

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: September 1, 2016 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Kensington 21-DR-2016

Location: 6824 East 5th Avenue

Request: Request approval of the site plan, landscape plan, and building elevations for an exterior remodel of, and a second story addition to, an existing commercial building, for a total of approximately 7,700 square feet of building area, on an approximately 0.24-acre site.

OWNER

6820 East 5th Avenue, LLC
480-707-7071

ARCHITECT/DESIGNER

Another Look
Matt Ihms
480-266-8193

APPLICANT CONTACT

Matt Ihms
480-266-8193

BACKGROUND

Zoning

This site is zoned Central Business Downtown Overlay (C-2 DO).

Context

Located northeast of the northwest corner of East 5th Avenue and East Indian School Road, the surrounding developments include are office, educational services, personal care service, restaurant and retail uses.

Adjacent Uses and Zoning

- Northeast Existing mixed use commercial center building containing educational services, personal care service, restaurant, and retail uses, zoned Central Business Downtown Overlay (C-2 DO)

- Northwest Arizona Canal, and farther northwest are single-family homes, zoned Single-family Residential (R1-10)
- Southeast Existing office building, zoned Central Business Downtown Overlay (C-2 DO)
- Southwest Vacant lot, zoned Central Business Downtown Overlay (C-2 DO)

Key Items for Consideration

- Downtown Urban Design and Architectural Guidelines

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant requests approval of the site plan, landscape plan, building elevations, and exterior lighting for the revitalization of an existing building to be used as an office, on a 0.338-gross acre site.

Neighborhood Communication

The applicant and City staff have notified all property owners within 750 feet of the site. In addition, a hearing notice sign has been posted at the site. At the time that this report was written, City Staff has not received any public comments.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Located northeast of the northwest corner of East 5th Avenue and East Indian School Road, the proposed development is not anticipated to have a negative impact on the adjoining properties. The proposed development is consistent with the General Plan mixed-use neighborhoods designation for the property, which includes related uses that would support the complementary office, retail uses, and mixed-use structures in the area.

Vehicular access will be provided from East 5th Avenue and the alley abutting the property. Also, pedestrian access will be provided from East 5th Avenue. The parking lot on the southeast side of the existing building will be removed to accommodate the enlarged building; and, new parking will be constructed at the rear of the building, with access from the adjacent alley.

The existing, non-descript, pedestrian orientation of the building will be enhanced through the removal of the non-conforming parking spaces between the building and East 5th Avenue. Consistent with the Downtown Urban Design and Architectural Guidelines (DUDAG), and to provide an active street front presence, the new building areas will be placed near the street and will be configured to include outdoor patio and courtyard for the office building. In addition, these modifications and the large panel windows adjacent to this area essentially provide an indoor/outdoor experience for the development.

Existing developments in the contextual design area are comprised of various building forms, materials, and colors. Most of buildings in the adjoining area were developed early 60s and 70s and are reminiscent of ranch and southwest architecture of the era.

The proposed modifications to the existing structure respond to the contextual area through the use of various forms, volumes, and massing that provide a hierarchy to the building features and elements that assist in providing a complementary human scale consistent and in conformance with

Scottsdale Sensitive Design Principles and DUDAG. In addition, the design incorporates contextual materials (concrete masonry units (CMU) glass, stucco, and steel) that promote a supportive design relationship. To differentiate the architectural style in the macro-contextual design area, the proposed design incorporates olive green stucco and metal panels, door and window mullions that have a blackened metal finish.

Development Information

- Existing Use: Vacant building
- Proposed Use: Office
- Parcel Size: 0.338 gross acres
- Building area: 7,690 square feet
- Gross Floor Area Ratio Allowed: 1.3
- Gross Floor Area Ratio Proposed: 0.52
- Building Height Allowed: 36 feet, excluding rooftop appurtenances
- Building Height Proposed: 16 feet 6 inches, excluding rooftop appurtenances
- Parking Required: 6 spaces
- Parking Provided: 8 spaces

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Kensington, case 21-DR-2016, per the attached stipulations, finding that the provisions of Character and Design Element of the General Plan, the Downtown Urban Design and Architectural Guidelines, and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

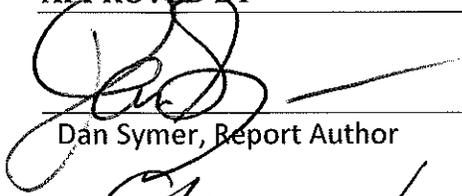
Planning and Development Services

Current Planning Services

STAFF CONTACT

Dan Symer, AICP
Senior Planner
480-312-4218
E-mail: dsymer@scottsdaleaz.gov

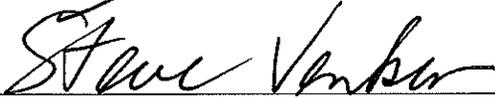
APPROVED BY



Dan Symer, Report Author

8.11.2016

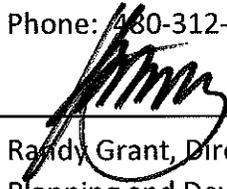
Date



Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

8/18/16

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

8/18/16

Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Applicant's Narrative
 - 2. Context Aerial
 - 2A. Close-Up Aerial
 - 3. Zoning Map
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Building Elevations
 - 7. Perspective
 - 8. Material and Color Board
 - 9. Landscape Plans
 - 10. Electrical Site Plan
 - 11. Exterior Lighting Cutsheets

