

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: July 7, 2016 Item No. 4  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

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### **Cactus Shadows High School-Sports Renovations & Additions 24-DR-2016**

**Location:** 33606 N. 60<sup>th</sup> Street

**Request:** Request approval of the renovation of the existing sports fields, including: upgrading sports fields; addition of vehicle parking areas, bleacher seating, tennis courts, and shotput/discus area; and relocation of sports field light poles.

## OWNER

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Michael Santina  
Cave Creek Unified School District  
480-575-2051

## ARCHITECT/DESIGNER

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Don Brubaker  
One Architecture  
602-527-0737

## ENGINEER

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Len Erie  
Erie and Associates, Inc.  
602-954-6399

## APPLICANT CONTACT

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Don Brubaker  
One Architecture  
602-527-0737

## BACKGROUND

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### **Zoning**

The site is zoned Single-family Residential District, Environmentally Sensitive Lands (R1-43/ ESL), which allows single-family residential uses and has an Environmentally Sensitive Lands overlay zoning designation.

The subject parcels, 211-61-019C, 211-61-019D, and 211-37-084, were annexed into the City of Scottsdale in June of 1997. The annexed parcel was rezoned from the county designation to Single-family Residential District (R1-43) through case 32-ZN-1997. In June of 2012, the School District created a subdivision plat to create one parcel for the Cactus Shadows and Black Mountain school campuses. The subdivision plat was approved through case 16-PP-2011.

In 1991, the Environmentally Sensitive Lands (ESL) ordinance was applied to this site. The current ESL overlay applied to this site went into effect in 2004.

### **Context**

The Cactus Shadows High School campus is generally located at the northeast corner of N. 56<sup>th</sup> Street and E. Dove Valley Road, the surrounding developments are single-family homes located within the City of Phoenix and the City of Scottsdale. The improvements requested within this application are located in the northwestern most corner of the school site; on the southeast corner of N. 56<sup>th</sup> Street and the E. Westland Drive alignment.

### **Adjacent Uses and Zoning**

- North Single-family Residential, Environmentally Sensitive Lands (R1-10/ESL) zoned; Los Alisos subdivision.
- South Single-family Residential zoned property; City of Phoenix, vacant lands.
- East Single-family Residential, Environmentally Sensitive Lands (R1-7/ESL) zoned; La Buena Vida Estates subdivision.
- West Single-family Residential zoned property; City of Phoenix, single-family homes.

### **Key Items for Consideration**

- A minor addition of a school bus maintenance facility building and parking lot improvements was approved administratively (158-SA-2016).
- A minor shade canopy addition to the Black Mountain Elementary School classrooms building was approved administratively (133-SA-2016).
- A minor addition of a Cactus Shadows High School sports maintenance (locker room) building was approved administratively (37-SA-2016).
- A minor addition to the Cactus Shadows High School cafeteria was approved administratively (121-SA-2014).
- Renovations to the parking areas, school drop-off/pick-up, bus lanes were approved by the Development Review Board through two separate cases (20-DR-2011 and 20-DR-2011#2).
- A minor addition to the Cactus Shadows High School cafeteria was approved administratively (65-SA-2011).

## **DEVELOPMENT PROPOSAL**

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### **Goal/Purpose of Request**

The Cave Creek Unified School District is requesting the approval of the site plan, bleacher elevations, grading and drainage improvements, some landscaping, improvements of a new parking lot, and the relocation of sports field lighting to expand and upgrade the sports complex area for the Cactus Shadows High School campus, located on E. Dove Valley Road. The improvements are located at the northwest corner of the site, near the N. 56<sup>th</sup> Street, and the E. Westland Road alignment. This request will also allow the Cactus Shadows High School site to update the sports complex area to include improvements, such as: an upgrade and renovation of softball fields, and

bring the areas into closer safety/ADA regulations. Among other amenities, the expansion will provide bleachers and a new tennis court (to the existing tennis court area) that meet building code, and will clearly identify the sports areas for the school campus.

### **Neighborhood Communication**

With this application City staff, has mailed notification as this proposal to property owners within 750 feet of the proposed roadway easement abandonment. The applicant for the School District did provide notifications due to the time constraints. City staff has not received any comments on this proposed project.

### **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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The General Plan Land Use Element designates the Cactus Shadows High School campus site as Cultural/Institutional or Public Use. This category designation includes a variety of public and private facilities including government buildings, schools, private and public utilities, and airports. The proposed sports complex renovation project is in accordance to the uses designated by the General Plan.

When the Cactus Shadows High School campus was first developed in 1998, the Environmentally Sensitive Lands (ESL) overlay district (1991 Version) allowed a maximum building height of thirty-six (36) feet within a residential district. During that time, the Cactus Shadows High School campus had several structures approved, including the gymnasium which approved at thirty-four (34) feet in height. In 2004, the ESL overlay district was updated to limit structures within a residential district to a maximum building height of twenty-four (24) feet. Since then, the School District has, and plans to, construct buildings and additions that are taller than the maximum allowable height of twenty-four (24) feet. The Schools District has provided staff with a letter invoking the State's power to override City of Scottsdale requirements.

The majority of the proposed additions, in the recent-past couple of years, do not meet the ESL (2004 Version) ordinance's twenty-four foot maximum height requirement. The school has provided a letter, in each instance, to invoke their power to not be required to meet the City of Scottsdale ordinances. Again, Cave Creek Unified School District has stated in the narrative that they have concluded that the maximum allowable height, and some additional requirements, are ordinance requirements, and therefore are not applicable as an authoritative requirement from the City. Again, they have stated in the past, as they do now, that the School District did still strive to meet the spirit of those requirements.

The proposed field renovation and upgrade to the Cactus Shadows High School campus sports complex area include many improvements, such as: three sets of new bleacher elevations, grading and drainage improvements, some landscaping, a new parking lot, the relocation of existing sports field lighting, an upgrade and renovation of softball fields, addition of softball dugouts, batting cage, and bring the areas into closer safety/ADA regulations (Reference Attachment #5). The expansion will also provide bleachers, a new softball field, a new tennis court (to the existing tennis court area) that will meet building code. The applicant requested to be expedited through the process in order to take advantage of the summer "window," to complete the proposed improvements before the upcoming school year. The district has begun preliminary grading and drainage, which they are entitled to do without the City's consent.

The softball and baseball renovations include the addition of a reconfiguration of an existing softball field, new batting cage, bleachers, and relocation of four (4) existing sports field light poles. Four existing sports field light poles will be relocated around the newly configured softball field, and the other four field light poles will be removed from the site. The proposed parking area will take the place of an existing practice field. The bleachers include two 150 seat bleachers (at the baseball and softball fields, and a set of 2,000 seat bleachers at the existing football stadium.

The School District has not yet dedicated, the previously agreed to provide, required Natural Area Open Space (NAOS), Drainage Easements (DE) and Scenic Corridor (SCE) easements; and the District did not revegetate the scenic corridor easement, as per ordinance requirements. They have invoked a similar authority as in the building height requirement stated above.

Although the previous approved Development Review Board cases brought the site nearer to conformance with the scenic corridor guidelines and Environmentally Sensitive Lands ordinance, there remains the importance of protecting a significant wash corridor located on the property. Currently, the area of the school site located along E. Dove Valley Road alignment is designated as NAOS and Scenic Corridor. This area had been disturbed and much of the native vegetation has been removed. The owner of the site had agreed to re-landscape the school's frontage in accordance with the Scenic Corridor guidelines. A portion of the area located within the scenic corridor area is also used as a drainage basin, and if revegetated, would have different revegetation requirements than the other areas of this scenic corridor frontage area. Staff has continued to stipulate the dedication of Natural Area Open Space, and other required easements.

All proposed improvements are located over existing disturbed areas. The proposal renovates and reorganizes the sports complex area by updating existing amenities and providing the addition of parking, tennis courts, shot put and discus areas, and bleachers. All improvements will be stipulated to provide materials and colors that are in conformance with the Environmentally Sensitive Lands Ordinance.

**Development Information**

- Existing Use: Cactus Shadows High School Campus
- Proposed Use: Cactus Shadows High School Campus
- Parcel Size: 7,121,188 square feet / 163.48 acres
- Building Height Allowed: 24 feet
- Building Height Proposed: 24 feet
- Parking Required: 434 spaces
- Parking Provided: 811 spaces onsite and 254 spaces off-site
- Open Space Required: 1,427,461.2 square feet / 32.77 acres
- Open Space Provided: 1,427,461.2 square feet / 32.77 acres

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Development Review Board approve the Cactus Shadows High School Sports Complex Renovation as per the attached stipulations, finding that the provisions of General Plan policies and goals and the Development Review Criteria have been met.

**Proposed Next Steps:**

The appropriate authority for the Cave Creek School shall provide dedications of all required easement before final plans submittal. Final plans submittal shall include landscape plans showing the revegetation of the scenic corridor areas located along E. Dove Valley Road.

**RESPONSIBLE DEPARTMENTS**

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**Planning and Development Services**

Current Planning Services

**STAFF CONTACTS**

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Jesus Murillo

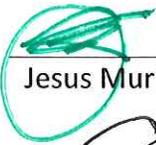
Senior Planner

480-312-7849

E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

APPROVED BY

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Jesus Murillo, Report Author

6-23-16  
Date



Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

6/24/16  
Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

6/24/16  
Date

**ATTACHMENTS**

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- A. Stipulations/Zoning Ordinance Requirements
  - 1. Applicant's Narrative
  - 2. Context Aerial
  - 2A. Close-Up Aerial
  - 3. Zoning Map
  - 4. Combined Context Aerial and Site Plan
  - 5. Site Plan and Enlarged Project Areas
  - 6. Football Field Bleacher Elevations and Details
  - 7. Softball Field Bleacher Elevations and Details
  - 8. Color Sample for Bleachers
  - 9. Dugout Elevations and Details
  - 10. Entry Monument Elevations
  - 11. Electrical Site Plan
  - 12. Exterior Lighting Cutsheets
  - 13. Improvement Plans

**Stipulations for the  
Development Review Board Application:  
Cactus Shadows High School-Sports Renovations & Additions  
Case Number: 24-DR-2016**

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the Bleacher and Entry Monument elevations submitted by One! Architecture, with a city staff date of 6-6-2016.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by One! Architecture, with a city staff date of 6-6-2016.
  - c. The case drainage report submitted by Erie and Associates, Inc., and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
  - d. The water and sewer basis of design report submitted by Erie and Associates, Inc. and accepted in concept by the Water Resources Department.
  - e. Improvements plans submitted by Erie and Associates, Inc., with a city staff date of 6-6-2016.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning and Development Review Board cases for the subject site were: 32-ZN-1997, 6-DR-1998, 91-DR-2004, 167-SA-2011, 121-SA-2014, 20-DR-2011, 37-SA-2016, 20-DR-2011#2, 133-SA-2016, 158-SA-2016, and 116-DR-2006.

**ARCHITECTURAL DESIGN:**

**Ordinance**

- B. All proposed visible building materials, colors, and finishes shall comply with the Environmentally Sensitive Lands ordinance.
- C. Any exposed metal, specifically aluminum, shall be treated, by paint or other coating, to meet the Environmentally Sensitive Lands ordinance LRV values and colors.

**SITE DESIGN:**

**DRB Stipulations**

- 2. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.

**NATURAL AREA OPEN SPACE (NAOS):**

**Ordinance**

- D. Owner shall dedicate Natural Area Open Space before the approval of final plans. The owner shall dedicated NAOS in high priority areas, and the areas to likely be disturbed with this proposal should not be considered for the NAOS requirement.

**DRB Stipulations**

- 3. NAOS that is dedicated over a Public Utility Easement and Drainage Easements shall be considered as revegetated NAOS.
- 4. Provide a NAOS revegetation plan as per the ESL ordinance, Native Plant ordinance, and the NAOS enhancement requirements

**LANDSCAPE DESIGN:**

**Ordinance**

- E. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.

**DRB Stipulations**

- 5. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
- 6. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale’s Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

**EXTERIOR LIGHTING:**

**Ordinance**

- F. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting).
- G. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward and have an integral lighting shield.
- H. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- I. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

- J. The initial vertical luminance at 6-foot above grade, along the north, and west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

**DRB Stipulations**

7. No new field light poles are requested or approved with this case. Both proposed field light poles being relocated shall be reused from existing light poles. Two field light poles shall be removed.
8. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign.
9. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign, parking lot canopy lighting and landscape lighting.
10. Incorporate the following parking lot and site lighting into the project's design:

**Parking Lot and Site Lighting:**

- a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6-foot above grade, along the entire property line, or 1-foot outside of any block wall exceeding 5-foot in height, shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

**EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:**

**Ordinance**

- K. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

**DRB Stipulations**

11. Each Vista Corridor, a watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event, shall be dedicated by the owner to the city as a continuous Vista Corridor easement before any building permit is issued for the site. The minimum width of the easement shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.
12. The Scenic Corridor setback shall be revegetated to the Scenic Corridor guidelines, with landscape exception of those portions of the Scenic Corridor easement located within a drainage channel.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

13. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
14. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
15. Before any building permit is issued for the site, the owner shall dedicate all required Drainage Easements as required by the approved Drainage Report approved with this case.



May 31, 2016

City of Scottsdale  
Planning and Development Services Department

RE: **Cactus Shadows High School**  
**Sports Complex Renovations & Additions**  
33606 N. 60<sup>th</sup> Street  
Scottsdale, AZ 85266

### **Project Narrative**

This project is for renovations and additions to the existing sports complex for Cactus Shadows High School. The work will create a more comprehensive collection of fields, courts and parking to better complement the High School sports activities.

The first component is to add a new varsity softball field next to the existing varsity baseball field. This new varsity softball field will be taking the place of an existing little league field. Currently there are (8) existing lights for the little league field. (4) of these lights will be relocated in this same area to better align with the new varsity softball field, while the other (4) lights will be removed.

Four new tennis courts will be provided adjacent to the existing four tennis courts, with a spectator plaza in between them. A new shot-put and discus fields will be provided.

The second component is new bleachers. New 2000 seat bleachers with press box will be added at the east side of the football field to replace the existing bleachers that are old and do not meet current ADA requirements. These new bleachers will become the new home team bleachers. In addition a new 150 seat bleacher will be provided at both the varsity baseball and varsity softball fields. The bleachers will be standard aluminum finish, no color. The only piece to have color will be the football bleacher press box, which will be 'Smokey Pewter'.

The last component is to add a new parking lot west of the varsity softball field. This parking lot will be used by students and spectators of the various sports.

This project will promote a desirable relationship of structures to one another because this will establish a defined area for all of the outdoor sports activities for the High School. Placing the new varsity softball field next to the varsity baseball field will allow spectators to easily move between games at one location or another.

Placing the new tennis courts next to the existing tennis courts is a desirable relationship, with a spectator area in between allows for easy viewing of games. The spectator plaza will also include ADA ramps at the north side to provide access to all of the tennis courts.

**24-DR-2016**  
**6/6/2016**



The shot-put and discus fields will be situated in the topography of the area next to the football field and tennis courts. The topography in this area allows for a good arrangement of these fields.

The proposed parking lot will have access off of 56<sup>th</sup> street and include two entry/exit drives to allow for less congestion going in and out. The parking lot includes ADA accessible parking spaces and an pedestrian sidewalk along the east side that connects to an existing sidewalk to the south.

Regarding landscaping, all existing landscape areas in the project area that are graded or disturbed and are not specifically noted to receive turf or decomposed granite, will be hydro-seeded with a native plant seed mix, as noted on the Civil grading & drainage plans.

The result of this project will provide a more comprehensive collection of outdoor sports fields and courts for the High School. It will allow students to have a better experience of playing sports. Collecting these various sports activities in the same area will also allow for spectators to more easily access games for viewing.

24-DR-2016  
6/6/2016



Q.S.  
57-41

Google Earth Pro Imagery

# Cactus Shadows High School - Sports Renovations & Additions

ATTACHMENT #2

24-DR-2016

ATTACHMENT #2



Q.S.  
57-41

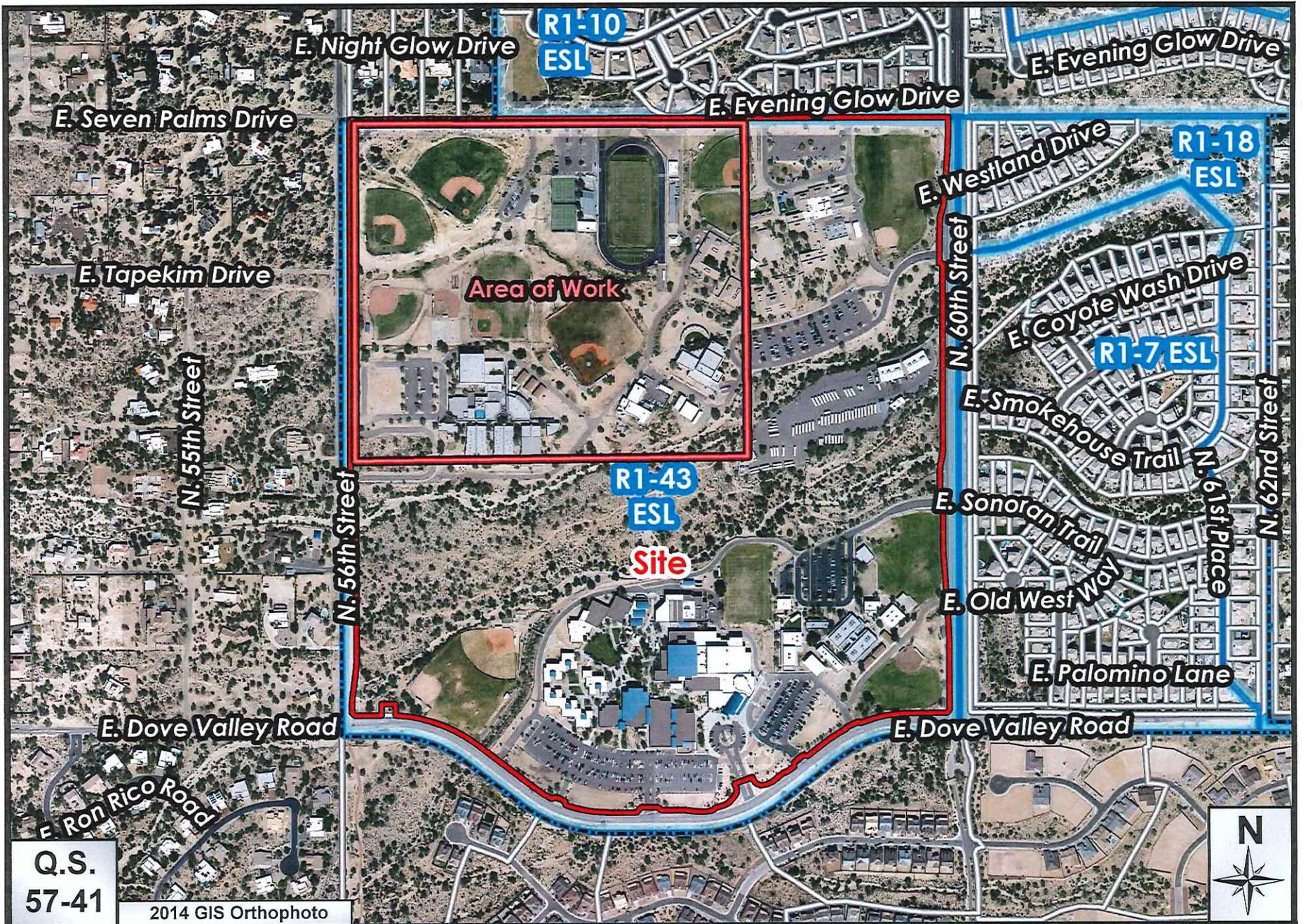
Google Earth Pro Imagery

Phoenix



**Cactus Shadows High School - Sports Renovations & Additions**  
ATTACHMENT #2A

**24-DR-2016**



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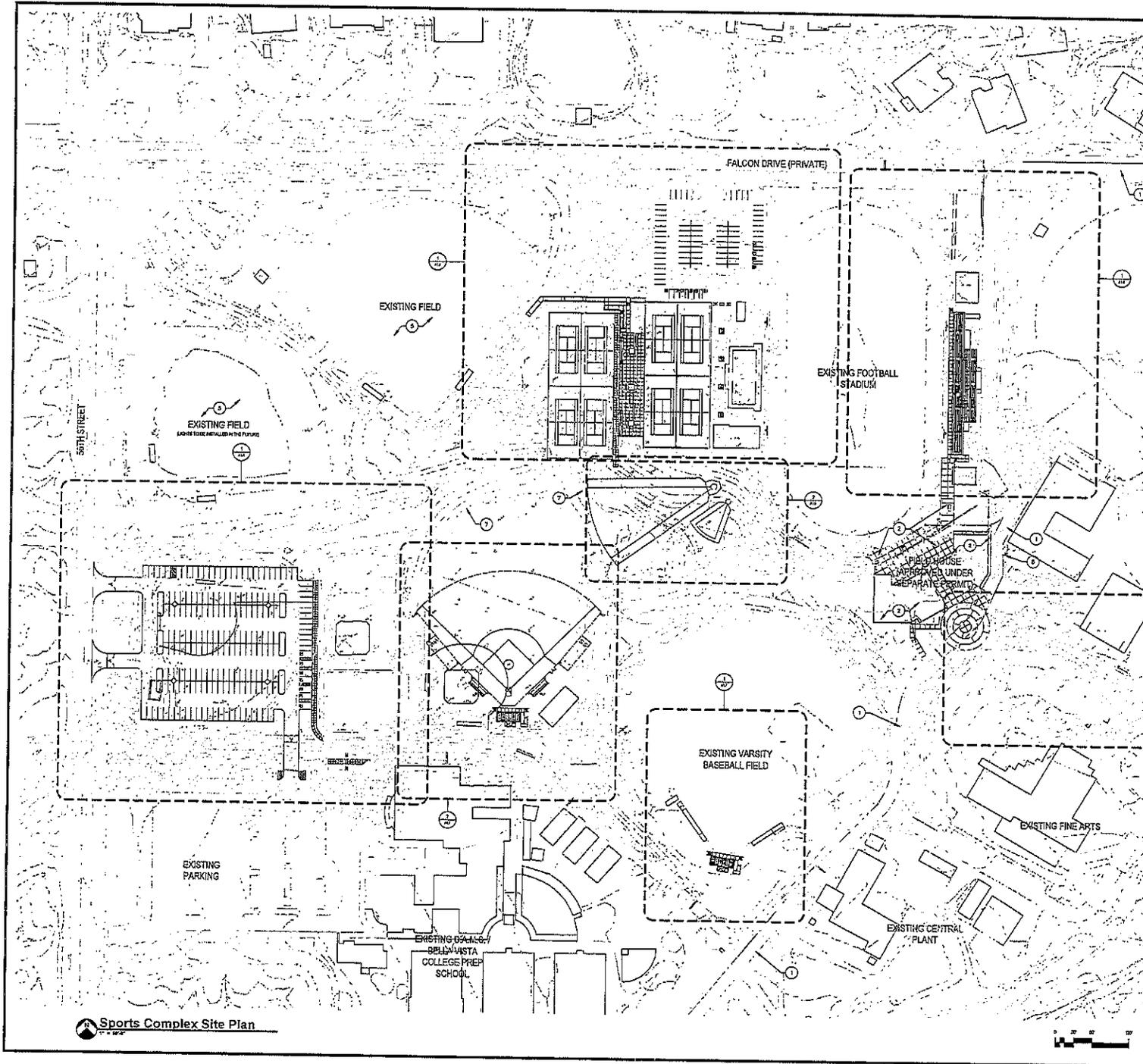
2014 GIS Orthophoto

**Cactus Shadows High School - Sports Renovations & Additions**  
ATTACHMENT #3

**24-DR-2016**

ATTACHMENT #3





Site Plan Legend	
[Symbol]	STREET FIELD
[Symbol]	EXISTING WALL FENCE
[Symbol]	PROPOSED WALL FENCE
[Symbol]	EXISTING UNPAVED BEYOND FENCE

