

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: July 21, 2016 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Preserve Ranch 6-PP-2015

Request to consider the following:

1. Request approval of a 17-lot residential subdivision, with amended development standards for reduced setbacks, and including: a building construction envelope plan; a conceptual landscape plan; a preliminary grading plan; a scenic corridor, boulders and landform map; a topography and slope analysis plan; a natural area open space plan; and a trails and pedestrian/vehicular circulation plan; all on a 30-acre site.

Related Policies, References:

Ordinance 1611, 11-TA-200#3, 11-GP-1997, 5-GP-1999, and 3-WM-2015

2001 City of Scottsdale General Plan

2004 Trails Master Plan

2004 Dynamite Foothills Character Area Plan and Implementation Program

2004 Environmentally Sensitive Lands Ordinance

2008 Transportation Master Plan

OWNER

Craig and Chase Emmerson
Preserve Ranch, LLC.
480-368-5206

APPLICANT CONTACT

Alex Stedman
LVA Urban Design Studio
480-994-0994

LOCATION

Northeast corner of N. 128th Street and the E. Pinnacle Vista Drive alignment.

BACKGROUND

Zoning

This site is zoned Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL) District, which allows single-family residential uses and has an Environmentally Sensitive Lands Overlay zoning designation.

General Plan

The City of Scottsdale General Plan 2001 Conceptual Land Use Map designates the property as Rural Neighborhoods. Within the Rural Neighborhoods category, land uses typically include areas of relatively large lot single-family neighborhoods or subdivisions. Densities in Rural Neighborhoods are usually one dwelling per acre (or more) of land.

The proposed preliminary plat provides less than one dwelling unit per acre; more specifically, it provides approximately 0.58 dwelling units per acre. Therefore, with this proposal being less than one dwelling unit per acre, which implements the properties' existing General Plan land use designation of Rural Neighborhoods, this application does not require a change in General Plan land use or a zoning district map amendment.

Character Area Plan

This property is located within the Dynamite Foothills Character Area boundary. The Dynamite Foothills Character Area is intended to preserve the natural and visual qualities of the Sonoran Desert by using design qualities, building materials, and construction techniques that are sensitive to the desert environment. Projects located within the Dynamite Foothills Character Area should preserve natural open space areas, scenic and vista corridors, and support trail links and connections.

The site is also located adjacent to the McDowell Sonoran Preserve, across N. 128th Street, to the west.

Context

The property is located on the northeast corner of N. 128th Street and the E. Pinnacle Vista Drive alignment.

Adjacent Uses and Zoning

- North Single-family Residential, Environmentally Sensitive Lands, zoned R1-70 ESL; vacant lands and single-family homes.
- South Single-family Residential, Environmentally Sensitive Lands, zoned R1-130/ESL; vacant land.
- East Single-family Residential, Environmentally Sensitive Lands, zoned R1-170/ESL; vacant land.
- West Single-family Residential, Environmentally Sensitive Lands, zoned R1-130/ESL; The McDowell Sonoran Preserve.

Key Items for Consideration

- Site is located within the Dynamite Foothills Character Area.
- Three desert washes, with over 50 cfs, are located on this proposed subdivision site.
- Request is in conjunction with a wash modification case number 3-WM-2015.
- Owner is invoking an interpretation for the intensity of development on ESL lands.

APPLICANTS PROPOSAL

Goal/Purpose of Request

The applicant's request is for the approval of a 17-lot residential subdivision, with amended development standards, on 30 acres. The proposal for amended development standards is in conjunction with the dedication of additional Natural Area Open Space (NAOS) in order to justify the request for amended development standards. Site and landscape improvements within the subdivision include private streets, a gated entry drive, and an entry-wall sign.

This request is being made in conjunction with a wash modification request, case 3-WM-2015.

Development Information

- | | |
|-----------------------------|--|
| • Existing Use: | Vacant Undeveloped Land |
| • Proposed Use: | 17-lot Subdivision Community |
| • Parcel Size: | 30.02 gross acres (28.87 net acres) |
| • Building Height Allowed: | 24 feet |
| • Building Height Proposed: | 24 feet |
| • NAOS Required: | 9.34 acres |
| • NAOS Provided: | 10.1 acres |
| • Density Allowed: | 0.55 dwelling units per acre |
| • Density Allowed (case): | 0.58 dwelling units per acre (with interpretation) |
| • Density Proposed: | 0.58 dwelling units per acre (with interpretation) |
| • Number of Lots Allowed: | 16 lots |
| • Number of Lots Proposed: | 17 lots (with interpretation) |

IMPACT ANALYSIS

Land Use

The owner is proposing a 17-lot subdivision with amended development standards, which is a density that exceeds the base density allowed by the ESL Ordinance, Section 6.1081.A. The ordinance limits the base allowable density to be 0.55 dwelling units per acre, for the Single-family Residential, Environmentally Sensitive Lands (R1-70 zoning) district. The applicant is invoking the privilege established in a zoning interpretation that allows the permitted intensity of development on ESL lands to be "rounded up." Per the R1-70/ESL standards, the property is allowed to develop 16.51 dwelling units on the 30.02 gross acres. The interpretation, approved in October of 1993, states that on property where the calculated number of dwelling units is less than 20, the allowable

number of dwelling units may be rounded up to the next whole integer number, if the fractional calculation is .50 or more. This interpretation allows the density to be increased from 0.55 dwelling units per acre (16 lots), to 0.58 dwelling units per acre (or 17 lots), because the calculated number of units is 16.51 dwelling units per acre.

Homes within the proposed subdivision are limited to 24 feet in height.

Traffic

The owner will be dedicating 55 feet of right-of-way along the N. 128th Street frontage, and 20 feet of right-of-way along the E. Oberlin Way frontage. All proposed street dedications meet the Transportation Master Plan and the Design Standards and Policies Manual standards for Street Geometrics.

Water/Sewer

The owner of the subdivision will be responsible for a proportionate financial obligation for the construction of the water pump station and sewer lift station that were approved through the Sereno Canyon subdivision plat, and shall participate in any applicable cost sharing agreements.

Public Safety

Design of the internal streets will conform to ESL local residential 40-foot-wide tract. Additionally, a minimum 40-foot-wide Emergency and Service Access Vehicle Easement will be provided over all internal streets. There will also be a 24-foot-wide Emergency Vehicle Access Easement connecting the internal private streets to the E. Oberlin Way right-of-way.

School District Comments/Review

Cave Creek Unified School District has been notified of this application.

Open Space

The applicant is requesting a 25% amendment to the R1-70 development standards. In turn, the applicant will provide approximately 0.83 acres of additional Natural Area Open Space (NAOS). This will increase the amount of NAOS being dedicated from 9.34 acres to 10.1 acres. Although only 10.0 acres, of the 28.87-acre-net site, are being dedicated as NAOS, there are a total of 15.47 acres of open space, exclusive of the building development envelopes. The majority of the NAOS is being placed within the environmentally sensitive areas, such as desert washes.

Policy Implications

This proposed preliminary plat is generally consistent in density, street alignment, and open space as per Zoning Ordinance, Zoning Interpretations, and the Design Standards and Policies Manual.

Community Involvement

The applicant distributed notification by mail to all property owners within 750 feet of the proposed subdivision site. City staff received one inquiry regarding this case. The resident was inquiring about allowable building heights. Staff identified the 24-foot ESL height limit.

Community Impact

The approval of the proposed preliminary plat will not negatively impact the surrounding properties. The request will not affect the surrounding areas existing utilities or street system.

OPTIONS & STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the Preserve Ranch preliminary plat request as per the attached stipulations, finding that the provisions of the General Plan Rural Neighborhoods policies and goals, and the Development Review Criteria, have been met.

RESPONSIBLE DEPARTMENT

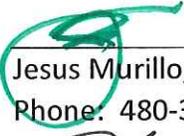
Planning and Development Services

Current Planning Services

STAFF CONTACT

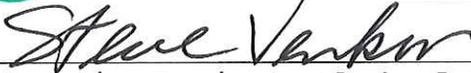
Jesus Murillo Senior Planner 480-312-7849 E-mail: jmurillo@scottsdaleAZ.gov

APPROVED BY


Jesus Murillo, Report Author

Phone: 480-312-7849 E-mail: jmurillo@scottsdaleaz.gov

7-13-16
Date


Steve Venker, Development Review Board Coordinator

Phone: 480-312-2831 E-mail: svenker@ScottsdaleAZ.gov

7/13/16
Date


Randy Grant, Director

Planning and Development Services

Phone: 480-312-2664 Email: rgrant@scottsdaleaz.gov

7/14/16
Date

ATTACHMENTS

1. Stipulations
Exhibit A to Attachment 1 Subdivision Plat
Exhibit B to Attachment 1 NAOS Exhibit
2. Applicant's Narrative
3. Context Aerial
- 3A. Aerial Close-Up
4. General Plan Map
5. Zoning Map
6. Construction Envelope Exhibit
7. Landscape Plan
8. Walls and Entry Monument
9. Citizen Involvement
10. City Notification Map

**Stipulations for Case:
Preserve Ranch
Case: 6-PP-2015**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
 - a. The Preliminary Plat submitted by Kimley-Horne and Associates, with a city staff date of 5-24-2016.
 - b. The Amended Development Standards submitted by LVA Urban Design Studio, with a city staff date of 11-6-2015.
 - c. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by LVA Urban Design Studio, with a city staff date of 5-24-2016.
 - d. The construction envelope exhibit submitted by LVA Urban Design Studio, with a city staff date of 5-24-2016.
 - e. The conceptual walls design submitted by LVA Urban Design Studio, dated 5-24-2016 by city staff.
 - f. The conceptual landscape plan submitted by LVA Urban Design Studio, with a city staff date of 5-24-2016.
 - g. Case Drainage Report for Preserve Ranch; submitted by Kimley-Horne and Associates, accepted on 6-14-2016.
 - h. Water System Basis of Design Report for Preserve Ranch; submitted by Kimley-Horne and Associates, accepted on 3-31-2016.
 - i. Wastewater System Basis of Design Report for Preserve Ranch; submitted by Kimley-Horne and Associates, accepted on 3-31-2016

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable General Plan amendment and zoning for the subject site were: Ordinance 1611, 11-TA-200#3, 11-GP-1997, 5-GP-1999.
-

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN

Ordinance

- B. The final plat shall not provide more than 30-percent revegetated NAOS of the required amount of dedicated NAOS.

DRB Stipulations

2. With the final plat, the owner shall dedicate a minimum of ten-point-one acres (10.1 ac.) of Natural Area Open Space (NAOS) area for this project.

STREETS AND RELATED DEDICATIONS:

Ordinance

- C. The owner shall dedicate to the city on the final plat the following right-of-way:

Street Name	Street Type	Dedications	Notes
N. 128 th Street	Minor Collector Rural/ESL with Trails	55-foot total half street.	1. and 2.
E. Oberlin Way	Local Residential Street, ESL/Rural Character	20-foot total half street	
All internal streets	Local Residential Street, ESL/Rural Character	40 feet tract (private streets)	3.

1. 128th Street shall be designed and constructed to a modified Minor Collector Street; the cross section shall match the planned improvement to the north as part of the Reata Ranch street improvements. The cross section has one 11-foot-wide lane each direction, 6-foot-wide compacted shoulder, and a 10-foot-wide concrete path along the east side, separated from the back of curb. The improvements shall be located east of the monument line. Scottsdale Revised Code Sec. 47-21 and 47-22.
2. Developer will need to provide paved access to the site entrance. The minimum width of the pavement surface required is 22 feet, with thickened Maricopa edge (no curb and gutter required) for the offsite portion. Scottsdale Revised Code Sec. 48-7.
3. Internal streets shall be designed and constructed to conform to the City Local Residential Street, ESL/Rural Character, DSPM Fig. 5-3.19. Scottsdale Revised Code Sec. 47-21 and 47-22; DSPM Sec. 5-3.100. Private street tracts shall be dedicated to provide emergency and service vehicle access.

DRB Stipulations

3. The owner shall dedicate to the city on the final plat the following right-of-way:

Street Name	Street Type	Dedications	Notes
N. 128 th Street	Minor Collector Rural/ESL with Trails	55-foot half street right-of-way.	a. and b.
E. Oberlin Way	Local Residential Street, ESL/Rural Character	20-foot half street right-of-way	
All Internal streets	Local Residential Street, ESL/Rural Character	40-foot tract (private streets)	c.

