

general notes

1. Area within the safety triangle is to be clear of landscaping, signs or their visible obstructions with a height greater than 2 feet. Trees with in the safety triangles shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevations
2. All Right-of-way adjacent to this property shall be landscape and maintained by the property owner
3. All signs shall require separate permits and approvals
4. All exterior mechanical, utility, and communications equipment shall be screened to the height of the tallest unit by parapet or screen wall that matches the architectural color and architectural finish of the buildings. Ground mounted mechanical, utility and communications equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building, which is a minimum 1'-0" taller than the highest point of tallest units
5. All equipment, utilities or other appurtenances attached to the building shall be integral part of the building design in terms of form color and texture.
6. No exterior vending or display shall be allowed.
7. Flagpoles, if provided, shall be one piece conical tapered.
8. No exterior public address or speaker system is allowed.
9. Patio Umbrellas, if provide shall be solid colors and shall not have any advertising in the form of signage or logos.
10. No exterior visible ladders shall be allowed.
11. No chain link fencing shall be allowed.
12. No turf area shall provided.
13. No irrigation shall be provided to undisturbed Natural Area Open Space (NAOS) areas.

NAOS - LOC PROTECTION PROGRAM

14. No building, grading or construction activity shall encroach into areas designated as NAOS, or outside the designated construction envelope.
15. All NAOS and area outside of the LOC shall be protected from damage prior to, and during construction b the following methods:
 - a. A registered land surveyor shall stake all NAOS and LOC disturbance based on this exhibit.
 - b. +/- Three (3) foot tall steel rebar, or City of Scottsdale Inspection Services approved similar, shall be set along the NAOS and LOC, and connected with gold roping by contractor prior to clearing or grading.
 - c. All cactus subject to the City of Scottsdale's native plant ordinance directly adjacent, within two feet, or the NAOS and LOC line shall be fenced with wire fencing to prevent damage.
 - d. The staking, roping and fencing shall be maintained intacted by the contractor during the duration of the construction activity.
16. The contractor shall remove staking, roping, and fencing after receipt of the Letter of Acceptance from the City of Scottsdale for all construction work.

naos calculations

TOTAL SITE (GROSS): 1,141,373 S.F. (26.2 ACRES)
TOTAL SITE (NET): 1,076,392 S.F. (24.7 ACRES)

UNDISTURBED NATURAL AREA OPEN SPACE (NAOS)
413,416 S.F. TOTAL (36.21% OF SITE)
413,416 S.F. REQUIRED
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 6.1060.A)

OPEN SPACE (INCLUDING NAOS AND "UNDEDICATED" OPEN SPACE)
413,423 S.F. TOTAL (36.21% OF SITE)
356,108 S.F. REQUIRED (24% + 7.2% (0.4% * 18') of 1,141,373 SF)
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 5.012.A.12.d)

DISTURBED NATURAL AREA OPEN SPACE (NAOS)
0 S.F. TOTAL (0% OF SITE)

parking calculation

TOTAL PARKING REQUIRED: 278 *
TOTAL PARKING PROVIDED: 343 SPACES

ACCESSIBLE PARKING REQUIRED: 12 SPACES
(4% OF REQUIRED SPACES)

ACCESSIBLE PARKING PROVIDED: 12 SPACES

BICYCLE PARKING REQUIRED: 28 SPACES
(1 : 10 REQ PARKING SPACES)

BICYCLE PARKING PROVIDED: 28 SPACES

* SEE SHEETS A0, A2.0 + A2.1 FOR PARKING CALCULATIONS
ALL ACCESSIBLE SPACES ARE 11' X 18' UNIVERSAL

project data / code study

PROJECT NAME:
SCOTTSDALE FIRST ASSEMBLY - DREAM CENTER
28700 NORTH PIMA ROAD
SCOTTSDALE, ARIZONA

PROJECT OWNER:
SCOTTSDALE FIRST ASSEMBLY - DREAM CENTER
15650 NORTH 63RD WAY
SCOTTSDALE, ARIZONA 85260
PASTOR DAVID FRIEND
480.367.8182

CIVIL ENGINEER:
HEC ENGINEERING
3740 EAST SOUTHERN AVENUE, #216
MESA, ARIZONA 85206
DAN SONGER
480.218.8831

ZONING:
R1-190 / ESL / FO

USE:
CHURCH

CODES:
2003 INTERNATIONAL BUILDING CODE W/ SCOTTSDALE AMENDMENTS
2003 INTERNATIONAL MECH CODE W/ SCOTTSDALE AMENDMENTS
1994 UPC W/ SCOTTSDALE AMENDMENTS
1999 NEC W/ SCOTTSDALE AMENDMENTS
2003 INTERNATIONAL FIRE CODE W/ SCOTTSDALE AMENDMENTS
1992 ADAAG/ANSI 117.1

