

TO: DEVELOPMENT REVIEW BOARD **DATE:** 2/17/2000
FROM: COMMUNITY DEVELOPMENT
SUBJECT: CASE 10-DR-00

REQUEST: Approve Renovation for an Existing Convenience Store
PROJECT NAME: Circle K Store #195
LOCATION: 3640 North Miller Road

DEVELOPER/OWNER: Tosco Marketing Co.
ARCHITECT/DESIGNER: RYLW Architecture
ENGINEER: NA
APPLICANT/COORDINATOR: Rodin Wong/RYLW Architecture

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

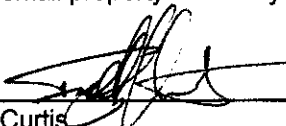
PUBLIC COMMENTS: There have been no comments from the public regarding the DRB application for this project.

DISCUSSION: The applicant is requesting approval for an exterior renovation for the existing convenience store located at 3640 N. Miller Road. The existing building is a block building with a cantilevered awning element and floor-to-ceiling windows at the front. The proposal includes the replacement of the cantilevered awning with a new 5'-10" tall stucco roof fascia containing two 1.5 foot-wide beige-colored stucco bands popping out 3 inches from the fascia. The new fascia wraps the front (east) elevation, and portions of the north and south elevations. The break in the fascia pop-out feature for the sign is located over the door to highlight the entrance of the building. The proposal also includes replacing the lower storefront glass with a beige ceramic tile wainscot, and wrapping the wainscot on the front (east) and south elevations. A red tile accent is located on top of the beige wainscot. Further, the applicant proposes to repaint the building an "egret white" color and provide a 5.5 foot tall perforated metal screen (colored to match the building) to help screen the ice cabinet located in the front of the store.

Recessed can lighting is proposed under the storefront canopy. Cove lighting containing fluorescent tube lamps is proposed along the top of the fascia directed downward. To help prevent this cove lighting from lighting the entire fascia, it has been stipulated to conform to a lighting detail showing the following:

- Low intensity/low output fluorescent lamps
- A series of screening louvers below the fluorescent lamps
- A reflector behind the lamps to project lighting away from the fascia

The small property limits any possible modifications to the existing site layout.

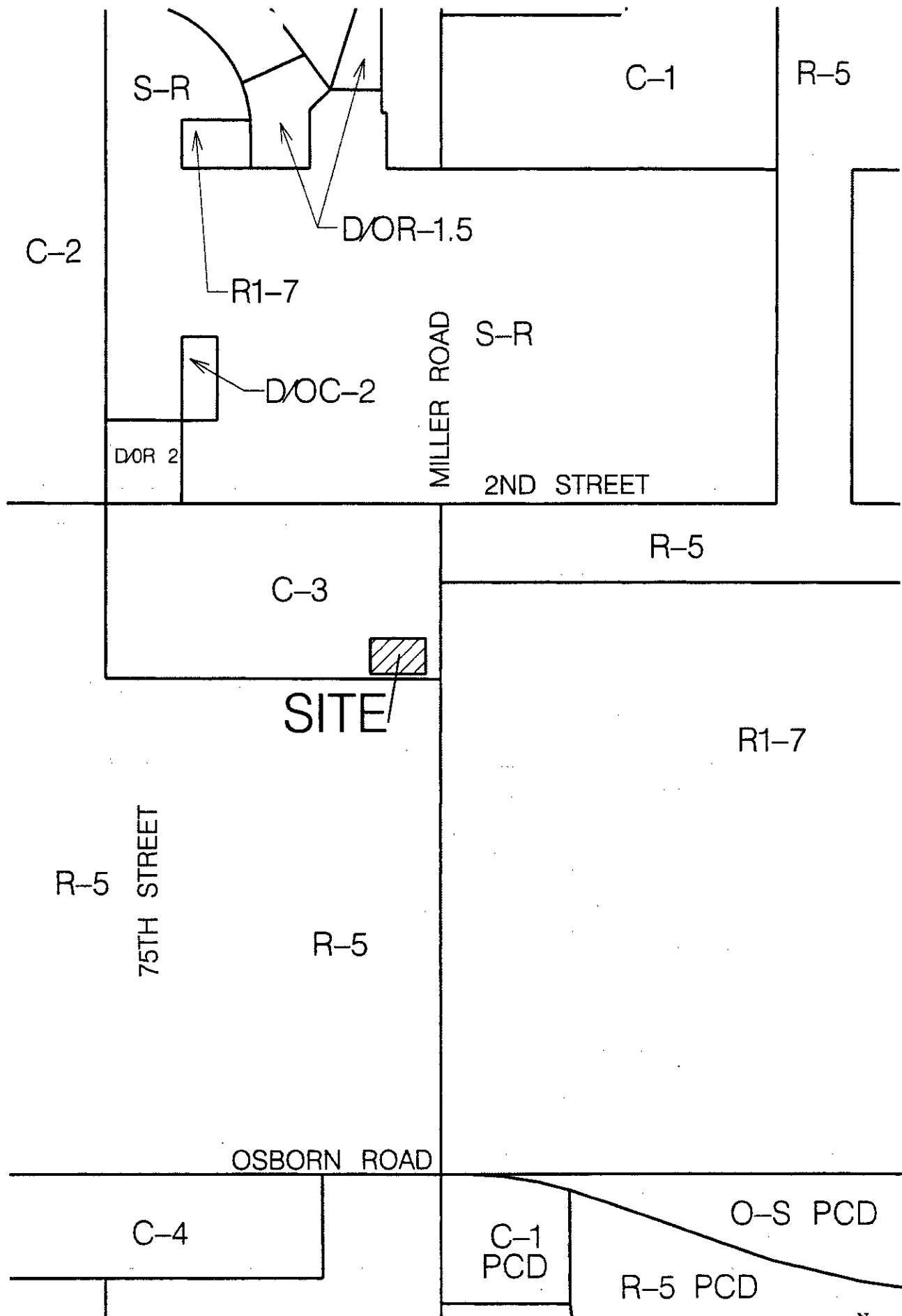


Tim Curtis
Project Coordination Planner
480-312-4210

ATTACHMENTS:

- #1-Aerial
- #2-Zoning Map
- #3-Site Plan
- #4-Existing Elevations
- #5-5A Proposed Elevations
- #6-Project Narrative
- A-Stipulations
- B-Ordinance Requirements

APPROVED
2/17/00
DATE INITIALS
TK



10-DR-00

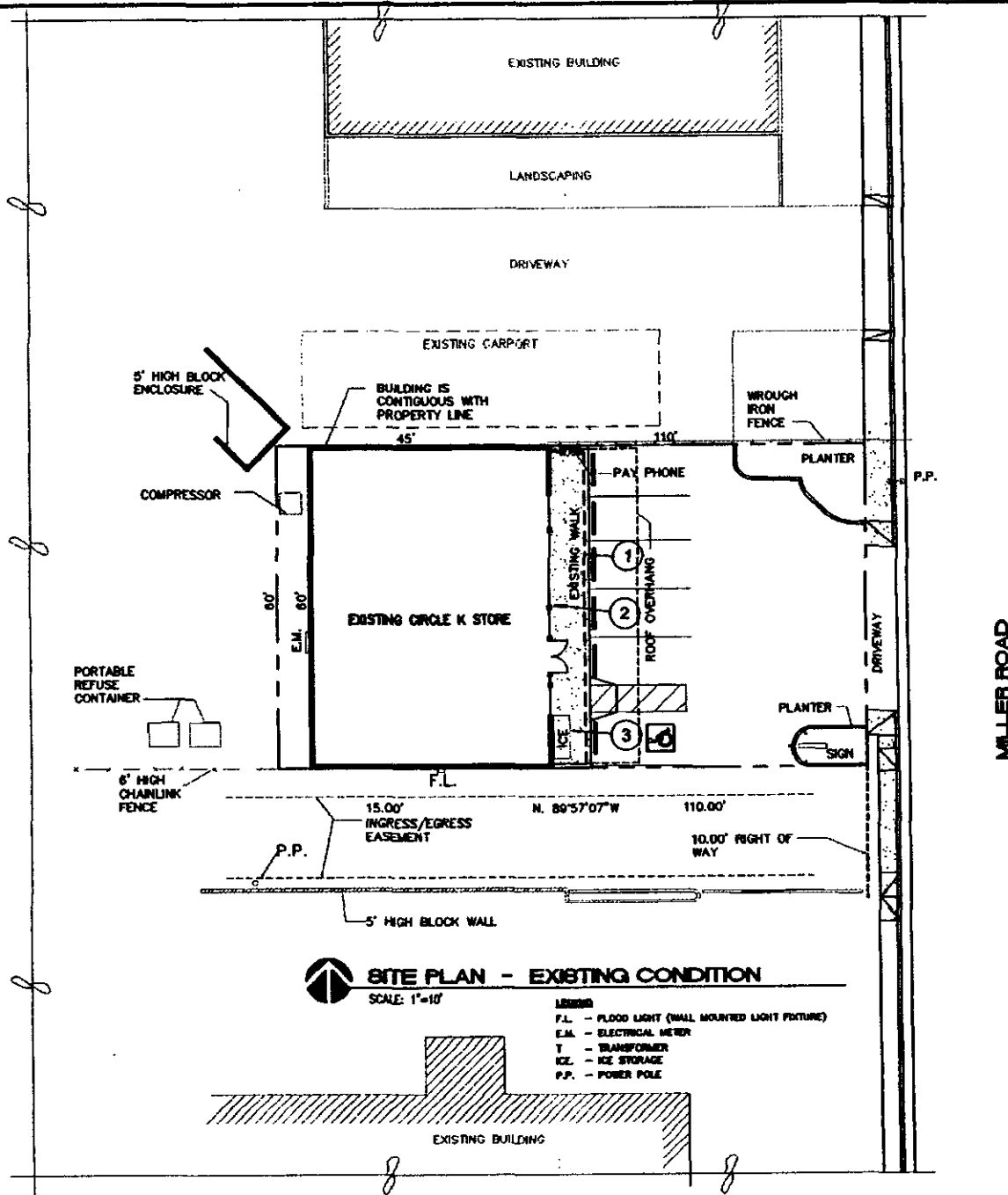
ATTACHMENT #2



ATTACHMENT #3

KEYNOTES - SCOPE OF WORK (SEE EXTERIOR ELEVATIONS FOR DETAILS)

- ① NEW FASCIA AT SHORTENED ROOF OVERHANG - SEE ELEVATIONS.
- ② NEW BICYCLE RACK
- ③ EXISTING OUTDOOR EQUIP. TO BE SCREENED. SEE DETAIL.