- a. 128th Street shall be designed and constructed to a modified Minor Collector Street; the cross section shall match the planned improvement to the north as part of the Reata Ranch street improvements. The cross section has one 11-foot-wide lane each direction, 6-foot-wide compacted shoulder, and a 10-foot-wide concrete path along the east side, separated from the back of curb. The improvements shall be located east of the monument line. Scottsdale Revised Code Sec. 47-21 and 47-22.
- b. Developer will need to provide paved access to the site entrance. The minimum width of pavement surface required is 22 feet, with no curb and gutter for the offsite portion. Scottsdale Revised Code Sec. 48-7.
- c. Internal streets shall be designed and constructed to conform to the City Local Residential Street, ESL/Rural Character, DSPM Fig. 5-3.19. Scottsdale Revised Code Sec. 47-21 and 47-22; DSPM Sec. 5-3.100.

EASEMENTS DEDICATIONS:

Ordinance

- D. The owner shall dedicate to the City on the final plat a sight distance easement over the sight distance triangle(s) in conformance Section 5.3 of the DSPM.

DRB Stipulations

- 4. Each Vista Corridor, a watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event, shall be dedicated by the owner to the City as a continuous Vista Corridor easement on the final plat. The minimum width of the easement shall be one hundred (100) feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.

IMPROVEMENT PLANS REQUIREMENTS

DRB Stipulations

5. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform with Section 5.3 of the DSPM.

NATURAL AREA OPEN SPACE (NAOS):

DRB Stipulations

6. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

LANDSCAPE DESIGN:

DRB Stipulations

7. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
8. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

EXTERIOR LIGHTING:

Ordinance

- E. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting)
- F. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.
- G. Any exterior luminaire with a total initial lumen output of greater than 3050 shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

9. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting, parking lot canopy lighting and landscape lighting.

10. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.0 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 4.4 foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.

CASE NO. 6-PP-2015

- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.1 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 11. Submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager, or designee. The final drainage report drainage must contain the watershed delineation and subsequent hydrologic analysis from the 1st cycle of the case drainage report. Final plat may not be scheduled for City Council review until the Stormwater Department has accepted and approved the report.
- 12. Demonstrate consistency with the accepted drainage plan and report.
 - a. For any design that modifies the accepted drainage report, the owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Manager, or designee. The final drainage report must address staff's concerns with hydraulic analyses for 'split flow analysis', 'wash modification', 'onsite stormwater storage', 'no adverse impact', 'floodplain delineations'
 - b. An addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report. The Engineer must submit a copy of the redline Case Drainage Report, both from the 1st cycle and 2nd cycle, with the final plat and improvement plans submittal.

STREETS AND RELATED IMPROVEMENTS:

DRB Stipulations

- 13. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

Street Name	Street Type	Improvements	Notes
N. 128 th Street	Minor Collector Rural/ESL with Trails - modified	Full street construction	a. and b.
E. Oberlin Way	Local Residential Street, ESL/Rural Character	None	
All Internal streets	Local Residential Street, ESL/Rural Character	Full-street construction	c.

- a. 128th Street shall be designed and constructed to a modified Minor Collector Street; the cross section shall match the planned improvement to the north as part of the Reata Ranch street improvements. The cross section has one 11-foot-wide lane each

CASE NO. 6-PP-2015

- a. 128th Street shall be designed and constructed to a modified Minor Collector Street; the cross section shall match the planned improvement to the north as part of the Reata Ranch street improvements. The cross section has one 11-foot-wide lane each direction, 6-foot-wide compacted shoulder, and a 10-foot-wide concrete path along the east side, separated from the back of curb. The improvements shall be located east of the monument line. Scottsdale Revised Code Sec. 47-21 and 47-22.
- b. Developer will need to provide paved access to the site entrance. The minimum width of pavement surface required is 22 feet, with no curb and gutter for the offsite portion. Scottsdale Revised Code Sec. 48-7.
- c. Internal streets shall be designed and constructed to conform to the City Local Residential Street, ESL/Rural Character, DSPM Fig. 5-3.19. One-way street sections must provide a minimum 20 foot drivable pavement width. Scottsdale Revised Code Sec. 47-21 and 47-22; DSPM Sec. 5-3.100.

BRIDGES/WASH CROSSINGS AND HEAD WALLS:

DRB Stipulations

14. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

WATER AND WASTEWATER STIPULATIONS

DRB Stipulations

15. Before the improvement plan submittal to the Plan Review and Permit Services Division, the owner shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies an approved master water or wastewater report requires from the owner a site-specific addendum to the respective master report, subject to review and approval by City staff.

LEGEND

- PROPERTY LINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- W --- PROPOSED WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CENTERLINE
- BUILDING SETBACK
- NADS LIMITS
- EROSION HAZARD SETBACK
- PROPOSED SURVEY MONUMENT
- ⊙ PROPOSED FIRE HYDRANT
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT-OF-WAY
- B/C BACK OF CURB
- TPY TYPICAL
- HE HIGHWAY EASEMENT
- AE ADDRESS EASEMENT
- DE DRAINAGE EASEMENT
- SE SEWER EASEMENT
- RYS REAR YARD SETBACK
- SSS TYPICAL
- FSS TYPICAL
- OFS TYPICAL
- 80.2 P PAYMENT SPOT ELEVATION AT FINISHED GRADE
- FL FLOW LINE
- EG EXISTING GRADE
- 0.95% SLOPE AT FINISHED GRADE
- 10 PROPOSED LOT NUMBERS

- 100-YEAR INUNDATION LIMITS
- 100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION
- /// FILL AREA GREATER THAN 6'
- /// CUT AREA GREATER THAN 6'
- /// NADS EXTENTS

- APPROX. LIMITS OF 100 YEAR INUNDATION
- PAD CONSTRUCTION ENVELOPE

NOTES

1. **ES** & **ER** INDICATE ANTICIPATED CUT AND FILL HEIGHTS AT THE LOCATION FROM PROPOSED PAD ELEVATION TO EXISTING GROUND.

LOT QUANTITIES

LOT NO.	AREA (SQ. FT.)
1	71569
2	80231
3	53438
4	82093
5	54127
6	65873
7	59508
8	52723
9	55901
10	88162
11	106707
12	72520
13	55445
14	33117
15	52879
16	52544
17	32500

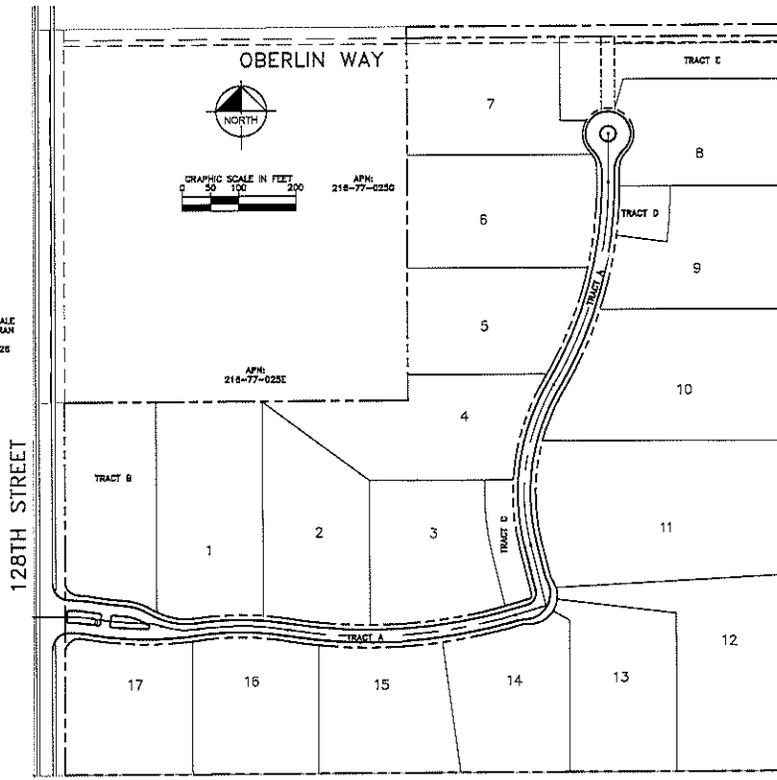
SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	PRELIMINARY PLAT
3	PRELIMINARY GRADING PLAN
4	TYPICAL & GRADING SECTIONS

TRACT TABLE

NAME	OWNERSHIP/MAINT.	USES WITHIN TRACT	AREA (ACRES)
TRACT A	PRIVATE/HOA	PRIVATE STREET	1.83
TRACT B	PRIVATE/HOA	NADS/DRAINAGE	1.30
TRACT C	PRIVATE/HOA	NADS/DRAINAGE	0.25
TRACT D	PRIVATE/HOA	NADS/DRAINAGE	0.19
TRACT E	PRIVATE/HOA	EMERGENCY ACCESS/NADS/DRAINAGE	0.83

PRELIMINARY PLAT FOR PRESERVE RANCH
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



PROJECT MAP

LEGAL DESCRIPTION

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

AND:

THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

NADS DEDICATION

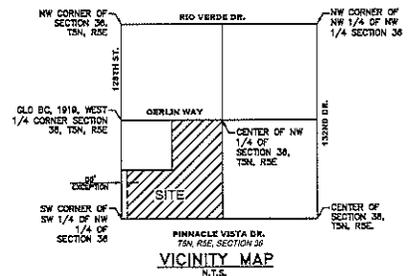
A MAJORITY OF THE AREAS OUTSIDE OF BUILDING ENVELOPES AND TRACTS WILL BE DEDICATED ON THE FINAL PLAT AS NATURAL OPEN SPACE (NADS) / DRAINAGE EASEMENTS.

REQUIRED NADS: 9.34± AC. (31.1%)
PROPOSED NADS: 10.17± AC. (33.8%)
PROPOSED TOTAL OPEN SPACE: 15.47± AC. (51.3%)

PER LOT NADS PROVIDED ON FINAL PLAT AND FINAL NADS EXHIBIT, PER LOT NADS FOR REFERENCE ONLY. NADS REQUIRED IS FOR WHOLE PROJECT NOT PER LOT BASIS.

FIRE DEPARTMENT NOTES

- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'8"
- KEY SWITCH/FIRE-EXTINGUISHER SENSOR REQUIRED
- HYDRANT SPACING PER ISAFPM 8-1.502.
- FIRE LANE SURFACE WILL SUPPORT 55,000 LBS. (GVW)



VICINITY MAP

ENGINEER

KIMLEY-HORN & ASSOCIATES
7740 N. 16TH STREET, SUITE 300
PHOENIX, ARIZONA 85020
TELEPHONE: (602) 544-3500
CONTACT: JASON BURGL, P.E.

SURVEYOR

RE BEAM, LAND SURVEYORS
2340 W. PARKSIDE LANE, SUITE 11-100
PHOENIX, ARIZONA 85027
TELEPHONE: (602) 445-3003
CONTACT: RICHARD D. TABOR

OWNER/DEVELOPER

PRESERVE RANCH, L.L.C. & C/O, INC.
14400 N. 78TH PLACE
SCOTTSDALE, AZ 85260
TELEPHONE: 480-389-3205
CONTACT: CHASE EMMERSON

BENCHMARK

RELO BC 1916, NEST 1/4 CORNER SECTION 36, CITY OF SCOTTSDALE
GPS POINT 8353, NAVD 88, ELEV. 2591.065'

BASIS OF BEARING

NORTH 00 DEGREES BY MEASURES 31 SECONDS EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 36, T5N, R5E, CADSR184M.

UTILITIES

WATER CITY OF SCOTTSDALE
SEWER CITY OF SCOTTSDALE (SEP10)
ELECTRIC ARIZONA PUBLIC SERVICE CO
TELEPHONE
CABLE T.V.
GAS

ZONING

CURRENT: R1-79 ESL.