ALLOWED HEIGHT:
2 STORIES / 24' (PER COS ZONING)
SEE SHEET HEIGHT

PROPERTY AREA:
1,141,373 S.F. OR 26.2 ACRES NET

GROSS BUILDING AREA:
21,200 GSF MAIN LEVEL + 5,870 GSF LOWER LEVEL = 27,070 G.S.F. TOTAL
4,427 S.F. TRELLISED / COVERED

LOT COVERAGE:
21,200 G.S.F. / 1,141,373 N.S.F. = 1.86%

FLOOR AREA RATIO (PROPOSED):
27,070 G.S.F. / 1,141,373 N.S.F. = 2.37%

FLOOR AREA RATIO (ALLOWED):
0.2 x 1,141,373 N.S.F. = 228,275 G.S.F. => 27070 G.S.F < 228,275 G.S.F. => OK

LEGAL DESCRIPTION:
NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

site legend

- NAOS BOUNDARY
- PROPERTY LINE
- EASEMENT - SEE MAP OF DEDICATION
- PROPOSED LIMITS OF CONSTRUCTION
TEMPORARY NAOS / OPEN SPACE PROTECTION
- REFUSE AND FIRE TRUCK CIRCULATION
- SALVAGE PLANT NURSERY BOUNDARY
- FLOW LINE OF WASH 'E'
- 100 FLOODPLAIN WASH 'E'
- FLOW LINE OF RAWHIDE WASH
- 100 FLOODPLAIN RAWHIDE WASH
- SIGHT VISION TRIANGLE
- ACCESSIBLE PATH OF TRAVEL
- BUILDING UNDER ROOF
- UNDISTURBED NATURAL AREA OPEN SPACE
- RAKED NATURAL SOIL

- 11 JUNE 2004
OWNER CHANGES
- 19 JULY 2004
FIRST REVIEW
- 03 SEP 2004
OWNER CHANGES
- 17 SEP 2004
SECOND REVIEW

ADJACENT PROPERTY
R1-190

A1.0

site plan

1" = 50'-0"

scottsdale first assembly

DREAM CENTER

28700 north pima road
scottsdale, arizona 85262
APN: 216-70-008

0 25' 50' 100' 1

25 June 2004

copyright 2004
0142

DeBARTOLO architects

4450 north twelfth street
number 268
phoenix, arizona 85014
tel 602.264.6617
fax 602.264.0891

PRIMARY SITE ENTRANCE

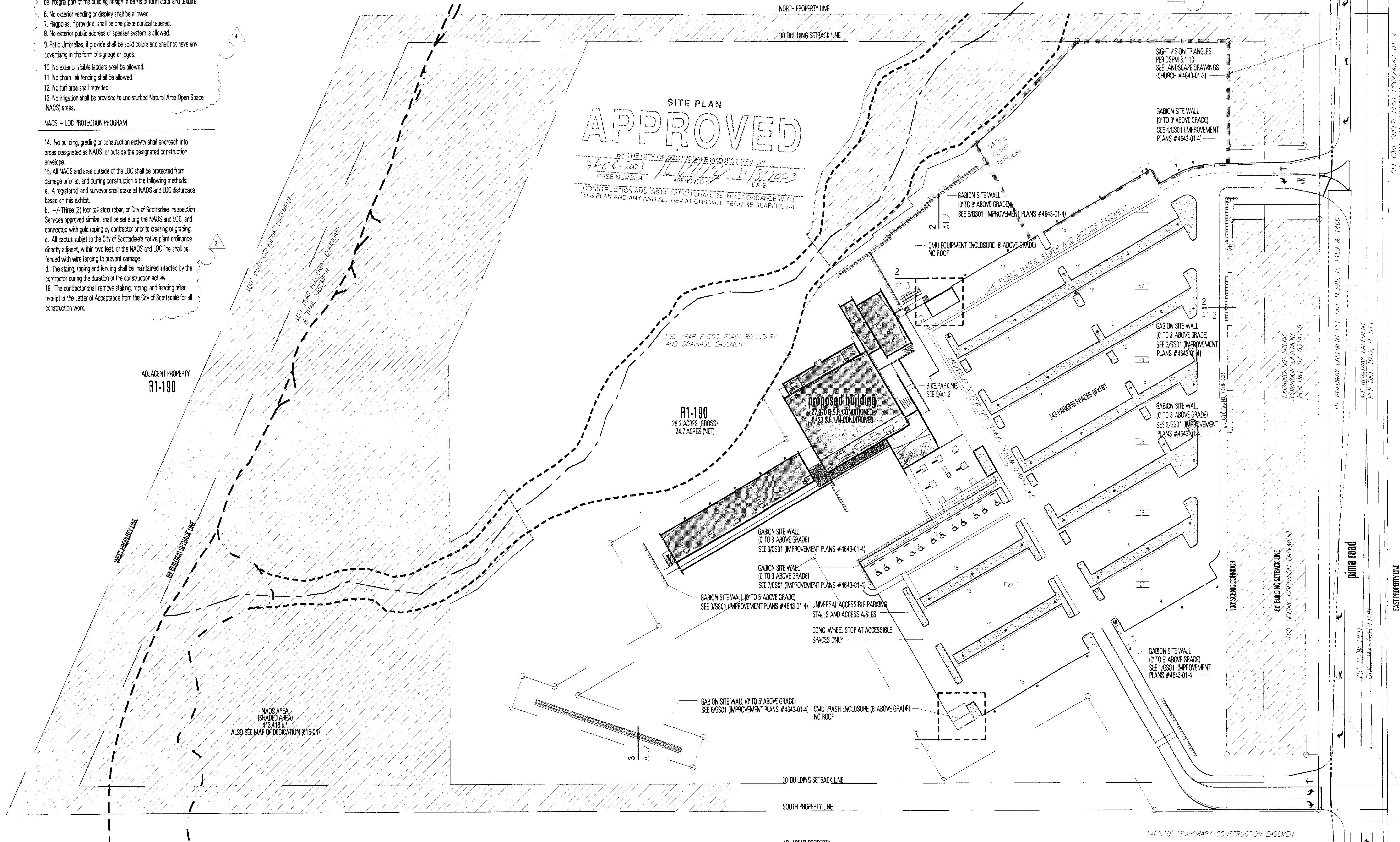
SIGHT VISION TRIANGLES
PER DSPM 3.1-13
SEE LANDSCAPE DRAWINGS

map of dedication
615-04
native plant plan
195-04

civil plan check
4642.01.4
plan check
4642.01.3

DRB case
36.DR.2003

1 site plan
A1.0 SCALE 1" = 50'-0"



