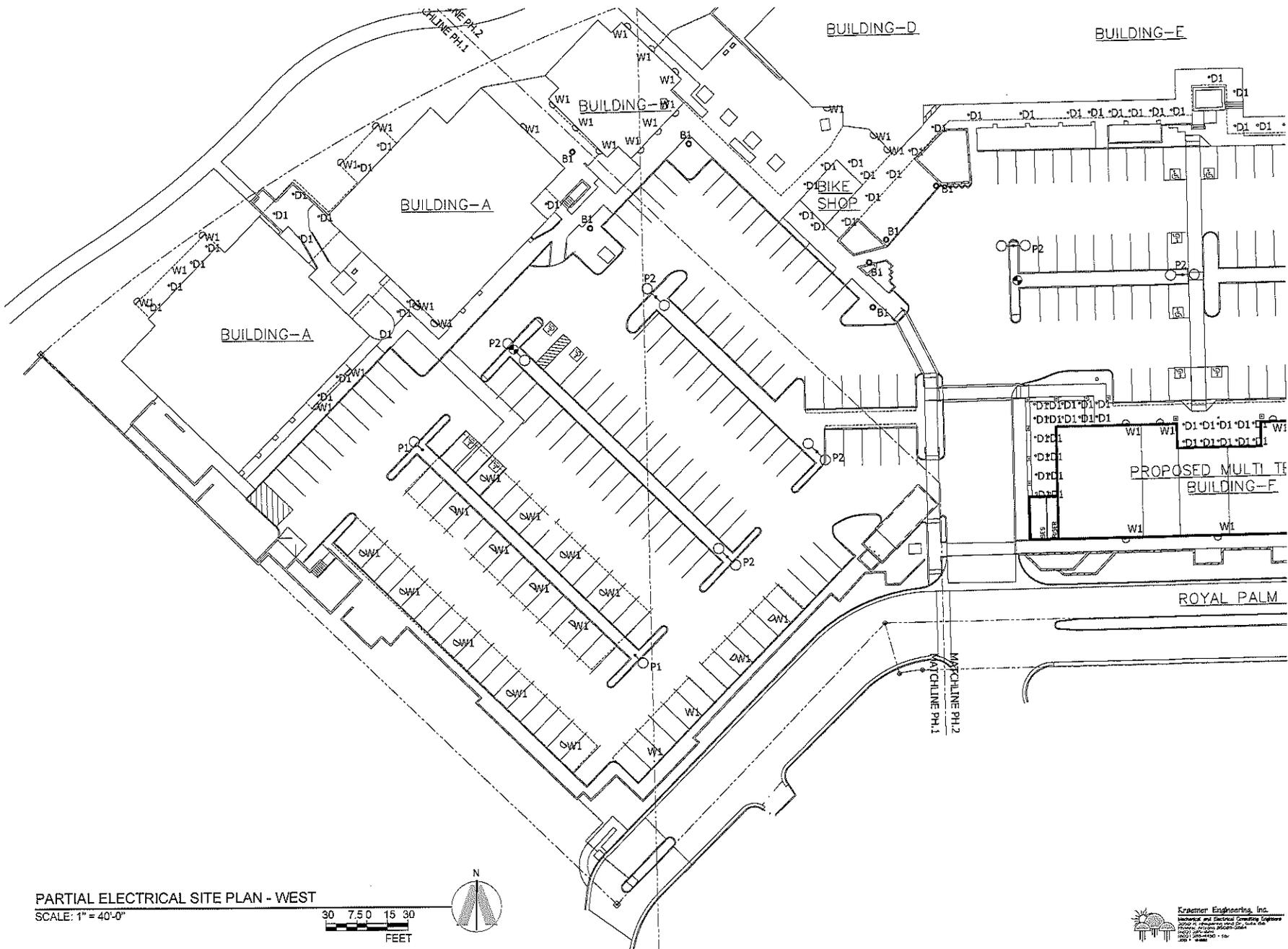
PH-1

8300 HAYDEN ROAD, SCOTTSDALE, ARIZONA, 85258

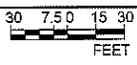
T: 480.940.9319
 WWW.APRM.COM

6333 NORTH WOODBROOK SUITE 1008
 SCOTTSDALE, ARIZONA 85258

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PARTIAL ELECTRICAL SITE PLAN - WEST
 SCALE: 1" = 40'-0"