SITE DATA

GROSS AREA 30.02 ACRES
NET AREA 28.87 ACRES
TOTAL NUMBER OF LOTS 17
TYPICAL LOT SIZE CUSTOM
MINIMUM LOT AREA 32,000 S.F.
AVERAGE LOT AREA 83,227 S.F.
DENSITY 0.59 DU/AC

SETBACK TABLE

FRONT 45 FT
REAR 45 FT
SIDE 22.5 FT

FLOOD INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
040037	1335	L	10/18/2013	"0"	N/A

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVERSED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

Kimley»Horn

PRESERVE RANCH
PRELIMINARY PLAT
COVER SHEET
SCOTTSDALE, ARIZONA

SCALE: 1"=150'
SCALE 10% HORIZ.
DESIGNED BY: JKH
CHECKED BY: JKH
DATE: MAY 2016

PROJECT NO. 181918000
DRAWING NAME 1800PP-CV01W
01 of 04

1.2" REPAIR WITH CAP
28404 FOUND

LINE	LENGTH	BEARING
L1	58.85	N89°58'20.00"W
L2	58.13	S73°28'48.38"W
L3	110.72	S13°28'29.51"E
L4	66.25	S07°00.00"E

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	285.00'	44.83'	N82°12'05"W	44.38'	9°32'29"	22.37'
C2	582.00'	90.05'	S54°47'18"E	88.98'	8°42'55"	45.11'
C3	102.00'	31.74'	N82°03'07"W	31.81'	18°11'18"	18.01'
C4	140.00'	68.80'	S54°33'06"E	65.97'	27°15'18"	33.94'
C5	520.00'	156.32'	N89°28'05"W	156.78'	17°32'15"	80.29'
C6	900.00'	403.98'	N88°25'10"E	402.54'	25°30'43"	208.50'
C7	380.00'	294.98'	S81°7'43"W	287.61'	44°28'24"	185.38'
C8	700.00'	373.02'	N18°18'57"E	388.82'	30°31'35"	191.05'

APN: 216-77-025G

APN: 216-77-025E

CITY OF SCOTTSDALE
MCDOWELL SONORAN
PRESERVE
APN: 216-77-026

NONSTANDARD SPACING PER
OSAPM 8-1-802

6.0 BRASS CAP FOUND
WEST 1/4 CORNER SECTION 34

APN: 216-77-026

1268.23'

S89°51'30"W



GRAPHIC SCALE IN FEET
0 30 60 120

APN: 216-77-024B

APN: 216-77-023A

APN: 216-77-023C

Kimley»Horn

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Phoenix, Arizona 85020 (602) 944-8800

PRESERVE RANCH
PRELIMINARY PLAT
SCOTTSDALE, ARIZONA



PROJECT NO.
191918000
DRAWING NAME
18000PP.DWG

KIMLEY-HORN AND ASSOCIATES, INC. 1200 N. CENTRAL EXPRESSWAY, SUITE 200, PHOENIX, ARIZONA 85004
 DATE: MAY 2018
 CHECKED BY: JMB
 DRAWN BY: ZAR
 ACCESS BY: ZAR
 SCALE: 1/4"=1'-0"
 DATE: MAY 2018



LEGEND

- SITE BOUNDARY
- ▨ N.A.O.S. UNDISTURBED
- ▩ N.A.O.S. REVEGETATED
- ▧ ENHANCED DESERT OPEN SPACE

SLOPE ANALYSIS

SLOPE CATEGORY	AREA (ACRES)	UPPER DESERT FACTOR	REQ. N.A.O.S. (ACRES)
0%	2%	3.6	0.89
2%	5%	9.5	2.37
5%	10%	10.3	3.62
10%	15%	3.9	1.77
15%	25%	1.2	0.54
25%	+	0.4	0.16
TOTAL			9.34

SITE DATA

GROSS SITE AREA:	30.02 ACRES
NET SITE AREA:	28.9 ACRES

N.A.O.S. REQUIREMENTS

N.A.O.S. REQ. PER SLOPE ANALYSIS:	9.34 AC.
MAX. ALLOWED REVEGETATED AREA (30%):	2.8 AC.
REQ. UNDISTURBED AREA (70%):	6.54 AC.

OPEN SPACE PROVIDED

N.A.O.S. PROVIDED - TOTAL:	10.17 ACRES
N.A.O.S. PROVIDED - REVEGETATED:	2.8 ACRES (28%)
N.A.O.S. PROVIDED - UNDISTURBED:	7.37 ACRES (72%)
ENHANCED DESERT OPEN SPACE:	5.3 ACRES
TOTAL PROJECT OPEN SPACE:	15.47 ACRES (51.5% OF GROSS SITE)

Preserve Ranch

PRELIMINARY PLAT

PROJECT NARRATIVE

283-PA-2015

__-PP-2015

1ST SUBMITTAL: 11/4/15

PREPARED FOR:

PRESERVE RANCH LLC

PREPARED BY:

LVA URBAN DESIGN STUDIO

120 S. ASH AVE.

TEMPE, AZ 85251

(480)994-0994

Introduction

Preserve Ranch is a proposed 17 lot community located in north Scottsdale just a few miles north of the McDowell Mountains. The site currently sits vacant much like the surrounding land. Preserve Ranch is an upscale neighborhood that takes advantage of north Scottsdale's continued growth allowing future residents prime access to the outdoor recreation opportunities of the surrounding region. This narrative explores the proposed thirty acre Preserve Ranch community in context to Scottsdale General Plan, Dynamite Foothills Character Area Plan, Environmentally Sensitive Land Ordinance, and Scottsdale's Design Principles.

Location

The 30 acre site is located adjacent to the McDowell Sonoran Preserve on the Northeast corner of 128th St. and Pinnacle Vista Drive (alignment) in north Scottsdale. Two parcels (216-77-025D and 216-77-025A) make up the thirty acre proposed community that are currently vacant and in their natural rural desert condition. The surrounding adjacent uses are as follows:

- North – Private Residence and vacant desert
- East – Private Residence and vacant desert
- South – Vacant desert
- West – McDowell Sonoran Preserve

Existing Conditions

Washes/drainage

Natural desert washes intersect the proposed site providing both drainage and wildlife corridors. Three prominent washes have been preserved, enhanced and emphasized in the current site plan and will continue to route runoff and storm water while offering pedestrian corridor connections to adjacent proposed preserve trails.

Boulders

The Preserve Ranch site includes a variety of natural boulder groupings throughout the property. Development envelopes have been strategically placed to allow future residents the ability to enjoy these natural features. While the majority of these boulders will be preserved they do not meet the "Boulder Feature" or "Boulder Cluster" criteria as defined in the Zoning Ordinance. In the few cases where small boulders are located within a development envelope, they will be encouraged to be preserve and/or used in the common community landscaping.

Requests

This Preliminary Plat approval request is accompanied with a request for amended development standards. Maintaining the R1-70 ESL zoning category, the applicant proposes to abide by the criteria for amended development standards as stated in Section 6.1083 of the ESL Zoning Ordinance. The proposed development plan justifies the amended development standards by protecting and preserving natural environmental features and providing 50% of the site as open space.

The amended standards will allow for setback reductions to accommodate proper placement around sensitive areas. These areas include existing wash corridors, prominent boulder formations, and native vegetation. In compliance with the amended development standards, the lot areas will be reduced in order to maximize open space throughout the community.

Development Plan

Theme

The proposed Preserve Ranch community embraces its native desert setting while providing high end large lot custom homes. Architecture will be designed to blend into the natural desert surroundings. The modest entry incorporates a corton steel gate, natural boulders and enhanced berming, low ranch style cable fencing, grade terrain, and an understated sign. The views remain the focus of this low density community with natural Sonoran landscaping and a relaxing desert atmosphere.

Site

The proposed seventeen lot site plan includes non-uniform development envelopes which take advantage of natural viewsheds from every home. Natural and enhanced washes provide critical drainage while enhancing the native desert setting.

Circulation

Single entry and exit access is provided off 128th Street through an automated iron gate. The proposed private rural local internal street meanders through the natural topography allowing residents the ability to take in views of the natural desert setting. Emergency access continues north from the cul-de-sac connecting to Oberlin Way.

Open Space

Preserve Ranch includes 10.7 acres of Natural Area Open Space, and over 50% of the site being open space. The majority of the open space can be found along the perimeter of the site which seamlessly continues through the adjacent properties. The wash corridors work to guide open

space through the development while also providing pedestrian corridors to the surrounding recreational trails.

Scottsdale General Plan

Scottsdale's unique community values and vision are incorporated in the proposed development by enhancing neighborhoods and communities, integrating the southwestern and desert character, and promoting quality of life through livability at Preserve Ranch and the surrounding area.

SCOTTSDALE'S SIX GUIDING PRINCIPLES

Preserve Ranch acknowledges and supports the six "guiding principles" of Scottsdale's General Plan listed below, and recognizes their importance in Scottsdale development.

- 1) Preserve meaningful Open Space
- 2) Enhance Neighborhoods
- 3) Seek Sustainability
- 4) Support Economic Vitality
- 5) Advance Transportation
- 6) Value Scottsdale's Unique Lifestyle and Character

Approval of Preserve Ranch Preliminary Plat, with the proposed amended development standards, will fulfill the guiding principles in the following ways:

1) Preserve Meaningful Open Space

The McDowell Sonoran Preserve, located west of the proposed development, provides dedicated outdoor open space throughout the area and is supported and continued through Preserve Ranch. Incorporating generous buffers, preservation of existing desert landscaping, and 50% open space within the site are a few ways Preserve Ranch can continue the commitment Scottsdale has made to open space.

2) Enhance Neighborhoods

Preserve Ranch follows north Scottsdale's neighborhood model of unique desert living with optimal recreational opportunities. Residents will be living amongst hiking trails while maintaining access to urban essentials. Reata Ranch is located just north of the neighborhood and will act as a complimenting community, allowing for residents to extend and build relationships.

3) Seek Sustainability

Scottsdale's commitment to sustainability is highlighted in Preserve Ranch's low density, low impact proposal which utilizes the natural desert landscaping and emphasizes low water-use vegetation.

4) Support Economic Vitality

With the development of Reata Ranch and Preserve Ranch the local economy will continue to grow and thrive. An increase in residents will strengthen the economy through increased sales, essentially sustaining local business owners in the community. The increasing demand will also allow for residents to explore new business and entrepreneurial opportunities.

5) Advance Transportation

Scottsdale's land patterns and emphasis on transportation routes will continue to be supported through this development. Preserve Ranch will utilize existing and improve infrastructure in 128th St. and will encourage pedestrian access through surrounding proposed trails.

6) Values Scottsdale's Unique Lifestyle and Character

Scottsdale's irreplaceable desert character and unmatched lifestyle is seen as a building block for the Preserve Ranch community. Residents will enjoy exceptional views, take advantage of nearby trails/outdoor space, and indulge in nearby fine dining and shopping experiences. This community encourages a lifestyle that Scottsdale residents appreciate and enjoy.

SCOTTSDALE'S TWELVE PLAN ELEMENTS

The Scottsdale General Plan includes twelve plan elements that relate to the six guiding principles. Preserve Ranch recognizes these elements, listed below, and intends to meet and exceed these guidelines.

- 1) Preserve meaningful Open Space
 - a. Open Space and Recreation Element
 - b. Preservation & Environmental Planning Element
- 2) Enhance Neighborhoods
 - a. Community Involvement Element
 - b. Housing Element
 - c. Neighborhoods Element
- 3) Seek Sustainability
 - a. Cost Development Element
 - b. Growth Areas Element
 - c. Public Services and Facilities Element
- 4) Support Economic Vitality
 - a. Economic Vitality Element
- 5) Advance Transportation
 - a. Community Mobility Element
- 6) Value Scottsdale's Unique Lifestyle and Character
 - a. Character and Design Element
 - b. Land Use Element

Approval of Preserve Ranch Preliminary Plat, with the proposed amended the development standards, will fulfill the plan elements in the following ways:

1) Preserve Meaningful Open Space

a. Open Space and Recreation Element

"Even in built-up areas, a network of parks, scenic corridors, paths, and trails will provide access to nature and urban open spaces, providing recreation opportunities, ecological benefits, and a source of beauty for residents." Scottsdale Regional Plan, Vision Statement, 2015.

Preserve Ranch is surrounded by existing trails allowing pedestrian access to natural ecological beauty. The seventeen lot community, just a few miles north of the McDowell Sonoran Preserve will utilize the recreation opportunities provided by the Tom Thumb trailhead while promoting scenic corridors that take advantage of the 360 degree views.

2) Enhance Neighborhoods

a. Community Involvement Element

"Scottsdale will be a community where constructive dialogue involving individuals, the business community, organizations, institutions, and government is the cornerstone of successful planning, decision making, and community building." Scottsdale Regional Plan, Vision Statement, 2015.

Preserve Ranch's proposed development trends with the growth in north Scottsdale. As the Phoenix Metropolitan area expresses continued interest to live, recreate, and work in this made north Scottsdale the unique community it is today.

b. Housing Element

"Our vision is to incrementally, but steadfastly expand housing opportunities for current and future citizens." Scottsdale Regional Plan, Vision Statement, 2015.