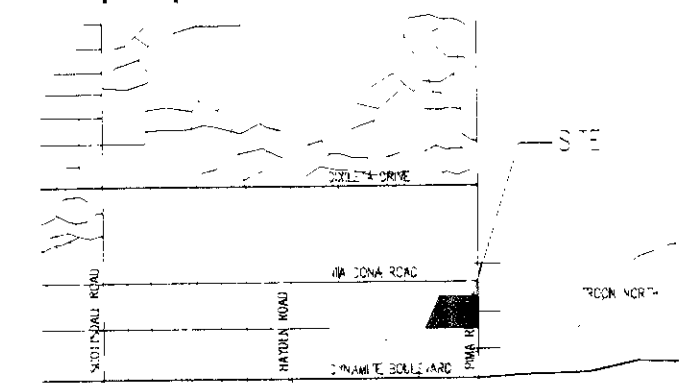
site legend

- ACCESSIBLE PATH OF TRAVEL
- EXPOSED AGGREGATE GREY CONCRETE (SEE KEYNOTE)
- PAVED NATURAL SOIL (SEE KEYNOTE)

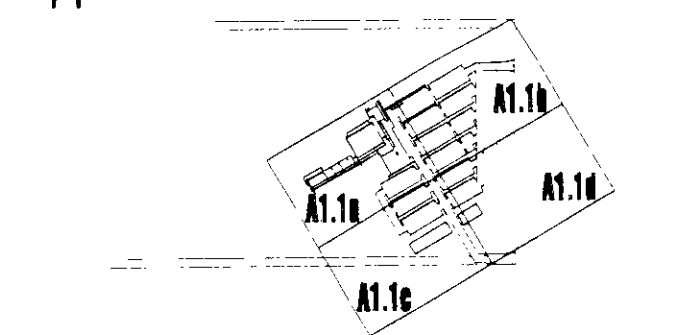
naos calculations

TOTAL SITE (PROPOSED) 1141,373 S.F. (26.2 ACRES)
TOTAL SITE (NET) 1,076,392 S.F. (24.7 ACRES)
UNOBTAINED NATURAL AREA OPEN SPACE (NAOS)
413,418 S.F. TOTAL (36.2% OF SITE)
413,418 S.F. REQUIRED (24% OF 1,714,373 S.F.)
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 8.1020 A)
OPEN SPACE (INCLUDING NAOS AND UNOBTAINED OPEN SPACE)
413,418 S.F. TOTAL (36.2% OF SITE)
368,128 S.F. REQUIRED (24% OF 1,534,048 S.F.)
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 8.1020 A/2.1)

vicinity map



key plan



keynotes

- BROOM FINISH GREY CONCRETE PAD, WALKWAY / RAMP
- EXPOSED AGGREGATE GREY CONCRETE WALKWAY
- PAVED NATURAL SOIL - REFERENCE LANDSCAPE DRAWING 441/4842-01-3
- BLACK REEL PROOF STEEL GRATE - SEE CIVIL DRAWINGS 0013/4842-01-4
- WAO STANDARD GREY CONCRETE CURB, BROOM FINISH - SEE CIVIL DRAWINGS PSS01 - PSS04/4842-01-3
- WAO STANDARD GREY CONCRETE CURB - SEE CIVIL DRAWINGS PSS01 - PSS04/4842-01-3
- BLACK AD PAVING - SEE CIVIL DRAWINGS PSS01 - PSS04/4842-01-3
- PAINTED STRING - SEE CIVIL DRAWINGS PSS01 - PSS04/4842-01-3
- GRAVEL RAMP - SEE CIVIL DRAWINGS 0001/0003-0005/4842-01-4, AND LANDSCAPE DETAIL 101/061/4842-01-4
- TOWER/STEELIE - SEE DETAIL 1/41/2/4842-01-3
- GABION RETAINING WALL 2' TO 3' HIGH - SEE DETAIL 2/41/2/4842-01-3
- NOT USED
- RPE RAILING - SEE DETAIL 4/41/2/4842-01-3
- WAO STANDARD BKE RACK - SEE DETAIL 5/41/2/4842-01-3
- FOR SIGN AND CIVIL DRAWING 0001/4842-01-4 FOR POST DETAIL
- SPALSH BLOCK - SEE DETAIL 6/41/2/4842-01-3
- SAFETY RAILING - SEE DETAIL 7/41/2/4842-01-3
- POLE MOUNTED LIGHT FIXTURE - SEE DETAIL 10/41/2/4842-01-3 - ELECTRICAL SITE PLAN 01/0/4842-01-3
- WAO STANDARD ADA SIGNAGE - SEE DETAIL 11/41/2/4842-01-3
- UNOBTAINED WALKWAY DIFFERENCE IN GRADE < 30" AND SLOPE < 1:20 - NO HANDRAIL, NO GUARDRAIL REQUIRED OR PROVIDED
- SAFETY POST - SEE CIVIL SHEET 0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 1/0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 2/0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 3/0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 4/0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 5/0001/4842-01-4
- NOT USED
- GABION RETAINING WALL 0' TO 3' HIGH - 7/0001/4842-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 8/0001/4842-01-4