- Keynotes**
1. EXISTING WALL FENCE TO BE REMOVED TO FORM
  2. FIELD TO BE INSTALLED UNDER AN EXISTING FOOTBALL STADIUM
  3. EXISTING FOOTBALL STADIUM TO BE DEMOLISHED AND REPLACED WITH A NEW FOOTBALL STADIUM
  4. ALTERNATIVE PROPOSED FENCE WALL FENCE TO BE INSTALLED UNDER EXISTING WALL FENCE
  5. EXISTING WALL FENCE TO BE REMOVED TO FORM A NEW WALL FENCE
  6. EXISTING WALL FENCE TO BE REMOVED TO FORM A NEW WALL FENCE
  7. EXISTING WALL FENCE TO BE REMOVED TO FORM A NEW WALL FENCE
  8. EXISTING WALL FENCE TO BE REMOVED TO FORM A NEW WALL FENCE

**ONE ARCHITECTURE**  
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**Cactus Shadows High School  
 Sports Complex Renovations & Additions**  
 5802 East Dove Valley Road Scottsdale, AZ 85331

Revisions	
[Symbol]	Proposed
[Symbol]	Approved

Project:  
 Design:  
 Project Manager:  
 Date:  
 Revision 1 Set  
 5.03.16  
**AZ-1605.2**

**General Site Notes**

1.100

**A1.3**

Sports Complex Site Plan

**Sports Complex Site Plan**











FOR  
REFERENCE  
ONLY

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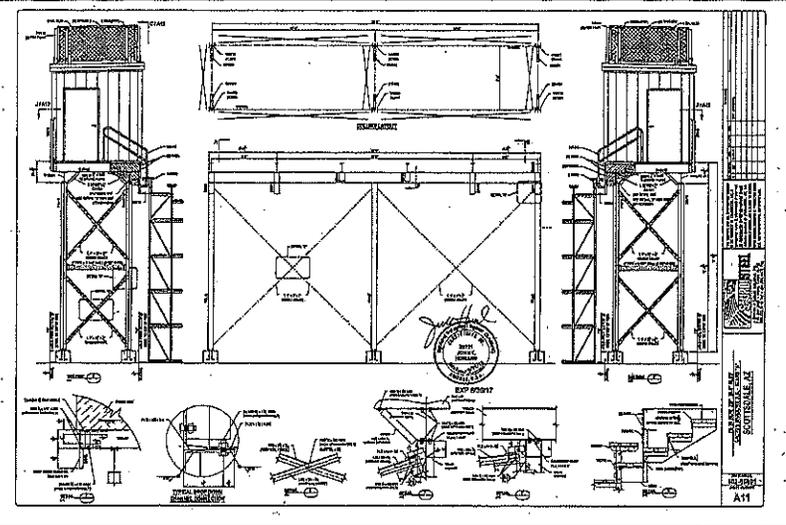
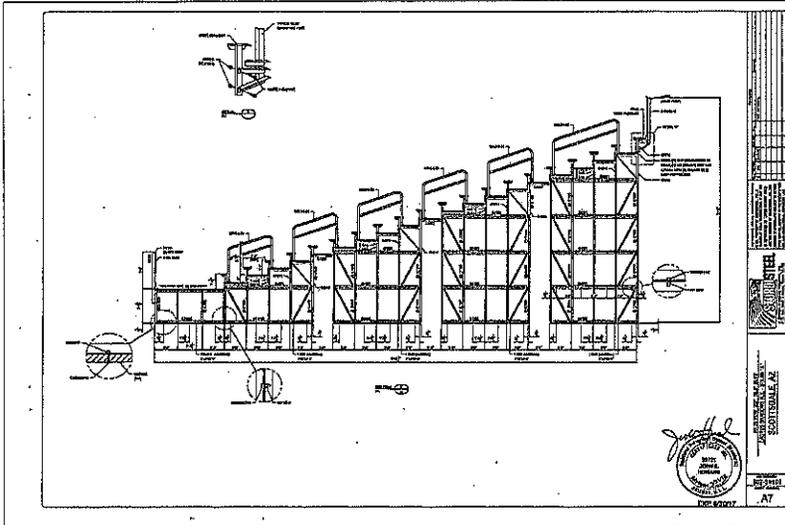
Cactus Shadows High School  
Sports Complex Renovations & Additions  
5802 East Dove Valley Road Scottsdale, AZ 85331

Revisions

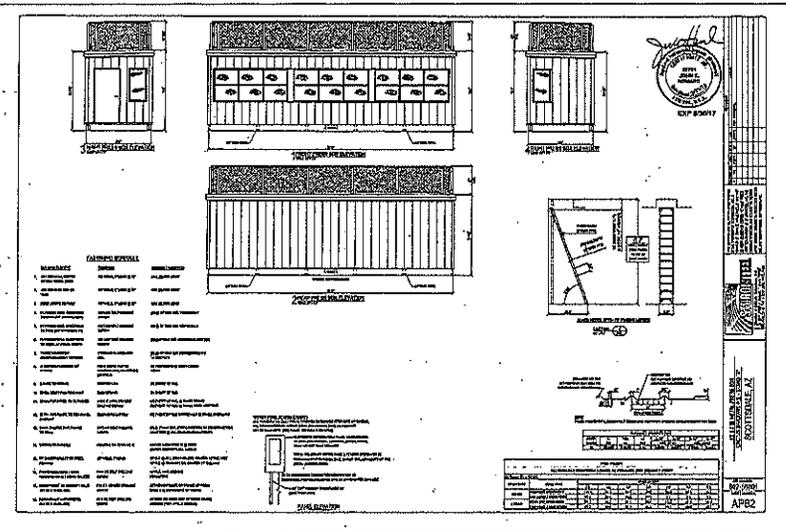
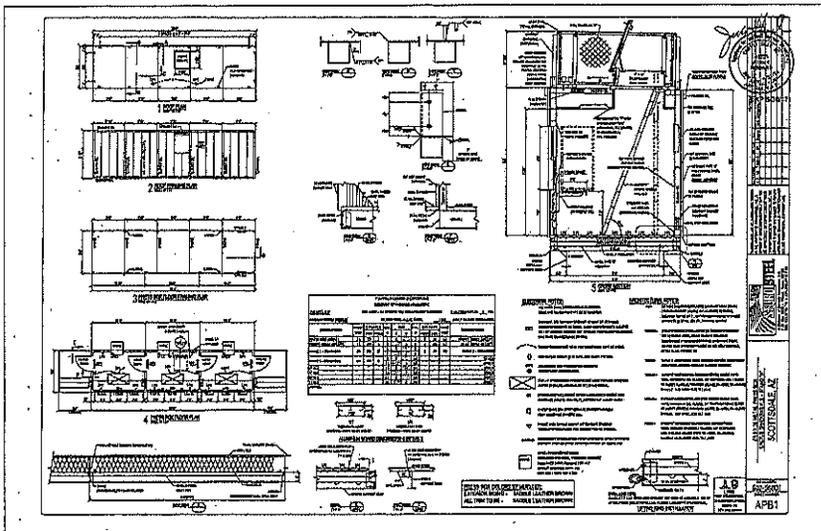

Principal:  
Don Driskler  
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Project Manager:  
Julie Tolst  
julie.tolst@onearchitecture.us  
Revision: 1.00  
5.03.16  
AZ-1605.2

**B1.2**

Bleachers



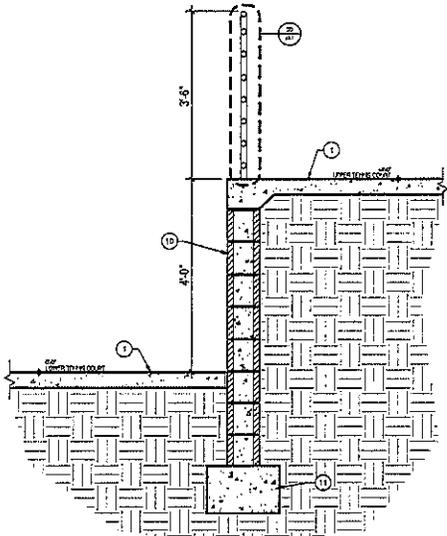
Football Bleachers



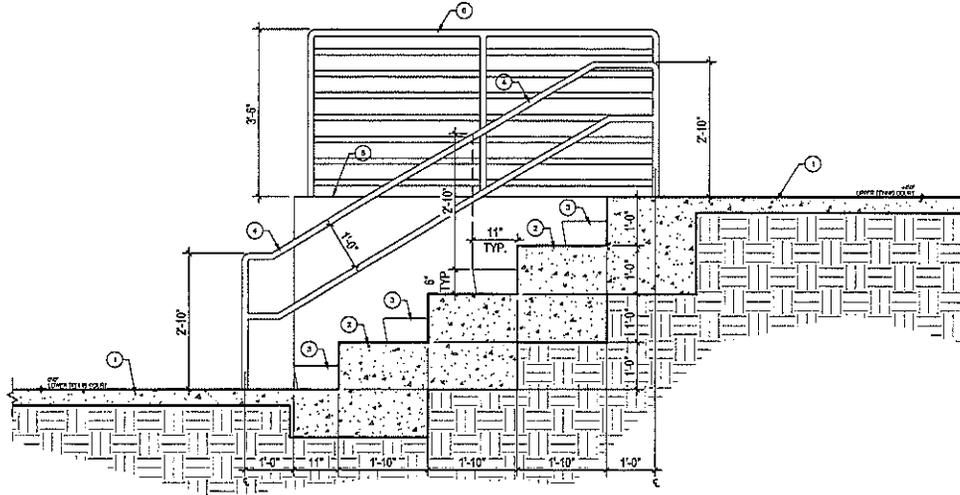
Football Bleachers Press Box

24-DR-2016  
6/6/2016

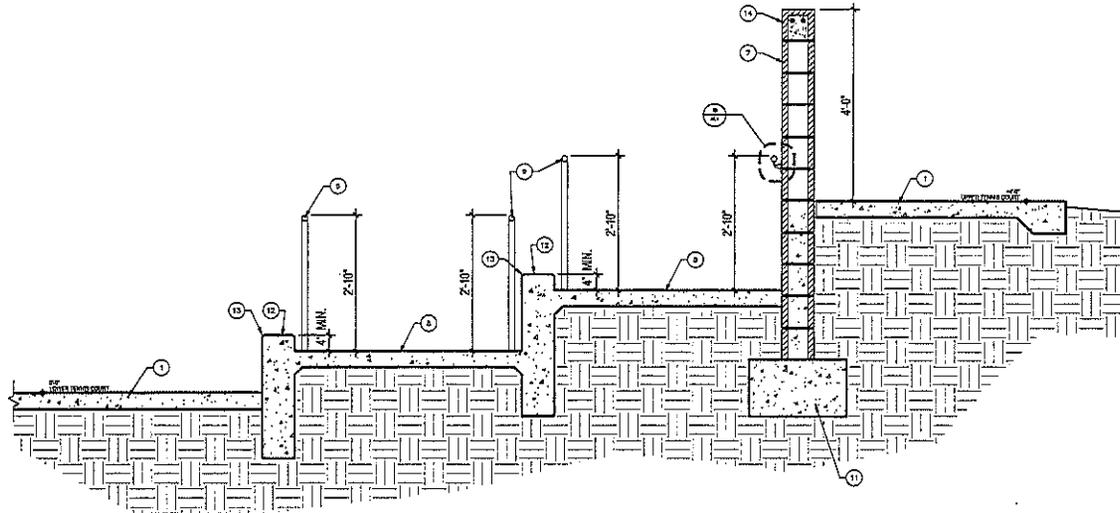




3 Section at Tennis Plaza Wall



1 Section at Tennis Plaza Bleacher



2 Section at Tennis Plaza Ramp

**Keynotes**

- NOT ALL KEYNOTES ARE USED ON THIS SHEET.
1. CONCRETE BLEACHER SEAT, REFER TO CIVIL DRAWING.
  2. CONCRETE BLEACHER SEAT, REFER TO CIVIL & STRUCTURAL DRAWING.
  3. CONCRETE BLEACHER SEAT, REFER TO CIVIL DRAWING.
  4. REINFORCED CONCRETE BLEACHER, REFER TO CIVIL DRAWING.
  5. TOP OF FINISH STRUCTURE.
  6. REINFORCED CONCRETE BLEACHER, REFER TO CIVIL DRAWING.
  7. FINISH FLOOR, REFER TO CIVIL DRAWING.
  8. CONCRETE BLEACHER, REFER TO CIVIL DRAWING.
  9. REINFORCED CONCRETE BLEACHER, REFER TO CIVIL DRAWING.
  10. FINISH FLOOR, REFER TO CIVIL DRAWING.
  11. FINISH FLOOR, REFER TO CIVIL DRAWING.
  12. FINISH FLOOR, REFER TO CIVIL DRAWING.
  13. FINISH FLOOR, REFER TO CIVIL DRAWING.
  14. FINISH FLOOR, REFER TO CIVIL DRAWING.



**ONE**  
ARCHITECTURE

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Cactus Shadows High School  
Sports Complex Renovations & Additions  
5602 East Dave Valley Road Scottsdale, AZ 85351

Revisions

Principal:  
Don Striban  
Project Manager:  
Jon Tellez  
Revision 1 Set  
5.03.16  
AZ-1605.2

**A3.2**  
Tennis Plaza Sections

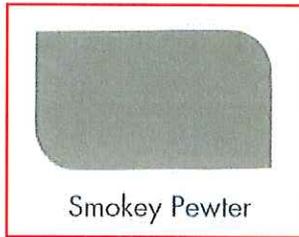
24-DR-2016  
6/6/2016

## Column B

Presabox Color



Twilight Gray



Smokey Pewter



Smokestack Gray



Deep River Blue



Forest Green



Coco Brown



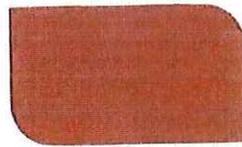
Chestnut Brown



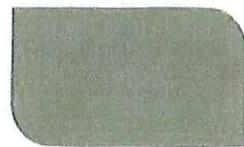
Saddle Leather Brown



Rustic Brown



Sunset Red

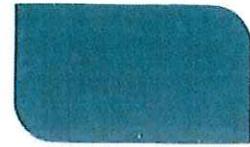


Desert Tan

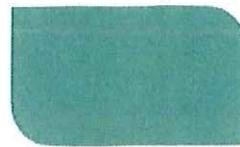
## Column C



Black



Hawaiian Blue



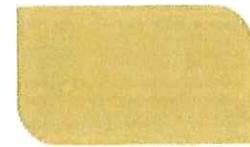
Marine Green



Colony Green



Burgundy



Gold

### \*\*PBR & PBU PANEL available colors

Galvalume Plus  
White  
Light Gray  
Silver Metallic  
Charcoal  
Ivy Green  
Burnished Slate  
Coco Brown  
Chestnut Brown

Saddle Leather Brown  
Rustic Red  
Patriot Red  
Bright Copper  
Tan  
Light Stone  
Desert Tan  
Burgundy

*Mueller, Inc. reserves the right to add or discontinue colors without notice. Please contact your sales representative, or visit our website at [www.muellerinc.com](http://www.muellerinc.com) for our current color selection.*

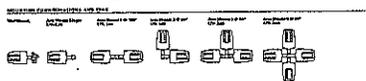
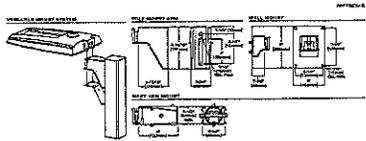
*Printed colors may vary. Please contact us for color samples.*

*\*Galvalume has a protective top coat which may possibly change the color of the panels over a period of time, giving a slight brownish tint to the panels. For consistent color retention, Mueller recommends using painted panels.*









Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...

E-T-N  
 1000 N. ...  
 ...

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...

E-T-N  
 1000 N. ...  
 ...

**DESCRIPTION**  
 The Project is a ...  
 ...

**BY APPROVED AND ATTEST:**  
 ...  
 ...



E-T-N  
 1000 N. ...  
 ...

**Lumark**

Contract	SA / SA
Project	...
Location	...
Drawings	...



**PRV PREVAIL**  
 ...



...  
 ...

24-DR-2016  
 6/6/2016

ARIZONA PINNACLE ENGINEERING, LLC  
 2222 W. Phoenix Peak Road, Suite 500  
 Phoenix, AZ 85027

**ONE**  
 ARCHITECTURE  
 1805 N. Central Ave., Suite 100  
 Phoenix, Arizona 85007  
 Phone: 602.266.2714  
 Fax: 602.266.1558  
 www.ONEarchitecture.us



**Cactus Shadows High School  
 Sports Complex Renovations & Additions**  
 5802 East Dove Valley Road, Scottsdale, AZ 85331

Revisions

**Principal:**  
 Don Binkley  
**Project Manager:**  
 Jon Tittel  
 Permit Set  
 03/16/16  
 AZ-1605.2

**E-1.2**  
 1/25/2016

**GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION:**

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 802-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENT GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.

**MASTER DRAINAGE REPORT:**

THE SITE GRADING, STORM WATER STORAGE, OVERALL STORM WATER MANAGEMENT SYSTEM DESIGN AND APPLICABLE 100-YEAR FLOW RATES ARE PER THE MASTER DRAINAGE REPORT FOR THE SITE WHICH WAS APPROVED WITH PLAN CHECK 704-16-1.

**ESTIMATED QUANTITIES:**

QUANTITIES ARE PROVIDED FOR PERMIT PURPOSES ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

EARTHWORK:  
 CUT = 20,500 CY  
 FILL = 23,270 CY

**ESTIMATED TOTAL DISTURBED AREA:**

DISTURBED AREA = 14 ACRES

**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**  
 AT  
**CACTUS SHADOWS HIGH SCHOOL**

OWNER

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 93**

33606 N. 60TH STREET  
 SCOTTSDALE, ARIZONA 85262  
 PHONE: (480) 575-2000

**OWNER/DEVELOPER:**

CAVE CREEK UNIFIED SCHOOL  
 DISTRICT NO. 93  
 33606 N. 60TH STREET  
 SCOTTSDALE, ARIZONA 85268  
 PHONE: (480) 575-2055  
 CONTACT: MIKE SANTINA

**ARCHITECT:**

ONE ARCHITECTURE, PLLC  
 8801 N. CENTRAL AVE. SUITE 101  
 PHOENIX, ARIZONA 85020  
 CONTACT: DON BRUBAKER  
 PHONE: (602) 295-2712  
 FAX: (602) 265-1858

**ENGINEER:**

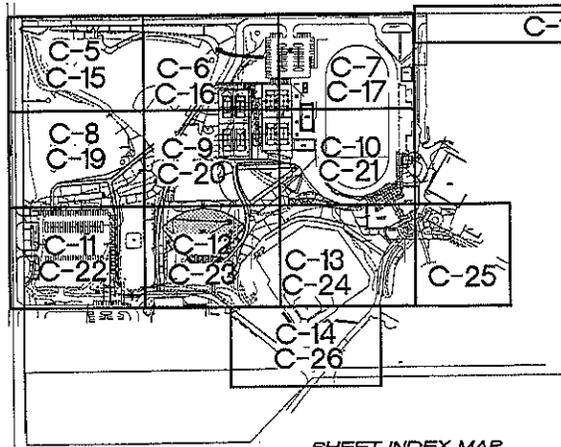
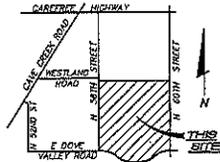
HESS-ROUNTREE, INC.  
 9501 SOUTH 51ST STREET, SUITE C110  
 PHOENIX, AZ 85044  
 PHONE: (480) 498-0244  
 FAX: (480) 498-0084  
 CONTACT: DOUG OSBORN

**SITE ADDRESS:**

CACTUS SHADOWS HIGH SCHOOL  
 3602 E DOVE VALLEY RD  
 SCOTTSDALE, AZ 85331  
 PHONE: (480) 575-2400

**SHEET INDEX:**

- C-1 COVER SHEET
- C-2 DETAIL SHEET
- C-3 TENNIS COURT DETAIL SHEET
- C-4 DETAILS, LEGEND AND CROSS SECTION SHEET
- C-5 DEMOLITION PLANS
- C-6 DEMOLITION PLANS
- C-7 DEMOLITION PLANS
- C-8 DEMOLITION PLANS
- C-9 DEMOLITION PLANS
- C-10 DEMOLITION PLANS
- C-11 DEMOLITION PLANS
- C-12 DEMOLITION PLANS
- C-13 DEMOLITION PLANS
- C-14 DEMOLITION PLANS
- C-15 GRADING AND DRAINAGE PLANS
- C-16 GRADING AND DRAINAGE PLANS
- C-17 GRADING AND DRAINAGE PLANS
- C-18 GRADING AND DRAINAGE PLANS
- C-19 GRADING AND DRAINAGE PLANS
- C-20 GRADING AND DRAINAGE PLANS
- C-21 GRADING AND DRAINAGE PLANS
- C-22 GRADING AND DRAINAGE PLANS
- C-23 GRADING AND DRAINAGE PLANS
- C-24 GRADING AND DRAINAGE PLANS
- C-25 GRADING AND DRAINAGE PLANS
- C-26 GRADING AND DRAINAGE PLANS
- SW-1 STORM WATER MANAGEMENT SHEET
- SW-2 STORM WATER MANAGEMENT SHEET



**SHEET INDEX MAP**  
NOT TO SCALE

**CIVIL APPROVAL**

REVIEW & RECOMMENDED APPROVAL BY:	
PAVING	TRAFFIC
C & D	PLANNING
W & S	FIRE
RET. WALLS	
ENGINEERING COORDINATION MANAGER OR DESIGNER	DATE

**AS-BUILT CERTIFICATION:**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED, AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
 REGISTRATION NUMBER \_\_\_\_\_

**BENCHMARK:**

BRASS CAP IN HANDHOLE AT THE INTERSECTIONS OF DOVE VALLEY ROAD AND 56TH STREET.

ELEVATION = 2051.821 (NAVD 88 C.O.S. DATUM#172)

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.



**COVER SHEET**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**

CACTUS SHADOWS HIGH SCHOOL SPORTS COMPLEX RENOVATIONS AND ADDITIONS		
DRAWING STATUS	SHEET	OF
	1	26
DATE:	6/2/16	
	C-1	

NO CONFLICT SIGNATURE BLOCK

Utility	Utility Company	Name of Company Representative	Telephone Number	Date Submitted	Date Signed
Water	APS	Michael Boucha	608-371-7033	X	X
Water	Salt River Project	Matt Strasper	602-236-3105	X	X
Cable TV	Cantelary Link	Raf-W Dipl	N/A		
	City of Scottsdale	Doug Mann	480-312-5636	X	X
Cable TV	Dac Communications	DK Dipl	623-328-3954	X	X
Other	Southwest Gas Corp.	Greg Cooper	602-484-5276	X	X
Other	Kinder Morgan	D. Toranzo	602-278-2320	X	X

**NOTE:**

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE ONLY AND ARE AND SHALL REMAIN THE EXCLUSIVE PROPERTY OF HESS-ROUNTREE, INC. NO REPRODUCTION OR OTHER USE SHALL BE MADE BY ANY PERSON OR FIRM OTHER THAN HESS-ROUNTREE, INC. OR THE CITY OF SCOTTSDALE WITHOUT EXPRESS PERMISSION OF HESS-ROUNTREE, INC. ANY UNAUTHORIZED USE SHALL VOID THE ENGINEER'S SEAL AND SIGNATURE HEREON AND NO PROFESSIONAL RESPONSIBILITY WILL REMAIN.