MERCADO DEL LAGO

APRIMA
 ARCHITECTURE PLANNING INTERIOR

8301 HYDE PARK ROAD, SCOTTSDALE, ARIZONA 85258

T. 480.843.0338
 WWW.APRIMA.COM

8301 HYDE PARK ROAD, SUITE 400
 SCOTTSDALE, ARIZONA 85258



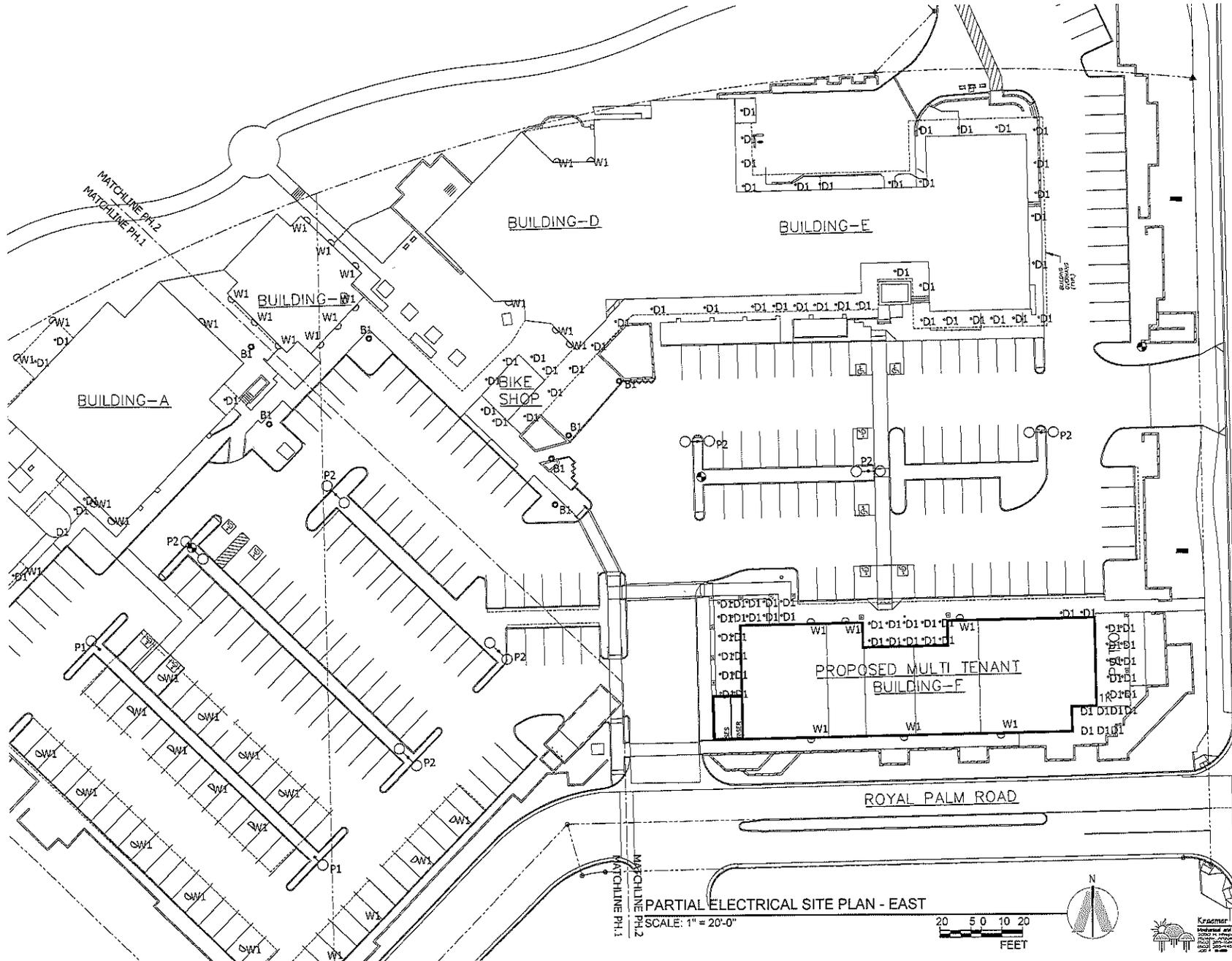
DRAWN: MB
 DATE: 28 APRIL 2016
 PROJECT: 16104.00

PARTIAL
 SITE PLAN



PH.4

THIS PLAN IS A PARTIAL SITE PLAN AND IS NOT TO BE CONSIDERED AS A COMPLETE SITE PLAN. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THIS PLAN. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THIS PLAN. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THIS PLAN.