- 11 JUNE 2004 OWNER CHANGES
- 19 JULY 2004 FIRST REVIEW
- 08 SEP 2004 OWNER CHANGES
- 17 SEP 2004 SECOND REVIEW

A1.1a

enlarged site plan
1/16" = 1'-0"

scottsdale first assembly

DREAM CENTER

28700 north pima road
scottsdale, arizona 85262
APN: 216-70-008



25 june 2004
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0142

DeBARTOLO architects
4450 north twelfth street
number 268
phoenix, arizona 85014
tel 602.264.6617
fax 602.264.0891

SITE PLAN
APPROVED

BY THE CITY OF SCOTTSDALE PROJECT REVIEW
36.DR.2003 11/8/2004
CASE NUMBER APPROVED BY DATE
INSTRUCTIONS: THIS PLAN IS FOR REVIEW ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THIS PLAN AND ANY AND ALL REVISIONS WILL REQUIRE RE-APPROVAL.

map of dedication 615-04
native plant plan 195-04
civil plan check 4642.01.4
plan check 4642.01.3
DRB case 36.DR.2003

1 enlarged site plan
A1.1a SCALE 1/16" = 1'-0"

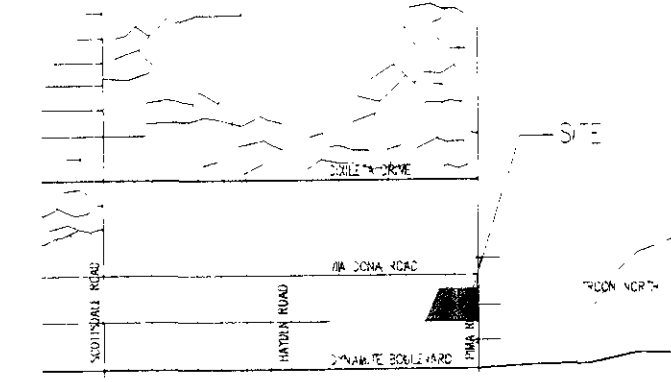
site legend

- ACCESSIBLE PATH OF TRAVEL
- EXPOSED AGGREGATE GREY CONCRETE (SEE KEYNOTE)
- PAVED NATURAL SOIL (SEE KEYNOTE)

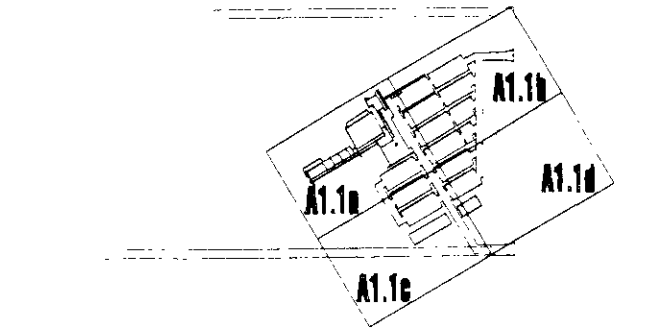
naos calculations

TOTAL SITE (GROSS): 1,141,873 S.F. (26.2 ACRES)
TOTAL SITE (NET): 1,076,392 S.F. (24.7 ACRES)
UNDISTURBED NATURAL AREA OPEN SPACE (NAOS): 413,476 S.F. TOTAL (36.2% OF SITE)
413,476 S.F. REQUIRED (PER SCOTTSDALE ZONING ORDINANCE, SEC. 8-10B(2)(4))
OPEN SPACE (INCLUDING NAOS AND "UNDEVELOPED" OPEN SPACE): 413,423 S.F. TOTAL (36.2% OF SITE)
356,178 S.F. REQUIRED (24% = 7.0% (24% * 15') OF 1,141,873 S.F.) (PER SCOTTSDALE ZONING ORDINANCE, SEC. 5-01(A)(2)(3))

vicinity map



key plan



keynotes

- BROOM FINISH GREY CONCRETE PAD - WALKWAY / RAMP / STAIR
- EXPOSED AGGREGATE GREY CONCRETE WALKWAY
- PAVED NATURAL SOIL - REFERENCE LANDSCAPE DRAWING 4642-01-3
- BLACK-HEEL PROOF STEEL GRATE - SEE CIVIL DRAWINGS 0203-4642-01-4
- WAG STANDARD GREY CONCRETE GUTTER, BROOM FINISH - SEE CIVIL DRAWINGS PSS01 - PSS04-4642-01-3
- WAG STANDARD GREY CONCRETE CURB - SEE CIVIL DRAWINGS PSS01 - PSS04-4642-01-3
- BLACK ASPHALT PAVING - SEE CIVIL DRAWINGS PSS01 - PSS04-4642-01-3
- PAINTED STRIPING - SEE CIVIL DRAWINGS PSS01 - PSS04-4642-01-3
- GRAVELLED RAMP - SEE CIVIL DRAWINGS 0201-0203-0205-4642-01-4 AND LANDSCAPE DETAIL 10-16-1-4642-01-4
- TICKER/STEEP-E - SEE DETAIL 11-11-2-4642-01-3
- GABION RETAINING WALL 2' TO 3' HIGH - SEE DETAIL 21-41-2-4642-01-3
- NOT USED
- PIPE RAILING - SEE DETAIL 41-41-2-4642-01-3
- ODS STANDARD BAY PAVK - SEE DETAIL 61-41-2-4642-01-3 FOR SIGN AND CIVIL DRAWING PSS01-4642-01-4 FOR POST DETAIL
- SPALSH-BLOCK - SEE DETAIL 61-41-2-4642-01-3
- SAFETY RAILING - SEE DETAIL 71-41-2-4642-01-3
- POLE MOUNTED LIGHT FIXTURE - SEE DETAIL 101-41-2-4642-01-3 - ELECTRICAL SITE PLAN E101-4642-01-3
- ODS STANDARD ADA SIGNAGE - SEE DETAIL 11-41-2-4642-01-3
- VEHICLED WALKWAY DIFFERENCE: F GRADE < 30" AND SLOPE < 1:20 - NO HANDRAIL NO GUARDRAIL REQUIRED OR PROVIDED
- SAFETY POST - SEE CIVIL SHEET PSS01-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 1/3501-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 2/3501-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 3/3501-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 4/3501-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 5/3501-4642-01-4
- NOT USED
- GABION RETAINING WALL 0' TO 3' HIGH - 7/3501-4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 8/3501-4642-01-4