**FLOODPLAN MAP INFORMATION**

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	SHADED ZONE	BASE FLOOD ELEVATION (IN AD ZONE, USE DEPTH)
043012	0890	L	10-18-13	X	N/A

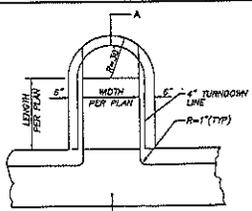
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

**ENGINEER'S CERTIFICATION**

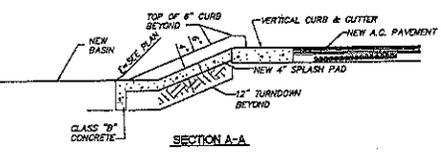
I, DOUG OSBORN, BEING THE PERSON RESPONSIBLE FOR DESIGNING THE FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT, HEREBY CERTIFY THAT PLANS HAVE BEEN SUBMITTED TO ALL THE UTILITY COMPANIES LISTED ABOVE FOR CONFLICT REVIEW. "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY THAT RESPONDED AND ARE INCLUDED IN THE SUBMITTAL. CONFLICTS IDENTIFIED BY UTILITY COMPANY RESPONSES HAVE BEEN RESOLVED.

*Doug Osborn*  
 SIGNATURE DATE 6/2/16

PLAN CHECK # 704-16-3 CASE # 37-3A-2016

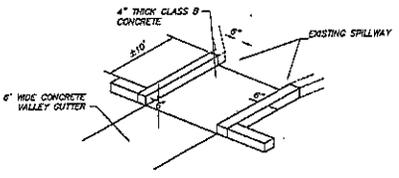


**PLAN**

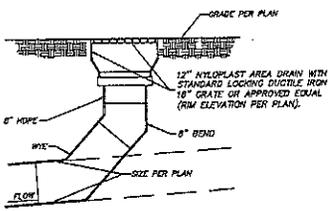


**SECTION A-A**

**CONCRETE SPILLWAY DETAIL TYPE 'A'**  
NOT TO SCALE

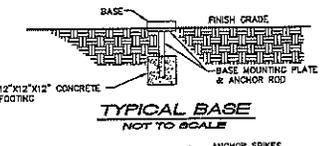


**CONCRETE SPILLWAY, TYPE 'B'**  
NOT TO SCALE

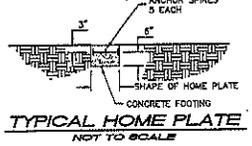


**AREA DRAIN**  
NOT TO SCALE

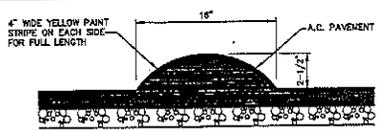
INSTALL 2 LAYERS OF AIRBART 100K FABRIC BENEATH GRATE: GENERAL CONTRACTOR TO REMOVE AFTER CONSTRUCTION IS COMPLETE.



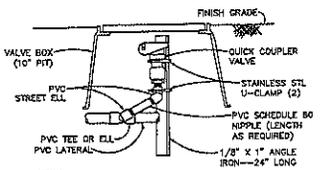
**TYPICAL BASE**  
NOT TO SCALE



**TYPICAL HOME PLATE**  
NOT TO SCALE

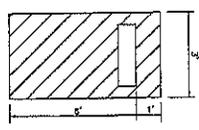


**SPEED BUMP**  
NOT TO SCALE

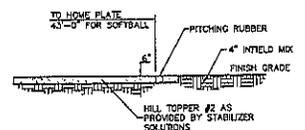


- NOTES:**
1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX.
  2. PROVIDE (1) QUICK COUPLER KEY FOR EACH SIX QUICK COUPLER VALVES.
  3. PLACE 4"-8" DEPTH PEA GRAVEL UNDER VALVE BOX. QUICK COUPLER SHALL HAVE LOCKING RUBBER COVER.
  - 4.

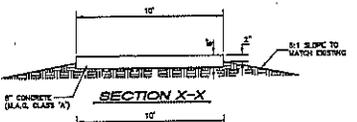
**QUICK-COUPLER VALVE IN BOX**  
NOT TO SCALE



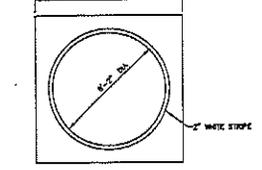
**PLAN VIEW**



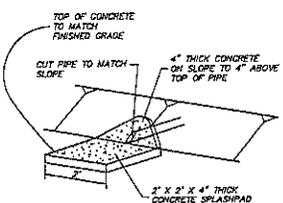
**TYPICAL SOFTBALL PITCHER MOUND/RUBBER**  
NOT TO SCALE



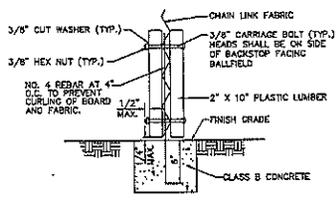
**SECTION X-X**



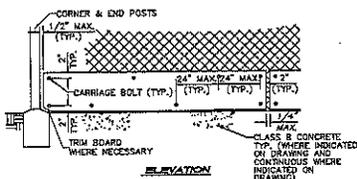
**DISCUS PAD DETAIL**  
NOT TO SCALE



**CONCRETE SPLASHPAD**  
NOT TO SCALE

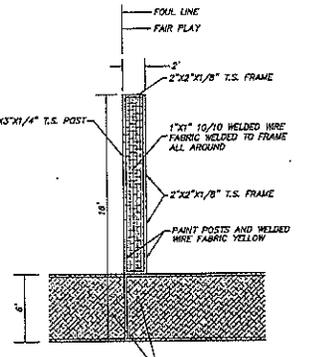


**SECTION**

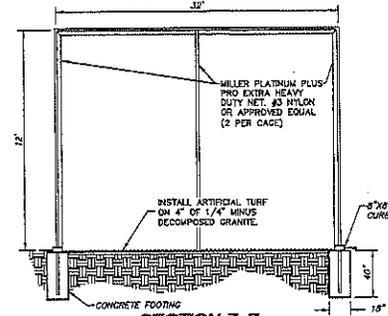


**ELEVATION**

**BACKSTOP PLASTIC BASE BOARDS**  
NOT TO SCALE

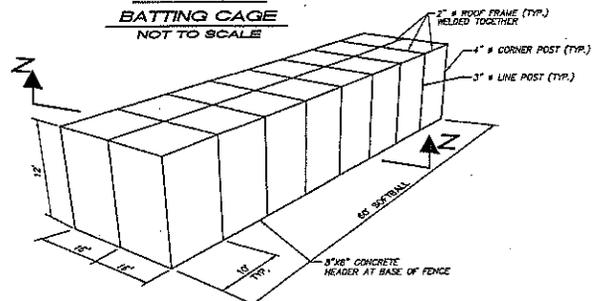


**FOUL POLE DETAIL**  
NOT TO SCALE

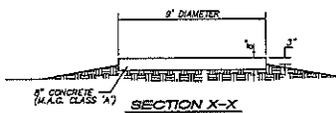


**SECTION Z-Z**

**BATTING CAGE**  
NOT TO SCALE

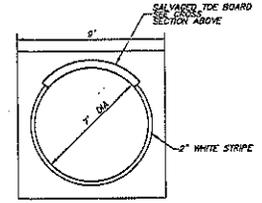


**BATTING CAGE**  
NOT TO SCALE



**SECTION X-X**

**TOE BOARD CROSS SECTION**



**SHOT-PUT PAD DETAIL**  
NOT TO SCALE

**DETAIL SHEET**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	2	26	C-2
DATE	6/2/16		





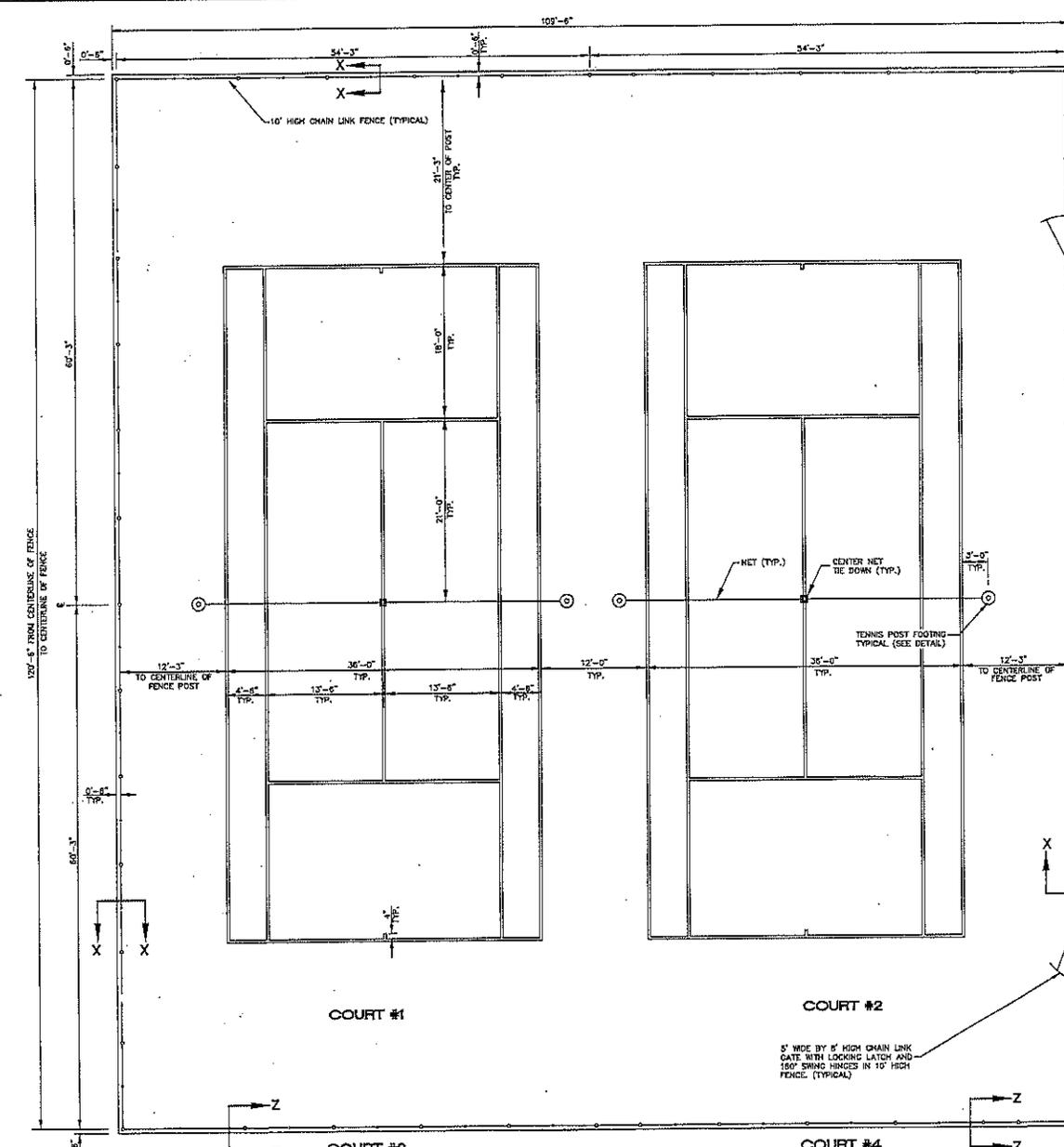
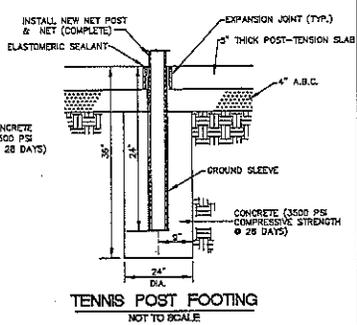
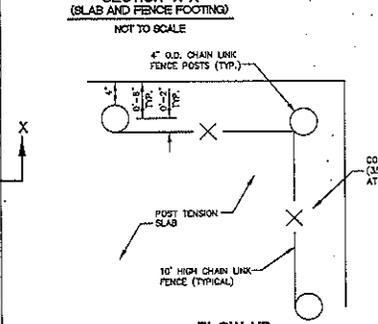
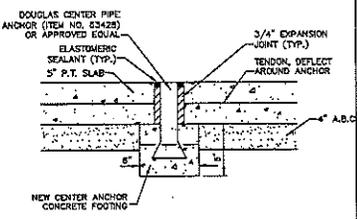
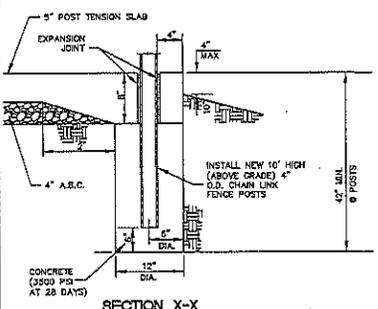
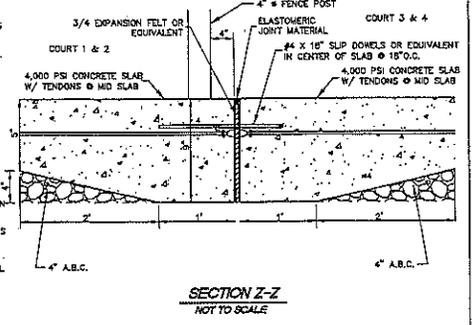
**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 9251 SOUTH 51ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)490-0244

DES: DRC DRN: JCW CHK: DFO JOB NO: 1508-03  
 COPIES 3-31-16

**NOTE**  
 POST TENSION CONCRETE SHALL CONFORM TO THE LATEST P.T. SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE POST TENSION SHOP DRAWINGS AND CALCULATIONS SEALED AND SIGNED BY AN ARIZONA REGISTERED STRUCTURAL ENGINEER.

**NOTES**

1. ALL PAINTED LINES SHALL BE TWO (2) INCHES IN WIDTH UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO INSIDE, OUTSIDE OR CENTER OF PAINT STRIPE AS SHOWN.
2. ALL TENNIS COURT LINES SHALL BE WHITE IN COLOR.
3. SUBGRADE BELOW ALL FOOTINGS SHALL BE COMPACTED TO 85% OF MAXIMUM ASTM D698 DENSITY.
4. TENNIS POSTS SHALL BE DOUGLAS PREMIER XS, PLATED GEARS, BLACK, MODEL NO. 63034 WITH GROUND SLEEVES AND DOUGLAS TENNIS NET MODEL TN-38T OR EQUALS APPROVED BY THE DESIGN ENGINEER. CENTER NET ADJUSTABLE STRAP SHALL BE BELMONT ITEM NO. 20800 AND CENTER PIPE ANCHOR SHALL BE DOUGLAS ITEM NO. 63428 OR EQUALS APPROVED BY THE ENGINEER.
5. ALL TENNIS COURTS SHALL BE COLOR COATED PER THE SPECIFICATIONS. THERE WILL BE TWO COLORS ON EACH COURT. THE INTERIOR OF THE COURT SHALL BE AUSTRALIAN GREEN TRUE BLUE, AND THE AREAS OUTSIDE THE COURT SHALL BE LIGHT GREEN. COLORS ARE PER THE PLEXIPANE COLOR CHART.
6. POST-TENSION CONCRETE SHALL CONFORM TO THE LATEST P.T. SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE POST-TENSION DRAWINGS AND CALCULATIONS SEALED AND SIGNED BY AN ARIZONA REGISTERED STRUCTURAL ENGINEER.



**TENNIS COURT SLAB PLAN AND STRIPING LAYOUT**  
 SCALE 1/8" = 1'-0"

**TENNIS COURT DETAIL SHEET**

CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90			
CACTUS SHADOWS HIGH SCHOOL			
SPORTS COMPLEX RENOVATIONS AND ADDITIONS			
DRAWING STATUS	SHEET	OF	
	3	26	C-3
DATE	6/2/16		



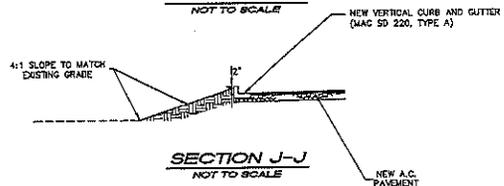
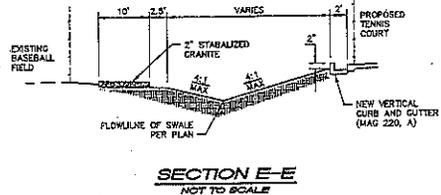
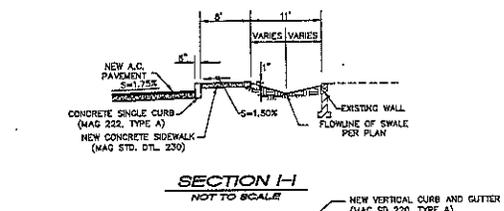
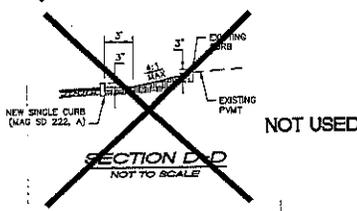
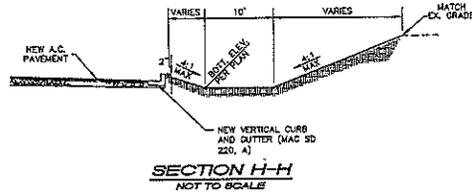
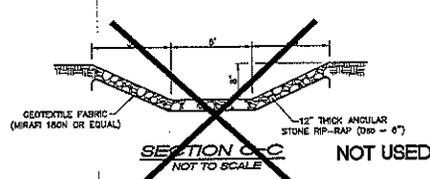
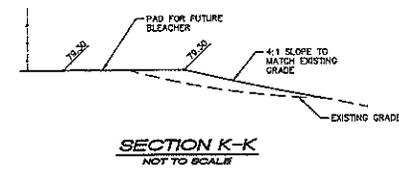
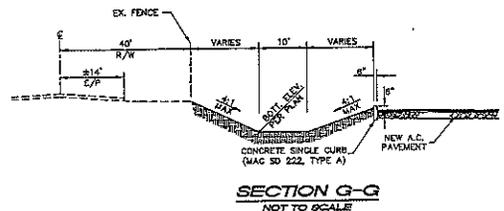
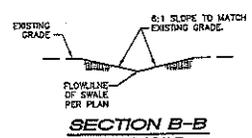
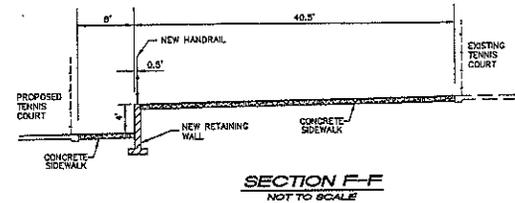
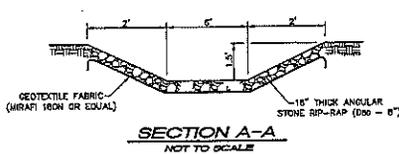
24-DR-2016  
 6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-SA-2016



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 9831 SOUTH 81ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)466-0244

DES: **DRO** DRN: **JCW** CEE: **DRO** JOB NO. **1508-03**



**LEGEND**

- TC 2083.23 EXISTING TOP OF CURB ELEVATION
- BC 2085.11 EXISTING BACK OF CURB ELEVATION
- EP 2088.37 EXISTING EDGE OF PAVEMENT ELEVATION
- C 2087.01 EXISTING CONCRETE ELEVATION
- SW 2087.42 EXISTING SIDEWALK ELEVATION
- FL 2081.78 EXISTING FLOWLINE ELEVATION
- NG 2088.13 EXISTING GROUND ELEVATION
- TD 2086.98 EXISTING TOP OF DRAIN ELEVATION
- TS 2084.43 EXISTING TOE OF SLOPE ELEVATION
- FF 2085.31 EXISTING FINISH FLOOR ELEVATION
- ED EXISTING AREA DRAIN
- PP EXISTING PIPE BOLLARD
- OC EXISTING COLUMN
- SSMH EXISTING SANITARY SEWER MANHOLE
- FH EXISTING FIRE HYDRANT
- WV EXISTING WATER VALVE
- ICV EXISTING IRRIGATION CONTROL VALVE
- EB EXISTING ELECTRIC BOX
- RD EXISTING ROOF DRAIN
- PP EXISTING POWER POLE
- LP EXISTING LIGHT POLE
- SSSD EXISTING SANITARY SEWER CLEANOUT
- BPP EXISTING BACKFLOW PREVENTER
- E EXISTING ELECTRIC LINE
- T EXISTING TREE
- F EXISTING FLAGPOLE
- LIMITS OF DEMOLITION

**DETAILS, LEGEND AND CROSS SECTIONS**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

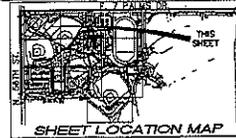
DRAWING STATUS	SHEET	OF	
	4	26	C-4
DATE:	6/27/16		



24-DR-2016  
6/6/2016

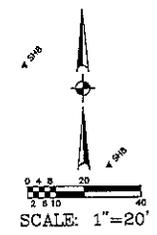
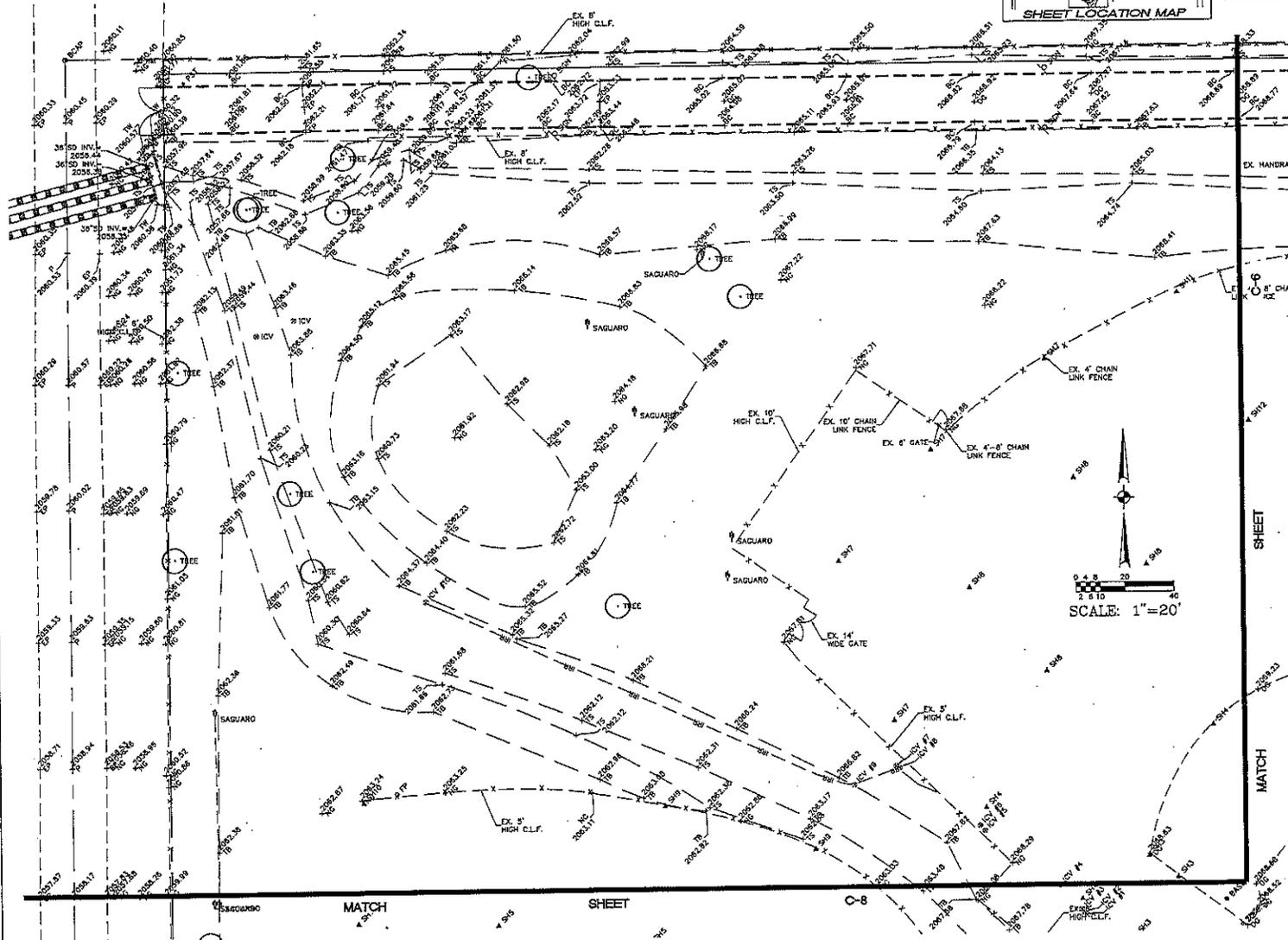
PLAN CHECK # 704-16-3 CASE # 37-SA-2016

ALL WORK DELETED  
ON THIS SHEET



**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
8831 SOUTH 51ST STREET, SUITE C110  
PHOENIX, ARIZONA 85044 (480)498-0244

DES: **DRO** DRW: **JCW** CDD: **DRO** JDD NO. **1508-03**



**GENERAL DEMOLITION NOTES:**

1. EXISTING STRUCTURES, MATERIALS, LANDSCAPING, ETC., THAT ARE TO REMAIN, WHICH ARE DAMAGED IN THE PERFORMANCE OF THE WORK, ARE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE IN KIND. THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY OF REPAIR OR REPLACEMENT.
2. ALL NON-SALVAGE ITEMS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
3. SECURITY AND SAFETY ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
4. ALL UTILITIES ARE TO REMAIN IN PLACE (WATER, SEWER, TELEPHONE, STORM DRAIN, FLOOD IRRIGATION, GAS, ETC.) UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE.
5. SAWCUT SIDEWALKS AND CONCRETE AT NEAREST JOINT OR AS DIRECTED BY THE CITY INSPECTOR.
6. SAWCUT ASPHALTIC CONCRETE AT LIMITS OF DEMOLITION AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY INSPECTOR.
7. SALVAGE ITEMS NOT BEING REINSTALLED SHALL BE DELIVERED TO THE DISTRICT MAINTENANCE YARD.
8. ALL SPRINKLER IRRIGATION LINES WITHIN THE DEMOLITION AREA SHALL BE REMOVED AND CAPPED AT THE PERIMETER OF THE DEMOLITION AREA.