**Stipulations for the
Development Review Board Application:
Kensington
Case Number: 21-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Another Look, with a city staff date of 07/07/2016.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Another Look, with a city staff date of 08/11/2016.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Another Look, with a city staff date of 08/11/2016.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

Ordinance

- A. The property owner shall provide a minimum of six parking spaces, which shall include a minimum of one van accessible parking space.

DRB Stipulations

4. The constructed a refuse enclosures on the in conformance with the City of Scottsdale Supplements to MAG Standard Details. Details for construction of refuse enclosures can be found in the City of Scottsdale Supplements to MAG Standards Details, standard detail #2146-1.
5. All stairway handrails shall be setback a minimum of two (2) feet from the back of the sidewalk.

LANDSCAPE DESIGN:

Ordinance

- B. The property owner shall obtain approval of a salvage plant plan and obtain permits to salvage and/or destroy the trees in the East 5th Avenue medians to be removed.

DRB Stipulations

6. The owner shall relocate one of the trees that are currently in the East 5th Avenue medians that are to be removed, in to the new median East 5th Avenue indicated on the landscape plan referenced above.
7. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that incorporate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications and details for the landscape and irrigation improvements within the East 5th Avenue median(s).
8. Prior to the issuance of a building permit, the owner shall provide landscaping in the landscape median in the East 5th Avenue right-of-way to be modified, and the median indicated on the landscape plan referenced above to be constructed as part of the improvement for this application. The landscape improvements shall be subject to the approval of the City Project Coordinator. All plant material utilized shall be on the Arizona Department of Water Resources Plant List for the Phoenix Active Management Area.
9. The property owner shall provide irrigation improvements to the new landscape median indicated on the landscape plan referenced above. The irrigation improvements shall be connected to the existing East 5th Avenue landscape irrigation system, and shall be provided in accordance with the City of Scottsdale (COS) Supplements to MAG Specifications and Details.
10. The property owner shall replace and provide irrigation improvements to maintain the integrity of the East 5th Avenue landscape irrigation system as part of the improvements to remove the existing landscape medians adjacent to the south corner of the property that are: 1) directly south of the existing driveway entrance to the property; and 2) near the middle of the intersection of East 5th Avenue and the alley abutting the southwest property line. The irrigation improvements provided in accordance with the City of Scottsdale (COS) Supplements to MAG Specifications and Details.

EXTERIOR LIGHTING:

Ordinance

- C. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward and have an integral lighting shield.

- D. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- E. The initial vertical luminance at 6-foot above grade, along the northwest property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

- 11. All exterior luminaires between the alley and the northwest side of the building shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property.
- 12. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign.
- 13. Incorporate the following parking lot and site lighting into the project’s design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the southwest and southeast property lines shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The LED rope/tape light, indicated as note 27 on the site plan, is not approved as part of this application.
- e. The total lumen per luminaire shall not exceed 24,000 lumens.

STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:

DRB Stipulations

- 14. Prior to the issuance of a building permit for the site, the owner shall dedicate to the city the following right-of-way and submit plans to construct the following street improvements:

Street Name	Street Type	Dedications	Improvements	Notes
Alley abutting the northwest property line	N/A	Existing 16-foot-wide alley right-of-way, dedicate an additional 4-feet of alley right-of-way abutting the northwest property line for a total of 20-feet of alley right-of-way.		

Street Name	Street Type	Dedications	Improvements	Notes
Alley abutting southwest property line	N/A	Existing 24-foot-wide alley right-of-way	Remove existing parallel parking stripping	
East 5 th Avenue	Local commercial	Existing northwest 40-foot-half-street right-of-way	Curb, gutter, sidewalk, sidewalk ramp, right-of-way landscape medians, striping, and pavement.	a, b, c, d, e, f, g, and h