- 11 JUNE 2004 OWNER CHANGES
- 13 JULY 2004 FIRST REVIEW
- 23 SEP 2004 OWNER CHANGES
- 17 SEP 2004 SECOND REVIEW

A1.1b

enlarged site plan
1/16" = 1'-0"

scottsdale first assembly

DREAM CENTER

28700 north pima road
scottsdale, arizona 85262
APN: 216-70-008



25 June 2004
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SITE PLAN

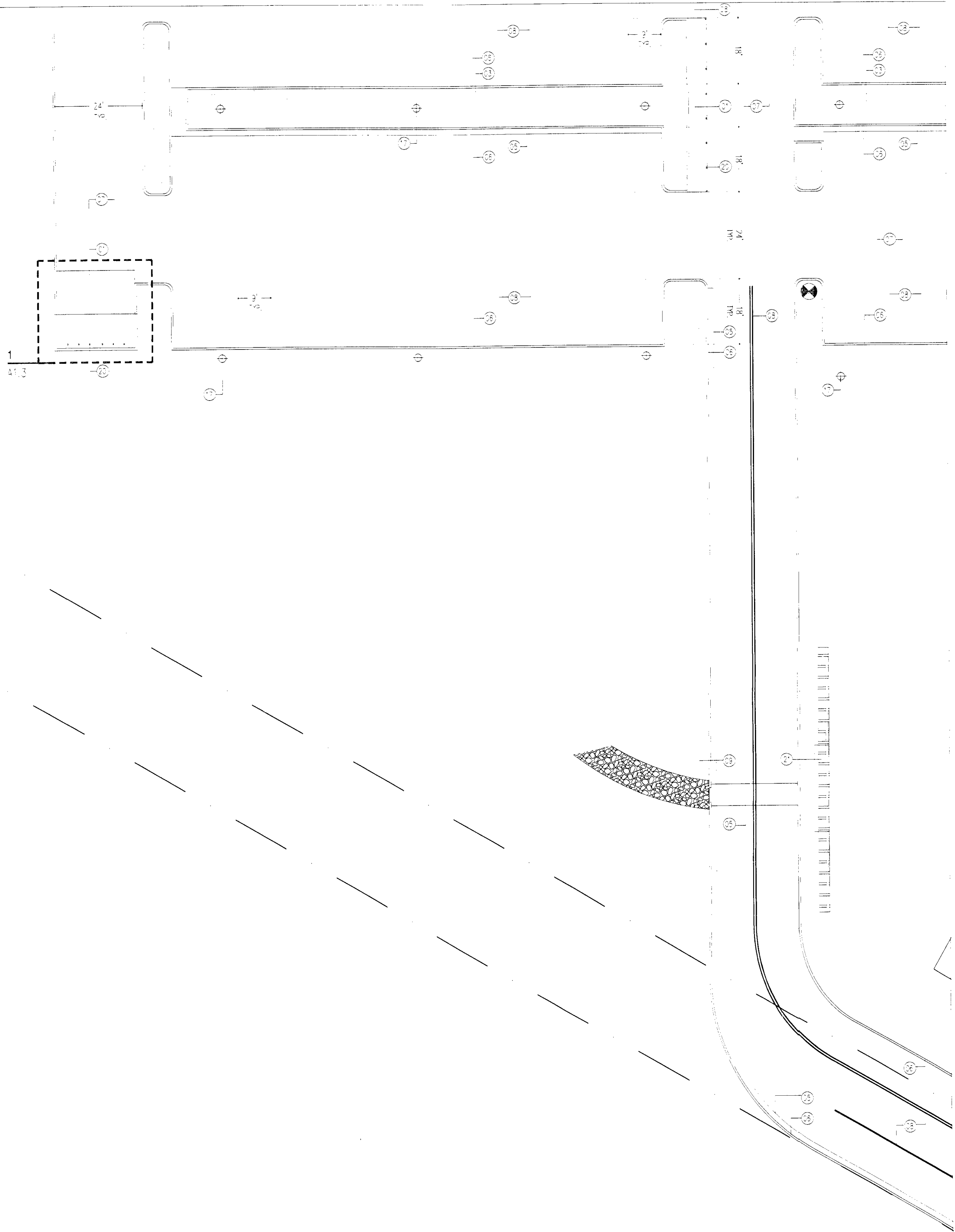
APPROVED

BY THE CITY OF SCOTTSDALE SUBJECT REVIEW
36-01-2003 11/18/04
CASE NUMBER APPROVED DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

map of dedication 615-04
native plant plan 195-04
DRB case 36.DR.2003
civil plan check 4642.01.4
plan check 4642.01.3

1 enlarged site plan
ATTN: SCALE 1/16" = 1'-0"



site legend

- ACCESSIBLE PATH OF TRAVEL
- EXPOSED AGGREGATE GREY CONCRETE (SEE KEYNOTE)
- RAVED NATURAL SOIL (SEE KEYNOTE)