**SPECIFIC DEMOLITION NOTES:**

1. WITHIN DEMOLITION AREA, REMOVE AND LEGALLY DISPOSE OF ALL BUILDINGS, CONCRETE, ASPHALT, A.S.C., CONCRETE SIDEWALKS, WALLS, CURBS, TREES, AND ANY OTHER IMPROVEMENTS EXCEPT ITEMS NOTED TO REMAIN AND BE PROTECTED OR TO BE REMOVED AND SALVAGED. ALL UTILITIES ARE TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE.
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3. REMOVE EXISTING DRAINAGE PIPE AND CATCH BASIN OR HEADWALL.
4. REMOVE EXISTING TREE.
5. REMOVE EXISTING POWER POLE AND OVERHEAD ELECTRICAL LINE. COORDINATE WITH THE POWER COMPANY.
6. REMOVE EXISTING LIGHT POLE.
7. REMOVE MANHOLE TO 3' BELOW GRADE AND BACKFILL WITH 1/2 SACK SLURRY TO 3' BELOW GRADE. BACKFILL THE TOP 3' WITH NATIVE SOIL.
8. EXISTING UTILITIES TO REMAIN. PROTECT FROM DAMAGE.
9. REMOVE EXISTING SHOT-PUT PAD. SALVAGE TOE BOARD FOR REINSTALLATION.
10. REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
11. EXISTING LIGHT POLE TO REMAIN. PROTECT FROM DAMAGE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE.
13. REMOVE EXISTING BLEACHERS.
14. EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
15. REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH UTILITY LEAGUE.
16. EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
17. REMOVE EXISTING SINGLE CURB.
18. REMOVE AND SALVAGE EXISTING SIGN.
19. REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. GAP AT PERIMETER OF DEMOLITION AREA.
20. REMOVE 24' OF THE FENCE BETWEEN THE LIMITS SHOWN.
21. REMOVE EXISTING SOCCER GOAL.
22. REMOVE EXISTING DISCUS PAD. SALVAGE DISCUS CAGE FOR REINSTALLATION.

**NOTE:**  
SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

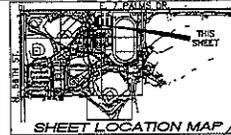
CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90  
CACTUS SHADOWS HIGH SCHOOL  
SPORTS COMPLEX RENOVATIONS AND ADDITIONS

DRAWING STATUS	SHEET	OF	
	5	26	C-5
DATE	6/5/16		



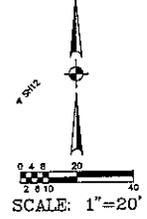
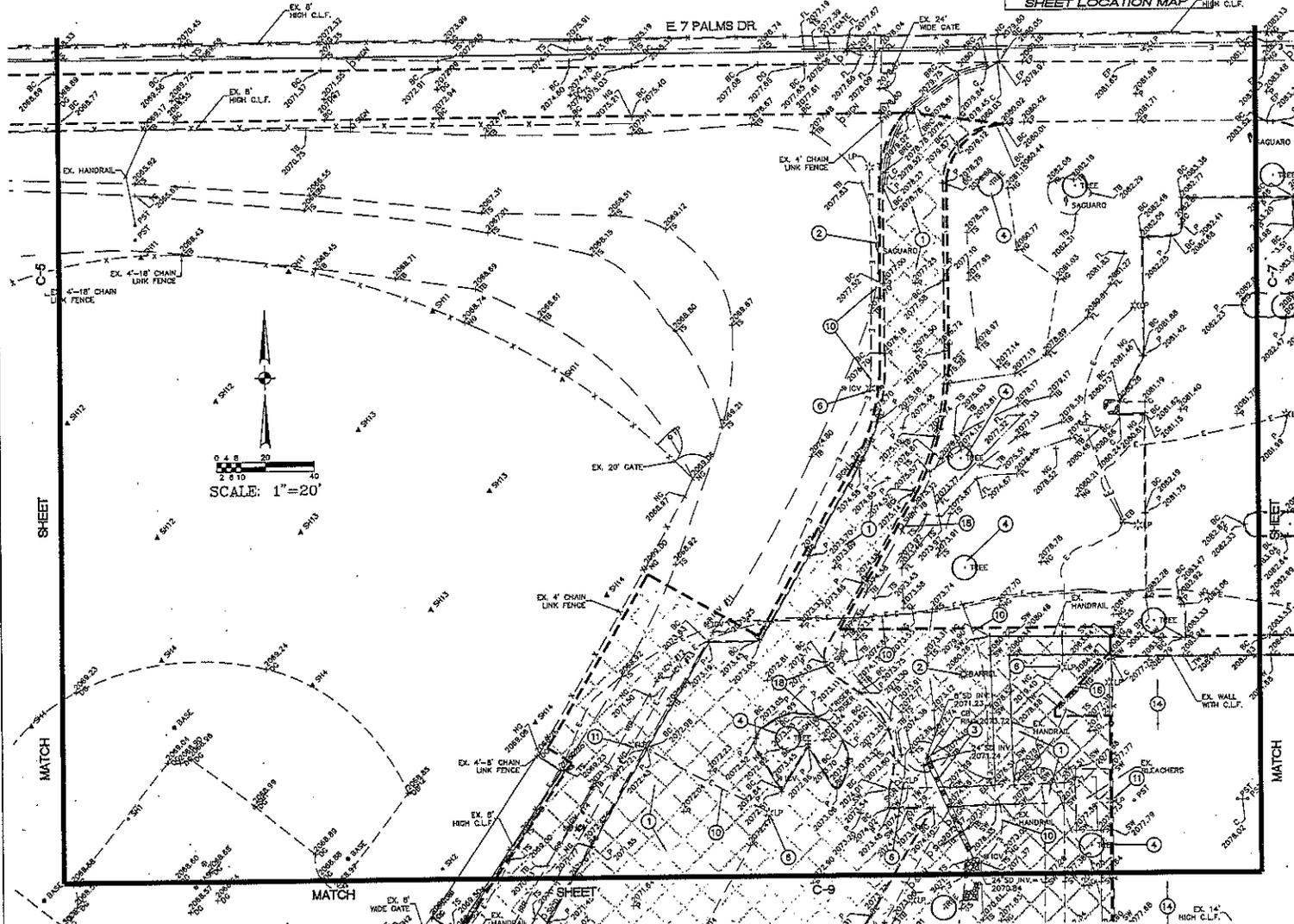
24-DR-2016  
6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-SA-2016



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 3525 SOUTH 51ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)961-0244

DES: **DFO** DRN: **JCW** CDD: **DFO** JOB NO: **1508-03**  
 EXPIRES 3-31-18



**GENERAL DEMOLITION NOTES:**

1. EXISTING STRUCTURES, MATERIALS, LANDSCAPING, ETC., THAT ARE TO REMAIN, WHICH ARE DAMAGED IN THE PERFORMANCE OF THE WORK, ARE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE IN KIND. THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY OF REPAIR OR REPLACEMENT.
2. ALL NON-SALVAGE ITEMS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
3. SECURITY AND SAFETY ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
4. ALL UTILITIES ARE TO REMAIN IN PLACE (WATER, SEWER, TELEPHONE, STORM DRAIN, FLOOD PROTECTION, GAS, ETC.) UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE.
5. SAWCUT SIDEWALKS AND CONCRETE AT NEAREST JOINT OR AS DIRECTED BY THE CITY INSPECTOR.
6. SAWCUT ASPHALTIC CONCRETE AT LIMITS OF DEMOLITION AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY INSPECTOR.
7. SALVAGE ITEMS NOT BEING REINSTALLED SHALL BE DELIVERED TO THE DISTRICT MAINTENANCE YARD.
8. ALL SPRINKLER IRRIGATION LINES WITHIN THE DEMOLITION AREA SHALL BE REMOVED AND CAPPED AT THE PERIMETER OF THE DEMOLITION AREA.

**SPECIFIC DEMOLITION NOTES:**

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- 9 REMOVE EXISTING SHOT-PUT PAD. SALVAGE TEE BOARD FOR REINSTALLATION.
- 10 REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
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- 12 EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE.
- 13 REMOVE EXISTING BLEACHERS.
- 14 EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
- 15 REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH LITTLE LEAGUE.
- 16 EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
- 17 REMOVE EXISTING SINGLE CURB.
- 18 REMOVE AND SALVAGE EXISTING SIGN.
- 19 REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. CAP AT PERIMETER OF DEMOLITION AREA.
- 20 REMOVE 24' OF THE FENCE BETWEEN THE LIMITS SHOWN.
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**NOTE:**  
 SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

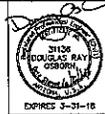
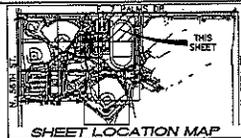
DRAWING STATUS	SHEET	OF	
	6	26	C-6

DATE: 9/2/16



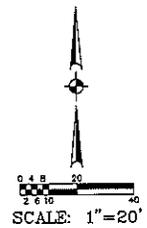
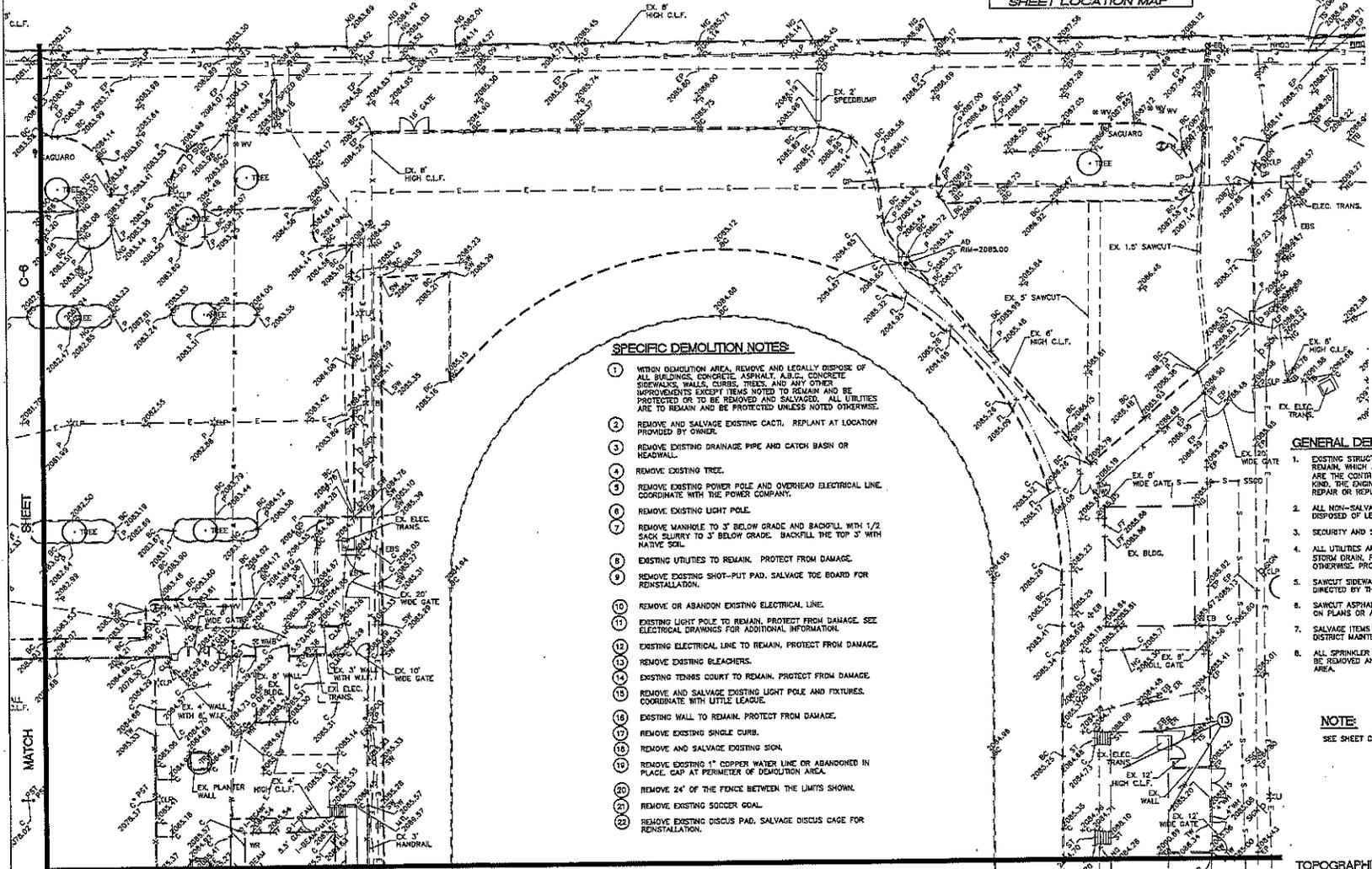
24-DR-2016  
 6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-9A-2016



**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
9811 SOUTH 81ST STREET, SUITE C110  
PHOENIX, ARIZONA 85044 (480)488-0244

DESIGNED BY **DRO** DRAWN BY **JCW** CHECKED BY **DRO** JOB NO. **1508-03**



**SPECIFIC DEMOLITION NOTES**

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**NOTE:**

SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**

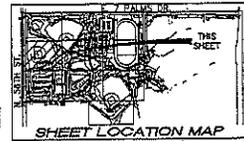
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	7	26	C-7
DATE	01/27/16		



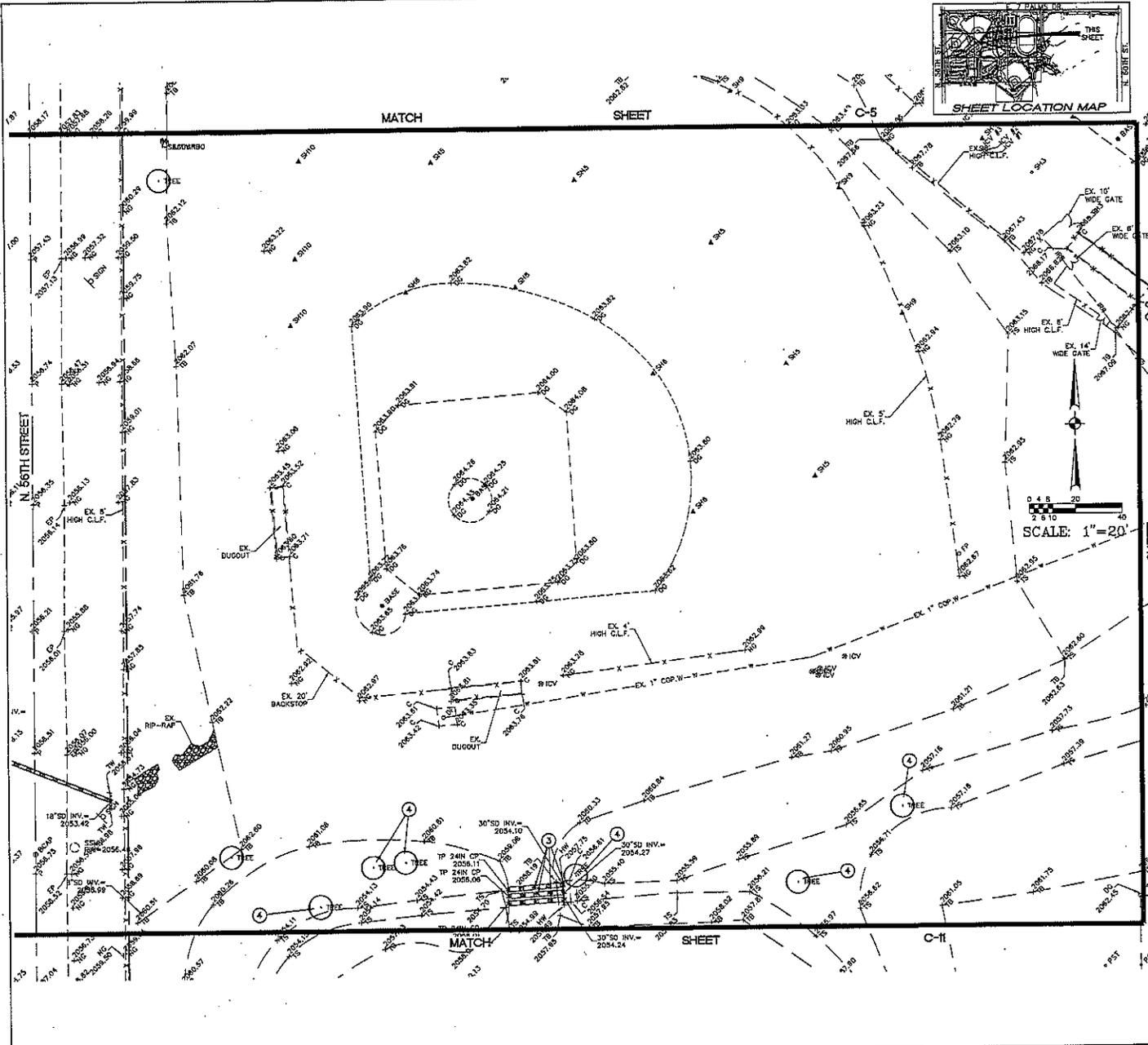
24-DR-2016  
6/6/2016

PLAN CHECK # 37-SA-2016 CASE # 704-16-3



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 9831 SOUTH 91ST STREET, SUITE 010  
 PHOENIX, ARIZONA 85044 (480)498-0244

DIST. **DRO** DES. **JCW** CRO. **DRO** JOB NO. **1508-03**



**GENERAL DEMOLITION NOTES:**

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**NOTE:**  
 SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	8	26	C-8

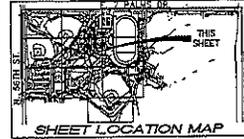
DATE: 9/2/16



24-DR-2016  
 6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-9A-2016

LIMITS OF DEMOLITION



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 9831 SOUTH 81ST STREET, SUITE 2110  
 PHOENIX, ARIZONA 85044 (480)486-0844

DESIGN: DRO, DRAWN: JCW, CHECKED: DRO, JOB NO: 1508-03

**GENERAL DEMOLITION NOTES:**

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**SPECIFIC DEMOLITION NOTES:**

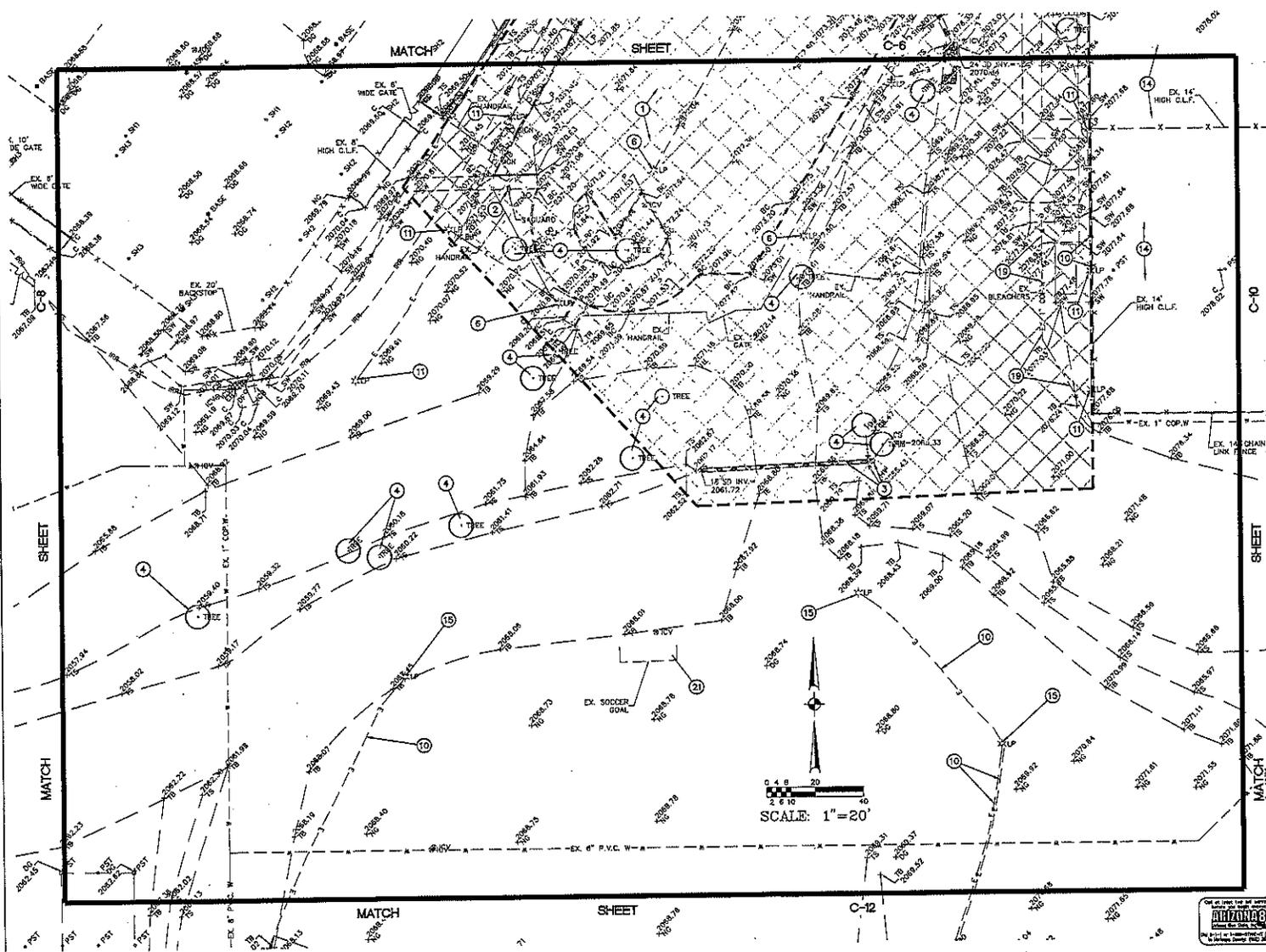
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- 6 REMOVE EXISTING LIGHT POLE.
- 7 REMOVE MANHOLE TO 3' BELOW GRADE AND BACKFILL WITH 1/2 SACK SLURRY TO 3' BELOW GRADE. BACKFILL THE TOP 3' WITH NATIVE SOIL.
- 8 EXISTING UTILITIES TO REMAIN. PROTECT FROM DAMAGE.
- 9 REMOVE EXISTING SHOT-PUT PAD. SALVAGE TOE BOARD FOR REINSTALLATION.
- 10 REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
- 11 EXISTING LIGHT POLE TO REMAIN. PROTECT FROM DAMAGE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE.
- 13 REMOVE EXISTING BLEACHERS.
- 14 EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
- 15 REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH UTILITY LEAGUE.
- 16 EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
- 17 REMOVE EXISTING SINGLE CURB.
- 18 REMOVE AND SALVAGE EXISTING SIGN.
- 19 REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. CAP AT PERIMETER OF DEMOLITION AREA.
- 20 REMOVE 24" OF THE FENCE BETWEEN THE LIMITS SHOWN.
- 21 REMOVE EXISTING SOCCER GOAL.
- 22 REMOVE EXISTING DISCUS PAD. SALVAGE DISCUS CAGE FOR REINSTALLATION.