Preserve Ranch will create large lot housing opportunities providing variety in the expanding housing market.

c. Neighborhood Element

"... making sure that changes in neighborhoods harmonize with the existing character, by enhancing neighborhoods' defining features, and ensuring their longterm attractiveness and economic integrity, we can create and/or enhance the unique character and special qualities of each neighborhood." Scottsdale Regional Plan, Vision Statement, 2015.

Preserve Ranch homes will be high quality, and encouraged to blend within the native surroundings. The homes will showcase the existing views and encompass

the desert palate inside and out. The Sonoran Desert influence and lifestyle will work as a backbone to the community design.

3) Seek Sustainability

a. Cost Development Element

"... ongoing interest and participation of the people of the community in assuring that the quality, attractiveness and livability of their neighborhoods are maintained and enhanced."

The close vicinity to outdoor recreation enhances the livability and quality of life at Preserve Ranch, which is centered on the notion that residents can engage in an active lifestyle with limited to no travel. With the surrounding attractiveness and quality of life provided by the McDowell Sonoran Preserve it is assured that this lifestyle can be maintained

b. Growth Areas Element

"The many diverse neighborhoods and lifestyles that comprise the unique fabric and character of Scottsdale will be protected and enhanced, and a sense of community, shared among residents across the city, will be both obvious and admired."

Preserve Ranch will enhance the existing area and will provide uniqueness from bordering neighborhoods by incorporating restricted development envelopes will ensure that 50% of the site will be protected as open space creating a sense of community centered around the natural desert.

c. Public Services and Facilities Element

"Scottsdale will continue its efficient and high quality customer service to all Scottsdale citizens by planning, managing, and operating a safe, reliable, and affordable water supply and wastewater reclamation system."

Preserve Ranch will work with the surrounding developments to access utilities and allow for residents to tie into City resources. Similar to surrounding developments septic will be used for waste. All methods will be safe, reliable, and affordable for residents.

4) Support Economic Vitality

a. Economic Vitality Element

"The competing needs of residents and businesses will be balanced so neighborhoods are protected and enhanced while business districts are competitive and attractive."

The location of Preserve Ranch will help support the nearby business districts by providing cliental and potential staff. North Scottsdale has shown economic growth, and will continue to grow through this proposed neighborhood.

5) Advanced Transportation

a. Community Mobility Element

“Mobility choices will provide alternatives to the automobile, increase accessibility, improve air quality, enrich the community and its neighborhoods, and contribute to the community’s quality of life.”

By utilizing existing roadways and surrounding trails, which will provide alternatives to the automobile and improve air quality. The community of Preserve Ranch will provide quality of life to homeowners and tourists.

6) Value Scottsdale’s Unique Lifestyle and Character

a. Character and Design Element

“Appropriate development in Scottsdale will strike a balance that respects the natural desert settings, historically significant sites and structure and the surrounding neighborhood context, with the objectives and needs of future generations.”

Preserve Ranch is able to encompass the natural desert setting in development materials and architecture. The McDowell Sonoran Preserve serves as a focal point for the neighborhood incorporating views, access, and character. Future generations will benefit from the homes and area for years to come.

b. Land Use Element

“Scottsdale will ensure a variety of living, working, and leisure opportunities through different land uses, vital neighborhoods, thriving business and tourism communities, and open spaces for people to recreate, reflect, and enjoy.”

Residents will benefit from the relaxed Preserve Ranch atmosphere. The outdoor enthusiasts will appreciate the natural desert setting and recreational opportunities. All ages will be able to enjoy and reflect within this unique neighborhood full of beautiful open spaces.

Dynamite Foothills Character Area Plan

The Dynamite Foothills Character Area Plan came as a result of the citizen-driven group CityShape 2020. A character plan is a recommendation or guideline that strives to implement a specific personality or sense of place into a neighborhood. It uses regulation polices like character plans to outline development, but is not a regulatory document.

The Dynamite Foothills area is located in North Scottsdale between the McDowell Mountain and the Lone Mountain alignment, and east of 112th Street to 136th Street. This area capitalizes on mountainous view sheds and remote desert environments. In order meet the vision of Rural Desert character, character strategies like minimizing street widths, strategic building envelopes, accentuating open space, and encouraging native desert landscaping are incorporated. Lower single family densities with twenty four feet building height equate to larger lot ranch style homes. Preferred wall designs and community amenities are sutied to acknowledge wildlife corridors and maintain a rural character.

The goals listed below are outlined by Dynamite Foothills Character Area as strategic approaches to maintaining the personality of the area voted by residents and officials. Responses are outlined to explain how Preserve Ranch is striving to meet the needs.

Goal 1: Preserve the existing Rural Desert character for the Dynamite Foothills which will result in a unique desert community distinguished from other parts of Scottsdale.

Native vegetation will be used throughout the site including streetscapes and common areas. Simple screening and lack of perimeter walls compliment the meandering roadway, and encourage an open and natural community. All setbacks, building scales, and open spaces will be observed and in accordance with the surrounding conservation requirements. Street alignments and building placements have all been purposefully placed in order to preserve natural washes and vegetation.

Goal 2: Recognize the topographic diversity of the Dynamite Foothills area and provide guidelines for balancing the relationship of different types of development to the unique environmental nature of the area.

Analysis of topography and open space are all done to carefully situate the Preserve Ranch development envelopes. NAOS has been incorporated into the community and over 50% of the site is open space.

Goal 3: Promote open space in accordance with the CityShape 2020 Guiding Principles and the recommendations of the Desert Preservation Task Force, and support the efforts of the McDowell Sonoran Preserve Commission to provide open space.

Open space can be found throughout the site, including the perimeter of the property. This allows for an optimal transition from the development to nature and to other

surrounding developments. Drought tolerant plants have been chosen in order to meet the desert landscaping.

SCOTTSDALE DESIGN PRINCIPLES

Scottsdale's design principles are enforced so new development reflects and enhances the unique climate, topography, vegetation, and historical elements. These elements are considered amenities that uphold the quality of design and sustain the Scottsdale community.

- 1) The design character of any area should be enhanced and strengthened by new development.**

Architecture will be encouraged to blend within the natural setting. This will allow the Sonoran Desert character to be showcased. Preserve Ranch will also utilize the natural desert setting as landscaping throughout the site.

- 2) Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:**

The connectivity of the site positions the homes to allow for spectacular views. The site is also conscious of the natural surrounding and plans to preserve and incorporate these elements in every way possible. The views and the peacefulness of the natural environment are what make this location prime. Preserve Ranch has every intention of maximizing this guideline.

- 3) Development should be sensitive to existing topography and landscaping. A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.**

Preserve Ranch will work with the rolling topography to create an original and natural setting. The terrain provides texture and color influence to the development that reflect the natural desert setting.

- 4) Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.**

Wildlife corridors and buffers are planned within the site and intend to incorporate existing ecological conditions.

- 5) The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.**

Public spaces, including streets and common tracts will use natural materials and landscaping to blend within the natural desert setting. Colorful cactus and flowers will be implemented to provide accents and depth.

- 6) Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.**

Preserve Ranch is surrounded by trails and bike paths throughout the Sonoran Preserve. This location will allow residents alternative modes of transportation and opportunities for social contact and interaction.

- 7) Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.**

With adjacent trails located nearby and natural wash corridors and landscaping, residents will be able to take advantage of adjacent connections and natural shading opportunities.

- 8) Buildings should be designed with a logical hierarchy of masses**

All buildings at Preserve Ranch are residential and are designed with massing that suggests the environment in which they are located.

- 9) The design of the built environment should respond to the desert environment:**

The color palette of the community will reflect the natural desert setting. Natural colors and vegetation will be incorporated throughout the site. The desert weather will encourage shading opportunities and heat sensitive materials.

- 10) Developments should strive to incorporate sustainable and healthy building practices and products.**

Considerations to incorporate energy conservative and low impact design and construction practices at Preserve Ranch will be encouraged.

- 11) Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.**

Providing a large natural buffer from the Preserve to the site provides a natural desert transition into the community. All open spaces will utilize the character of the area and provide a variety of natural vegetation.

- 12) Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.**

Utilizing native plants and the natural terrain will allow the proposed community to minimize its water intake.

- 13) The extent and quality of lighting should be integrally designed as part of the built environment.**

Natural light will be encouraged in the community by providing open spaces and strategically placed windows. Light pollution will also be minimal by using full coverings on public lighting

and minimal decorative lighting. Preserve Ranch will minimize glare in the neighborhood in order to suite the community's environmental needs.

14) Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

Minimal signage is needed for the small community at Preserve Ranch. Street signs and frontage signs will maintain the natural colors with little lighting. The signs will compliment and reflect the quaint community.

Environmentally Sensitive Lands Ordinance

The City of Scottsdale Environmentally Sensitive Lands Ordinance (ESLO) is a 134 square mile environmental protection overlay that was adopted in 1991. The overlay encompasses the lands north of Central Arizona Project canal and is in effect to preserve natural open space and elements. City Council has amended this ordinance over the past decade to ensure preservation and development are balanced in all land uses in this area.

Twelve general statements from the ESL are listed below, with responses that outline how Preserve Ranch complies with the overlay standards and objectives.

1) Protect people and property from hazardous conditions characteristic of environmentally sensitive lands and their development. Such hazards include rockfalls, rolling boulders, other unstable slopes, flooding, flood-related mud slides, subsidence, erosion, and sedimentation.

Planning and Engineering analyses will be done to ensure that all potential hazards and sensitive areas are addressed.

2) Protect and preserve significant natural and visual resources. Such resources include, but are not limited to, major boulder outcrops and large boulders, major ridges and peaks, prime wildlife habitat and corridors, unique vegetation specimens, significant washes, and significant riparian habitats.

The McDowell Sonoran Preserve is seen as an asset to Preserve Ranch. Maintaining unrestricted views and caring for existing habitats and vegetation is a priority to keep the community atmosphere relevant.

3) Protect renewable and nonrenewable resources such as water quality, air quality, soils, and natural vegetation from incompatible land uses.

Developing under the current zoning and providing over 50% open space will allow Preserve Ranch to protect renewable and nonrenewable resources.

4) Minimize the public costs of providing public services and facilities in ESL areas such as streets, water, sewer, emergency services, sanitation services, parks, and recreation.

Costs associated with the design and development of infrastructure in environmentally sensitive areas can be higher than costs in other areas of the city due to the unique and fragile nature of such lands.

Preserve Ranch will utilize existing streets for access, water, emergency services, parks and recreation.

- 5) Conserve the character of the natural desert landscape. Guide the location and distribution of meaningful on-lot and common tract open space and protect sensitive environmental features to sustain the unique desert character found in ESL areas.**

The natural desert landscape will be preserved and highlighted through the Preserve Ranch community. The design of the neighborhood incorporates unforgettable open space for viewing and enjoying.

- 6) Recognize and conserve the economic, educational, recreational, historic, archaeological, and other cultural assets of the environment that provide amenities and services for residents and visitors.**

The significance of the McDowell Sonoran Preserve will be emphasized, providing educational opportunities as well as physical education. This opportunity will allow residents and visitors to appreciate and respect the natural desert.

- 7) Assure that decisions regarding development in environmentally sensitive areas are based on complete and accurate information about the environmental conditions including drainage features and probable development impacts.**

Preserve Ranch will preserve and enhance existing wash corridors to ensure drainage features operate with no negative impacts to the development.

- 8) Minimize the impacts of development by controlling the location, intensity, pattern, design, construction techniques, and materials of development and construction.**

By emphasizing and incorporating existing open space and other natural environments, Preserve Ranch is able to minimize construction impacts. The pattern, design, and materials used on site will be of the highest quality with respect to the natural desert environment.

- 9) Retain the visual character of the natural landscape to the greatest extent feasible by regulating building mass, location, colors, and materials; grading location, design and treatment; and landscaping design and materials.**

Building heights and locations are all in compliance with the zoning guidelines. The landscaping will continue to respect the natural desert environment as Preserve Ranch intends to use the natural desert as a theme for the area.

- 10) Maintain significant open spaces which provide view corridors and land use buffers, protect landmarks and large boulders, and prime wash habitats, by preserving these features in their natural state to maintain the city's unique desert setting.**

The unique topography of this area is cherished for its open space and boulder features. Maintaining the natural state of this area is parallel with Preserve Ranch's understanding and overall goal.

11) Protect environmentally sensitive lands, while also recognizing the legitimate expectations of property owners and the city's overall economic goals.