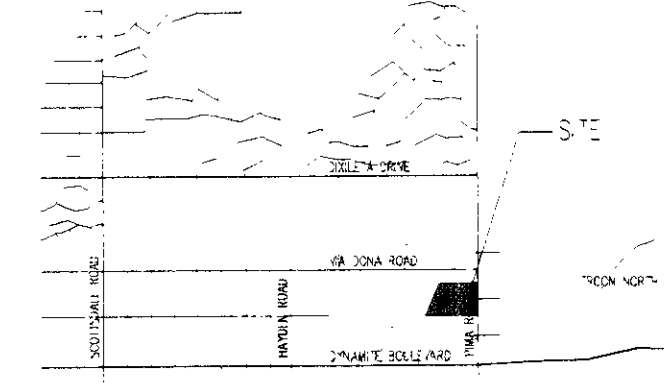
naos calculations

TOTAL SITE (GROSS): 1,141,873 S.F. (26.2 ACRES)
TOTAL SITE (NET): 1,076,392 S.F. (24.7 ACRES)
UNOBTAINED NATURAL AREA OPEN SPACE (NAOS): 413,416 S.F. TOTAL (36.0% OF SITE)
413,416 S.F. REQUIRED
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 8.1060.4)
OPEN SPACE (VOLUNTARY NAOS AND "NEED-BASED" OPEN SPACE): 413,416 S.F. TOTAL (36.0% OF SITE)
358,138 S.F. REQUIRED (24% = 7.2% (0.4% * 18) OF 1,141,873 S.F.)
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 8.012.4.12.5)

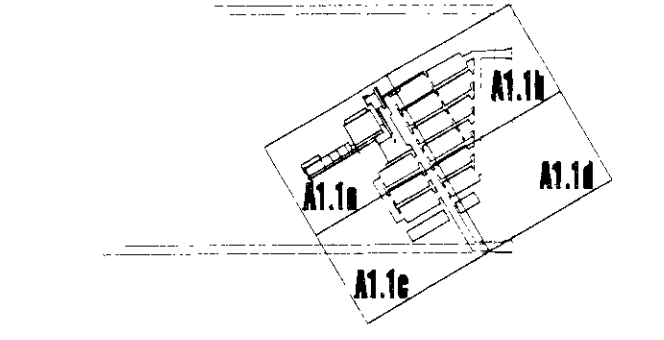
keynotes

- BROAD FINISH GREY CONCRETE PAVING WALKWAY / RAMP / STAIR
- EXPOSED AGGREGATE GREY CONCRETE WALKWAY
- RAVED NATURAL SOIL - REFERENCE LANDSCAPE DRAWING 4.1/4642-01-1
- BLACK-HEEL PROOF STEEL GRATE - SEE CIVIL DRAWINGS 0003/4642-01-4
- W40 STANDARD OPEN CONCRETE OUTLET, BROAD FINISH - SEE CIVIL DRAWINGS PSS01 - PSS04/4642-01-3
- W40 STANDARD GREY CONCRETE CURB - SEE CIVIL DRAWINGS PSS01 - PSS04/4642-01-3
- BLACK TOP PAVING - SEE CIVIL DRAWINGS PSS01 - PSS04/4642-01-3
- PAINTED STRIPING - SEE CIVIL DRAWINGS PSS01 - PSS04/4642-01-3
- GRAVEL RAMP - SEE CIVIL DRAWINGS 0001, 0003-0005/4642-01-4, AND LANDSCAPE DETAIL 10/6.1/4642-01-4
- TOWER/STEEPLE - SEE DETAIL 1.1/1.2/4642-01-3
- GABION RETAINING WALL 2' TO 5' HIGH - SEE DETAIL 2.1/1.2/4642-01-3
- NOT USED
- PREFINISHED - SEE DETAIL 4.1/1.2/4642-01-3
- W40 STANDARD BAY PAVEMENT - SEE DETAIL 5.1/1.2/4642-01-3
TOP SOIL AND CIVIL DRAWING 5501/4642-01-4 FOR POST DETAIL
- SPALSH BLOCK - SEE DETAIL 6.1/1.2/4642-01-3
- SAFETY RAILING - SEE DETAIL 7.1/1.2/4642-01-3
- POLE MOUNTED LIGHT FIXTURE - SEE DETAIL 10/1.1/2/4642-01-3 - ELECTRICAL SITE PLAN 2.1/4642-01-3
- W40 STANDARD ADA SIGNAGE - SEE DETAIL 11/1.1/2/4642-01-3
- WOODED WALKWAY DIFFERENCE FROM GRADE < 30" AND SLOPE < 1:20 - NO HANDRAIL NO GUARDRAIL REQUIRED OR PROVIDED
- SAFETY POST - SEE CIVIL SHEET 5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 1/5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 2/5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 3/5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 4/5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 5/5501/4642-01-4
- NOT USED
- GABION RETAINING WALL 0' TO 3' HIGH - 7/5501/4642-01-4
- GABION RETAINING WALL 0' TO 3' HIGH - 8/5501/4642-01-4

vicinity map



key plan

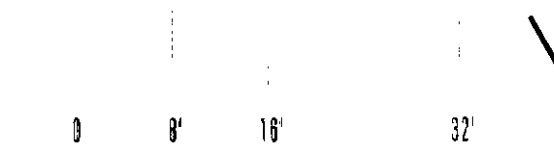


- 11 JUNE 2004 OWNER CHANGES
- 13 JULY 2004 FIRST REVIEW
- 03 SEP 2004 OWNER CHANGES
- 17 SEP 2004 SECOND REVIEW

A1.1c

enlarged site plan
1/16" = 1'-0"

scottsdale first assembly
DREAM CENTER
28700 north prima road
scottsdale, arizona 85262
APN: 216-70-008