PARTIAL ELECTRICAL SITE PLAN - EAST

SCALE: 1" = 20'-0"



Kramer Engineering, Inc.
 Electrical and Electronic Consulting Engineers
 1400 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-1111
 Fax: (954) 561-1112
 Email: info@kramereng.com

MERCADO DEL LAGO

HAYDEN ROAD

HAYDEN ROAD

ROYAL PALM ROAD

APM
 ARCHITECTURE PLANNING INTERIORS



DRAWN MB
 DATE 28.APRIL.2016
 PROJECT 16104.00

PARTIAL SITE PLAN

PH.5

8500 HAYDEN ROAD, SCOTTSDALE, ARIZONA 85268

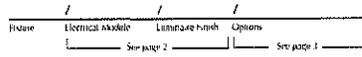
1400 N. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304

THE PRODUCT NAME, THE TRADE DRESS, THE LOGO AND THE MARKING ON THE PRODUCT ARE THE PROPERTY OF KIM LIGHTING. ANY REUSE OF THE PRODUCT NAME, THE TRADE DRESS, THE LOGO AND THE MARKING ON THE PRODUCT WITHOUT THE WRITTEN PERMISSION OF KIM LIGHTING IS STRICTLY PROHIBITED.

ATTACHMENT #13

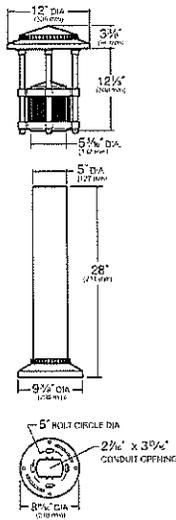


Type: B1
Job:
Catalog number:



Specifications

BNB1 LED
18, 27 or 36 LED



BNB1 LED

Bounce Bollard
revision 7/28/14 • kl_bnb1led_spec.pdf

Approvals:

Date:
Page: 1 of 4

Hood and Lens Frame: Die-cast, low copper (<0.6% Cu) aluminum alloy with stainless steel hinge. Hood is opened by loosening one stainless steel captive button-head socket cap screw. 1/4" thick clear but tempered glass lens seals against the lens frame by a one-piece molded silicone gasket. Lens frame seals against the hood by a one-piece extruded and vulcanized silicone gasket.

Body Support: Die-cast, low copper (<0.6% Cu) aluminum alloy flanges compress a ribbed extruded aluminum chamber. The four heavy wall extruded aluminum support rods are mechanically fastened to the lens frame with stainless steel fasteners. The support rods are held in position through die-cast arms and mechanically fastened at the bottom with a custom aluminum bolt. The electrical wiring is channeled through a support rod with a brass bushing.

Body Caps: Die-cast, low copper (<0.6% Cu) aluminum, coated by two captive stainless steel screws. Optional matte black finish to eliminate body light. See page 3.

Shaft: One-piece aluminum extrusion, .125" minimum wall thickness and two internal #6-16 mounting rods sandwich shaft between base and hood.

Anchor Base Plate: A heavy cast aluminum anchor base is provided for mounting to the four 3/4" x 1/2" x 2" zinc plated 1-bolts, each with two nuts and washers. A rigid pressed board template is provided to secure the anchor bolts during concrete pour (5" B.C.D.).

Electrical Module: Factory mounted to a rigid harness attached to the anchor base. A total of 27 mid power LED emitters configured in a rectangular array composed together as a module. Two (2) modules for Type I version; three (3) modules for Type III version; and four (4) modules for Type V version. Available in 580nm Amber, 3000K, 4200K and 5100K color temperatures.

LED Driver: Universal voltage from 120 to 277V with a ±10% tolerance, -40°F starting temperature. All drivers are Underwriters Laboratories recognized.

Finish: Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, trihybrid isocyanurate (TGIC) polyester powdercoat finish. Standard colors include (B1) Black, (DB) Dark Bronze, (WH) White, (PS) Platinum Silver, (SG) Seaforth Gray, (CG) Light Gray, and (CC) Custom Color (include RAL#).