- a. The property owner shall construct a minimum 8-foot-wide sidewalk between the northeast and southwest property lines, and abutting the East 5th Avenue curb.
- b. The property owner shall remove the existing East 5th Avenue driveway curb ramp, and construct curb and gutter.
- c. The property owner shall a construct mid-block sidewalk ramp adjacent to the on-street accessible parking space in the location indicated on the above referenced site plan.
- d. The property owner shall remove the existing landscape medians adjacent to the south corner of the property that are: 1) directly south of the existing driveway entrance to the property; and 2) near the middle of the intersection of East 5th Avenue and the alley abutting the southwest property line. The locations of the landscape medians to be removed shall be reconstructed by the property owner as street pavement improvements.
- e. The property owner shall construct a landscape median, including curb and gutter, adjacent to the south corner of the property and near the north side of the intersection of East 5th Avenue and the alley abutting the southwest property line in the location indicated on the above referenced site plan.
- f. The East 5th Avenue street light to be removed as part of the removal of the landscape median required in 12.d.1. above, shall be salvaged and reinstalled in the new median to be constructed in 12.e. above. The concrete base design and color and the height of the fixture to the bottom of the lens shall match the existing improvements.
- g. The property owner shall modify the existing landscape median on the north side of the existing driveway entrance to the property in accordance with the above referenced site plan, and construct any curb, gutter and pavement improvements necessary to accommodate the modification.
- h. All curb, gutter, sidewalk, and pavement improvements shall be in accordance with the Design Standards & Policies Manual, and applicable MAG Uniform Standard Specifications and Details for Public Works Construction and City of Scottsdale (COS) Supplements to MAG Specifications and Details, as determined by Planning and Development Services' engineering review staff.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- F. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 of Section 5.3 of the DSPM.

07.06.16

Application Narrative

Project Address: 6820 5th Avenue Scottsdale, AZ 85251

234-PA-2016

Describe how the proposed development is consistent with the character and design chapter of the Scottsdale general plan, the zoning ordinance, and pertinent master plan, scenic corridor guideline, or streetscape guideline.

The building is a remodel of an existing building that has been in need of a big facelift. This project adds a small addition toward the streetside (south elevation) to improve the architecture, functionality and curb appeal. Since we are adding sqft to the street side we needed to address that zoning and guidelines to make sure we pulled the building out to the required setbacks. This required us to step back a percentage of the building back to help add architectural interest and depth. We also wanted to make this a unique building but give it characteristics that tie it back to its location and surrounding buildings.

Explain how the proposed development will contribute to the general health, welfare, safety and convenience of persons residing or working in the facility.

The remodel and addition to the building will drastically improve the general health and safety of persons in the facility by adding ADA assessable walkways, sprinklering the building, improving the restrooms, adding adequate lighting, fixing the public sidewalk, adding bike racks and overall just cleaning up a building with fresh finishes and interiors.

Describe the spatial relationship that will exist between the nearby structures and the proposed development, as well as open spaces, the topography, both within the project site and in the surrounding context.

One big feature that the proposed project has is that it is located right next to the canal. The project will promote bike travel by adding more than enough bike stalls to help provide a connection to the canal pathway. Most of the proposed project is already an existing building so we just hope to improve upon the existing conditions to make the spatial relationships stronger with that of the old town district. The overall intent of the project is to bring a building that was in a state of repair back up to the standards of old town should have.

Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

The main portions of the egress and ingress happen on the south and north side of the building. Since the building will be divided into three suites, each will have a main entrance on the south side. Each suite will also have doors on the north side of the building that operate a secondary entrances that will tie into the new proposed parking to the north. We are adding an ada accessible ramp on the south side of the project. There are currently four parking stalls on the south side of the building that will be moved to the north side of the building. Also per the request of the city we are cutting into a landscape

21-DR-2016
07/07/16

median to provide a curb cut for a drive to connect to street to the back alley. The parking spaces added to the north side of the building will act as the loading/service area for the building if people are picking up/dropping stuff off. The new parking will also add a handicapped parking stall

Describe how the architectural characteristics of the proposed development relate to character elements and design feature of the structure that are within the surrounding context.

The building/architecture plays off many of the surrounding buildings in the immediate area. Blackened steel trim will be used as a featured architectural that can be found in many of the adjacent buildings. Both the colorization and exterior material palette is drawn from existing buildings while attempting to bring them together in different fashions. The project will also improve the sidewalk and add some benches which will promote and improve pedestrian traffic.

Describe how the design features and details of the proposed development have been used to screen all mechanical equipment, appurtenances and utilities

The building will be replacing the existing mechanical units which are located on the north side curb of the building and place them on the roof. The mechanical units will be screened by integrated blackened metal panels that tie back to the architecture. The blackened metal panels will match the metal fascia and darkened exposed steel elements. The metal panels also create another layer of design by further stepping back the roof elements.

The utility cabinets located on the north part of the building will be moved to a small utility room that is incorporated into the floor plan. This room will enclose all of the main panels eliminating them from public view while blending into the architectural concept.

Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines and other design guidelines.

The building is consistent with the pertinent design guidelines by going above and beyond all design standards. This building/project addresses all exterior lighting standards and setback requirements. Since the existing building did not address the now required setbacks, the new addition of the building now addresses the new requirements. The materials and color palette is in compliance with the required LRV 70 maximum. These are among a few of the many design choices that were made to make this a great piece of architecture that is emblematic of downtown Scottsdale.

If the proposed development is located in the downtown district, then describe how the proposed development has incorporated traditional or southwestern design vernacular, subdivided the building form into smaller character elements, emphasized fine grain detailing and other utilized recessed fenestrations.