Preserve Ranch fulfills a growing housing demand while also preserving land by creating buffers and open space. The outdoor recreation will pull people outside and encourage engagement and understanding of the area they live in. Essentially the city will benefit from the development growth, the natural environment will be understood and unspoiled, and citizens will improve their quality of life.

12) Encourage innovative planning, design, and construction techniques for development in environmentally sensitive areas.

As a result of innovative planning and designing, through development envelopes, construction and development will provide minimal impact. This site emphasizes open space in order to minimize lot sizes. The proposed lot sizes allow residents to have little yard upkeep while native habitats will stay untouched. People will be encouraged to use the surrounding public facilities such as trails and bike paths.

Conclusion

We respectfully request approval of this Preliminary Plat application as it promotes a development approach that is sensitive to the environment and is consistent with the General Plan, Dynamite Foothills Character Plan, and the associated R1-70 ESL zoning.

Appendix A

Development Review Board Criteria

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.**

Response – The proposed development is in substantial conformance with Scottsdale’s General Plan Land Use designation of Rural Neighborhood as well as the overall Dynamite Character Area Plan. These designations consist of open areas with natural desert settings and spectacular view corridors maximized by low building heights. The proposed 17 lot community respects the development and design standards by maintaining a low density of .55 and incorporating the natural open space around restricted building envelopes. Preserving natural washes and incorporating desert materials is consistent with the surrounding area’s character.

- 2. The architectural character, landscaping and Site design of the proposed development shall:**

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the Site and in the surrounding neighborhood;**

Response – The open lot layout enhances the natural pedestrian walkways created by washes and boulder placement. Recreational trail connections are seen throughout the area, also providing connectivity to surrounding communities. Biking, equestrian, pedestrian paths, trail crossings and trailheads all surround the site. Relaxation and serenity is especially emphasized by low density development and mountain views.

- b. Avoid excessive variety and monotonous repetition;**

Response - The surrounding area has minimal development. A few smaller single family neighborhoods as well as a golf course are close to the proposed site. The proposed large lot upscale homes with generous setbacks and upscale features will seamlessly integrate the community into the North Scottsdale area while providing a unique natural desert setting.

- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;**

Response – Large rear setbacks promote outdoor living spaces for residents to enjoy Arizona’s year round warm climate. Natural materials and landscaping are also incorporated into the design in order to address the area unique climate factors and Sonoran desert environment.

- 3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.**

Response – Single entry and exit is onto 128th St. The seventeen lot community is not projected to significantly increase traffic on the surrounding streets. Alternative pedestrian routes found in the surrounding preserve will minimize automobile dependence.

- 4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.**

Response – Mechanical equipment, appurtenances and utilities will be screened in design with the communities' architectural theme. Trash receptacles will be maintained by the homeowner and only seen on the street during pick up hours.

APPENDIX B – TRANSPORTATION ANALYSIS

Current use: Vacant = 0 trips per day

Allowed under current zoning (R1-70): 17 lots = 170 trips per day

Proposed development: 17 lots = 170 trips per day

Amended Development Standards

Sec. 5.034. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-70 District:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ fifty two thousand five hundred (52,500) square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be five (5) gross acres.

B. Lot dimensions.

Width. All lots shall have a minimum width of ~~two hundred fifty (250)~~ one hundred eighty eight (188) feet.

C. Density. There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.

E. Yards.

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ forty five (45) feet.
- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ forty five (45) feet shall be provided on both streets.
- c. On a corner lot, the required front yard of ~~sixty (60)~~ forty five (45) feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ twenty three (23) feet on each side of a building.

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ forty five (45) feet.

4. Other requirements and exceptions as specified in article VII.

F. Distance between buildings.

1. There shall be not less than ten (10) feet between an accessory building and the main building.
 2. The minimum distance between main buildings on adjacent lots shall be not less than ~~sixty (60)~~ feet forty-six (46) feet.
- G. Walls, fences and landscaping. Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.
- H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:
1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.
- I. Corral. Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord. No. 2470, § 1, 6-16-92; Ord. No. 2509, § 1, 6-1-93; Ord. No. 3907, § 1(Exh. 1), 8-31-10; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 22, 23), 4-3-12)

Sec. 5.035. - Off-street parking.

The provisions of article IX shall apply.

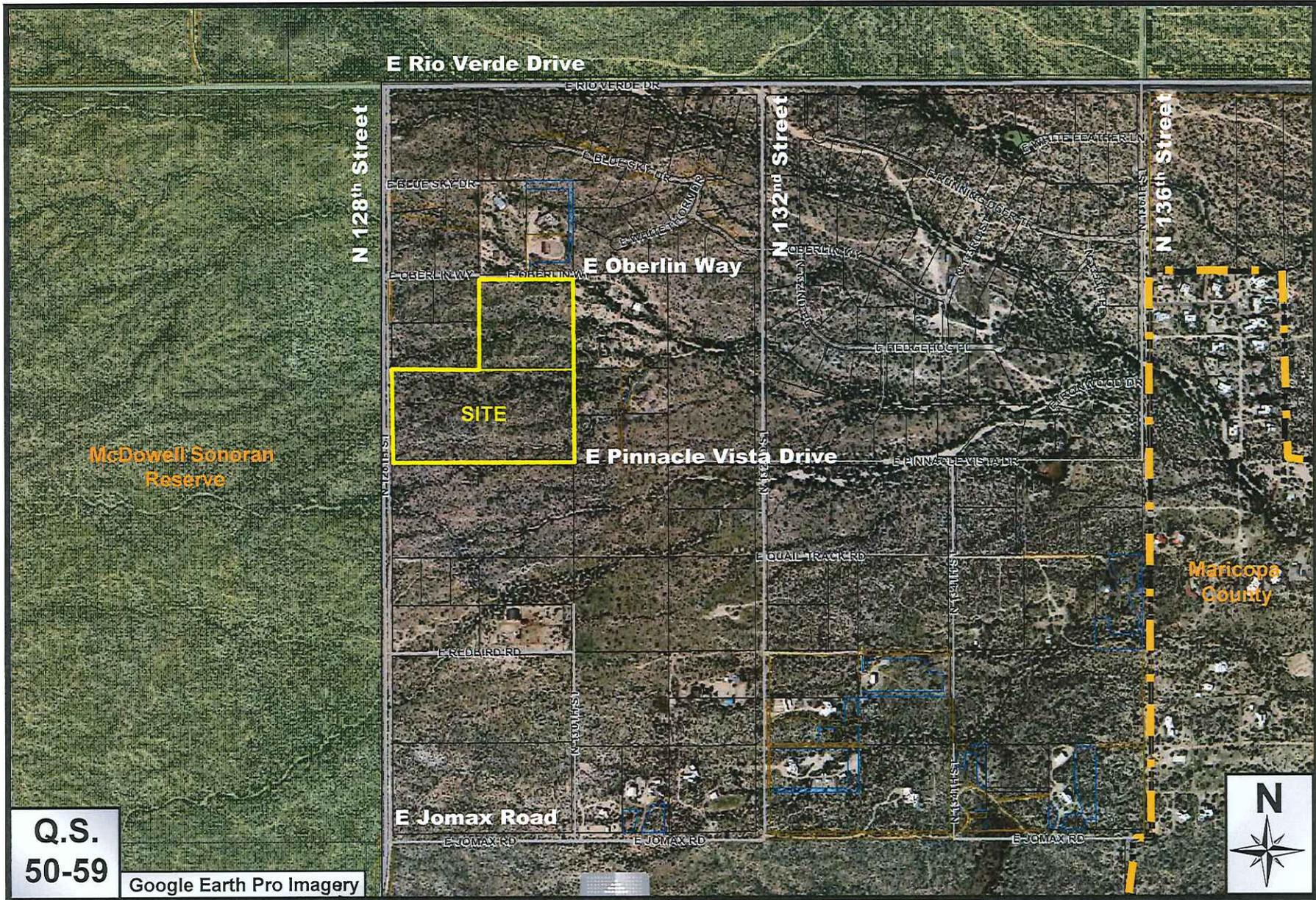
(Ord. No. 2470, § 1, 6-16-92)

Sec. 5.036. - Signs.

The provisions of article VIII shall apply.

(Ord. No. 2470, § 1, 6-16-92)

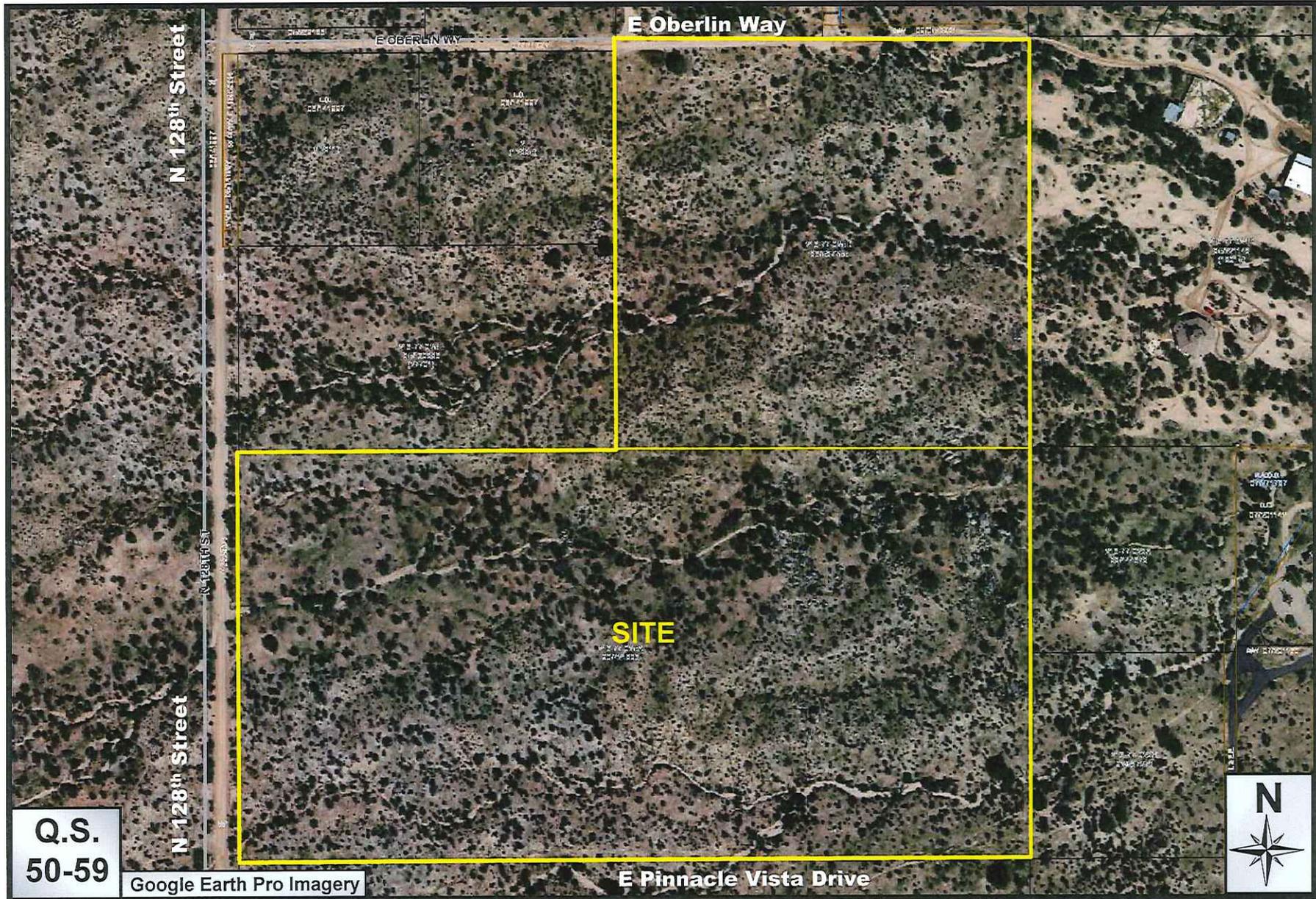
[Secs. 5.037—5.099. Reserved.]