**NOTE:**  
 SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	9	26	C-9
DATE:	6/2/16		

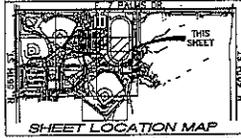


PLAN CHECK # 704-16-3 CASE # 37-SA-2016

24-DR-2016  
 6/6/2016

LIMITS OF DEMOLITION

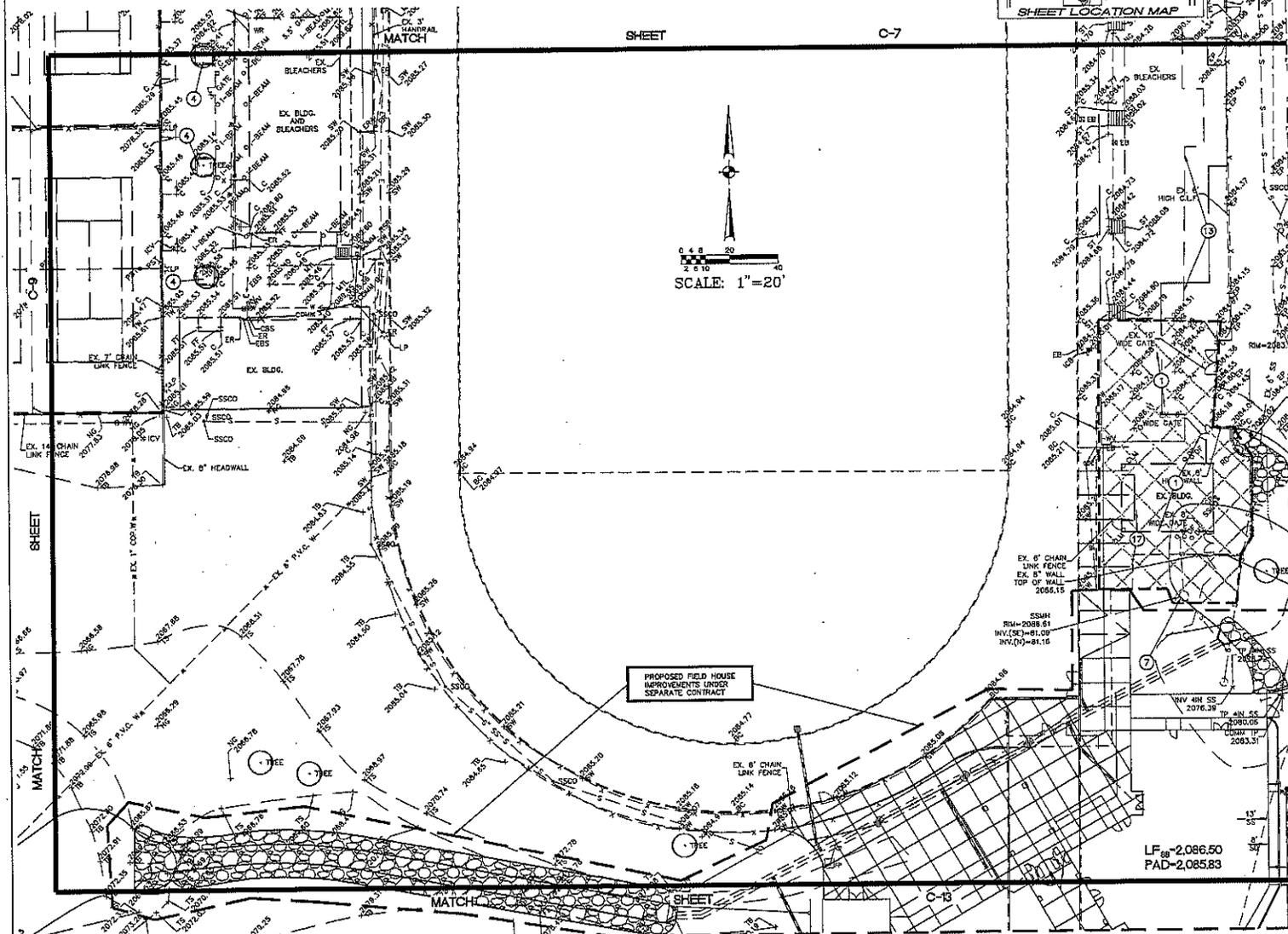
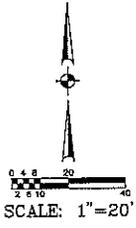
**NOTE:**  
SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.



**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
8831 SOUTH 51ST STREET, SUITE 2110  
PHOENIX, ARIZONA 85044 (480)468-0244

DES: **DRO** DRN: **JCW** CHD: **DRO** JOB NO: **1508-03**

SHEET C-7



**GENERAL DEMOLITION NOTES:**

1. EXISTING STRUCTURES, MATERIALS, LANDSCAPING, ETC., THAT ARE TO REMAIN, WHICH ARE DAMAGED IN THE PERFORMANCE OF THE WORK, ARE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE IN KIND. THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY OF REPAIR OR REPLACEMENT.
2. ALL NON-SALVAGE ITEMS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
3. SECURITY AND SAFETY ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
4. ALL UTILITIES ARE TO REMAIN IN PLACE (WATER, SEWER, TELEPHONE, STORM DRAIN, FLOOD IRRIGATION, GAS, ETC.) UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE.
5. SAWCUT SOCMALKS AND CONCRETE AT LIMITS OF DEMOLITION AS DIRECTED BY THE CITY INSPECTOR.
6. SAWCUT ASPHALTIC CONCRETE AT LIMITS OF DEMOLITION AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY INSPECTOR.
7. SALVAGE ITEMS NOT BEING REINSTALLED SHALL BE DELIVERED TO THE DISTRICT MAINTENANCE YARD.
8. ALL SPRINKLER IRRIGATION LINES WITHIN THE DEMOLITION AREA SHALL BE REMOVED AND CAPPED AT THE PERIMETER OF THE DEMOLITION AREA.

**SPECIFIC DEMOLITION NOTES:**

1. WITHIN DEMOLITION AREA, REMOVE AND LEGALLY DISPOSE OF ALL BUILDINGS, CONCRETE, ASPHALT, A.B.C. CONCRETE SIDEWALKS, WALLS, CURBS, TREES, AND ANY OTHER IMPROVEMENTS EXCEPT ITEMS NOTED TO REMAIN AND BE PROTECTED OR TO BE REMOVED AND SALVAGED. ALL UTILITIES ARE TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE.
2. REMOVE AND SALVAGE EXISTING CACTI. REPLANT AT LOCATION PROVIDED BY OWNER.
3. REMOVE EXISTING DRAINAGE PIPE AND CATCH BASIN OR HEADWALL.
4. REMOVE EXISTING TREE.
5. REMOVE EXISTING POWER POLE AND OVERHEAD ELECTRICAL LINE. COORDINATE WITH THE POWER COMPANY.
6. REMOVE EXISTING LIGHT POLE.
7. REMOVE MANHOLE TO 3' BELOW GRADE AND BACKFILL WITH 1/2 SACK SLURRY TO 3' BELOW GRADE. BACKFILL THE TOP 3' WITH NATIVE SOIL.
8. EXISTING UTILITIES TO REMAIN. PROTECT FROM DAMAGE.
9. REMOVE EXISTING SHOT-PUT PAD. SALVAGE TOE BOARD FOR REINSTALLATION.
10. REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
11. EXISTING LIGHT POLE TO REMAIN. PROTECT FROM DAMAGE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE.
13. REMOVE EXISTING BLEACHERS.
14. EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
15. REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH LITTLE LEAGUE.
16. EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
17. REMOVE EXISTING SINGLE CURB.
18. REMOVE AND SALVAGE EXISTING SIGN.
19. REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. CAP AT PERIMETER OF DEMOLITION AREA.
20. REMOVE 24" OF THE FENCE BETWEEN THE LIMITS SHOWN.
21. REMOVE EXISTING SOCCER GOAL.
22. REMOVE EXISTING DISCUS PAD. SALVAGE DISCUS CAGE FOR REINSTALLATION.

**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
CACTUS SHADOWS HIGH SCHOOL  
SPORTS COMPLEX RENOVATIONS AND ADDITIONS

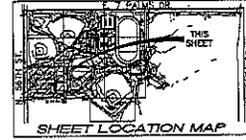
DRAWING STATUS	SHEET	OF	
	10	26	C-10
DATE:	6/2/16		



24-DR-2016  
6/6/2016

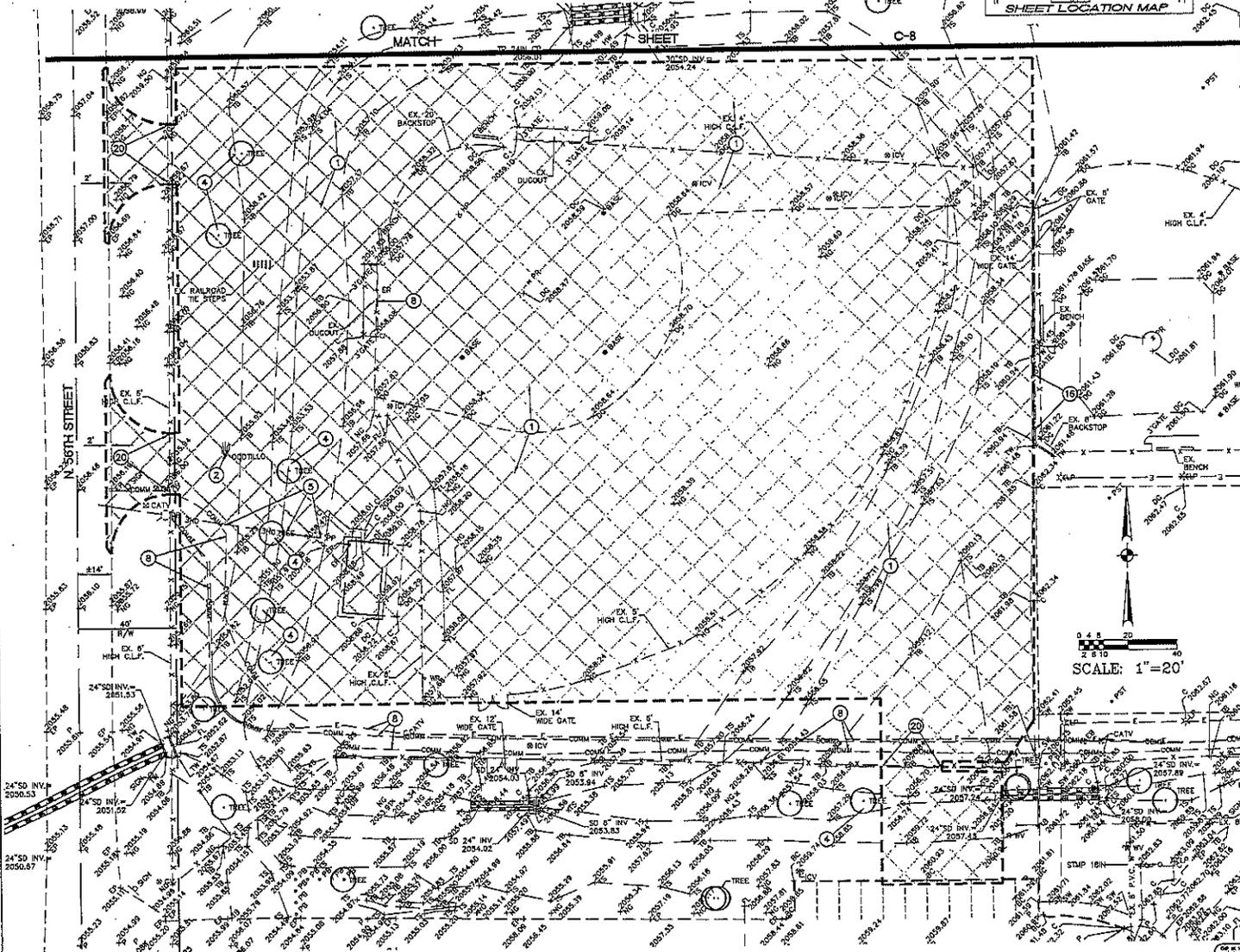
PLAN CHECK # 704-16-3 CASE # 97-SA-2016

LIMITS OF DEMOLITION



**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
9831 SOUTH 61ST STREET, SUITE C110  
PHOENIX, ARIZONA 85044 (480)458-0244

DES. **DRO** DRN. **JCW** CKD. **DRO** JOB NO. **1508-03**

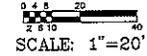


**GENERAL DEMOLITION NOTES:**

1. EXISTING STRUCTURES, MATERIALS, LANDSCAPING, ETC. THAT ARE TO REMAIN, WHICH ARE DAMAGED IN THE PERFORMANCE OF THE WORK, ARE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE IN KIND. THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY OF REPAIR OR REPLACEMENT.
2. ALL NON-SALVAGE ITEMS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
3. SECURITY AND SAFETY ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
4. ALL UTILITIES ARE TO REMAIN IN PLACE (WATER, SEWER, TELEPHONE, STORM DRAIN, FLOOD IRRIGATION, GAS, ETC.) UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE.
5. SAWCUT SIDEWALKS AND CONCRETE AT NEAREST JOINT OR AS DIRECTED BY THE CITY INSPECTOR.
6. SAWCUT ASPHALTIC CONCRETE AT LIMITS OF DEMOLITION AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY INSPECTOR.
7. SALVAGE ITEMS NOT BEING REINSTALLED SHALL BE DELIVERED TO THE DISTRICT MAINTENANCE YARD.

**SPECIFIC DEMOLITION NOTES:**

- ① WITHIN DEMOLITION AREA, REMOVE AND LEGALLY DISPOSE OF ALL BUILDINGS, CONCRETE, ASPHALT, A.B.C., CONCRETE SIDEWALKS, WALLS, CURBS, TREES, AND ANY OTHER IMPROVEMENTS EXCEPT ITEMS NOTED TO REMAIN AND BE PROTECTED OR TO BE REMOVED AND SALVAGED. ALL UTILITIES ARE TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE.
- ② REMOVE AND SALVAGE EXISTING CACTI. REPLANT AT LOCATION PROVIDED BY OWNER.
- ③ REMOVE EXISTING DRAINAGE PIPE AND CATCH BASIN OR HEADWALL.
- ④ REMOVE EXISTING TREE.
- ⑤ REMOVE EXISTING POWER POLE AND OVERHEAD ELECTRICAL LINE. COORDINATE WITH THE POWER COMPANY.
- ⑥ REMOVE EXISTING LIGHT POLE.
- ⑦ REMOVE MANHOLE TO 3' BELOW GRADE AND BACKFILL WITH 1/2 SAND SLURRY TO 3' BELOW GRADE. BACKFILL THE TOP 3' WITH NATIVE SOIL.
- ⑧ EXISTING UTILITIES TO REMAIN. PROTECT FROM DAMAGE.
- ⑨ REMOVE EXISTING SHOT-PUT PAD. SALVAGE TOE BOARD FOR REINSTALLATION.
- ⑩ REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
- ⑪ EXISTING LIGHT POLE TO REMAIN. PROTECT FROM DAMAGE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑫ EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE. REMOVE EXISTING ELEGATORS.
- ⑬ EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
- ⑭ REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH LITTLE LEAGUE.
- ⑮ EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
- ⑯ REMOVE EXISTING SINGLE CURB.
- ⑰ REMOVE AND SALVAGE EXISTING SIGN.
- ⑱ REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. CAP AT PERIMETER OF DEMOLITION AREA.
- ⑳ REMOVE 24" OF THE FENCE BETWEEN THE UNITS SHOWN.
- ㉑ REMOVE EXISTING SOCCER GOAL.
- ㉒ REMOVE EXISTING DISCUS PAD. SALVAGE DISCUS CAGE FOR REINSTALLATION.



**NOTE:**  
SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

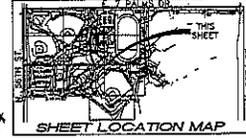
DRAWING STATUS	SHEET	OF	
	11	26	C-11

DATE: 6/2/16

24-DR-2016  
6/6/2016

PLAN CHECK # 704-46-3 CASE # 97-SA-2016

LIMITS OF DEMOLITION



**HESS - ROUNTREE, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
9851 SOUTH GIST STREET, SUITE C10  
PHOENIX, ARIZONA 85044 (480)466-0244

DRAWN BY: DRO, CHECKED BY: JCW, DATE: 6/2/16, JOB NO. 1508-03

**GENERAL DEMOLITION NOTES:**

1. EXISTING STRUCTURES, MATERIALS, LANDSCAPING, ETC. THAT ARE TO REMAIN, WHICH ARE DAMAGED BY THE PERFORMANCE OF THE WORK, ARE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE IN KIND. THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY OF REPAIR OR REPLACEMENT.
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5. SAWCUT SIDEWALKS AND CONCRETE AT NEAREST JOINT OR AS DIRECTED BY THE CITY INSPECTOR.
6. SAWCUT ASPHALTIC CONCRETE AT LIMITS OF DEMOLITION AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY INSPECTOR.
7. SALVAGE ITEMS NOT BEING REINSTALLED SHALL BE DELIVERED TO THE DISTRICT MAINTENANCE YARD.

**SPECIFIC DEMOLITION NOTES:**

1. WITHIN DEMOLITION AREA REMOVE AND LEGALLY DISPOSE OF ALL BUILDINGS, CONCRETE, ASPHALT, A.B.C. CONCRETE, SIDEWALKS, WALLS, CURBS, TREES, AND ANY OTHER IMPROVEMENTS EXCEPT ITEMS NOTED TO REMAIN AND BE PROTECTED OR TO BE REMOVED AND SALVAGED. ALL UTILITIES ARE TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE.
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3. REMOVE EXISTING DRAINAGE PIPE AND CATCH BASIN OR HEADWALL.
4. REMOVE EXISTING TREE.
5. REMOVE EXISTING POWER POLE AND OVERHEAD ELECTRICAL LINE. COORDINATE WITH THE POWER COMPANY.
6. REMOVE EXISTING LIGHT POLE.
7. REMOVE MANHOLE TO 3" BELOW GRADE AND BACKFILL WITH 1/2 SACK SLURRY TO 3" BELOW GRADE. BACKFILL THE TOP 3" WITH NATIVE SOIL.
8. EXISTING UTILITIES TO REMAIN. PROTECT FROM DAMAGE.
9. REMOVE EXISTING SHOT-PUT PAD. SALVAGE TOE BOARD FOR REINSTALLATION.
10. REMOVE OR ABANDON EXISTING ELECTRICAL LINE.
11. EXISTING LIGHT POLE TO REMAIN. PROTECT FROM DAMAGE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. EXISTING ELECTRICAL LINE TO REMAIN. PROTECT FROM DAMAGE.
13. REMOVE EXISTING BLEACHERS.
14. EXISTING TENNIS COURT TO REMAIN. PROTECT FROM DAMAGE.
15. REMOVE AND SALVAGE EXISTING LIGHT POLE AND FIXTURES. COORDINATE WITH UTILITY LEADS.
16. EXISTING WALL TO REMAIN. PROTECT FROM DAMAGE.
17. REMOVE EXISTING SINGLE CURB.
18. REMOVE AND SALVAGE EXISTING SIGN.
19. REMOVE EXISTING 1" COPPER WATER LINE OR ABANDONED IN PLACE. CAP AT PERIMETER OF DEMOLITION AREA.
20. REMOVE 24" OF THE FENCE BETWEEN THE LIMITS SHOWN.
21. REMOVE EXISTING SOCCER GOAL.
22. REMOVE EXISTING DISCUS PAD. SALVAGE DISCUS CAGE FOR REINSTALLATION.

SCALE: 1"=20'



**NOTE:**  
SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**

CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90  
CACTUS SHADOWS HIGH SCHOOL  
SPORTS COMPLEX RENOVATIONS AND ADDITIONS

DRAWING STATUS	SHEET	OF	
	12	26	C-12

DATE: 6/2/16



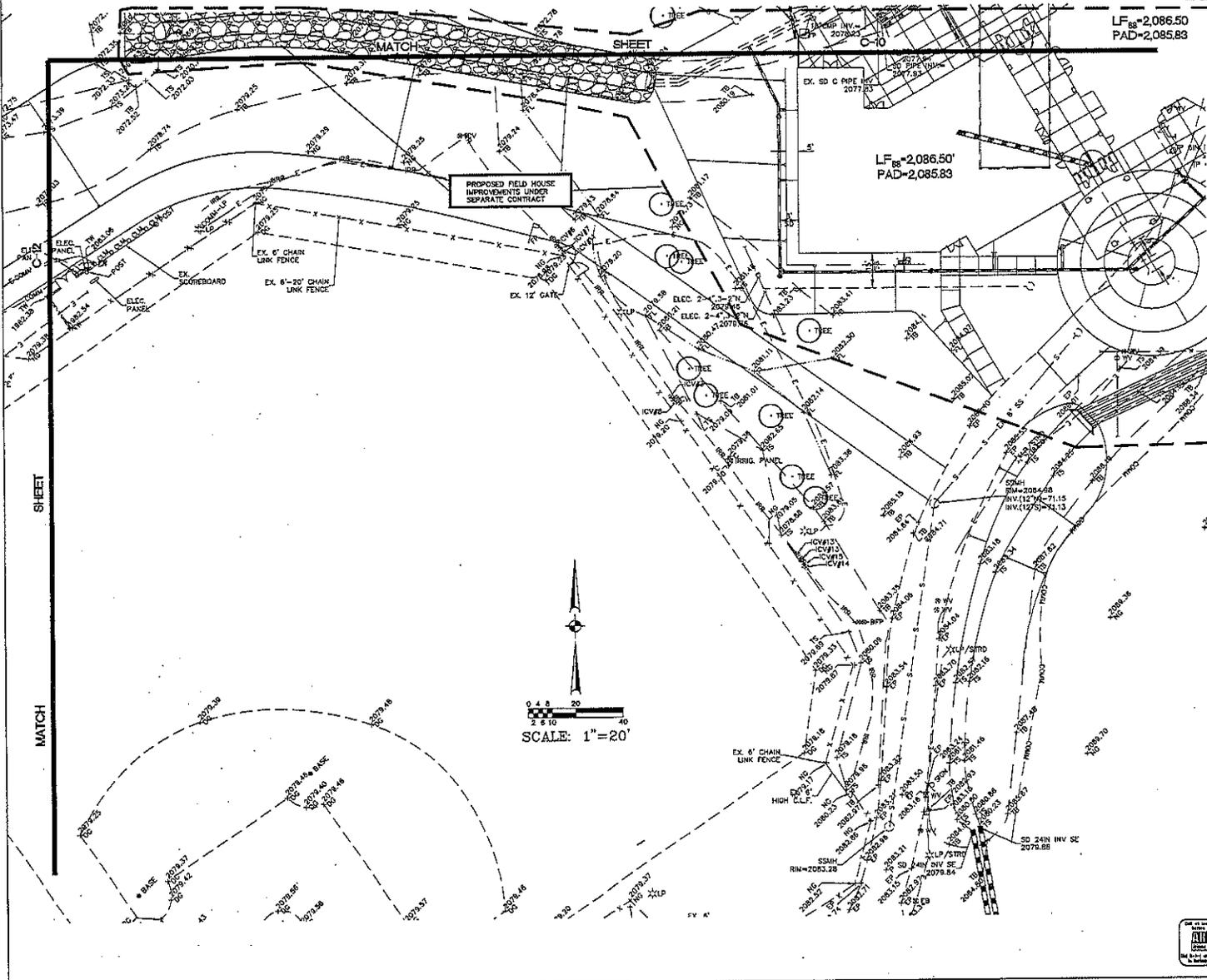
24-DR-2016  
6/6/2016

PLAN CHECK # 704-46-3 CASE # 37-SA-2016



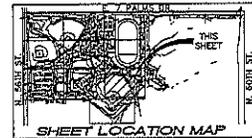
**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 8821 SOUTH EAST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)490-0244

DES: **DRO** DRN: **JCW** CDD: **DRO** JOB NO: **1508-03**



**NOTE:**  
 SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

THIS SHEET IS INCLUDED FOR THE TOPOGRAPHIC INFORMATION ONLY. NO DEMOLITION ON THIS SHEET.



**TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**

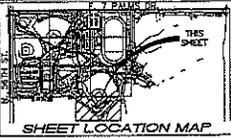
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	<b>C-13</b>
	13	26	
DATE	6/2/16		



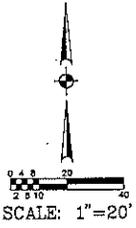
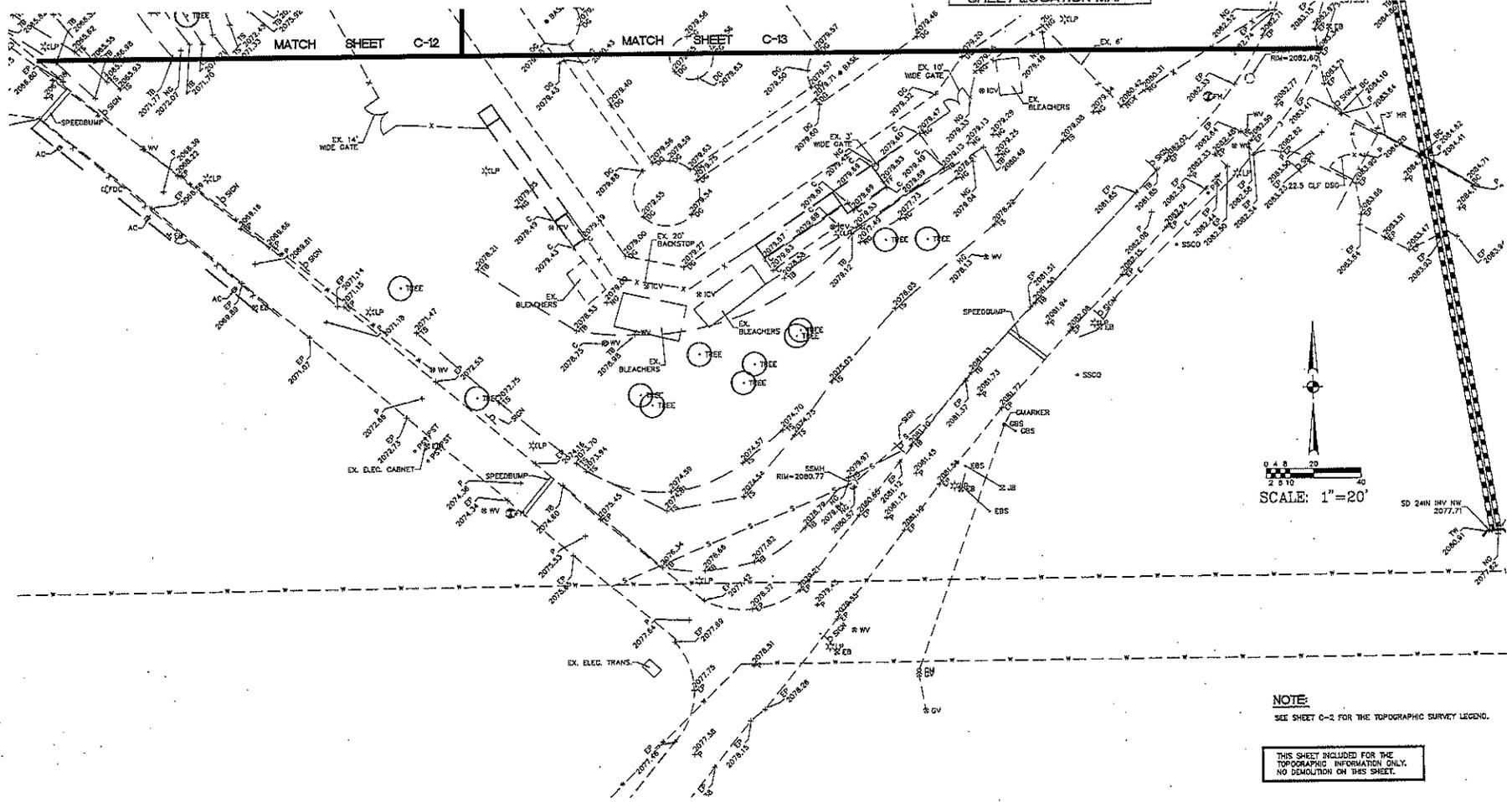
24-DR-2016  
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PLAN CHECK # 704-16-3 CASE # 37-SA-2016



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 8031 SOUTH 61ST STREET, SUITE 4110  
 PHOENIX, ARIZONA 85044 (480)488-0244

DESIGNER: DRO DRAWN BY: JCW CHECKED BY: DRO JOB NO. 1508-03



**NOTE:**  
 SEE SHEET C-2 FOR THE TOPOGRAPHIC SURVEY LEGEND.

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TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	14	26	C-14
DATE:	6/2/16		



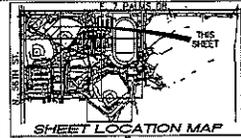
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 6/6/2016

PLAN CHECK # 704-46-3 CASE # 37-SA-2016

- 35 CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
- 36 INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
- 37 REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
- 38 POT-HOLE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
- 39 BLACKOUT EXISTING PAINT STRIPING.

- 40 INSTALL STABILIZED DECOMPOSED GRANITE PATH. COLOR PER ARCHITECT.
- 41 INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
- 42 INSTALL 6" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
- 43 INSTALL 2" THICK, 1/4" MOUNTS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
- 44 INSTALL NEW 5" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.

- 45 INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).
- 46 REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
- 47 FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL. GRADE AREA TO A SMOOTH, NEAT CONDITION.
- 48 STRAIGHT GRADE AT A 6:1 SLOPE FROM THE GRADE INDICATED AT THE WALL OR SIDEWALK TO MATCH EXISTING GRADE.

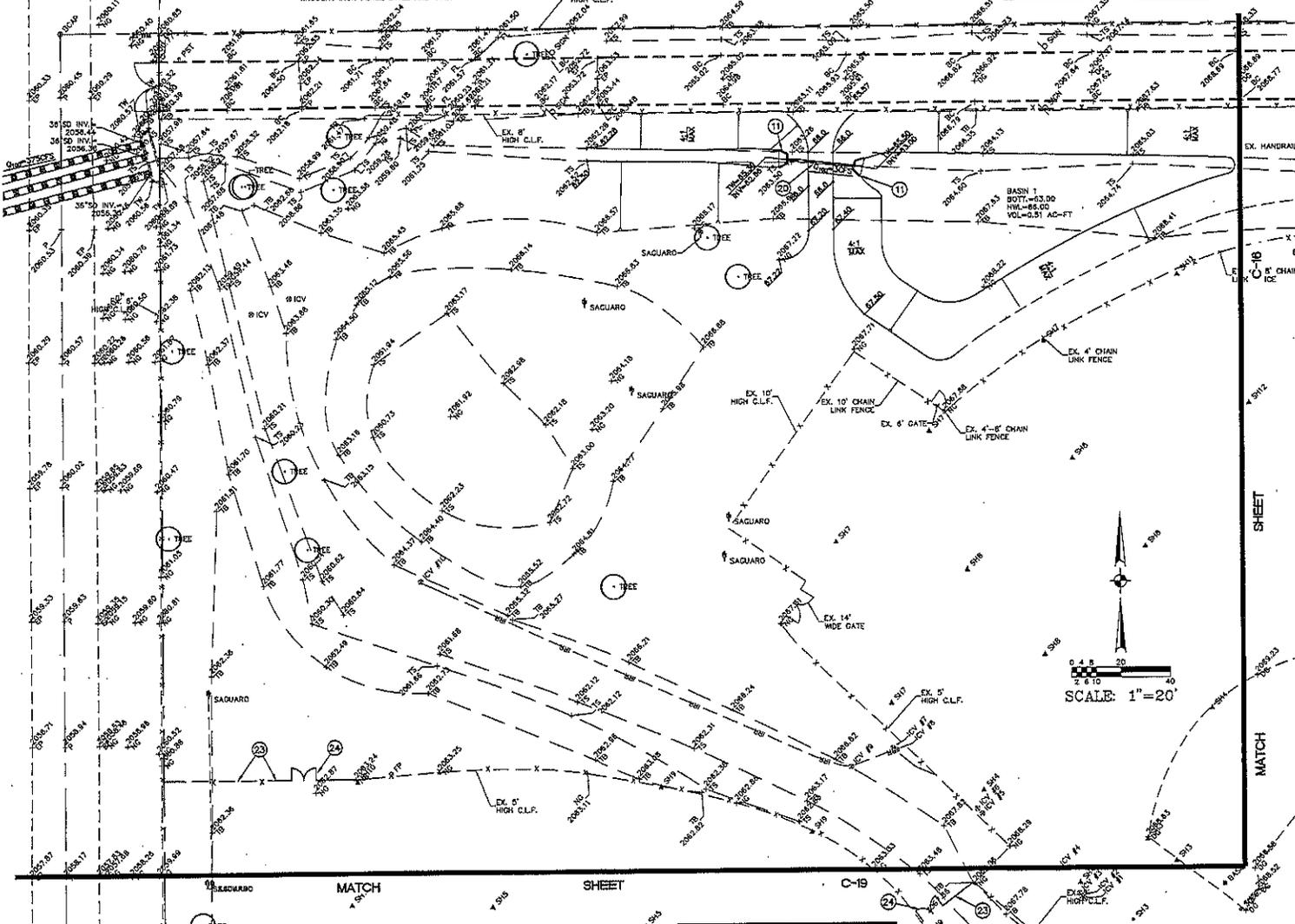


**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 8631 SOUTH 51ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)499-0244

DES: **DRO** DRW: **JCW** CDD: **DRO** JOB NO: **1508-03**

**GRADING AND DRAINAGE CONSTRUCTION NOTES**

- 1 INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10' R JOINTS.
- 2 INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
- 3 CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
- 4 INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
- 5 INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SLOPING AND FINISH.
- 6 INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4") OVER 8" A.B.C.).
- 7 INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4") OVER 8" A.B.C. IN PARKING AREA).
- 8 PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONS, ARROWS, PARKING SPACES, STOP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICES MANUAL 12-1.2.
- 9 INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2101.
- 10 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 WITH TRASH RACK PER 503-1). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 6" CLEAR BETWEEN PIPES.
- 11 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
- 12 BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
- 13 CONSTRUCT CONCRETE SPLASH PAD TYPE A. WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
- 14 INSTALL 6" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10' R JOINTS.
- 15 CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 505).
- 16 CONNECT NEW 6" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERT-A-TEE OR APPROVED EQUAL.
- 17 STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
- 18 EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
- 19 RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
- 20 INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10' R JOINTS.
- 21 CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
- 22 INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
- 23 INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
- 24 INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
- 25 INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
- 26 SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN 100' MINIMUM CURVE PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.C. OR MATCH EXISTING, WHICH EVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
- 27 INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>max</sub>=5").
- 28 INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
- 29 CONSTRUCT 6" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
- 30 CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
- 31 SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
- 32 CONSTRUCT 6" WIDE CURB OPENING.
- 33 INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
- 34 INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).



**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE SHALL BE HYDRO-SEEDDED WITH A NATIVE PLANT SEED MIX.



**GRADING AND DRAINAGE PLANS**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

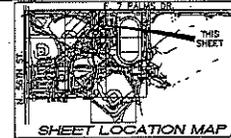
DRAWING STATUS	SHEET	OF	
	15	26	C-15
DATE	6/2/16		

24-DR-2016  
 6/6/2016

PLAN CHECK # 70476-3 CASE # 37-SA-2016

**WATER LINE NOTES:**

- 1 CONNECT TO EXISTING 1" COPPER WATER LINE. FIELD VERIFY LOCATION.
- 2 INSTALL 1" SCHEDULE 40 WATER LINE.
- 3 INSTALL 1" QUICK COUPLER VALVE. SEE DETAIL ON SHEET C-2.

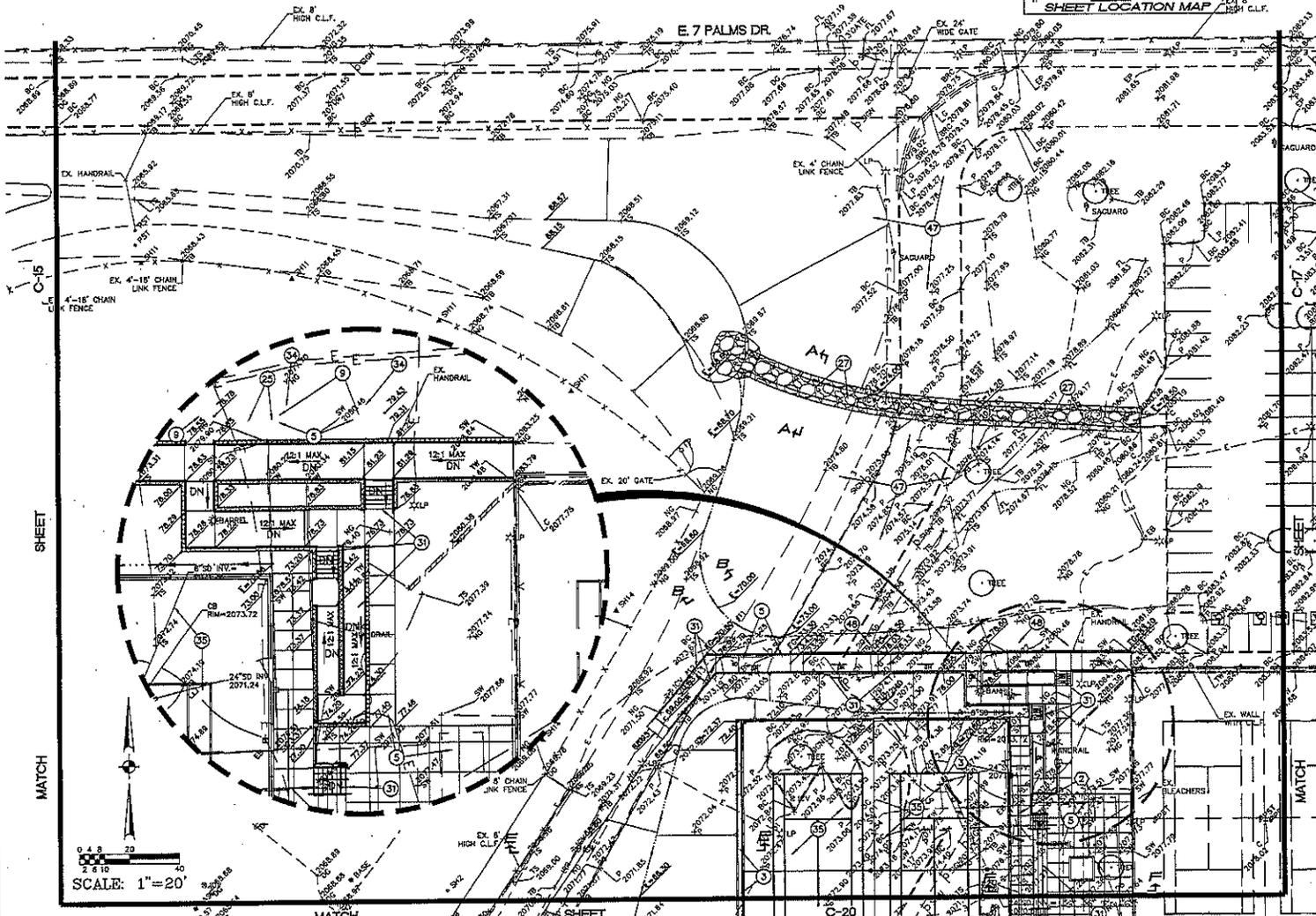


**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 8981 ROUTE 61ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)480-0244

DES: **DRO** DRN: **JCW** CDD: **DRO** JOB NO. **1508-03**

**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

- 1 INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 2 INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
- 3 CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
- 4 INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
- 5 INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SIZING AND FINISH.
- 6 INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4") OVER 8" A.B.G.).
- 7 INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4") OVER 8" A.B.G. IN PARKING AREA).
- 8 PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICES MANUAL 12-1.2.
- 9 INSTALL HANDICAP PARKING SPAN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
- 10 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-4 WITH TRASH RACK PER 502-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 6" CLEAR BETWEEN PIPES.
- 11 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
- 12 BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
- 13 CONSTRUCT CONCRETE SPLASH PAD TYPE A, WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
- 14 INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 15 CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 505).
- 16 CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERT-A-TEE OR APPROVED EQUAL.
- 17 STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
- 18 EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
- 19 RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
- 20 INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 21 CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
- 22 INSTALL NEW 8" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
- 23 INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
- 24 INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
- 25 INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
- 26 SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN XING. MINIMUM EXISTING PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.G. OR MATCH EXISTING, WHICHEVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2250.
- 27 INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>max</sub> 6").
- 28 INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
- 29 CONSTRUCT 6" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
- 30 CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
- 31 SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
- 32 CONSTRUCT 6" WIDE CURB OPENING.
- 33 INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
- 34 INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).



- 35 CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
- 36 INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
- 37 REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
- 38 POT-HOLE UTILITIES PRIOR TO CONSTRUCTION, NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
- 39 BLACKOUT EXISTING PAINT STRIPING.

- 40 INSTALL STABILIZED DECOMPOSED GRANITE PATH. COLOR PER ARCHITECT.
- 41 INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
- 42 INSTALL 5" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
- 43 INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
- 44 INSTALL NEW 5" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
- 45 INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2221-1, TYPE A).
- 46 REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
- 47 FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL GRADE AREA TO A SMOOTH, NEAT CONDITION.
- 48 STRAIGHT GRADE AT A 6:1 SLOPE FROM THE GRADE INDICATED AT THE WALL OR SIDEWALK TO MATCH EXISTING GRADE.

**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE SHALL BE HYDRO-SEEDING WITH A NATIVE PLANT SEED MIX.



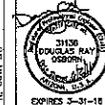
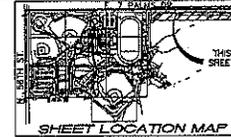
GRADING AND DRAINAGE PLANS			
CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90			
CACTUS SHADOWS HIGH SCHOOL			
SPORTS COMPLEX RENOVATIONS AND ADDITIONS			
DRAWING STATUS	SHEET	OF	
	16	26	C-16
DATE:	6/2/16		

24-DR-2016  
 6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-SA-2016

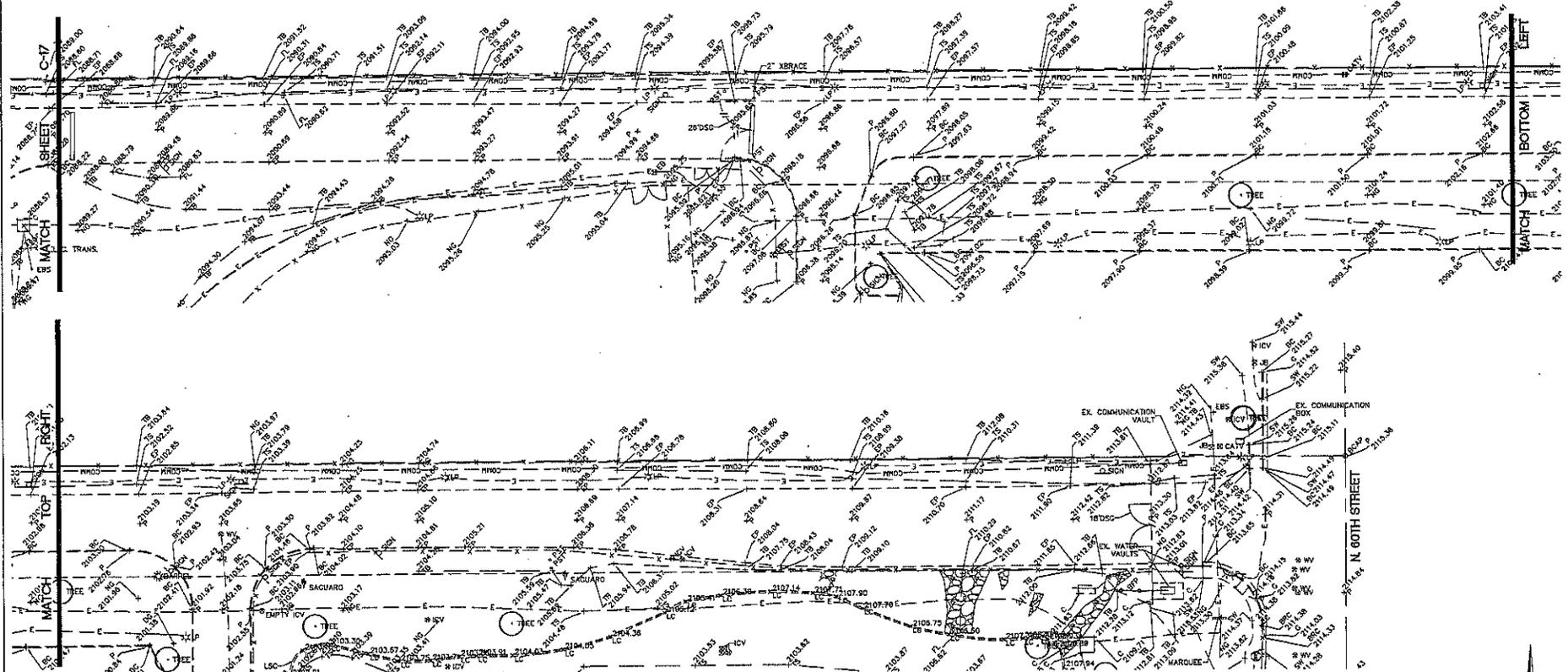


ALL WORK DELETED  
ON THIS SHEET



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DES: **DRO** DRN: **JCW** CID: **DRO** JOB NO. **1508-03**

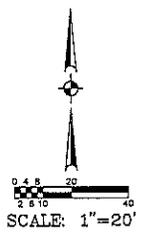


**GRADING AND DRAINAGE CONSTRUCTION NOTES**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
3. CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 222-1, TYPE A).
4. INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
5. INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 220). SEE ARCHITECTURAL PLANS FOR SLOPING AND FINISH.
6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4) OVER 6" A.B.C.).
7. INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4) OVER 6" A.B.C. IN PARKING AREA).
8. PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIAGONAL ARROWS, PARKING STALLS & DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICIES MANUAL 12-1.2.
9. INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 201-4 WITH TRASH RACK PER 201-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 6" CLEAR BETWEEN PIPES.
11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 201-1 U TYPE).
12. BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
13. CONSTRUCT CONCRETE SPLASH PAD TYPE A. WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
14. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 220).
16. CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERTA-TIE OR APPROVED EQUAL.
17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
19. RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
21. CONSTRUCT THROCKEN PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
22. INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 6" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
24. INSTALL 4" HIGH BY 16" WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN RHD. MINIMUM ON-SITE PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.C. OR MATCH EXISTING, WHICHEVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR STONE RIP-RAP (10<sub>4</sub>-6").
28. INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
29. CONSTRUCT 8" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
32. CONSTRUCT 6" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
34. INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).
35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
36. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
37. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
38. POT-HOLE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
39. BLACKOUT EXISTING PAINT STRIPING.
40. INSTALL STABILIZED DECOMPOSED GRANITE PATH, COLOR PER ARCHITECT.
41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
42. INSTALL 6" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
43. INSTALL 2" THICK 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
44. INSTALL NEW 6" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).
46. REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
47. FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL GRADE AREA TO A SMOOTH.