RYLW
HPLANS
1111 1st St.
Scottsdale, AZ 85261

SITE PLAN - EXISTING CONDITIONS

STORE #0195
3640 N. MILLER RD.
SCOTTSDALE, ARIZONA



PROJECT

REVISIONS
1-00

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DATE 12-1999

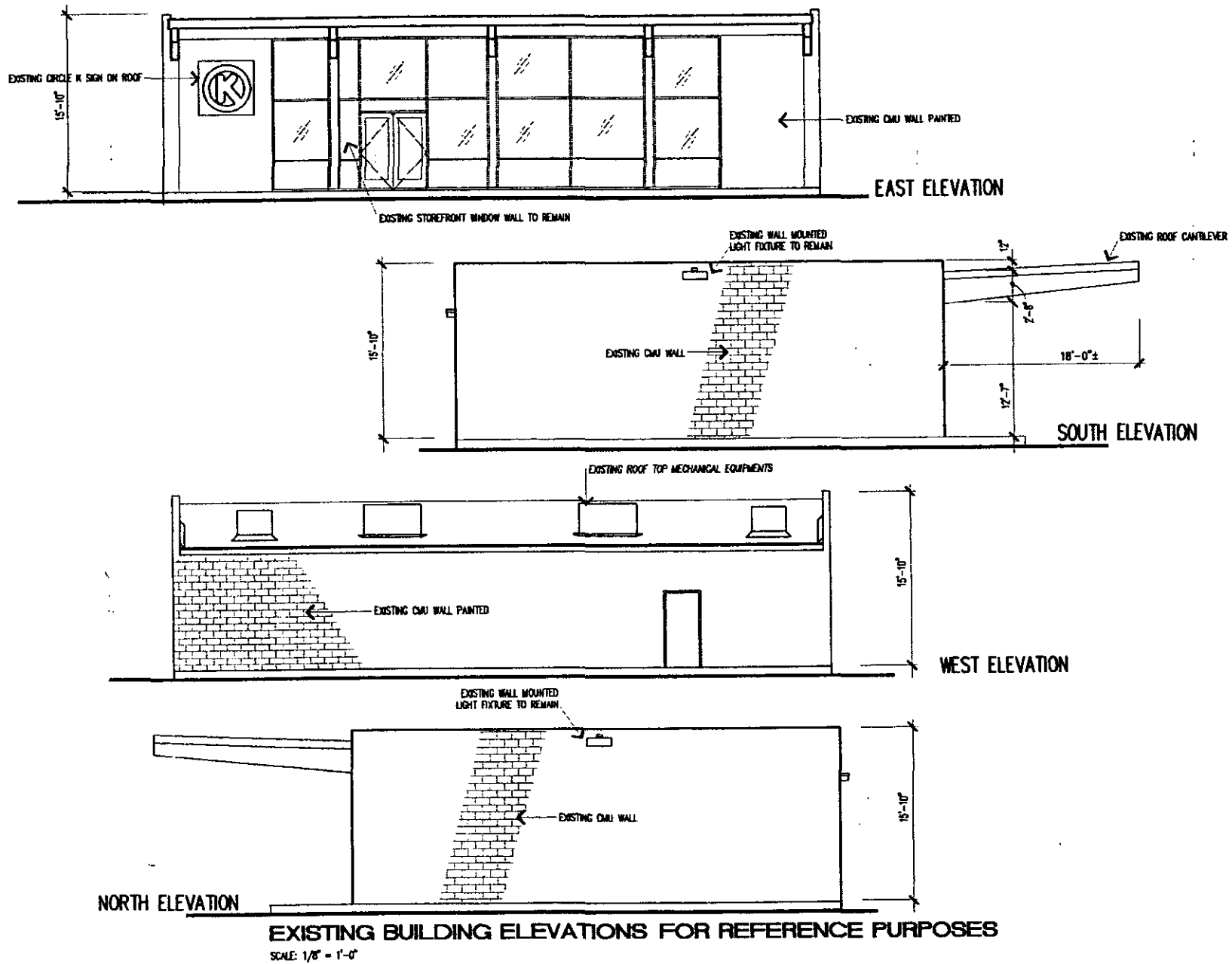
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10-DR-00

ATTACHMENT #4



RYLW
R
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EXISTING ROOF FASCIA REMODEL
STORE #195
3840 N. MILLER ROAD
SCOTTSDALE, ARIZONA



PROJECT:

REVISIONS



DATE REVISED 12-1999

SHEET NO.

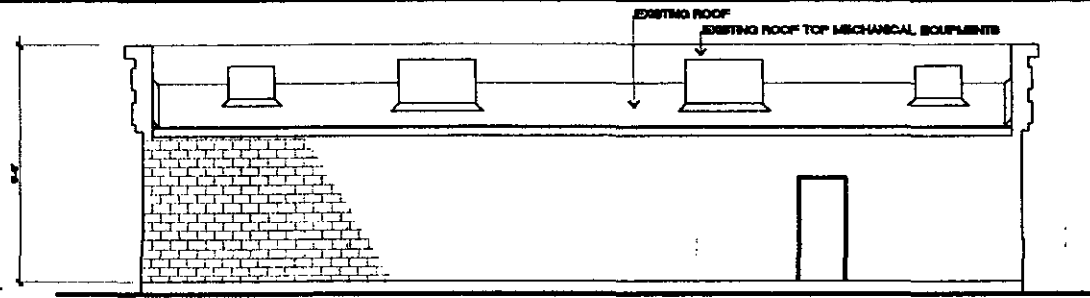
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10-DR-00

ATTACHMENT #5

EAST ELEVATION
SHEET 10-DR-00



PROJECT NAME / NO.
SHEET 10-DR-00

PROJECT ADDRESS
340 N. MILLER ROAD
SCOTTSDALE, ARIZONA

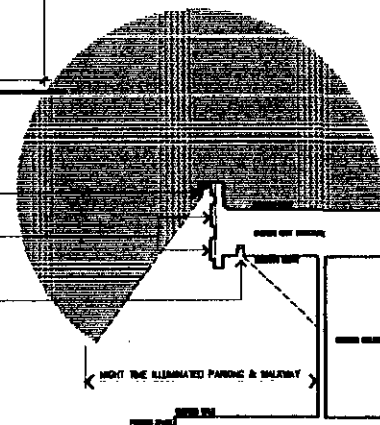
OWNER INFORMATION
TOSCO STORE #195
340 N. MILLER ROAD
SCOTTSDALE, ARIZONA

DESIGNER INFORMATION
DATE: 12-15-1994
BY: [Signature]