25 june 2004
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0142

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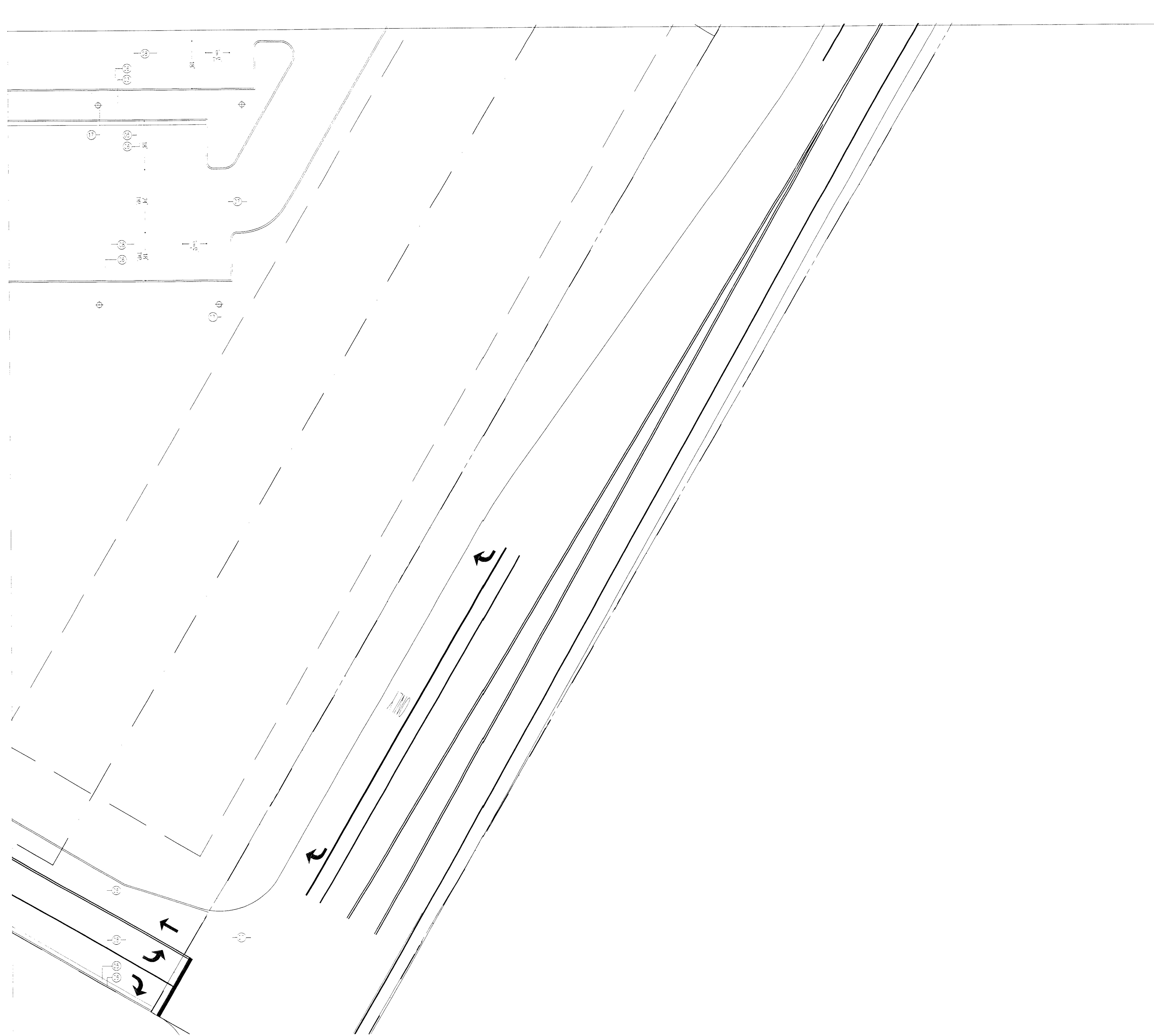
SITE PLAN

APPROVED

BY THE CITY OF SCOTTSDALE PROJECT REVIEW
26-02-2003 11/1/14 1/15/2007
CASE NUMBER APPROVED BY DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

map of dedication 615-04	civil plan check 4642.01.4
native plant plan 195-04	plan check 4642.01.3
1 enlarged site plan APN: SCALE: 1/16" = 1'-0"	DRB case 36.DR.2003



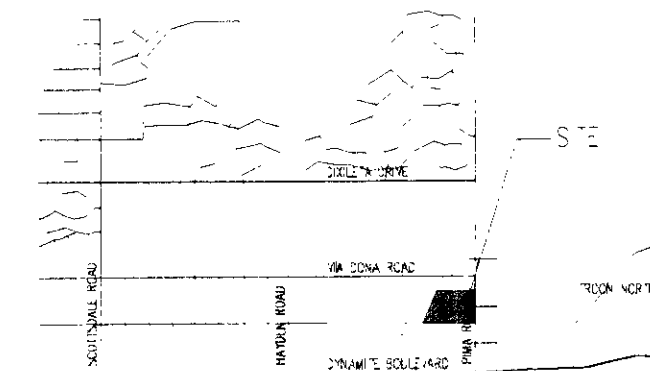
site legend

- ACCESSIBLE PATH OF TRAVEL
- ===== EXPOSED AGGREGATE GREY CONCRETE (SEE KEYNOTE)
- ===== RAKED NATURAL SCL (SEE KEYNOTE)