**GRADING AND DRAINAGE PLANS**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	18	26	C-18
DATE	8/3/18		



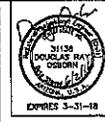
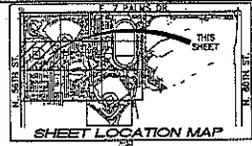
PLAN CHECK # 704-16-3 CASE # 37-SA-2016

24-DR-2016  
6/6/2016

- 33 CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
- 34 REMOVE AND REPLACE BASH (MAG STANDARD DETAIL 537).
- 35 REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
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- 45 INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).

- 46 REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
- 47 FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL. GRADE AREA TO A SMOOTH, NEAT CONDITION.
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DATE: **DRO** DRS: **JCW** CRD: **DRO** JOB NO: **1508-03**

**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

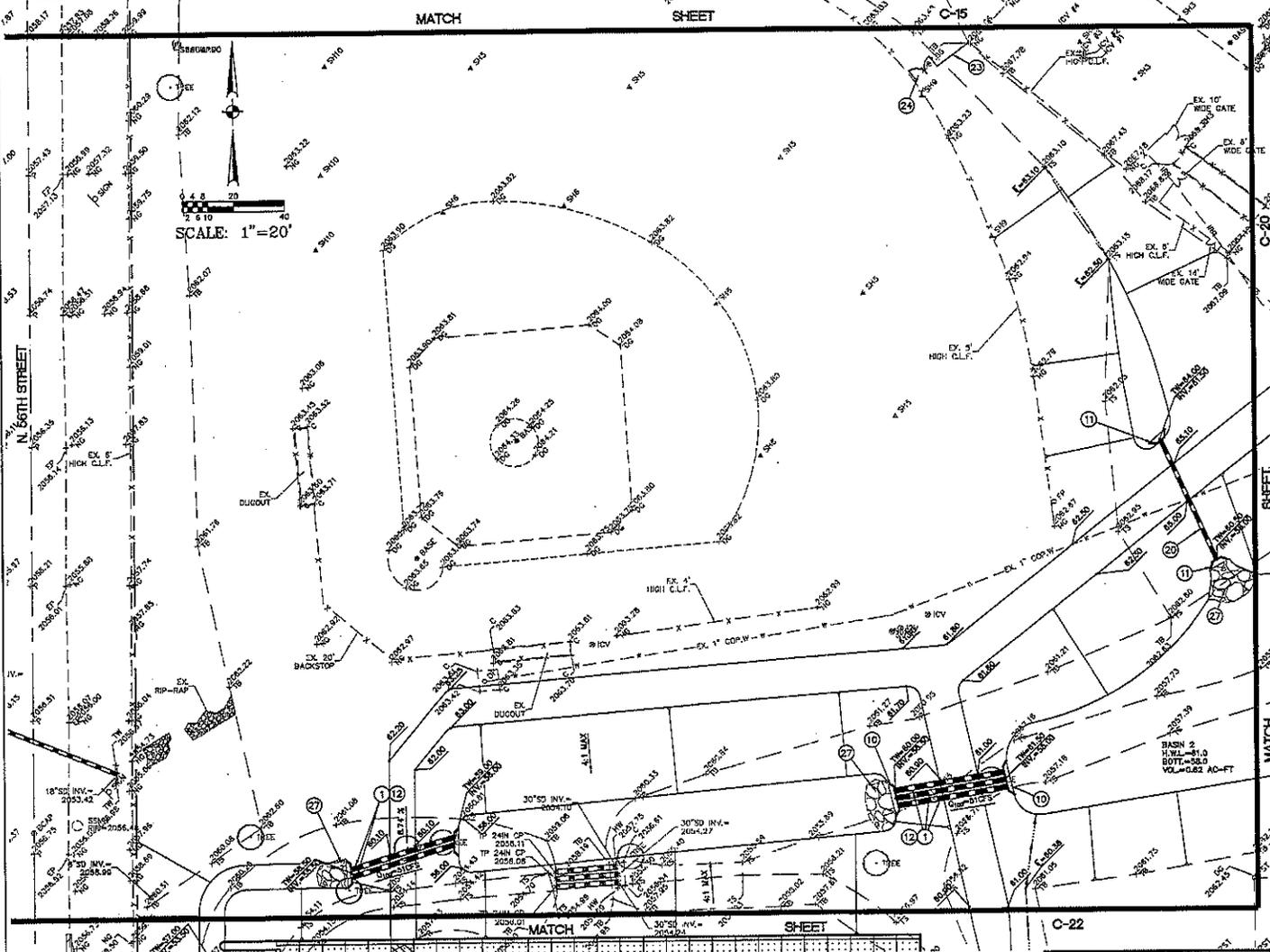
- 1 INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 2 INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
- 3 CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 222-1, TYPE A).
- 4 INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
- 5 INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SCORING AND FINISH.
- 6 INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4") OVER 4" A.B.C.).
- 7 INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4") OVER 4" A.B.C. IN PARKING AREA).
- 8 PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICES MANUALS 11-12.
- 9 INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
- 10 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-4 WITH TRASH RACK PER 502-3). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 8" CLEAR BETWEEN PIPES.
- 11 INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
- 12 BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
- 13 CONSTRUCT CONCRETE SPLASH PAD TYPE A. WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
- 14 INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 15 CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.I.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 503).
- 16 CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE, WITH INSERT-A-TEE OR APPROVED EQUAL.
- 17 STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
- 18 EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
- 19 RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
- 20 INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
- 21 CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
- 22 INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
- 23 INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
- 24 INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
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- 27 INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>max</sub> 6").
- 28 INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
- 29 CONSTRUCT 8" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
- 30 CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
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- 33 INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
- 34 INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).

**GRADING AND DRAINAGE PLANS**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS CENTER RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	19	26	C-19

DATE: 6/2/16



**NOTES:**  
ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE SHALL BE HYDRO-SEEDING WITH A NATIVE PLANT SEED MIX.



24-DR-2016  
6/6/2016

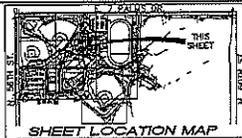
PLAN CHECK # 704-16-3 CASE # 07-SA-2016

**GRADING AND DRAINAGE CONSTRUCTION NOTES**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
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6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4") OVER 8" A.B.C.).

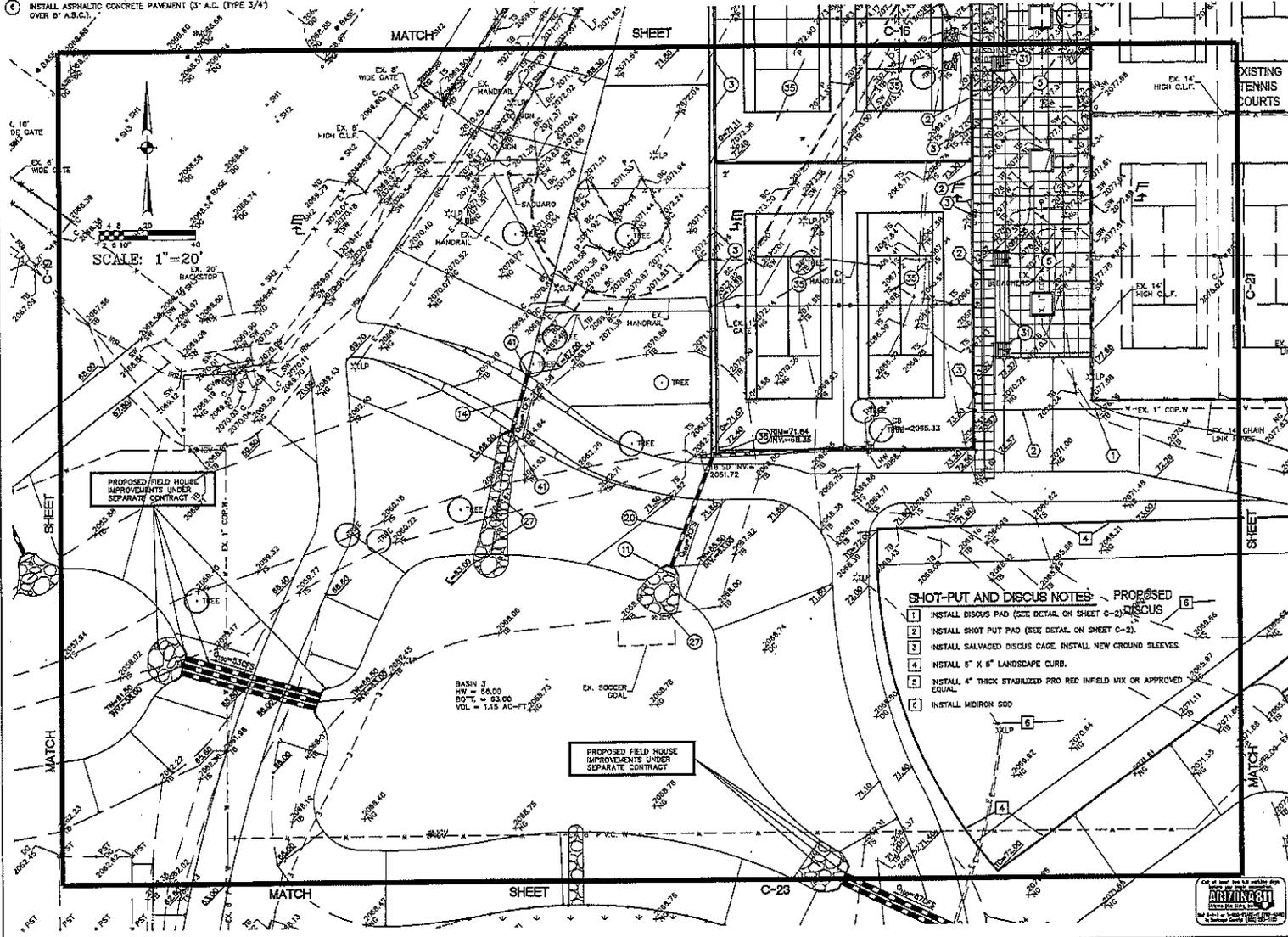
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10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-4 WITH TRASH RACK PER 501-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 6" CLEAR BETWEEN PIPES.

11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
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15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.A.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 505).
16. CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERTA-TEE OR APPROVED EQUAL.



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DES: DRO DRW: JCW CDD: DRO JOB NO. 1508-03



17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
19. RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
21. CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
22. INSTALL NEW 8" HIGH BY 34" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
24. INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN 1000' MINIMUM SPREAD PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.C. OR MATCH EXISTING, WHICHEVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>50</sub>=6").
28. INSTALL SPEED BUMPS (SEE DETAIL SHEET C-2).
29. CONSTRUCT 8" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
32. CONSTRUCT 8" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
34. INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).
35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
36. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
37. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
38. PUT-HOLE UTILITIES PRIOR TO CONSTRUCTION, NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
39. BLACKOUT EXISTING PAINT STRIPING.
40. INSTALL STABILIZED DECOMPOSED GRANITE, PATH, COLOR PER ARCHITECT.
41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
42. INSTALL 5" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
43. INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
44. INSTALL NEW 5" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).
46. REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
47. FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL. GRADE AREA TO A SMOOTH, NEAT CONDITION.
48. STRAIGHT GRADE AT A 6:1 SLOPE FROM THE GRADE INDICATED AT THE WALL OR SIDEWALK TO MATCH EXISTING GRADE.

**SHOT-PUT AND DISCUS NOTES - PROPOSED**

1. INSTALL DISCUS PAD (SEE DETAIL ON SHEET C-2).
2. INSTALL SHOT PUT PAD (SEE DETAIL ON SHEET C-2).
3. INSTALL SALVAGED DISCUS CAGE. INSTALL NEW GROUND SLEEVES.
4. INSTALL 6" X 6" LANDSCAPE CURB.
5. INSTALL 4" THICK STABILIZED PRO RED INFILL MIX OR APPROVED EQUAL.
6. INSTALL MIDIRON GSD.

- WATER LINE NOTES**
1. CONNECT TO EXISTING 1" COPPER WATER LINE. FIELD VERIFY LOCATION.
  2. INSTALL 1" SCHEDULE 40 WATER LINE.
  3. INSTALL 1" QUICK COUPLER VALVE. SEE DETAIL ON SHEET C-2).

**NOTE:**  
ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE SHALL BE HYBRID-SEED WITH A NATIVE PLANT SEED MIX.

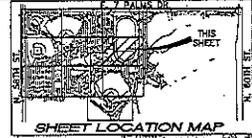
GRADING AND DRAINAGE PLANS  
CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90  
CACTUS SHADOWS HIGH SCHOOL  
SPORTS COMPLEX RENOVATION AND ADDITIONS

DRAWING STATUS	SHEET	OF	
	20	26	C-20
DATE	6/2/16		

24-DR-2016  
6/6/2016

PLAN CHECK # 704-16-3 CASE # 37-SA-2016

**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE, SHALL BE HYDRO-SEEDED WITH A NATIVE PLANT SEED MIX.



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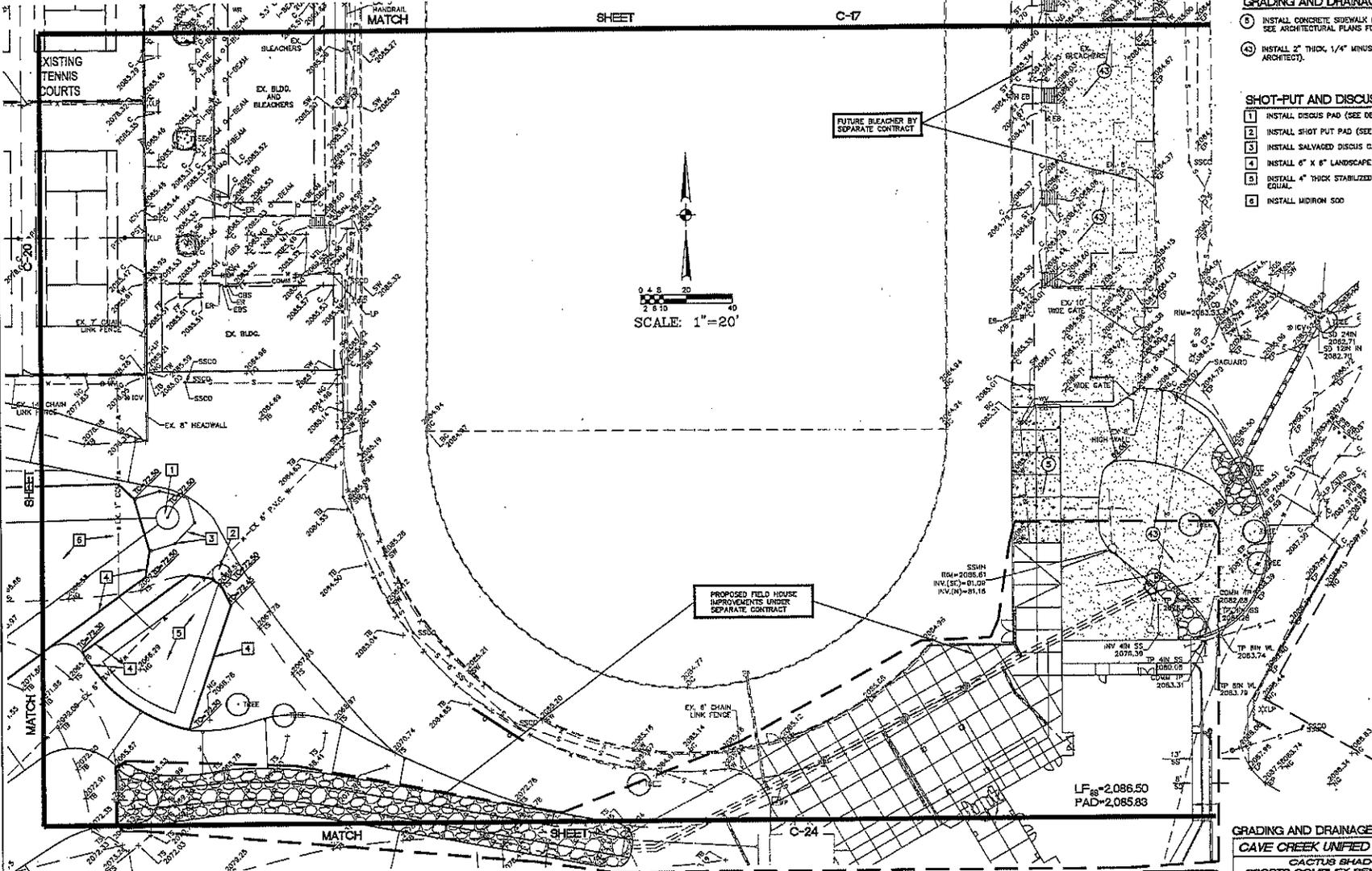
DES. **DRO** DRN. **JCW** CREF. **DRO** JOB NO. **1508-03**

**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

- 1 INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SLOPING AND FINISH.
- 2 INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).

**SHOT-PUT AND DISCUS NOTES:**

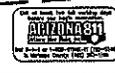
- 1 INSTALL DISCUS PAD (SEE DETAIL ON SHEET C-2).
- 2 INSTALL SHOT PUT PAD (SEE DETAIL ON SHEET C-2).
- 3 INSTALL SALVAGED DISCUS CAGE. INSTALL NEW GROUND SLEEVES.
- 4 INSTALL 6" X 6" LANDSCAPE CURB.
- 5 INSTALL 4" THICK STABILIZED PRO RED INFILL MIX OR APPROVED EQUIV.
- 6 INSTALL MIDIRON 500.



LF=2,086.50  
 PAD=2,085.83

**GRADING AND DRAINAGE PLANS**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

DRAWING STATUS	SHEET	OF	
	21	26	C-21



DATE: 6/2/16

24-DR-2016  
 6/6/2016

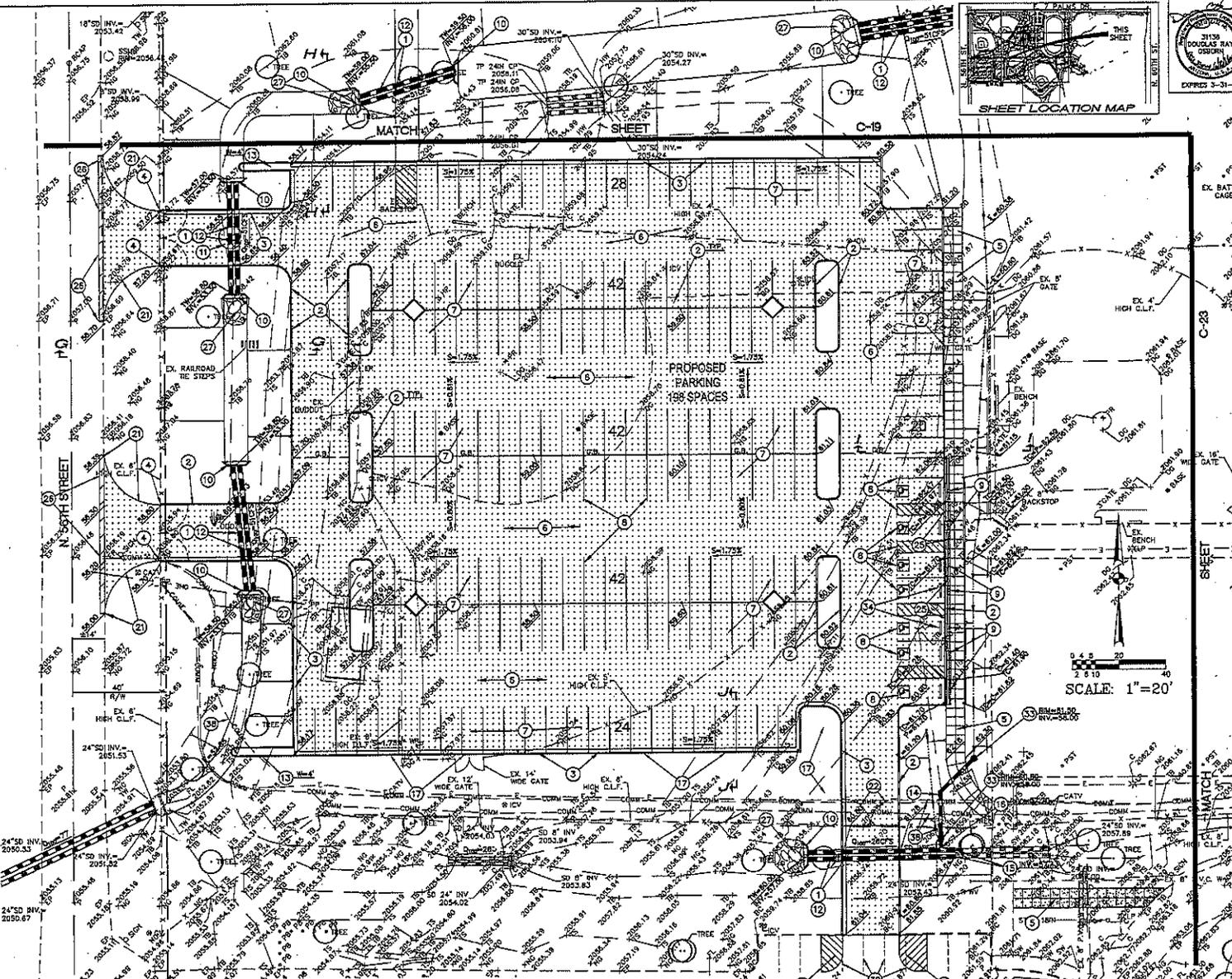
PLAN CHECK # 704-16-3 CASE # 07-SA-2016



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CONSULTING ENGINEERS & LAND SURVEYORS  
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PHOENIX, ARIZONA 85044 (480)490-0244

DRN **DRO** DRN **JCW** CDD **DRO** JOB NO. **1508-03**  
**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10' JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
3. CONSTRUCT CONCRETE VERTICAL CURB AND CUTTER (MAG STANDARD DETAIL NO. 222).
4. INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
5. INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SLOPING AND FINISH.
6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4") OVER 6" A.B.C.).
7. INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4") OVER 6" A.B.C. IN PARKING AREA).
8. PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICES MANUAL 12-1.2.
9. INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-4 WITH TRASH RACK PER 502-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 8" CLEAR BETWEEN PIPES.
11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
12. BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
13. CONSTRUCT CONCRETE SPLASH PAD TYPE A WITH AS INDICATED (SEE DETAIL ON SHEET C-2).
14. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.5 JOINTS.
15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 336).
16. INSTALL NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH RESTRICTED OR APPROVED EQUAL.
17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK ABOVE PARKING STALLS, DROP-OFF AREAS, ETC. TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURBS TO REMAIN. PROTECT FROM DAMAGE.
19. RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.5 JOINTS.
21. CONSTRUCT RECKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
22. INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
24. INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2" ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN XING. MINIMUM ON-SITE PAVEMENT SECTION SHALL BE 3" A.C. OVER 6" A.B.C. OR MATCH EXISTING, WHICH EVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR STONE RIP-RAP (200#-6").
28. INSTALL SPEED BUMPS (SEE DETAIL SHEET C-2).
29. CONSTRUCT 6" WIDE CONCRETE VALLEY CUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMP AND WALL DETAILS.
32. CONSTRUCT 6" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
34. INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).



35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
36. BLACKOUT EXISTING PAINT STRIPING.
37. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
38. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
39. POT-HOLE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
40. INSTALL STABILIZED DECOMPOSED GRANITE PATH COLOR PER ARCHITECT.
41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
42. INSTALL 5" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE NORTH SIDE OF GATE.
43. INSTALL 2" THICK 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
44. INSTALL NEW 5" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2221-1, TYPE A).
46. REMOVE EXISTING CONCRETE VERTICAL CURB & CUTTER.