Listed to: UL 1598 Standard for Luminaires - UL 8750 Standard for Safety for Light Emitting Diode (LED) Equipment for use in Lighting Products and CSA C22.2#250.0 Luminaires. RoHS compliant. Meets Buy American provisions within ARRA.

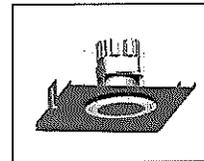
Warranty: Kim Lighting warrants Bollard LED products sold by Kim Lighting to be free from defects in material and workmanship for (i) a period of five (5) years for metal parts, (ii) a period of five (5) years for exterior housing paint finishes, (iii) a period of five (5) years for LED Light Engines and, (iv) a period of five (5) years for LED power components (driver, surge protector and Lifeshield® device), from the date of sale of such goods to the buyer as specified in Kim Lighting shipment documents for each product.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE



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4\"/>

APPLICATIONS:
LifeFrame LF4LED is a 4' specification grade LED lensed downlight that utilizes remote phosphor technology to obtain color consistency, energy savings, and low maintenance costs. 50,000 hours minimum life up to 35 C (95 F) in open plenum applications.

HOUSING:
One-piece 22 gauge non-ferrous steel platform. Pre-wired 1/8\"/>

LED DRIVER:
The LF4LED utilizes the Philips Fortimo LED Driver specifically designed to optimize efficiency of the Fortimo DIM Module. Driver is designed to match the 50,000 hours minimum life expectancy of the system. Meets UL Class 2, inherent short circuit protection, self limited, overload protected. If critical temperatures are reached on driver or LED module, integrated thermal feedback loop will gradually reduce current to protect system life. Driver is universal. 120V/277V. Optional Lonon Series A driver is also available.

DIMMING:
Comes standard with 0-10V dimming capability. Flicker-free dimming to 10%. 0-10V control may consume up to 1mA, 0-10V, Lonon 2 wire, 3 wire, and EcoSystem dimming available to 1%.

INSTALLATION:
Adjustable Bar hangers included. Universal adjustable mounting brackets also accept 1/2\"/>

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations. Approved for through wiring. Non-IC rated. EMR is damp rated use only.

WARRANTY:
5 year warranty. See www.prescolite.com for details.

CATALOG NUMBER: EXAMPLE: LF4LEDG4-4LFLED5G430KIP65

Order housing, reflector, and accessories separately

HOUSING/LED GENERATION	VOLTAGE	OPTIONS	TRIM	LENS COLOR	REFLECTOR	REFLECTOR COLOR	REFLECTOR FINISH	REFLECTOR MOUNTING	ACCESSORIES
<input type="checkbox"/> LF4LEDG4	<input type="checkbox"/> Blank	<input type="checkbox"/> EMR ¹	<input type="checkbox"/> 4LFLED5G4	<input type="checkbox"/> 30K	<input type="checkbox"/> Blank	<input type="checkbox"/> Blank	<input type="checkbox"/> IP65 ²	<input type="checkbox"/> B24	<input type="checkbox"/> B24
4\"/>									

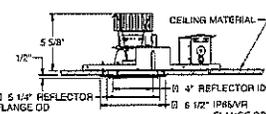
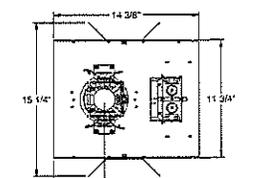
Use with HDM/DM1/2DM dimming option: Match Housing to Trim Output

<input type="checkbox"/> LF4LED5G4	<input type="checkbox"/> 120	<input type="checkbox"/> HDM ¹
<input type="checkbox"/> LF4LED6G4	<input type="checkbox"/> 277	Lonon 3-wire / Eco System to 1%
<input type="checkbox"/> LF4LED7G4		<input type="checkbox"/> 2DM ¹
		Lonon 2-wire Leading Edge to 1% (120V only)
		<input type="checkbox"/> EMR ¹
		Emergency Battery Pack with remote test switch

prescolite
A Division of Hubbell Lighting, Inc.
In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: www.prescolite.com • Tech Support: (888) 777-4832

DATE _____ TYPE **D1**
 DRAWN BY _____
 PROJECT _____

LifeFrame
Ceiling Cutout: 5\"/>



See page 2 for EMR line art.