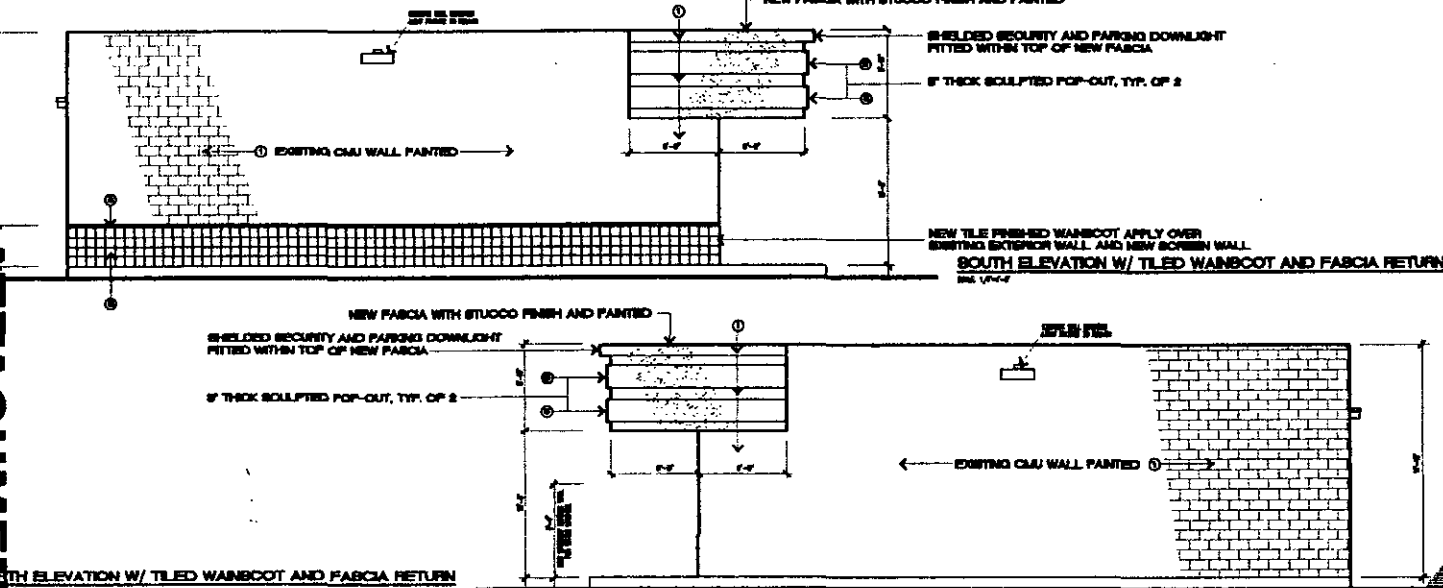
NOTES:
1. SEE SHEET 10-DR-01 FOR EXISTING ROOF AND MECHANICAL EQUIPMENT.
2. SEE SHEET 10-DR-02 FOR EXISTING CMU WALL AND PAINTED FINISH.
3. SEE SHEET 10-DR-03 FOR EXISTING STOREFRONT WINDOW WALL AND REMAIN LOWER SECTION OF STOREFRONT WINDOWS.

PROPOSED EXTERIOR PALETTE

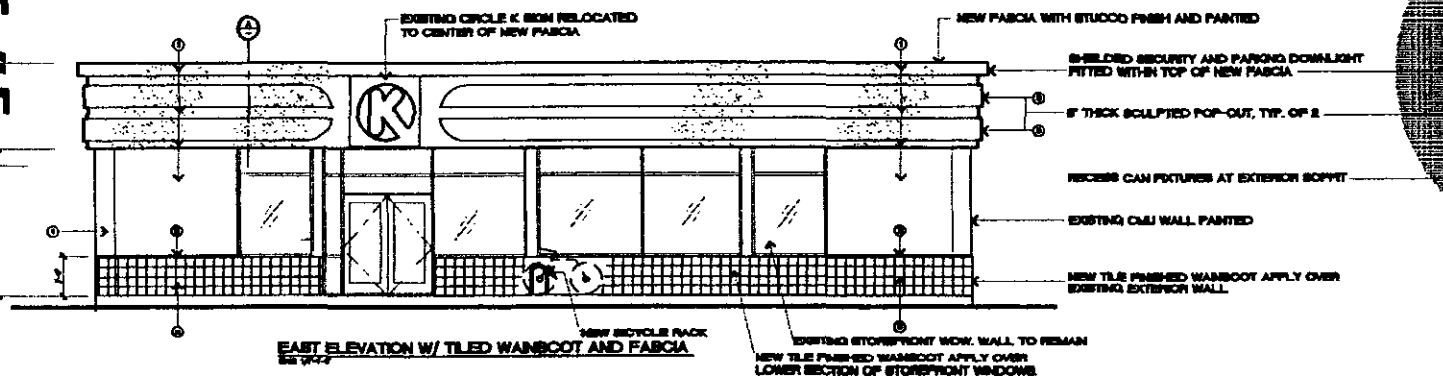
COLOR NO.	COLOR	APPLICATION
①	BEIGE WHITE	FASCIA PAINT WALL PAINT
②	CIRCLE K RED	ACCENT TILE AT TOP OF WAINSCOT
③	BLACK	FASCIA PAINT AT POP-OUT BARRIERS WAINSCOT TILES