**GRADING AND DRAINAGE PLANS**  
**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
CACTUS SHADOWS HIGH SCHOOL  
SPORTS COMPLEX RENOVATIONS AND ADDITIONS

DRAWING STATUS	SHEET	OF	
	22	26	C-22
DATE	9/2/16		

24-DR-2016  
6/6/2016

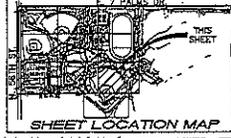
PLAN CHECK # 704-16-3 CASE # 37-SA-2016



- 34. INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).
- 35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
- 36. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
- 37. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
- 38. POT-HOLE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.

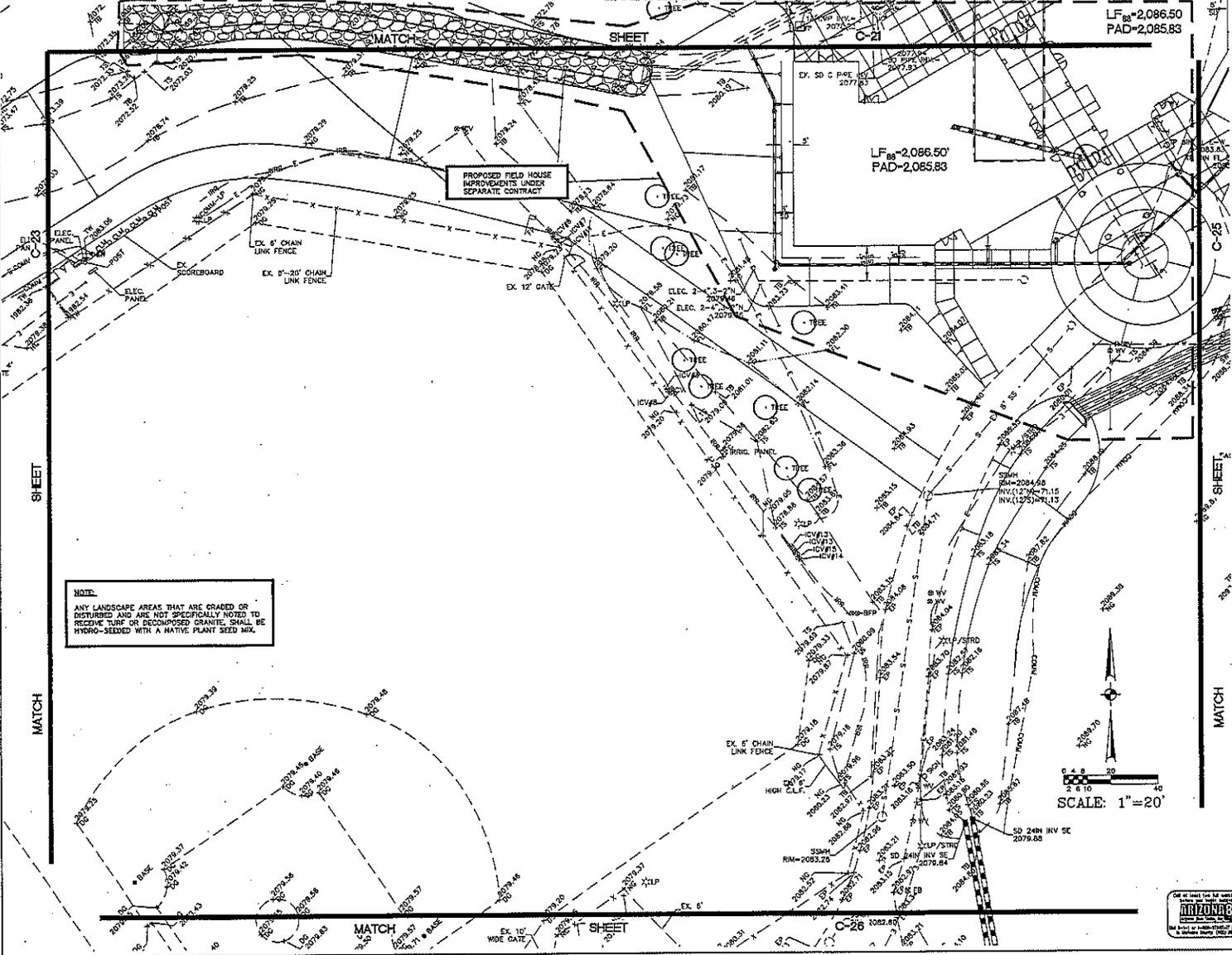
- 39. BLACKOUT EXISTING PAINT STRIPING.
- 40. INSTALL STABILIZED DECOMPOSED GRANITE PATH, COLOR PER ARCHITECT.
- 41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
- 42. INSTALL 5" CHAIN LINK GATE, RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
- 43. INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE, (COLOR PER ARCHITECT).

- 44. INSTALL NEW 5" WIDE WROUGHT IRON GATE, MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
- 45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).
- 46. REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
- 47. FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL GRADE AREA TO A SMOOTH, NEAT CONDITION.
- 48. STRAIGHT GRADE AT A 6:1 SLOPE FROM THE GRADE INDICATED AT THE WALL OR SIDEWALK TO MATCH EXISTING GRADE.



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 PHOENIX, ARIZONA 85044 (480)482-2444

DRAWN BY: **DRO** / **JCW** / **EXD** / **DRO** JOB NO. **1508-03**



**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE, SHALL BE HYDRIC-SEEDED WITH A NATIVE PLANT SEED MIX.

**GRADING AND DRAINAGE CONSTRUCTION NOTES**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
3. CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
4. INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
5. INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SCORING AND FINISH.
6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4) OVER 6" A.B.C.).
7. INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4) OVER 6" A.B.C. IN PARKING AREA).
8. PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICE MANUAL 12-1.2.
9. INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 214 AND 2151.
10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 201-4 WITH TRASH RACK PER 202-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 8" CLEAR BETWEEN PIPES.
11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 201-1 U TYPE).
12. BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
13. CONSTRUCT CONCRETE SPLASH PAD TYPE A, WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
14. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 205).
16. CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH HESSE-TIE OR APPROVED EQUAL.
17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURB TO REMAIN, PROTECT FROM DAMAGE.
19. RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
21. CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
22. INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE, RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 4" HIGH CHAIN LINK FENCE, CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
24. INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN KIND, MINIMUM ON-SITE PAVEMENT SECTION SHALL BE 3" A.C. OVER 6" A.B.C. OR MATCH EXISTING, WHICH EVER IS GREATER. PAYMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>50</sub>=8").
28. INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
29. CONSTRUCT 6" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
32. CONSTRUCT 6" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).

SCALE: 1"=20'

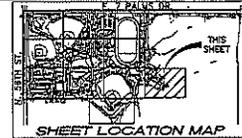
**GRADING AND DRAINAGE PLANS**

<b>CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90</b>			
CACTUS SHADOWS HIGH SCHOOL			
SPORTS COMPLEX RENOVATIONS AND ADDITIONS			
DRAWING STATUS	SHEET	OF	
	24	26	C-24
DATE	9/2/18		



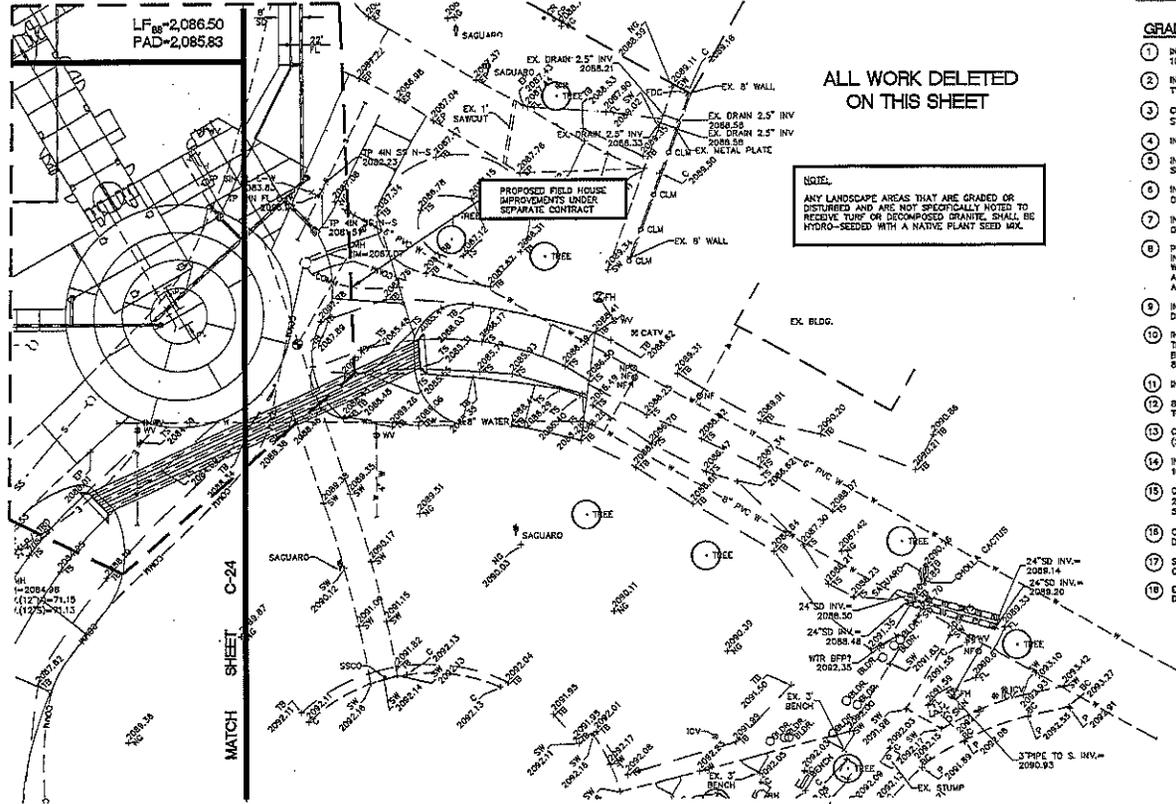
24-DR-2016  
 6/6/2016

PLAN CHECK # 704-16-3 CASE # 07-5A-2016



**HESS - ROUNTREE, INC.**  
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 PHOENIX, ARIZONA 85044 (480)468-0244

DES: DRO DRN: JCW CID: DRO JOB NO: 1508-03



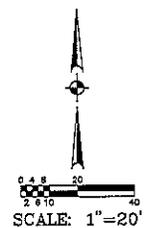
**ALL WORK DELETED ON THIS SHEET**

**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE, SHALL BE HYDRO-SEEDED WITH A NATIVE PLANT SEED MIX.

**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.0 JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222, TYPE A).
3. CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
4. INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
5. INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SODDING AND FINISH.
6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4) OVER 8" A.B.C.).
7. INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4) OVER 8" A.B.C. IN PARKING AREA).
8. PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP PARKING AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICE MANUAL 12-112.
9. INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 801-4 WITH TRASH RACK PER 502-2). HEADWALL FOR MULTIPLE PIPES SHALL BE STAMENORIAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 6" CLEAR BETWEEN PIPES.
11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
12. BACKFILL PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
13. CONSTRUCT CONCRETE SPLASH PAD TYPE A. WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
14. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.0 JOINTS.
15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 523).
16. CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERT-A-TEE OR APPROVED EQUAL.
17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURBS TO REMAIN. PROTECT FROM DAMAGE.

19. RELOCATE EXISTING SIGN TO 2' BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.0 JOINTS.
21. CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 224, TYPE A).
22. INSTALL NEW 8" HIGH BY 24" WIDE DOUBLE ENDING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 4" HIGH CHAIN LINK FENCE. CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION.
24. INSTALL 4" HIGH BY 10" WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2' ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN KING WINGWALK DRIVE PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.C. OR MATCH EXISTING, WHICH EVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR SIDING RP-RAP (D<sub>50</sub>#6).
28. INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
29. CONSTRUCT 8" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
32. CONSTRUCT 8" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
34. INSTALL PRECAST SAFETY CURBS (MAG STANDARD DETAIL 150, TYPE B-3).
35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
36. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
37. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
38. POT-HOLE UTILITIES PRIOR TO CONSTRUCTION, NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
39. BLACKOUT EXISTING PAINT STRIPING.
40. INSTALL STABILIZED DECOMPOSED GRANITE PATH. COLOR PER ARCHITECT.
41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
42. INSTALL 5" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
43. INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE. (COLOR PER ARCHITECT).
44. INSTALL NEW 5" WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2201-1, TYPE A).
46. REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
47. FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE ROADWAY WITH CLEAN NATIVE FILL. GRADE AREA TO A SMOOTH, HEAT CONDITION.
48. STRAIGHT GRADE AT A 0:1 SLOPE FROM THE GRADE INDICATED AT THE WALL OR SIDEWALK TO MATCH EXISTING GRADE.



**GRADING AND DRAINAGE PLANS**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
**SPORTS COMPLEX RENOVATIONS AND ADDITIONS**

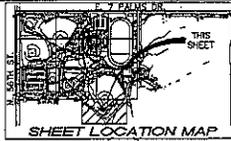
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DATE: 6/2/16



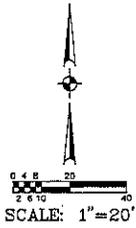
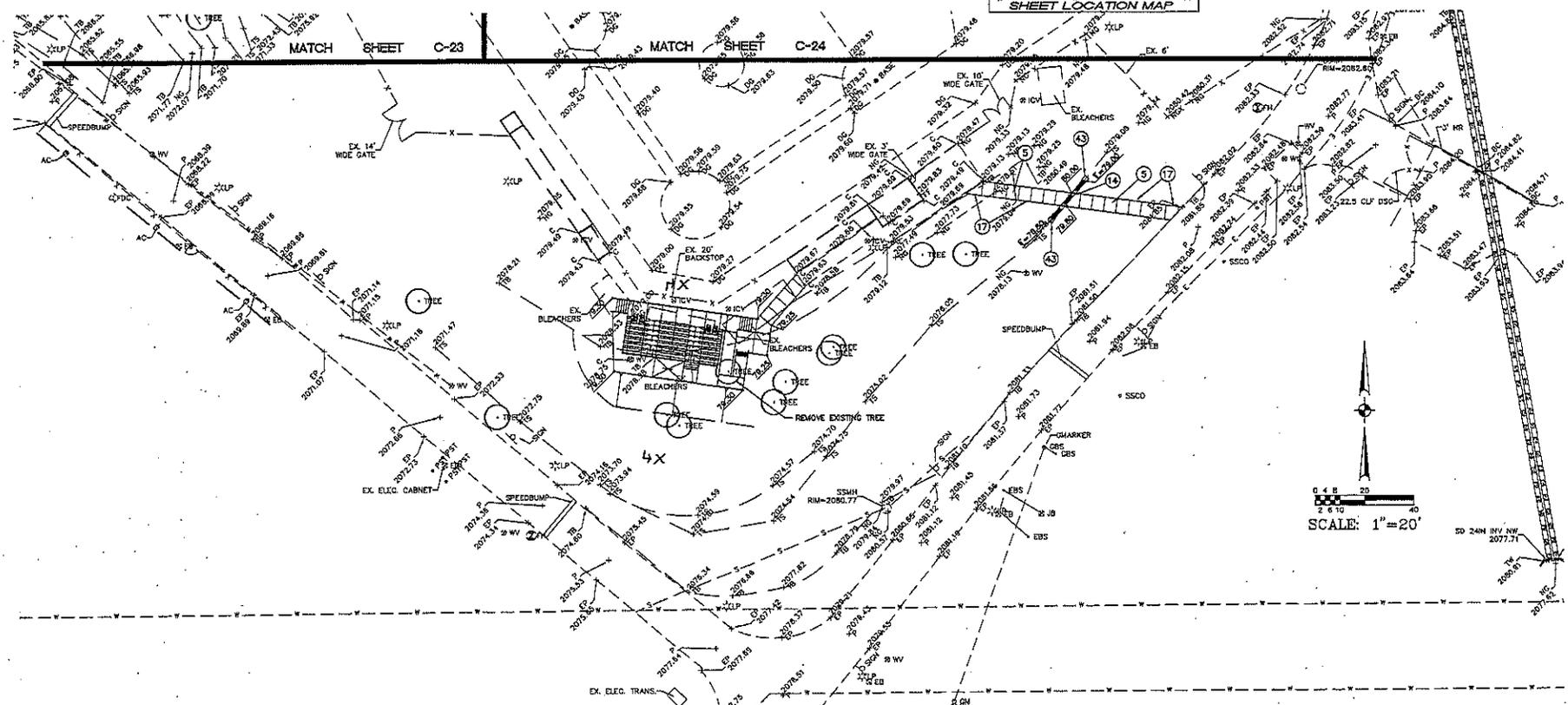
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PLAN CHECK # 704-16-3 CASE # 07-SA-2016



**HESS - ROUNTREE, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 883 SOUTH 51ST STREET, SUITE C110  
 PHOENIX, ARIZONA 85044 (480)496-0244

DES: DRO DRN: JCW CDD: DRO JOB NO. 1508-03



**GRADING AND DRAINAGE CONSTRUCTION NOTES**

1. INSTALL 24" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
2. INSTALL CONCRETE SINGLE CURB (MAG STANDARD DETAIL NO. 222' TYPE A).
3. CONSTRUCT CONCRETE VERTICAL CURB AND GUTTER (MAG STANDARD DETAIL NO. 220-1, TYPE A).
4. INSTALL CURB TERMINATION (MAG STANDARD DETAIL NO. 222).
5. INSTALL CONCRETE SIDEWALK (MAG STANDARD DETAIL NO. 230). SEE ARCHITECTURAL PLANS FOR SCORING AND FINISH.
6. INSTALL ASPHALTIC CONCRETE PAVEMENT (3" A.C. (TYPE 3/4) OVER 8" A.B.C.).
7. INSTALL ASPHALTIC CONCRETE PAVEMENT (2" A.C. (TYPE 3/4) OVER 8" A.B.C. IN PARKING AREA).
8. PAINT STRIPE PARKING LOT TO THE ALIGNMENTS INDICATED, INCLUDING THE PAINTING OF ALL HANDICAP SYMBOLS AND WALKWAYS, DIRECTIONAL ARROWS, PARKING STALLS, DROP-OFF AREAS, ETC. (TYPICAL). ALL STRIPING TO MEET DESIGN STANDARDS AND POLICE MANUAL 12-1-2.
9. INSTALL HANDICAP PARKING SIGN (VAN ACCESSIBLE) PER C.O.S. DETAIL 2124 AND 2131.
10. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-4 WITH TRASH RACK PER 502-2). HEADWALL FOR MULTIPLE PIPES SHALL BE SYMMETRICAL ABOVE THE CENTERLINE OF THE PIPE. PROVIDE 5' CLEAR BETWEEN PIPES.
11. INSTALL HEADWALL (MAG STANDARD DETAIL NO. 501-1 U TYPE).
12. BACKSTOP PIPES WITH 1/2 SCALE SLURRY FROM BOTTOM OF PIPE TO TOP OF PIPE.
13. CONSTRUCT CONCRETE SPLASH PAD TYPE A, WIDTH AS INDICATED (SEE DETAIL ON SHEET C-2).
14. INSTALL 8" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
15. CONNECT THE NEW 24" H.D.P.E. DRAINAGE PIPE TO THE EXISTING 24" C.M.P. WITH CONCRETE COLLAR (MAG STANDARD DETAIL NO. 502).
16. CONNECT NEW 8" H.D.P.E. DRAINAGE PIPE TO THE 24" H.D.P.E. DRAINAGE PIPE WITH INSERT-A-TEE OR APPROVED EQUAL.
17. STRAIGHT GRADE AT A 4:1 MAXIMUM SLOPE FROM 2" BELOW TOP OF CURB OR SIDEWALK TO MATCH EXISTING GRADE.
18. EXISTING CONCRETE SINGLE CURB TO REMAIN. PROTECT FROM DAMAGE.
19. RELOCATE EXISTING SIGN TO 2" BACK OF NEW CURB OR SIDEWALK.
20. INSTALL 12" H.D.P.E. DRAINAGE PIPE WITH SMOOTH INTERIOR AND 10.8 JOINTS.
21. CONSTRUCT THICKENED PAVEMENT EDGE (MAG STANDARD DETAIL NO. 201, TYPE A).
22. INSTALL NEW 6" HIGH BY 24" WIDE DOUBLE SWING CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON SOUTH SIDE OF NEW GATE.
23. INSTALL 4" HIGH CHAIN LINK FENCE (CHAIN FENCE SALVAGE FROM THE NORTH DRIVE MAY BE REUSED IF IN GOOD CONDITION).
24. INSTALL 4' HIGH BY 10' WIDE CHAIN LINK GATE.
25. INSTALL 1/4" GROOVES IN SIDEWALK FOR 2" ADJACENT TO ACCESSIBLE PARKING SPACES.
26. SAWCUT, REMOVE AND REPLACE 2" MINIMUM OF EXISTING PAVEMENT IN KIND, MINIMUM ON-SITE PAVEMENT SECTION SHALL BE 3" A.C. OVER 8" A.B.C. OR MATCH EXISTING, WHICHEVER IS GREATER. PAVEMENT REPLACEMENT IN THE RIGHT-OF-WAY SHALL CONFORM TO SCOTTSDALE DETAIL NO. 2200.
27. INSTALL 12" THICK ANGULAR STONE RIP-RAP (D<sub>max</sub>=8").
28. INSTALL SPEED BUMP (SEE DETAIL SHEET C-2).
29. CONSTRUCT 8" WIDE CONCRETE VALLEY GUTTER (MAG STANDARD DETAIL NO. 240).
30. CONSTRUCT CONCRETE SPLASHPAD TYPE B (SEE DETAIL ON SHEET C-2).
31. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR HANDRAILS, STAIRS, RAMPS AND WALL DETAILS.
32. CONSTRUCT 8" WIDE CURB OPENING.
33. INSTALL AREA DRAIN (SEE DETAIL ON SHEET C-2).
34. INSTALL PRECAST SAFETY CURB (MAG STANDARD DETAIL 150, TYPE B-3).
35. CONSTRUCT TENNIS COURTS (SEE SHEET C-3 FOR DETAILS).
36. INSTALL CATCH BASIN (MAG STANDARD DETAIL 537).
37. REMOVE AND REPLACE FENCE AS NEEDED FOR NEW PIPE INSTALLATION.
38. POST-HOLE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF UTILITIES CONFLICT WITH NEW WORK.
39. BLACKTOP EXISTING PAINT STRIPING.
40. INSTALL STABILIZED DECOMPOSED GRANITE PATH, COLOR PER ARCHITECT.
41. INSTALL CONCRETE SPLASHPAD. (SEE DETAIL SHEET C-2).
42. INSTALL 5" CHAIN LINK GATE. RECONNECT TO EXISTING FENCE ON NORTH SIDE OF GATE.
43. INSTALL 2" THICK, 1/4" MINUS DECOMPOSED GRANITE, (COLOR PER ARCHITECT).
44. INSTALL NEW 5' WIDE WROUGHT IRON GATE. MATCH EXISTING WROUGHT IRON FENCE STYLE AND COLOR.
45. INSTALL SIDEWALK RAMP (SCOTTSDALE DETAIL NO. 2231-1, TYPE A).
46. REMOVE EXISTING CONCRETE VERTICAL CURB & GUTTER.
47. FILL IN THE EXCAVATION CREATED BY THE REMOVAL OF THE

**NOTE:**  
 ANY LANDSCAPE AREAS THAT ARE GRADED OR DISTURBED AND ARE NOT SPECIFICALLY NOTED TO RECEIVE TURF OR DECOMPOSED GRANITE, SHALL BE HYDRO-SEEDED WITH A NATIVE PLANT SEED MIX.

**GRADING AND DRAINAGE PLANS**

**CAVE CREEK UNIFIED SCHOOL DISTRICT NO. 90**  
**CACTUS SHADOWS HIGH SCHOOL**  
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DRAWING STATUS	SHEET	OF	
	26	26	C-26

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