Preserve Ranch

ATTACHMENT #3

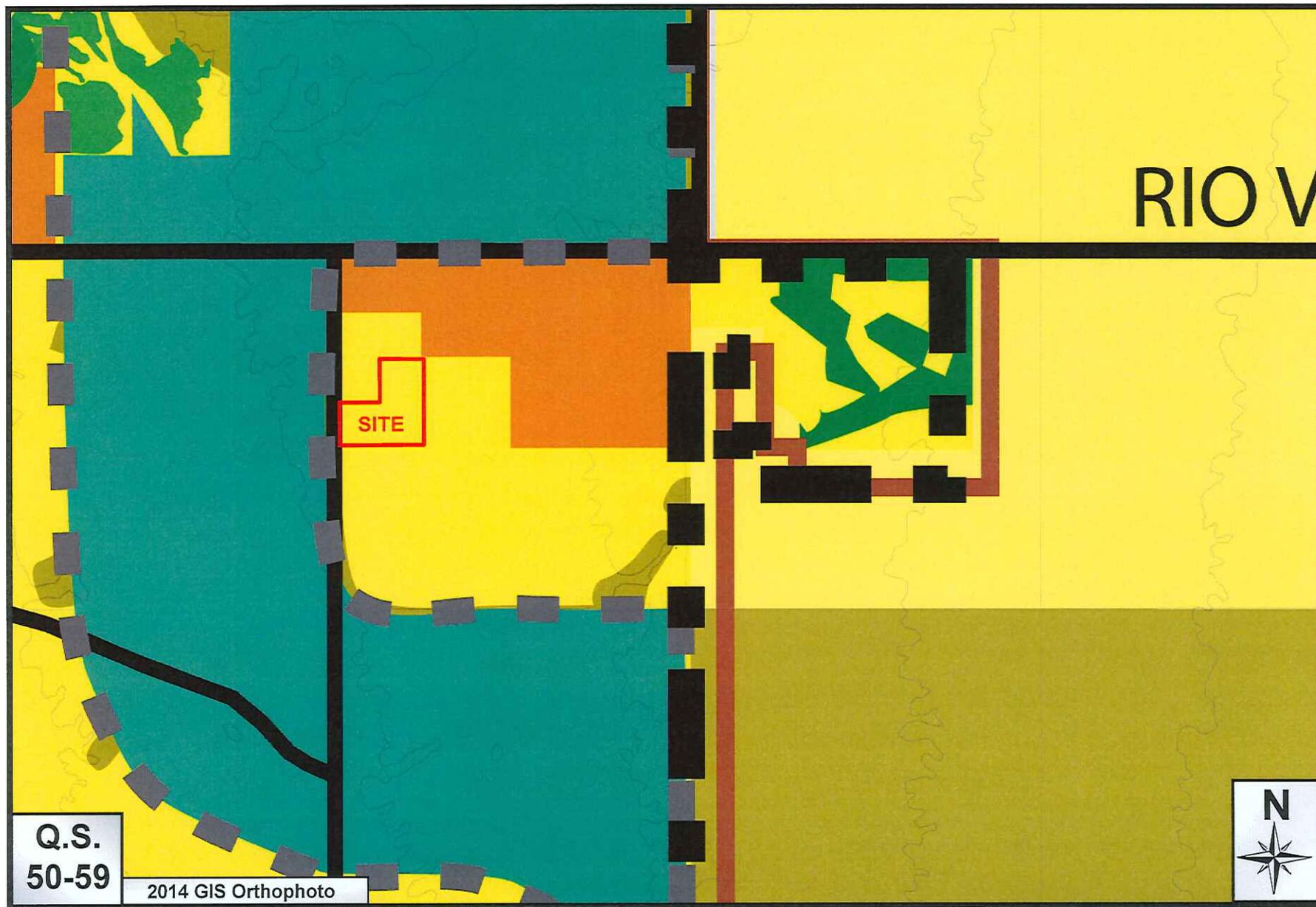
6-PP-2015



Preserve Ranch

ATTACHMENT #3A

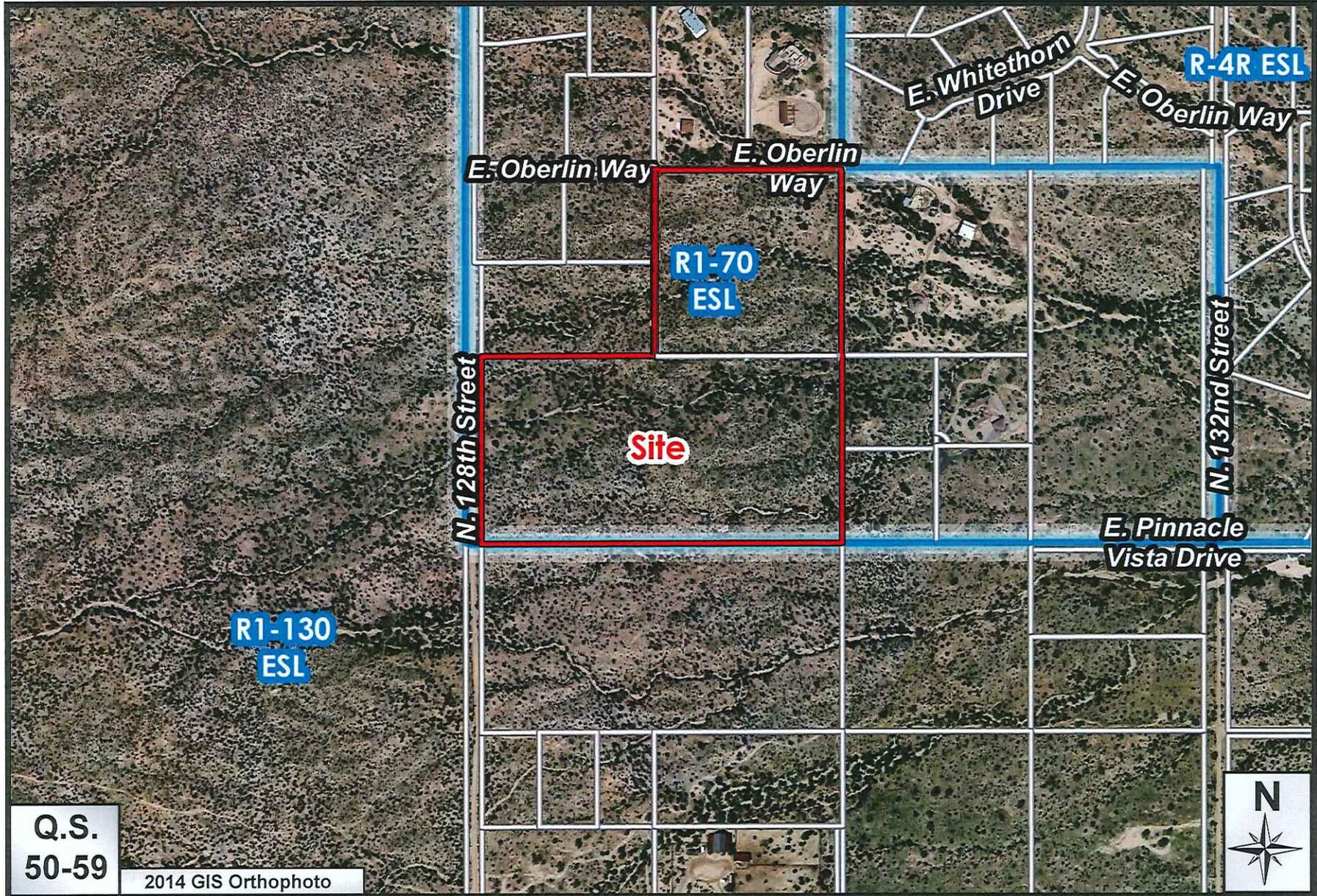
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Preserve Ranch

ATTACHMENT #4

6-PP-2015



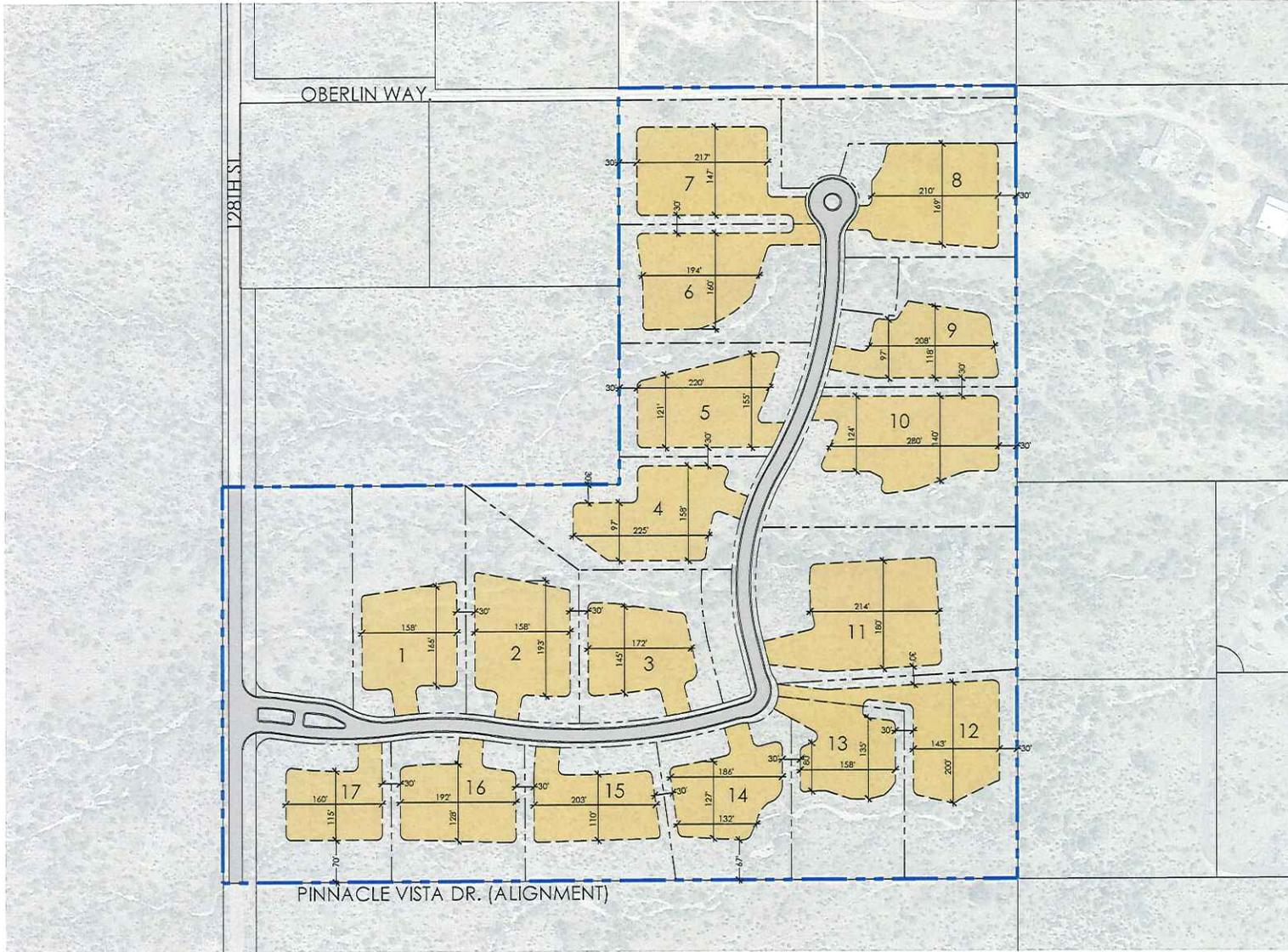
Q.S.
50-59

2014 GIS Orthophoto

Preserve Ranch

ATTACHMENT #5

6-PP-2015



LEGEND
 - - - - - SITE BOUNDARY
 ■ DEVELOPMENT ENVELOPE

PRESERVE RANCH
 CONSTRUCTION ENVELOPE EXHIBIT

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 S:\1505-120th St & Pinnacle Vista\1505-01CAD\LVA\SUBMITTALS\1505-1-CONSTRUCTION ENVELOPE PLAN.dwg Mar 25, 2016

GENERAL NOTES:

1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOULDERS ARE TO BE SURFACE SELECT SITE BOULDERS, 1/3 BURIED IN SOIL TYP.
4. PROPOSED SCENIC CORRIDOR ALONG PINNACLE PEAK PKWY / JOMAX ROAD FOLLOWS NEW R.O.W. ALIGNMENT AND SHALL BE DEDICATED AT TIME OF FINAL PLAT APPROVAL. SCENIC CORRIDOR DIMENSIONS SHOULD BE 50' AVERAGE WIDTH. SEE PLAT FOR ADDITIONAL INFORMATION.
5. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III. DIMENSIONS, OF THE IRRIGATION ORDINANCE, INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
6. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
7. NO SHRUB OR GROUND COVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
8. MEDIANS LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE DSS&PM.
9. EMERGENCY ACCESS TO BE KEPT CLEAR.