The building has three major masses which are all located in different planes and have different heights. This is the main concept of the building to make the building look like it is three smaller buildings with individual characteristics that come together to form an urban grouping of buildings. Special attention is paid to the window detailing that features blackened plate steel and clean edges. The landscaping will use a traditional southwest plant species including agaves and cacti. The stucco and steel detailing is very similar to a couple of buildings located in the immediate area. These design

important features along with the execution of the overall concept, provides a progressive southwestern vernacular that is both responsible and progressive.

If the proposed development is located within the downtown district, then describe how the proposed development has incorporated the urban design and architectural design guidelines.

The project addresses all requirements in the guidelines with the most governing standard of the new addition being the adherence to setback requirements of pulling it closer to the street. In addition to pulling a percentage of building to the required setback another percentage of the building is setback 10' from to give it visual interest and depth. The setback forms a covered entry with a featured trellis and perforated metal canopy. The new addition/remodel also adds new seating areas and bike parking which is vital for the downtown development. All colors, lighting, landscape and materials were designed with the guidelines in mind for the success of the project with in Old Town Scottsdale.

Sincerely,

Justin Pasternak

623.466.3286

21-DR-2016
07/07/16



Q.S.
17-44

Google Earth Pro Imagery

Kensington

21-DR-2016

ATTACHMENT #2



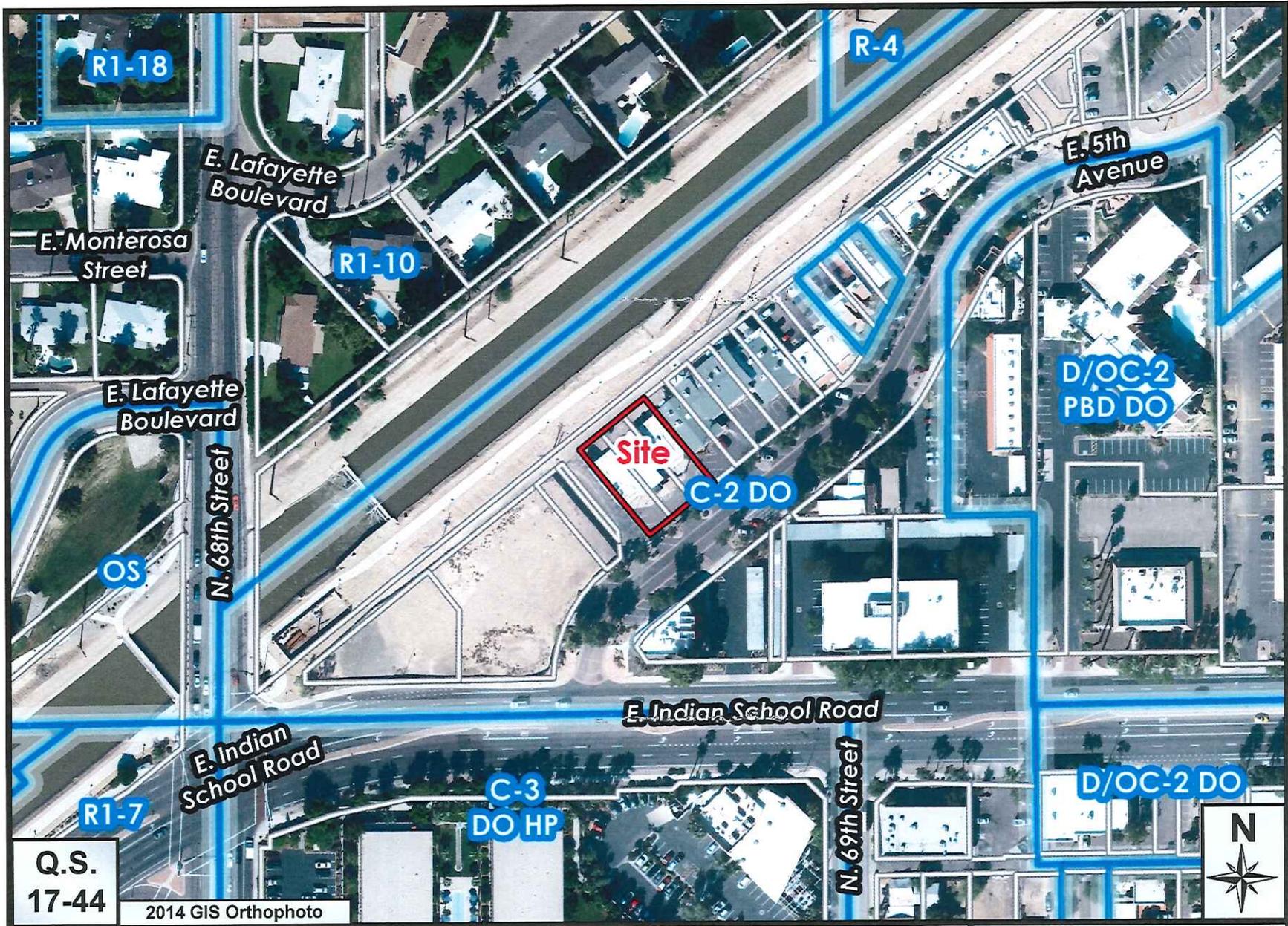
Q.S.
17-44

Google Earth Pro Imagery

Kensington

21-DR-2016

ATTACHMENT #2A



Q.S.
17-44

2014 GIS Orthophoto

Kensington

21-DR-2016

ATTACHMENT #3

PROJECT:
KENSINGTON

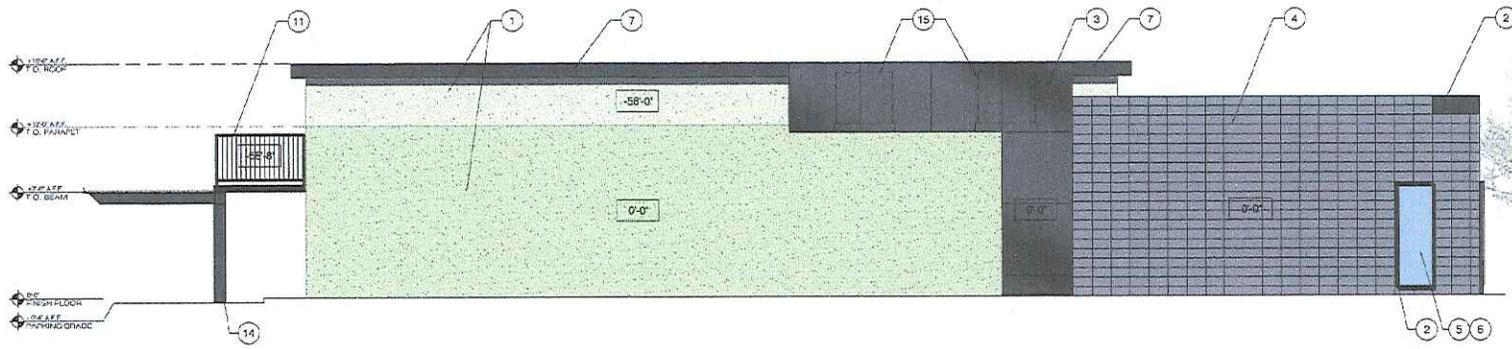
6820 5TH AVENUE
SCOTTSDALE, AZ 85251

ANOTHER LOOK, LLC
2506 E CAMPBELL AVE
PHOENIX, AZ 85016
7.480.266.1193

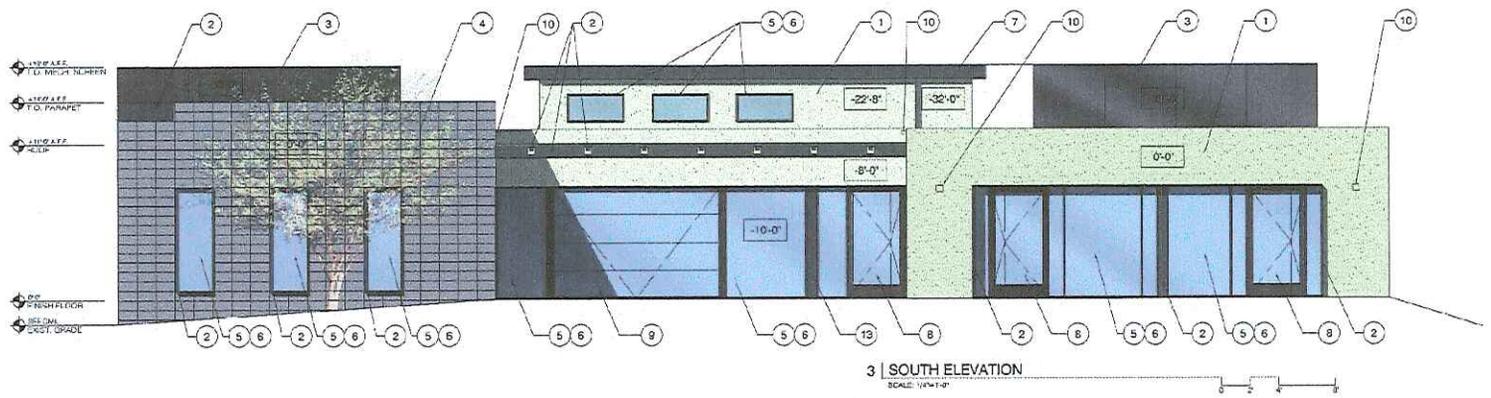
- KEYED NOTES**
1. STUCCO SYSTEM, DUNN EDWARDS PAINT, SPOOKY, DEEPS, LQV 98
 2. STEEL, BLACKENED FINISH
 3. METAL PANELS MECHANICALLY ATTACHED TO STEEL POSTS, BLACKENED FINISH
 4. CONCRETE REDUC. STACK/SO ROWS, LIGHT BAND GLASS FRG
 5. INSULATED ALUMINUM/GLASS STOREFRONT WINDOW SYSTEM, ANODIZED DARK BRONZE IMCO 230 ALUMINUM, THERMAL BREAK
 6. GLASS/FRG INSULATED, SOLAR GRAY TINTED, LOW-E CLASS PPG SOLARBAN 66 011 BEYTER
 7. METAL FACIA, MATTI BLACK, BEYERDE
 8. DOOR, 888 DOOR 50-80-80-80-80-80
 9. GARAGE DOOR, 320 DOOR 50-80-80-80-80-80
 10. LIGHT FIXTURE, SEE ELECTRICAL SHEET
 11. METAL GUARDRAIL SYSTEM, BLACKENED FINISH
 12. NO. 1000 PANEL
 13. TILE WALL, PORCELAIN, DATILE CHENILLE WHITE STC, 10X10 SAM LEFT
 14. STEEL/METAL CAR PORT STRUCTURE, BLACKENED FINISH
 15. MECHANICAL UNITS (ELECTRICAL)