MERCADO DEL LAGO

APM
 ARCHITECTURAL PLANNING INTERIORS
 1-408-903-1100
 1100 W. PARKWAY
 SUITE 200 WOODBRIDGE, CALIFORNIA 92690



DRAWN BY _____ MS
 DATE 28-APRIL-2016
 PROJECT 16134-00

FIXTURE CUT SHEETS

PH.6

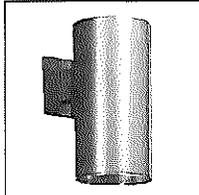


8300 HAVENWOOD ROAD, SCOTTSDALE, ARIZONA 85258



DRAWN: MS
DATE: 28 APRIL 2016
PROJECT: 16104-00

FIXTURE CUT SHEETS



6" Direct LED Wall Mount Cylinder
LD6LED3D
LD6LED4D
Wet Location
120V, 277V

DATE: _____ TYPE: W1
FIRM NAME: _____
PROJECT: _____
LifeForms
For conversion to millimeters, multiply inches by 25.4
Not to Scale

APPLICATIONS:
LifeForms™ LD6LED3D and LD6LED4D Series is a 6" direct wall mount LED cylinder designed to combine superior brightness control with energy savings and long lamp life. Suitable for a variety of commercial, retail, and institutional applications to achieve illumination patterns on vertical walls or ceilings. Optical lens options in spot, medium, or wide distribution are ideal for higher ceiling applications such as transportation terminals or atrium areas. Suitable for use in ambient temperatures up to 30 C (86 F) during operation.

HOUSING:
Seamless .059" thick extruded aluminum cylinder body with die cast aluminum canopy, arm, and mounting bracket. Durable powder coat paint finish in a variety of architectural colors including Prescolite's exclusive Zet, metallic silver.

REFLECTOR:
High purity spun aluminum self-flanged reflector with incidence suppressed Alzak® anodized finish retained by factory installed spring clips and safety cable for ease of maintenance. Provided with integral clear tempered glass lens to protect LEDs.

LED LIGHT ENGINE:
The LED light engines are equipped with (10) high brightness white LEDs (3400K or 4000K) on a metal clad circuit board.

Secured to an integral die cast aluminum heat sink for excellent thermal management. System designed for optimal life and lumen maintenance (50,000 hours at 70% average lumen maintenance). *LED life calculations are based upon maintaining application LED junction temperatures and drive currents at or below manufacturer's requirements per IESNA LM-80-08 test data.

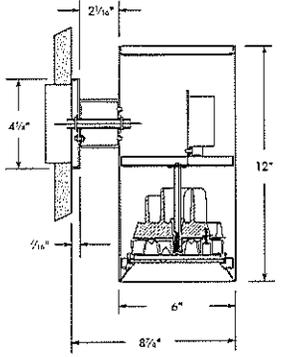
Optics: Vacuum metallized injection molded optical reflector features (10) parabolic LED modules with Prescolite's patented (U.S. Patent No. 6,254,256) American Alzak™ finish to produce uniform illumination. Optional optical lenses provide a choice of spot, medium, or wide distribution for added versatility.

LED DRIVER:
Energy efficient solid state constant current electronic driver with 50,000 hour minimum anticipated life. Meets UL Class 2, inherent short-circuit protection, self limited, overload protected.

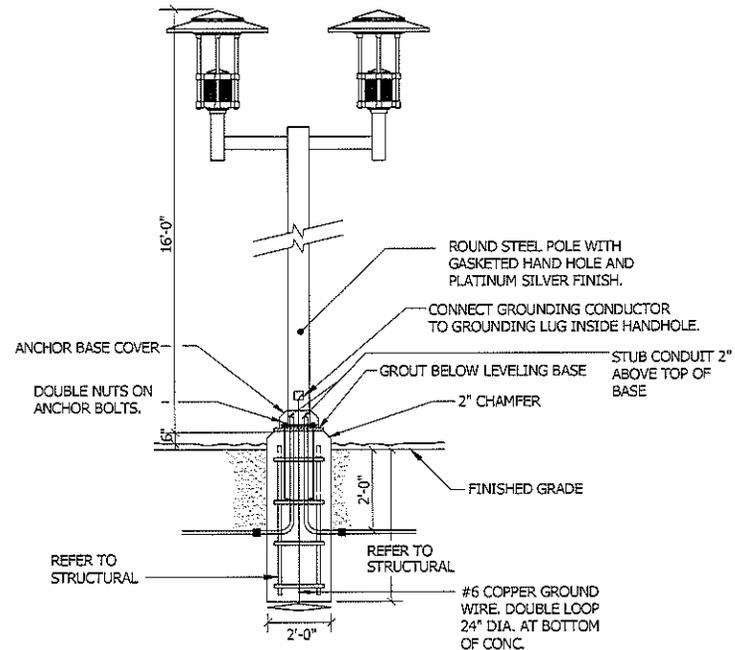
INSTALLATION:
Easy installation onto standard J-Box.