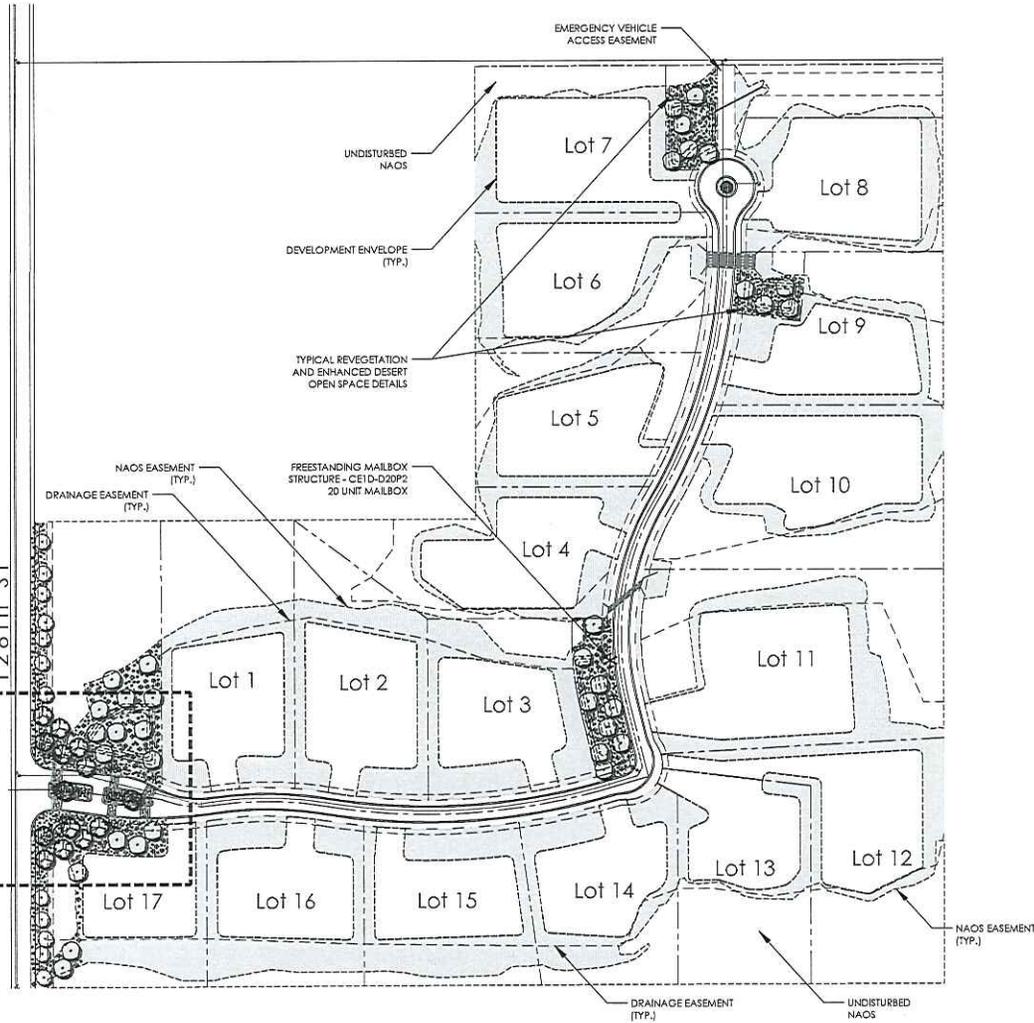
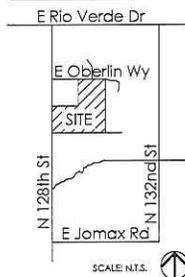
RE-VEGETATION TECHNIQUES AND IRRIGATION METHOD:

1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL FOR REVEGETATED PORTIONS OF THE SITE. A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT RE-GROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. ALL RE-VEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
3. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPES. CONTAINER-GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH DRIP IRRIGATION. DEPENDING UPON THE SEASON AT TIME OF HYDROSEED INSTALLATION, EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GERMINATION.

PROJECT TEAM

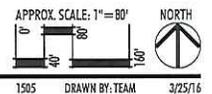
Discipline	Company Contact Info.
Client	Preserve Ranch LLC Chase Emmission 14400 N. 76th Place Scottsdale, AZ 85260 480.368.5205 Chase@finalplat.com
Landscape Architect	LVA Urban Design Studio Laura Thelen, R.L.A., LEED-AP 120 South Ash Avenue Tempe, Arizona 85281 480.994.0994 lthelen@lvadesign.com
Civil Engineer	Kimley-Horn Jason Burn P.E. 7740 N. 16th Street, Suite 300 Phoenix, Arizona 85020 602.216.1232 Jason.Burn@kimley-horn.com

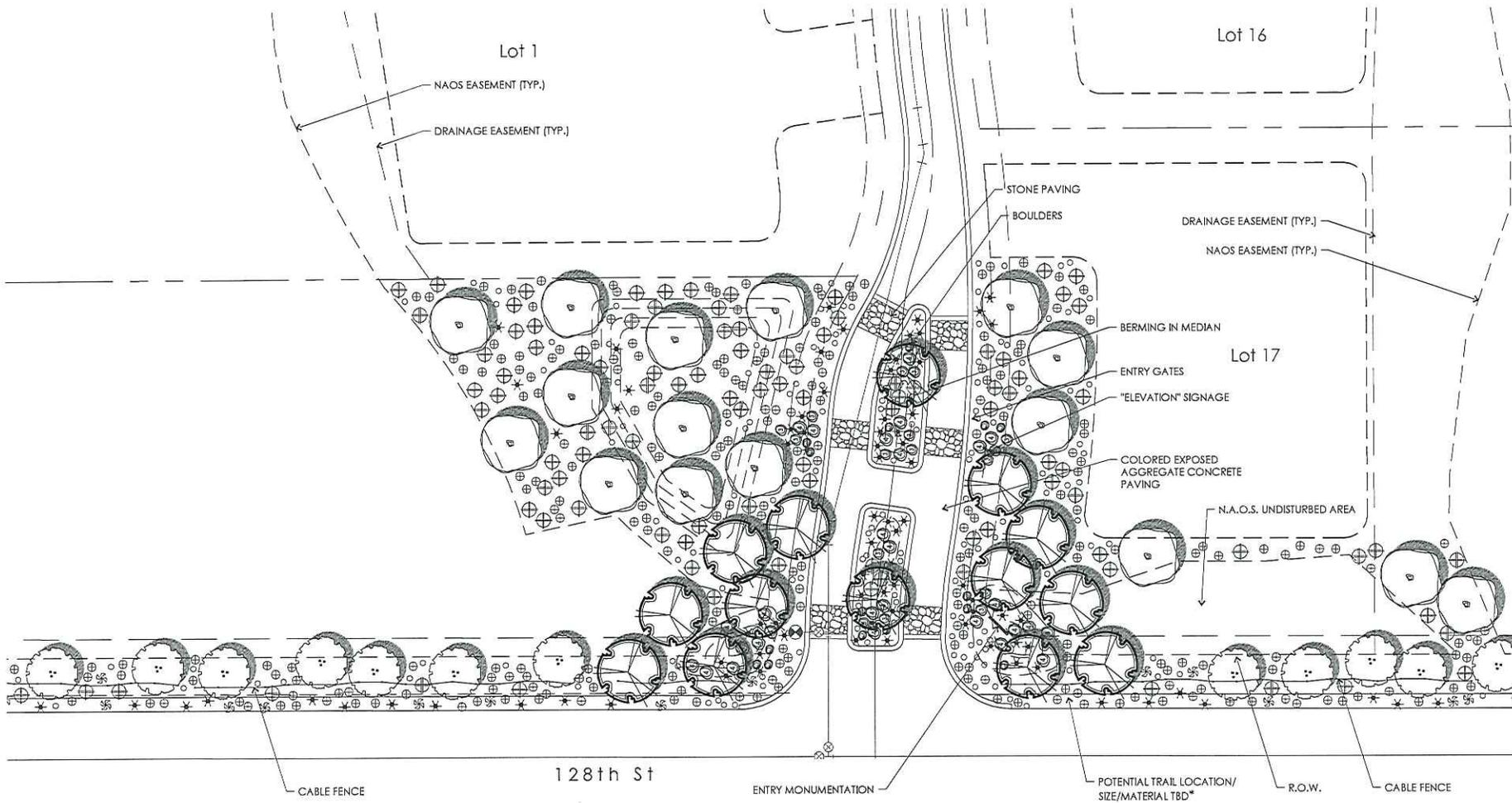
VICINITY MAP



PLANT LEGEND

TREES		MIN. SIZE
ACACIA GREGGII	CATCLAW ACACIA	3/4" CALIPER
CELTIS RETICULATA	DESERT HACKBERRY	3/4" CALIPER
CERCIDIUM FLORIDUM	BLUE PALO VERDE	3" CALIPER
CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	1.5" CALIPER
CHLOPSIS LINEARIS	DESERT WILLOW	1.5" CALIPER
OLNEYA TESOTA	IRONWOOD	3" CALIPER
PROSOPE VELUTINA	MESQUITE	1.5" CALIPER
SHRUBS & ACCENTS		MIN. SIZE
AGAVE SP.	CENTURY PLANT	5 GAL.
AMBROSIA AMBROSIOIDES	GIANT BURSAUGE	3 GAL.
AMBROSIA DELTOIDEA	BURSAUGE	3 GAL.
CALLIANDRA ERIOPHYLLA	FAIRY DUSTER	3 GAL.
CARYGEA OIGANTEA	SACUARO	5 GAL.
CHLIDOPHANTIA FULCIDA	CHOCULA	5 GAL.
DAURIGNON WHEELERII	DESERT SPOON	5 GAL.
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	3 GAL.
FEROCACIUS WILZII	BARREL CACTUS	5 GAL.
FOUQUIERA SPLENDENS	OCOTILLO	5 GAL.
HOLACANTHA EMORYI	CRUCIFLOR THORN	3 GAL.
HYPTIS EMORYI	DESERT LAVENDER	3 GAL.
JUSTICIA CALIFORNICA	CHUPAROSA	3 GAL.
LARREA TRIDENTATA	CREOSOTE	3 GAL.
QUERCUS SP.	SCRUB OAK	3 GAL.
OPUNTIA ENGELMANNII	PRICKLY PEAR	5 GAL.
SIMMONDSIA CHINENSIS	JOJORA	3 GAL.
YUCCA DELTOIDEA	GOLDENEYE	3 GAL.
YUCCA ELATA	SOAP TREE YUCCA	5 GAL.
YUCCA BACCATA	BANANA YUCCA	5 GAL.
GROUNDCOVERS		MIN. SIZE
BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL.
DYSSODIA PANFACHETA	DOGWEED	1 GAL.
MELAMPYRUM LEUCANTHUM	BLACKFOOT DASY	1 GAL.
PENTSTEMON SP.	PENTSTEMON	1 GAL.
PSILOSTROPHE COOPERI	PAPERFLOWER	1 GAL.
SPHAERALCEA AMBIGUA	DESERT GLOBEMALLOW	1 GAL.
VERBENA SP.	VERBENA	1 GAL.
INERT MATERIALS		
SURFACE SELECT BOULDERS	TO MATCH ON-SITE ROCK COLOR	
RAKED NATIVE SOIL	IN ALL PLANTING AREAS	
REVEGETATED NAOS AND ENHANCED DESERT OPEN SPACE TO INCLUDE A COMBINATION OF REVEGETATED PLANT MATERIAL, PLANT MATERIAL AS LISTED ABOVE AND HYDROSEED MIX. AREAS AND LOCATIONS TO BE DETERMINED AT FINAL PLAN SUBMITTAL.		
HYDROSEED MIX - APPLY AT RATE OF 15 PLS LBS/GAL	PLS LBS/TACRE	
AMBROSIA DELTOIDEA	TRIANGLE-LEAF BURSAUGE	3.0
ATRIPLEX CANESCENS	FOUR-WING SALT BUSH	3.0
ENCINIA FARRINGSHAWII	BRITTLERUSH	2.0
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	1.0
LARREA TRIDENTATA	CREOSOTE BUSH	2.0
SENNA COVENSIS	DESERT SENNA	2.0
SPHAERALCEA AMBIGUA	GLOBEMALLOW	2.0
PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2-1.903.		





*NOTE: THE CITY IS CURRENTLY EVALUATING THE INTENT OF 128TH ST. AND TOMS THUMB TRAILHEAD CONNECTIVITY. SIDEWALK/TRAIL MAY BE REQUIRED WITH DIMENSION/MATERIAL TO BE DETERMINED.