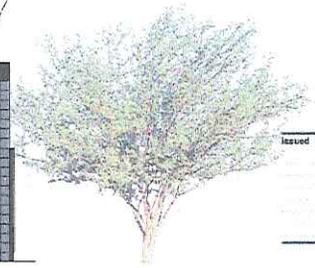
1 | NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 | WEST ELEVATION
SCALE: 1/4"=1'-0"



3 | SOUTH ELEVATION
SCALE: 1/4"=1'-0"



Issued	Rev	Date

COLORED EXTERIOR ELEVATIONS

Drawing Title

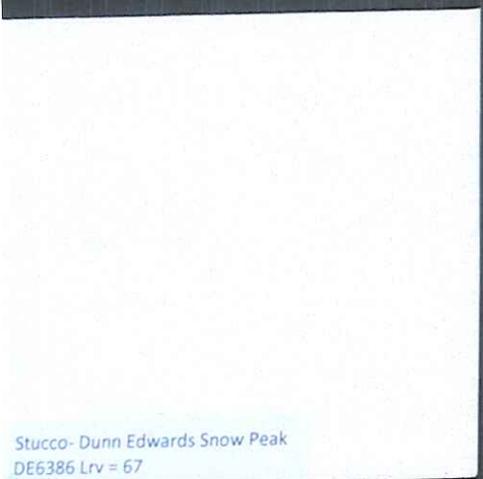
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Scale

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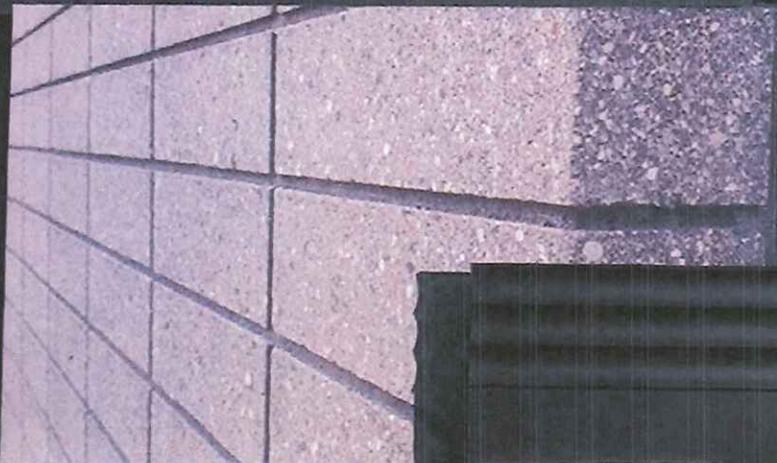
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Fascia – matte black, berridge

Glass – PPG Solarban 60 with Solargray,
Low-E SHGC = .28, U Value = .27



Stucco- Dunn Edwards Snow Peak
DE6386 Lrv = 67



8x16 masonry block, light sand blast finish,
stacked bond, darkened grout



Aluminum Storefront –
Arcadia dark bronze AB #6



Steel- Blackened Finish

SOLARGRAY® Glass + Glass Below

	VLT	Exterior Reflectance	SC	SHGC	Solar Factor (g) EN 410	U-Value Imperial	
						Winter	Summer
Clear	40%	7%	0.53	0.45	0.44	0.47	0.50
SOLARBAN® 60 (3)	35%	7%	0.32	0.28	0.30	0.29	0.27
SOLARBAN® z50 (3)	25%	6%	0.32	0.28	0.29	0.29	0.27
SOLARBAN® 70XL (3)	32%	7%	0.27	0.24	0.25	0.28	0.26
SUNGATE® 500 (3)	37%	8%	0.47	0.40	0.40	0.35	0.35