① CROSS SECTION PROFILE OF STOREFRONT CANOPY



WITH ELEVATION W/ TILED WAINSCOT AND FASCIA RETURN



EAST ELEVATION W/ TILED WAINSCOT AND FASCIA
SHEET 10-DR-00

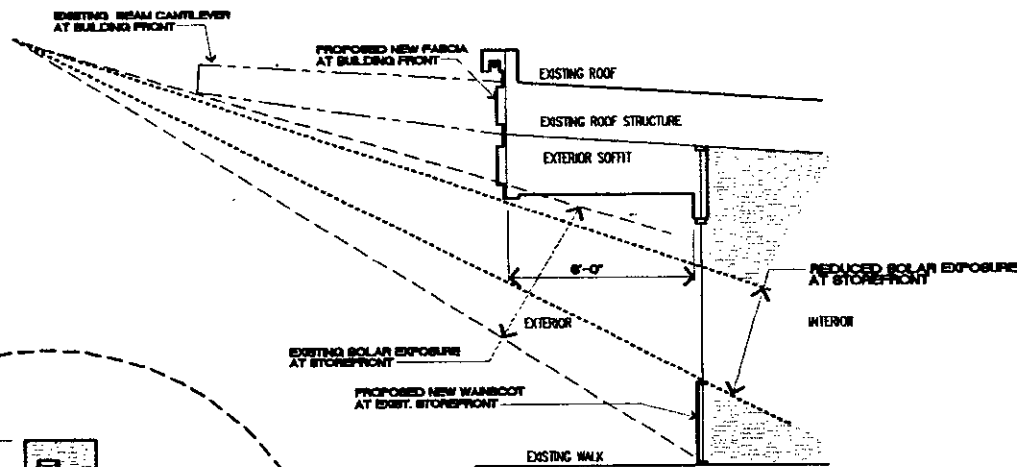
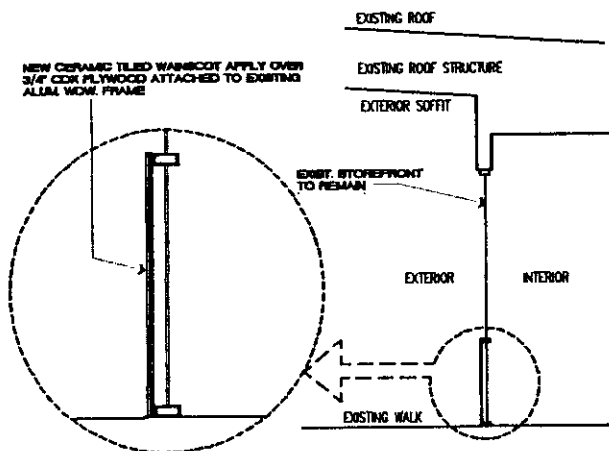


EXISTING ROOF FASCIA REMODEL
STORE #195
340 N. MILLER ROAD
SCOTTSDALE, ARIZONA

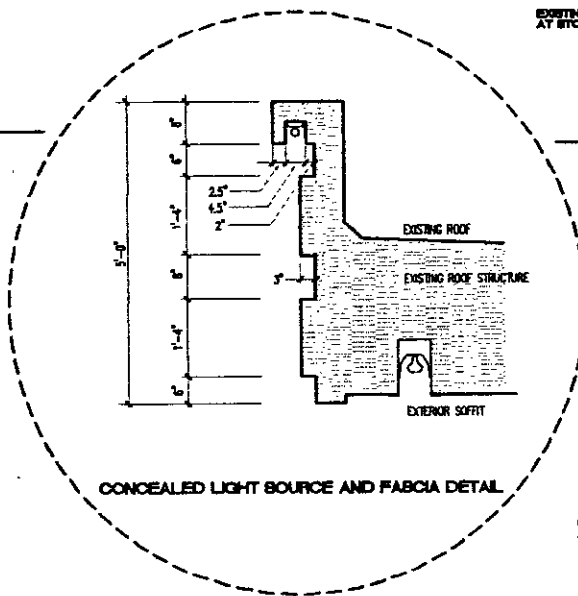
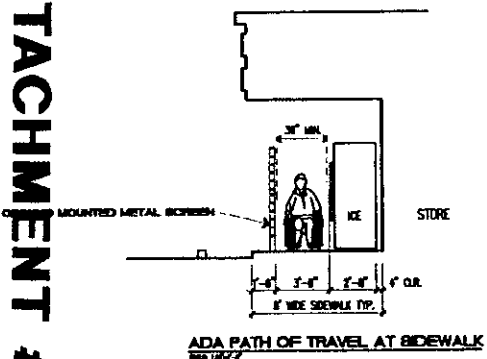