PRESERVE RANCH

CONCEPTUAL LANDSCAPE PLAN
 SHEET 2 OF 4 - ENTRY LAYOUT

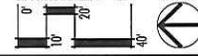
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 S:\1505-128th St & Preserve Ranch\1505-128th St\LANDSCAPE\CONCEPTS\Conceptual LS Plan.dwg Mar 25, 2016



APPROX. SCALE: 1"=20'

NORTH



1585 DRAWN BY: TEAM 3/25/16

Preserve Ranch

PRELIMINARY PLAT

CITIZEN REVIEW & NEIGHBORHOOD INVOLVEMENT REPORT

NOVEMBER 4, 2015

This citizen outreach and neighborhood involvement report is being performed in association with the proposed pre-plat application for the redevelopment of approximately 30+/- gross acres located at the northeast corner of 128th St. and the Pinnacle Vista alignment (the site currently is vacant). Outreach on this project has been done in association with the City's Neighborhood Notification Checklist. As part of the request, this citizen review and neighborhood involvement report has been prepared and will be updated throughout the process.

The entire project team is sensitive to the importance of neighborhood involvement and creating a relationship with property owners, residents, business owners, homeowners associations, and other interested parties. Communication with these parties will be ongoing throughout the process. Work on compiling stakeholders and preparing for the neighborhood outreach began prior to the application filing and will continue throughout the process.

Most recently a notification letter (attached) was mailed to inform residents, within 750' of the project, of the proposed pre-plat application.

A vital part of the outreach process is to allow people to express their concerns and understand issues and attempt to address them in a professional and timely matter. As previously stated the entire team realizes the importance of the neighborhood involvement process and is committed to communication and outreach for the request.

Attachments:
Notification letter
Notification list

October 26, 2015

RE: Preserve Ranch Preliminary Plat Application

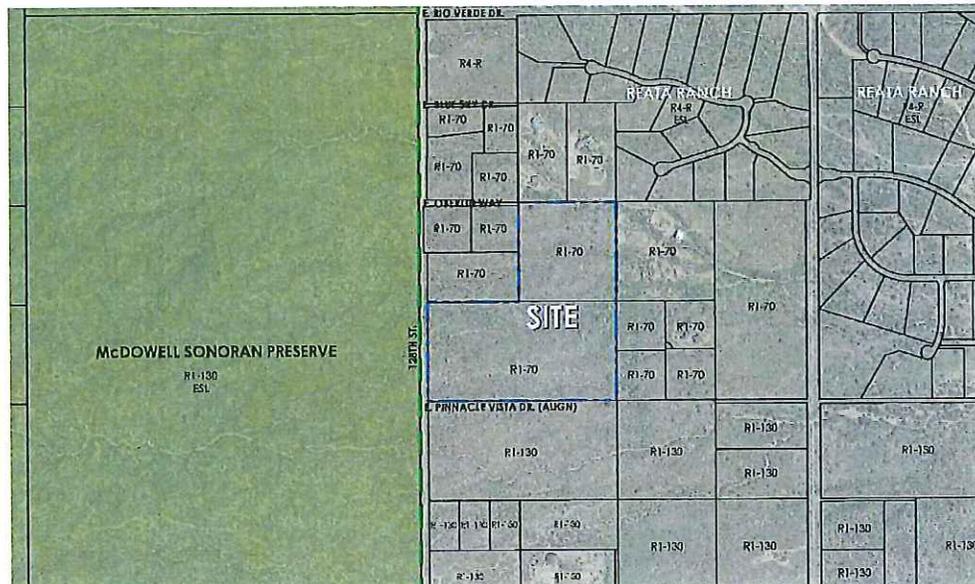
Dear Neighbor/Landowner:

We are land planners and landscape architects who are working on a proposed development on a 30 acre property near yours (site location map below).

This proposed new development will be consistent with the City of Scottsdale General Plan and will be under the current zoning category of R1-70 ESL, which will allow 17 lots (.55 dwelling units per acre). By proposing a 25% reduction in development standards this development will have roughly 50% of the site dedicated as open space.

With no changes proposed to the current zoning we will be submitting a preliminary plat application in the near future for both City review and a future Development Review Board Hearing.

We are available if you have any questions or would like to schedule a meeting to discuss the proposal. Please feel free to contact us, by email (knichter@lvadesign.com) or by phone 480-994-0994. You may also contact Jesus Murillo with the City of Scottsdale at 480-312-7000 and reference pre-application # 283-PA-15.



Site Location Map

Thank you!

Keith Nichter
LVA Urban Design Studio LLC

Attached on back: Conceptual Site Plan



Conceptual Site Plan

Note: This plan is conceptual, requires City approvals and is subject to change.

DIEFENBACHER WILLIAM/B J TR
PO BOX 7140
CAVE CREEK, AZ 853277410

ISHAQ RASHID C
1232 GOODRICH AVE
ST PAUL, MN 55105

MTG AND JSG FAMILY TRUST
10943 E GREENWAY RD
SCOTTSDALE, AZ 85255

BROCK MICHAEL J/HILDA E REV LIVING
TRUST
5242 HOWES LN
SAN JOSE, CA 95118

REYNOLDS THOMAS F/ALYSSA L
27505 N 130TH PL
SCOTTSDALE, AZ 85262

BUNNING GEORGE & KAREN
13015 E OBERLIN WAY
SCOTTSDALE, AZ 85255

BRAUN ROBERT W TR
3625 E MEADOW BROOK AVE
PHOENIX, AZ 85018

PRESERVE RANCH LLC
14400 N 76TH PL
SCOTTSDALE, AZ 85260

GRAGNANO FAMILY TRUST/ETAL
26227 N 43RD PL
PHOENIX, AZ 85050

DEFUSCO ANDREW J
11601 N 66TH ST
SCOTTSDALE, AZ 85254

ANDERS PATRICIA A
3474 MONTGOMERY LAKE RD
FLORENCE, WI 54121

PRESCOTT OBONE LLC/FRANTZ ALLEN L
9211 N 9TH AVE
PHOENIX, AZ 85021

FRANTZ ALLEN LEE/REBECCA/ANDERS
NEIL A/PAT A
3474 MONTGOMERY LAKE RD
FLORENCE, WI 54121

TAUBMAN FAMILY TRUST
10512 E COCHISE AVE
SCOTTSDALE, AZ 85258

C A TNT INVESTORS L L C
7525 N SHADOW MOUNTAIN RD
PARADISE VALLEY, AZ 85253

SMK RIO VERDE LLC
2128 E CACTUS WREN DR
PHOENIX, AZ 85020

NIXON MARK
5450 N ALM SCHOOL PKWY SUITE 103-
489
SCOTTSDALE, AZ 85262

RANNEY PAMELA S
1989 CALLE DEL SUERTE
TUCSON, AZ 85745

PESTRIVAS FAMILY REVOCABLE INTER-
VIVOS TRUST
2831 E CALAVAR RD
PHOENIX, AZ 85032

FOX MARCELLA M
3725 W VILLA THERESA DR
GLENDALE E, AZ 853080000

SULLIVAN SHAWN
28150 N ALMA SCHOOL PRKWY #103-
201
SCOTTSDALE, AZ 85262

EISELE THOMAS S
PO BOX 28724
SCOTTSDALE, AZ 85255

CATRAMBONE GENEIVE T TR
1609 CLOVER DR
INVERNESS, IL 60067

CATRAMBONE GENEIVE T TR
1609 CLOVER DR
INVERNESS, IL 60067

CATRAMBONE GENEIVE T TR
1609 CLOVER DR
INVERNESS, IL 60067

GLICK LYNN TR
40726 N RIVER BEND RD
ANTHEM, AZ 85086

WEST ILANA DORIS RUTH
9174 E CONQUISTADORES DR
SCOTTSDALE, AZ 85255

MEHLHORN NEAL E
621 N VALERO ST
CHANDLER, AZ 85225

C-A RIO VERDE INVESTORS LLC
2555 E CAMELBACK RD STE 770
PHOENIX, AZ 85016

C-A RIO VERDE INVESTORS LLC
2555 E CAMELBACK RD STE 770
PHOENIX, AZ 85016

http://maps.mcsassessor.maricopa.gov

Maricopa County Assessor
Paul D. Petersen

41 parcels selected

F=RIO-VERDE-DR

E=RIO-VERDE-DR

Search

Basemap Imagery

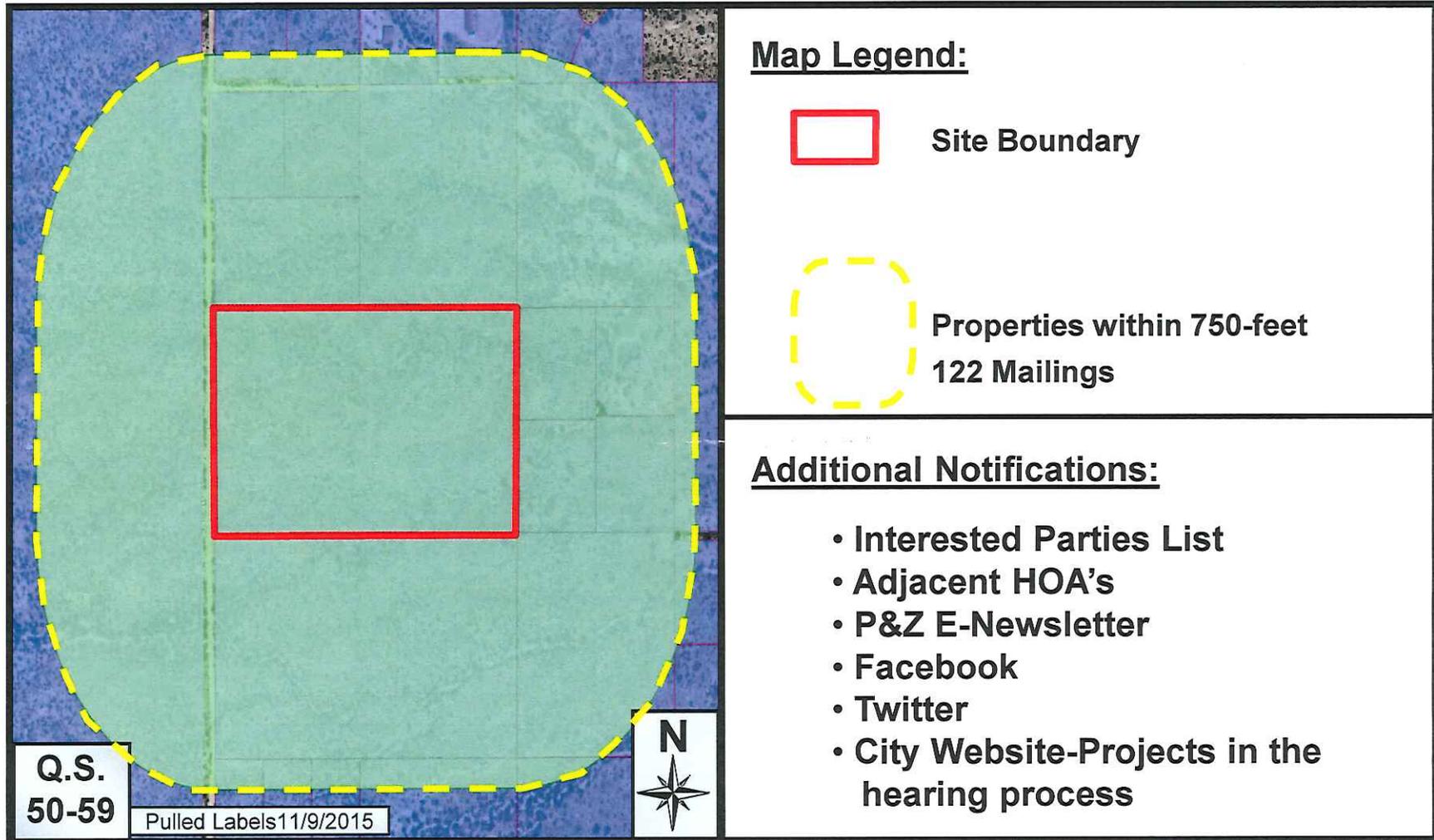
Buffer
Distance, in feet: 750 Run

Geographic Map Coords: Lat = 33.7397, Lon = -111.7861

Would you like to make Internet Explorer your default browser? Yes No

10:18 AM
9/28/2015

City Notifications – Mailing List Selection Map



Preserve Ranch

6-PP-2015