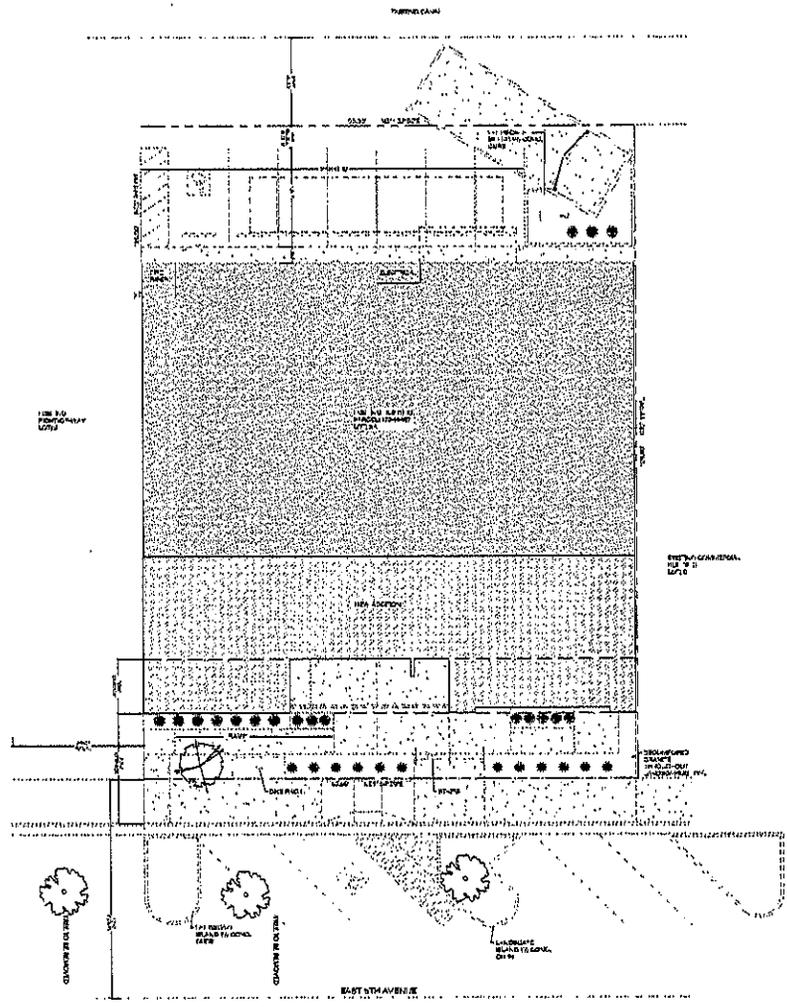
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PROJECT
KENSINGTON

6820 5TH AVENUE
SCOTTSDALE, AZ 85251

ANOTHER LOOK
2908 E. CAMPBELL AVE
PHOENIX, AZ 85018
7. 462.284.8183



GENERAL NOTES:

- 1. ALL PLANTINGS TO BE INSTALLED BY THE CONTRACTOR.
- 2. ALL PLANTINGS TO BE INSTALLED BY THE CONTRACTOR.
- 3. ALL PLANTINGS TO BE INSTALLED BY THE CONTRACTOR.
- 4. ALL PLANTINGS TO BE INSTALLED BY THE CONTRACTOR.
- 5. ALL PLANTINGS TO BE INSTALLED BY THE CONTRACTOR.

PROJECT DATA:

- 1. PROJECT NAME: KENSINGTON
- 2. PROJECT ADDRESS: 6820 5TH AVENUE, SCOTTSDALE, AZ 85251
- 3. PROJECT DATE: 10/15/2018
- 4. PROJECT STATUS: IN PROGRESS
- 5. PROJECT CONTACT: ANOTHER LOOK

LEGEND:

SYMBOL	DESCRIPTION	QTY	SIZE	SPACING
	BOTANICAL PLANT	10	12"	12"
	ANNUAL PLANT	10	12"	12"
	TREE	1	12"	12"
	SHRUB	1	12"	12"