PROJECT
REVISIONS
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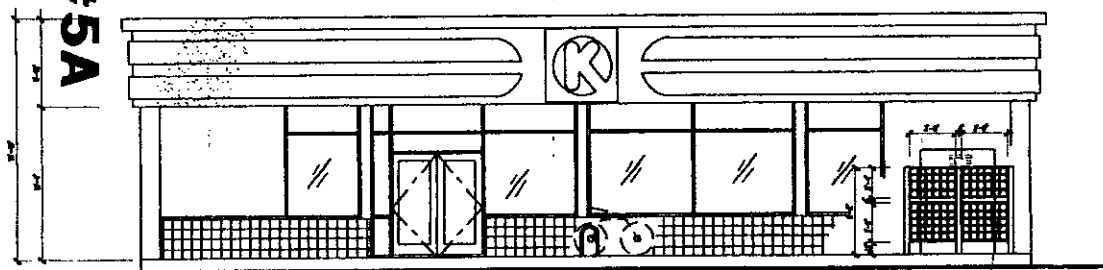
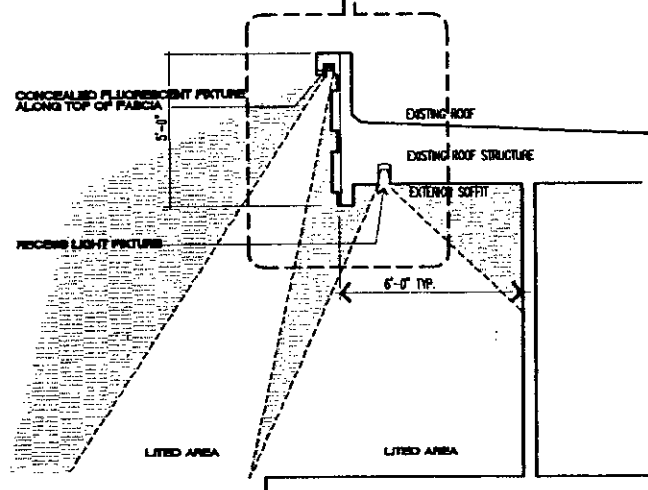
DATE REVISED 12-15-1994
SHEET No.



TYPICAL WAINGSCOT AT EXISTING STOREFRONT WINDOWS



SOLAR EXPOSURE REDUCTION BY PROPOSED FASCIA AND WAINGSCOT



GROUND MOUNTED METAL SCREEN SET IN FRONT OF OUTDOOR EQUIPMENT



Scottsdale PROJECT NARRATIVE



<input type="checkbox"/> Rezoning	<input type="checkbox"/> Other
<input type="checkbox"/> Use Permit	
<input checked="" type="checkbox"/> Development Review	
<input type="checkbox"/> Master Sign Programs	
<input type="checkbox"/> Variance	

Case # _____ / 63 -PA- 99
 Project Name Circle K Store #195
 Location 3640 N. Miller Road
 Applicant Rodin Wong
602-285-1270

SITE DETAILS

~~Proposed~~ Existing Zoning: C3
 Use: Retail
 Parcel Size: 6600 s.f.
☒ Gross Floor Area ☐ Total Units: 2700 s.f.
☐ Floor Area Ratio ☒ Density: 41%

Parking Required: 8
 Parking Provided: 6
 # Of Buildings: 1
 Height: 15'0"
 Setbacks: N- _____ S- _____
 E- _____ W- _____

In the following space, please describe the project or the request

The proposed scope of work consisted of construction of new fascia apply over shortened roof overhang at East and extend to part of the South wall. New tile finished wainscot to be applied over this existing store front windows and continue over the South wall. New screen added to visually shield the outdoor water machine. Lightings at the new fascia and exterior soffit to be shielded.

10-DR-00

ATTACHMENT #6

**BOLD & STRIKE THROUGH TEXT INDICATES REVISIONS AS APPROVED BY DRB ON 2/17/2000
STIPULATIONS**

**BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST
BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING
STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.**

BUILDING ELEVATIONS:

1. *The break in the fascia pop-out feature for the sign shall be located over the door to highlight the entrance of the building.*
2. *The applicant shall provide a minimum 5.5 foot tall perforated metal screen (colored to match the building) to screen any ice cabinets located in the front of the store*

ROOF ACCESS

1. No exterior visible ladders allowed.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).
2. If provided, indicate location and design of scuppers, and integrate with the architectural design.

LIGHTING:

1. *Cove lighting along the top of the fascia shall be directed downward and conform to a lighting detail showing the following:*
 - *Low intensity/low output fluorescent lamps*
 - *A series of screening louvers below the fluorescent lamps*
 - *A reflector behind the lamps to project lighting away from the fascia*
 - **A PHOTOMETRIC ANALYSIS SHOWING THAT THE NEW LIGHTING LEVELS ARE LOWER THAN THE EXISTING LIGHTING LEVELS**
2. With the final plans submittal, the developer shall provide plans indicating the location of all exterior on-site lighting including lighting fixture types. The developer shall provide cut sheets, printed onto blue line format, indicating wattage, method of shielding and fixture design for each type of exterior fixture proposed. Exterior lighting fixtures shall be subject to final plans approval.
3. Any new pole-mounted lighting shall be a maximum of 20 feet in height.

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SIGNS:

1. Provide note on final documents: Signs require separate approvals and permits.

BICYCLE:

1. The developer shall include bike rack cut sheets / details with the final plans submittal. The bike rack design shall be subject to Final Plans staff approval. Contact the City Bicycle Coordinator for the approved rack design, or for alternative rack design approval.

TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
2. Sight distance easements shall be dedicated oversight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures, published January 1994.

REFUSE COLLECTION:

THE FINAL PLAN SUBMITTAL SHALL IDENTIFY A REFUSE ENCLOSURE LOCATION PER THE FOLLOWING GUIDELINES:

1. Refuse enclosures shall be constructed to City of Scottsdale's standards (details available upon request).
2. An area 14' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:
 - Commercial Building Space: One for 0 to 20,000 s.f.
 Two for 20,001 to 40,000 s.f.
 Three for 40,001 to 60,000 s.f., etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 s.f., as shown above.

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4. Enclosures must:

- Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- Be positioned to facilitate collection without "backtracking."
- Be easily accessible by a simple route.
- Not require backing more than 35 feet.
- Not be located on dead-end parking aisles.