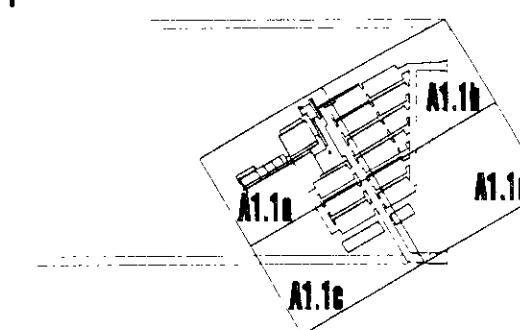
naos calculations

TOTAL SITE (POSSIBLE) 1141,373 S.F. (26.2 ACRES)
TOTAL SITE (NET) 1076,392 S.F. (24.7 ACRES)
LANDSCAPED NATURAL AREA OPEN SPACE (NAOS)
413,416 S.F. TOTAL (36.21% OF SITE)
413,416 S.F. REQUIRED
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 61060.4)
OPEN SPACE (INCLUDING NAOS AND "LANDSCAPED" OPEN SPACE)
413,423 S.F. TOTAL (36.21% OF SITE)
358,108 S.F. REQUIRED (24% = 7.2% (0.4% * 18%) OF 1141,373 S.F.)
(PER SCOTTSDALE ZONING ORDINANCE, SEC. 51024.12.6)

vicinity map



key plan



keynotes

- 21 BROAD FINISH GREY CONCRETE PAD - WALKWAY
PUMP / STAIR
- 22 EXPOSED AGGREGATE GREY CONCRETE WALKWAY
- 23 RAKED NATURAL SCL - REFERENCE LANDSCAPE DRAWING
411/4642-01-3
- 24 BLACK-HEEL-PROOF STEEL GRATE - SEE CIVIL DRAWINGS
0003/4642-01-4
- 25 MAG STANDARD GREY CONCRETE GUTTER, BROAD FINISH -
SEE CIVIL DRAWINGS PSS01 - PSS04/4642-01-3
- 26 MAG STANDARD GREY CONCRETE CURB - SEE CIVIL DRAWINGS
PSS01 - PSS04/4642-01-3
- 27 BLACK AC PAVING - SEE CIVIL DRAWINGS PSS01 -
PSS04/4642-01-3
- 28 PAINTED STRIPING - SEE CIVIL DRAWINGS
PSS01-PSS04/4642-01-3
- 29 GROUTED R.P.-RAP - SEE CIVIL DRAWINGS 0001,
0003-0005/4642-01-4, AND LANDSCAPE DETAIL
101/611/4642-01/4
- 30 TOWER/STEEPLE - SEE DETAIL 11/412/4642-01-3
- 31 GABION RETAINING WALL 2' TO 5' AFG - SEE DETAIL 2/412/4642-01-3
- 32 NOT USED
- 33 PRE RAILING - SEE DETAIL 4/412/4642-01-3
- 34 COS STANDARD BKE RACK - SEE DETAIL 5/412/4642-01-3
FOR SIGN AND CIVIL DRAWING 5001/4642-01-4 FOR POST
DETAIL
- 35 SPALSH-BLOCK - SEE DETAIL 6/412/4642-01-3
- 36 SAFETY RAILING - SEE DETAIL 7/412/4642-01-3
- 37 POLE MOUNTED LIGHT FIXTURE - SEE DETAIL
10/412/4642-01-3 + ELECTRICAL SITE PLAN
510/4642-01-3
- 38 COS STANDARD ADA SLOPES - SEE DETAIL
11/412/4642-01-3
- 39 UNPAVED WALKWAY DIFFERENCE IN GRADE < 30" AND SLOPE <
1:10 - NO HANDRAILING REQUIRED OR PROVIDED
- 40 SAFETY POST - SEE CIVIL SHEET 5001/4642-01-4
- 41 GABION RETAINING WALL 0' TO 5' AFG - 1/0501/4642-01-4
- 42 GABION RETAINING WALL 0' TO 3' AFG - 2/0501/4642-01-4
- 43 GABION RETAINING WALL 0' TO 3' AFG - 3/0501/4642-01-4
- 44 GABION RETAINING WALL 0' TO 3' AFG - 4/0501/4642-01-4
- 45 GABION RETAINING WALL 0' TO 8' AFG - 5/0501/4642-01-4
- 46 NOT USED
- 47 GABION RETAINING WALL 0' TO 3' AFG - 7/0501/4642-01-4
- 48 GABION RETAINING WALL 0' TO 8' AFG - 8/0501/4642-01-4

- 11 JUNE 2004 OWNER CHANGES
- 2 13 JULY 2004 PRELIMINARY REVIEW
- 3 03 SEP 2004 OWNER CHANGES
- 4 17 SEP 2004 SECOND REVIEW

A1.1d

enlarged site plan
1/16" = 1'-0"

scottsdale first assembly

DREAM CENTER

28700 north pima road
scottsdale, arizona 85262
APN: 216-70-008



25 june 2004
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0142

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SITE PLAN

APPROVED

BY THE CITY OF SCOTTSDALE
36-01-2003 1/18/2004
CASE NUMBER APPROVED DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH
THIS PLAN AND ANY AND ALL CONDITIONS WILL REQUIRE REAPPRAISAL

1 enlarged site plan

SCALE: 1/16" = 1'-0"

map of dedication
615-04
native plant plan
195-04

DRB case
36.DR.2003

civil plan check
4642.01.4
plan check
4642.01.3