1 LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



LANDSCAPE PLAN

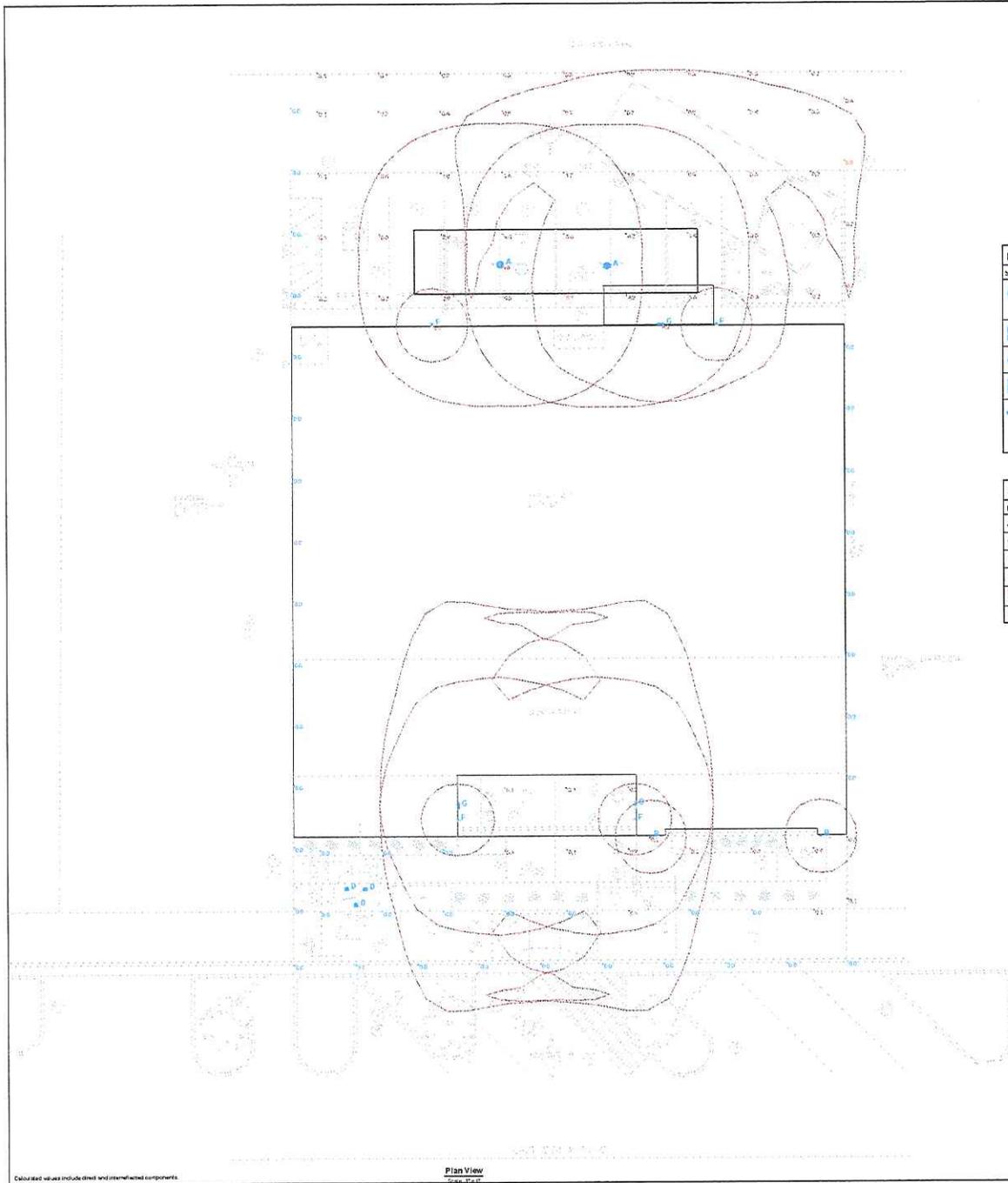
Drawing Title

AS NOTED

L100

Drawing No.

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LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
●	A	2	MCGRAW EDISON TOPPER LED PAR420 TT 81 LED E17 W9	CANOPY LUMINAIRE WIDE DISTRIBUTION MOUNTED IN REAR CANOPY AT 7'	4000K LED 2,070 LUMENS	TT-81-LED-E17- W9-MS	Absolute 0.90		20
■	D	2	LIOMAN LUC-31501 200MM W40	110V 11W 40° up-down light	2 LED 4000K 202 LUMENS	UG4-31501- W40-LED	Absolute 0.90		7.6
●	D	3	VICTA 1183 9 NS 40 C MV CK ND 30 Ingress NS Distribution	12" DIA X 12" H LED LUMINAIRE	4000K LED 2104 LUMENS	1183-B-NL-30- CANOPY- LED-LED	Absolute 0.90		26.31
■	F	4	LIOMAN LUC-31501 200MM W40	110V 11W 40° up-down light	2 LED 4000K 202 LUMENS	UG4-31501- W40-LED	Absolute 0.90		7.6
■	O	3	MCGRAW EDISON IMPACT ELITE LED E17 50 LED E1	4" W BACKLIGHT CONTROL WALL MOUNTED AT 20'	4000K LED 2157 LUMENS	IMP-50-LED- E1-EL-400	Absolute 0.90		25.9

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
F	+	4.6 fc	4.6 fc	4.6 fc	1.01	1.01
D	→	0.9 fc	0.9 fc	0.9 fc	1.01	1.01
F	→	2.0 fc	2.0 fc	2.0 fc	1.01	1.01
D	→	4.2 fc	4.2 fc	4.2 fc	1.01	1.01
WAS SCHEDULED TO BE INSTALLED	→	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
0.1 fc	+	0.9 fc	5.1 fc	0.0 fc	N/A	N/A



KENSINGTON
SCOTTS DALE AZ

Designer
Date
Aug 8 2016
Scale
1"=8'
Drawing No.

1 of 1

Calculated values included direct and reflected components.

Plan View
Scale: 1/8"=1'-0"