5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

6. Underground vault-type containers are not allowed.

DRAINAGE AND FLOOD CONTROL STIPULATIONSDRAINAGE

1. EXISTING STORM WATER STORAGE BASIN. No revision to the existing paved surfaces, curbs and gutters is proposed. If existing storm water storage basins are affected by proposed landscaping improvements, the developer shall provide sufficient details to demonstrate that the existing volume of storm water storage is not decreased and that the existing point of storm water out-fall from the site is maintained.

THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- * Review of development proposal by the Development Review Board is the first step toward obtaining a building permit.
- * Development Review Board approval expires ONE YEAR from the date of approval if a building permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- * Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- * There maybe some Ordinance requirements, which apply to your project that, are not included here.
- * City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- * Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations, which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. HISTORICAL FLOW. Off-site runoff must enter and exit the site as it did historically.

REFUSE REQUIREMENTS:

1. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
2. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 312-5600.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

ENGINEERING WATER ORDINANCE REQUIREMENTS

WATER DEVELOPMENT ORDINANCE

1. HEALTH AND SAFETY REQUIREMENTS. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

FINAL PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) Architectural Plans: 11" x 17" minimum, up to 30" x 42" maximum
 - b) Landscaping/Irrigation Plans: 24" x 36"
 - c) Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape areas. Provide note on the landscape plans.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide a schedule indicating the timing on installation of all improvements required by planning.
5. Provide a contour map of the existing topography.
6. Provide a site plan with the following information:
 - a) Zoning of property, and adjacent properties.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
 - d) Setback of structures - front, side, rear.
 - e) Parking lot dimensions - stall width and length, driveway width, parking angle.
 - f) Location and details of refuse enclosure & bicycle racks.
 - g) Parking calculations required/provided.
 - h) Location of handicap parking spaces & van accessible spaces.
 - i) All development on adjacent property within 50 feet of this project.
7. Provide building elevations with the following information:
 - a) Height of building (see Section 3.100 of the Zoning Ordinance for definition of building height) above finished floor/natural grade.
 - b) Label colors of all exterior materials (matching those approved at Development Review Board).
8. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope

- c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
- d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.

FINAL PLANS ORDINANCE REQUIREMENTS

SCREENING:

1. The height of the parapet or other screening device shall be equal to or higher than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.

OTHER:

1. Provide 4% of required parking as handicap parking spaces (1 minimum). A minimum of 1 space is required to be van accessible per Section 9.105 of the Zoning Ordinance.
2. Provide one bicycle parking space per each 10 required vehicle parking spaces (1 minimum) per Section 9.103 of the Zoning Ordinance.

CLE - K - STORE RENOVATION

PERMIT # 195

3640 N. MILLER RD.

SCOTTSDALE, AZ.

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1 PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS
- ☐ 2 FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & UFC AT THE FOLLOWING LOCATIONS:

- ☒ 3 IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS (PER C.O.S 91-3)
- ☐ 4 SUBMIT PLANS & SPEC FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS
- ☐ 5 PROVIDE KNOX BOX ACCESS:
☐ A. KNOX BOX ☐ B. PADLOCK
☐ C. ELECTRONIC
- ☐ 6 SUBMIT PLANS FOR AN OCCUPANT NOTIFICATION SYSTEM PER SCOTTSDALE REVISED CODES
- ☐ 7 SUBMIT PLANS FOR CLASS FIRE ALARM SYSTEM PER SCOTTSDALE CODES. SEE SHEET
- ☐ 8 ADD 2 1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ FT PER FLOOR LEVEL AND/OR IF FIRE DEPT ACCESS IS LIMITED TO LESS THAN 360°
- ☐ 9 ALL BLDGS 4 OR MORE STORIES IN HEIGHT, SHALL HAVE A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM
- ☒ 9 BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER ON CLASS I AND II FIRE SPRK SYS. PER SCOTTSDALE REVISED CODE
- ☐ 10 PROVIDE ALL WEATHER ACCESS ROAD (MIN 20') TO ALL BLDGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION
- ☒ 11 NUMBER OF REQUIRED FIRE HYDRANTS EX. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. DEVELOPER TO PROVIDE WAIVER OF FIRE DEPT. RESPONSIBILITY OR COPY OF CURRENT CITY APPROVED CIVIL WATER PLANS TO FIRE SPRINKLER CONTRACTOR FOR LOCATING NEW AND/OR EXISTING HYDRANT WATER MAIN SUPPLY DATA. SPACED MAX O/C 700' AT 1,500 GPM
- ☒ 12 PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET
- ☒ 13 EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE CITY ORDINANCE & UFC. SEE SHEET
- ☒ 14 SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MAT'L INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC., NFPA 704 EMER PLACARDING & STORAGE SEPARATION COMPLETED APPLICATION FOR HAZARDOUS MATERIALS PERMIT SHALL BE PROVIDED WITH BLDG PLANS (HMIS, HMMP)
- ☒ 15 FIRELINE, SPRINKLER & STANDPIPE SYSTEM TO BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES
- ☒ 16 FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE OR AT AN APPROVED LOCATION MIN. SIZE 2 1/2" X 2 1/2" X 4" (NHST)
☒ 4 TO 8' BCK OF CURB INDEPENDENT WET LINE
☐ WALL MOUNTED -15' CLEAR OF OPENINGS

17. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY MINIMUM NICET III DESIGN TECHNICIAN
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (1996 EDITION)
 - ☐ B. MODIFIED NFPA 13-R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS FOR UP TO SIX UNITS PER BUILDING FED FROM DOMESTIC SERVICE (1996 EDITION)
 - ☐ C. MODIFIED NFPA 13R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS PLUS ATTIC AREAS (CALCULATE UP TO FOUR REMOTE HEADS & 500 SQ FT MIN. IN ATTIC) FED FROM SEPARATE FIRELINE PER COS ORDINANCE & FIRE DEPT WRITTEN STANDARDS (1996 EDITION)
 - ☐ D. MODIFIED LIGHT HAZARD COMMERCIAL SYSTEM WITH QUICK RESPONSE SPRINKLER HEADS.
 - ☒ E. NFPA COMMERCIAL SYSTEM / DESIGN CRITERIA: ORD. GR. II - 0.20/1500 (1996 EDITION) MERCANTILE_
 - ☐ F. STORAGE 12' 0" & HIGHER REQUIRE DESIGN PER NFPA 231 OR 231C & ARTICLE 81 OF THE 1997 U.F.C. (1995 EDITIONS)
 - ☐ G. SPEC WAREHOUSE/OFFICE BUILDING SPRINKLER DESIGN CRITERIA:
.45 OVER 3000 SQ FT
 - ☒ H. REVIEW FIRE SPRINKLER ORDINANCE # 3100 FOR REQUIREMENTS.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127

FINAL PLANS REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL.

PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- | | |
|---------------------------------|---|
| * BUILDING PLANS: | 11" X 17 MINIMUM, UP TO 30" X 42" MAXIMUM |
| * LANDSCAPING/IRRIGATION PLANS: | 24" X 36" (MYLAR ORIGINALS) |
| * CIVIL PLANS: | 24" X 36" (MYLAR ORIGINALS) |

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- * BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- * SITE ADDRESS.
- * PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2 INCH LETTERS.
- * NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

FINAL PLAN SUBMITTAL REQUIREMENTS
THIS FORM MUST ACCOMPANY ALL FINAL PLAN SUBMITTALS

The following items are the **BASIC MINIMUM** requirements **NECESSARY** to submit final plans for review.

BUILDING PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

DETAILED INFORMATION REGARDING MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLINGS CAN BE OBTAINED FROM THE ONE-STOP SHOP.

- ☐ Building plans may be reviewed at the One-Stop Shop counter
- ☒ Building plans shall be submitted to Project Review for final plans review
- ☒ Four sets which shall include each of the following:

- * Site Plan
- * Project Data
- * Elevations
- * Floor Plans
- * Foundation Plans
- * Building Sections
- * Wall Sections
- * Architectural Details
- * Schedules
- * Mechanical Plans and Details
- * Structural Plans and Details
- * Electrical Plans and Details

In addition provide two additional copies of site plan and two additional copies of elevations plan(s) with the submittal.

- ☐ One copy of structural, electrical, and water calculations (may be on drawings)
- ☐ One copy of geotechnical report accompany building plans

CIVIL PLAN SUBMITTAL REQUIREMENTS:**CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.**

Improvement Plans:

- ☐ Grading and Drainage Plan
- ☐ Water Plans
- ☐ Sewer Plans
- ☐ Paving Plans (including striping & signage)
- ☐ Traffic Signal Plans
- ☐ Striping & Signage Plans
- ☐ Structural Plans (including details & calculations)

Surveys:

- ☐ Results of Survey ☐ Boundary Survey

Plats:

- ☐ Preliminary Plat ☐ Final Plat

Reports:

- | | | | | | | |
|---------------|--------------------------|--------------|--------------------------|------------|--------------------------|-------|
| Drainage | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Water | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Sewer | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Circulation | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Signalization | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| | <input type="checkbox"/> | Geotechnical | <input type="checkbox"/> | Structural | | |

- ☒ The completed 404 Certification Form (must be signed by a registered professional engineer)
- ☒ The completed No-Conflict Form (must be signed by associated utility)
- ☐ The completed Waiver Request Form (must be signed by city staff)

Engineer's cost estimates for payment in-lieu of:

- ☐ Street improvements
- ☐ Signalization
- ☐ Storm water storage

- ☐ Title Report (not more than 60 days old)
- ☒ Cut sheets and specifications for outdoor lighting fixtures
- ☒ Two (2) additional architectural site plans
- ☐ Wall elevations
- ☐ Landscape & irrigation plans
- ☐ NAOS graphic & calculation worksheet
- ☐ Native plant program, or confirmation of compliance

FEE SCHEDULE**PLAN REVIEW:****BUILDING:**

Livable	\$.21 Sq. Ft.
Covered	\$.10 Sq. Ft.
Fences	\$.07 Lin. Ft.

ENGINEERING:

Lower Desert (ESLO)	\$432.00 per sheet
Upper Desert (ESLO)	\$460.00 per sheet
Hillside (ESLO)	\$476.00 per sheet

AT THE TIME OF FINAL PLAN SUBMITTAL, THE FOLLOWING FEES MUST BE PAID:**[] ENCROACHMENT PERMIT FEES:**

Encroachment permit fees are based on construction quantities. Fee rates are available from the One Stop Shop

[] FINAL PLAT FEES:

Base plan review	\$3,000.00
PLUS: \$94.00 per lot	_____

[X] MONTHLY FIRE HYDRANT MAINTENANCE FEE:

\$4.00 per fire hydrant - EXISTING \$ _____

[] PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:

Amount shall be based on sealed engineer's construction cost estimate approved by final plans and paid prior to building permit issuance for the following improvements:

LOCATION	IMPROVEMENTS REQUIRED

Traffic signal in-lieu fees may be based on \$80,000 for 100 percent of design and construction costs.

[] IN LIEU PARKING (For Downtown)

\$7500 per space, or \$500 initial deposit and \$71 per month per space for a term of 15 years there after (number of spaces to be determined at final plans)