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations.

WARRANTY:
5 year warranty available



NOTE:
POLE, FIXTURE, BASE ASSEMBLY AND ANCHOR BOLTS TO BE CAPABLE OF WITHSTANDING A MINIMUM OF 90 MPH WIND WITH AN ADDITIONAL GUST FACTOR OF 30%, DEFLECTION SHALL NOT EXCEED 5%. FINAL DESIGN TO BE VERIFIED WITH STRUCTURAL ENGINEER.



EXAMPLE: LD6LED4DW35K8FL35 277V Z

CATALOG NUMBER:	CYLINDER	LED COLOR	LED COLOR TEMP	CRI	BEAM ANGLE	VOLTAGE	REFLECTOR COLOR	CYLINDER FINISH
<input type="checkbox"/> LD6LED	<input type="checkbox"/> W	<input type="checkbox"/> 35K	<input type="checkbox"/> 3500 Kelvin	<input type="checkbox"/> 8	<input type="checkbox"/> Blank	<input type="checkbox"/> Blank	<input type="checkbox"/> Blank	<input type="checkbox"/> WH
<input type="checkbox"/> 6" LED cylinder	<input type="checkbox"/> White	<input type="checkbox"/> 40K	<input type="checkbox"/> 4000 Kelvin	<input type="checkbox"/> Nominal 80+ CRI	<input type="checkbox"/> Vacuum metallized reflector with 45 cutoff	<input type="checkbox"/> 120V only <input type="checkbox"/> 277V <input type="checkbox"/> 120/277V	<input type="checkbox"/> Clear Alzak	<input type="checkbox"/> BL
<input type="checkbox"/> LED GENERATION:					<input type="checkbox"/> FL35	<input type="checkbox"/> REFLECTOR FINISH	<input type="checkbox"/> Gold Alzak	<input type="checkbox"/> Z
<input type="checkbox"/> 3	<input type="checkbox"/> 14W, 700 lumen LED				<input type="checkbox"/> Lensed optic with 35° wide distribution	<input type="checkbox"/> Blank	<input type="checkbox"/> Black Alzak	<input type="checkbox"/> BA
<input type="checkbox"/> 4	<input type="checkbox"/> 28W, 1100 lumen LED				<input type="checkbox"/> MD25	<input type="checkbox"/> Specular	<input type="checkbox"/> White Alzak	<input type="checkbox"/> BZ
<input type="checkbox"/> MOUNTING:					<input type="checkbox"/> Lensed optic with 25° medium distribution	<input type="checkbox"/> 55	<input type="checkbox"/> LW	<input type="checkbox"/> Brushed Aluminum
<input type="checkbox"/> D	<input type="checkbox"/> Wall mount-Down				<input type="checkbox"/> SP18	<input type="checkbox"/> Semi-Specular	<input type="checkbox"/> PW	<input type="checkbox"/> Bronze
					<input type="checkbox"/> Lensed optic with 18° spot distribution		<input type="checkbox"/> WH	<input type="checkbox"/> White Point

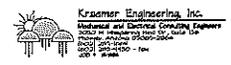


In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
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LFO-LED-010

FIXTURE TYPE 'W1'

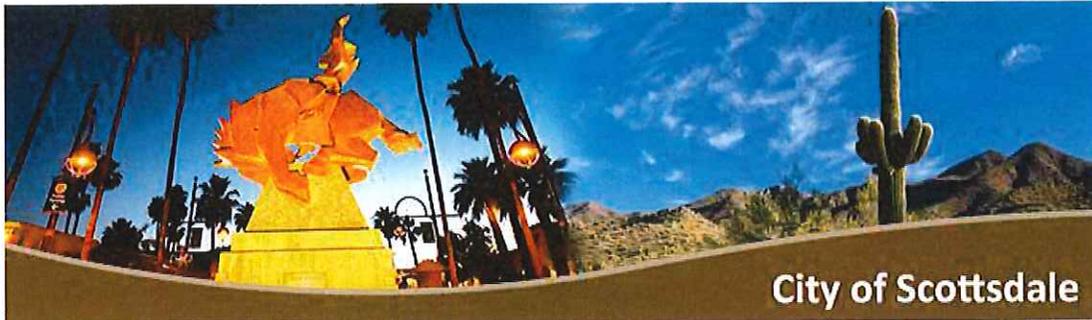
POLE MOUNTED FIXTURE DETAIL
NOT TO SCALE



Bloemberg, Greg

From: Perone, Steve
Sent: Wednesday, May 18, 2016 9:06 AM
To: Bloemberg, Greg
Subject: FW: Case #20 DR2016, Hayden and Royal Palm design case

Greg...



Hello, In reviewing the landscape plan, why are there no street trees planned for west of the public sidewalk along Hayden Road? Please coordinate w/ utilities to provide size appropriate trees where allowed to provide shade to the sidewalks. Thanks, Diana -- sent by Diana Kaminski (case# 20-DR-2016)



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Bloemberg, Greg

From: jbetrozoff1@cox.net
Sent: Saturday, May 21, 2016 11:53 AM
To: Bloemberg, Greg
Subject: Mercado Del Lago Exterior Remodel



We live along Lake Marguerite in Las Palomas across from the proposed project at Mercado Del Lago. We support the proposed changes overall because it appears to be an updating and upgrading of the center. As long as the activity by people and vehicles are confined inside the center we do not see a negative impact on our side of the lake. We are always fearful that a restaurant tenant or other tenant will be allowed that will include noise from bands or loud parties on the north side. -- sent by John Betrozoff (case# 20-DR-2016)



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Bloemberg, Greg

From: Ruenger, Jeffrey
Sent: Tuesday, May 31, 2016 8:34 AM
To: Bloemberg, Greg
Subject: FW: Renovations to Plaza Royal Palm Rd.

-----Original Message-----

From: goren [<mailto:goren@ucalgary.ca>]
Sent: Monday, May 30, 2016 11:52 AM
To: Projectinput
Subject: Renovations to Plaza Royal Palm Rd.

Mr. Bloemberg:

My wife and I reside at Palm Cove, a community just west of the plaza to be renovated; entry is from Royal Palm Rd. I am writing to question whether the developers have considered the traffic flow to and from our community. Traffic includes trucks that make deliveries to the impending shops/stores/restaurants. How much is anticipated, and how late will traffic be flowing as a result of the changes?

I look forward to being alleviated of my concerns.

Joe Goren

Bloemberg, Greg

From: Ruenger, Jeffrey
Sent: Wednesday, June 01, 2016 10:00 AM
To: Bloemberg, Greg; Perone, Steve
Subject: FW: Case/Mercado Del Lago 20-DR-2016

From: KLTERWILL@aol.com [mailto:KLTERWILL@aol.com]
Sent: Wednesday, June 01, 2016 9:21 AM
To: Projectinput
Subject: Case/Mercado Del Lago 20-DR-2016

The above case/project is not advantageous to the area and visually and functionally would be a negative. The Mercado has a long history of vacancies and additional parking lot store fronts will only contribute to this issue. Tearing down viable rentals on the west of the plaza and adding square footing for a new build will only reduce parking spaces and increase congestion in the plaza area with an unsightly entrance and building off of Royal Palm. The proposal should address the old Buster's space and an adaptation utilizing the more viable and desirable lakefront property which in its present configuration will continue to be a difficult rental. For overall functionality and appearance and cost it would seem to be more appropriate to address a complete remodel and reconfiguration of existing property and maximizing the potential of the highly desirable waterfront. As a resident of the immediate area I would not be in favor of the current plan which is not in the best interest of the area. Revitalize the existing more valuable waterfront area and open up the courtyard area by reconfiguring and removing the existing bike shop and subdivide the old Busters location.

Thank you,
Karen Tewrwilleger