



City of Scottsdale
Pre-Application Questionnaire
Project Coordination (480) 312-7000 Fax (480) 312-7088

Date: _____
File # 406-PA-2001

All information must be provided in order to process your request. Thank you.
Call RECORDS @ 480-312-2356 for current zoning, parcel #, and quarter section #.

Project Name/Request: The Promenade - Phase II
Location SEC Scottsdale Road & Frank Lloyd Wright Blvd.
Current Zoning PRC **Parcel Number** 215-45-1C **Q.S.** 36-45
Applicant Name: Pederson/BVT Promenade Associates
Address 2800 N. Central Avenue, Suite 1500
City Phoenix, Arizona 85004
Phone (602) 265-2888 **FAX** (602) 265-2889 **Email** gnp@pedersoninc.com
Owner: Pederson/BVT Promenade Associates

Brief Description of Request:
Development Board Approval for Phase II of The Promenade

Compliance Order Issued? ☒ No? ☐ Yes? By Whom _____
Water Features? ☐ NO? ☒ Yes? If using water features, in addition to your pre-application meeting, contact Karen Warner, Water Resources, 480-312-5659 regarding requirements for water features.

- ☐ **Zoning** - a request to rezone from current zoning district to another district
- ☐ **Preliminary Plat** - a request to develop a subdivision
- ☒ **Development Review** - a request to develop a commercial or multi-family parcel
- ☐ **Use Permit** - a request for a use listed as "conditionally permitted" in the zoning district.
- ☐ **Board of Adjustment** - a request for a variance from the zoning ordinance or an appeal of an administrative decision.
- ☐ **General Plan Amendment** - a request to change the general plan from current land use designations to another designation
- ☐ **Abandonment** - a request for the City to release its interest in public right-of-way, roadway easement and alleys.

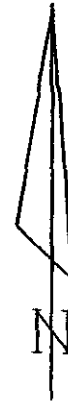
*****Do Not Write Below This Line*****

Kurt Lmm 9/25

*Tuesday
Oct 2
11 AM*

NW⁴ SEC. 2 — 3N4E

BOOK 215
MAP 45

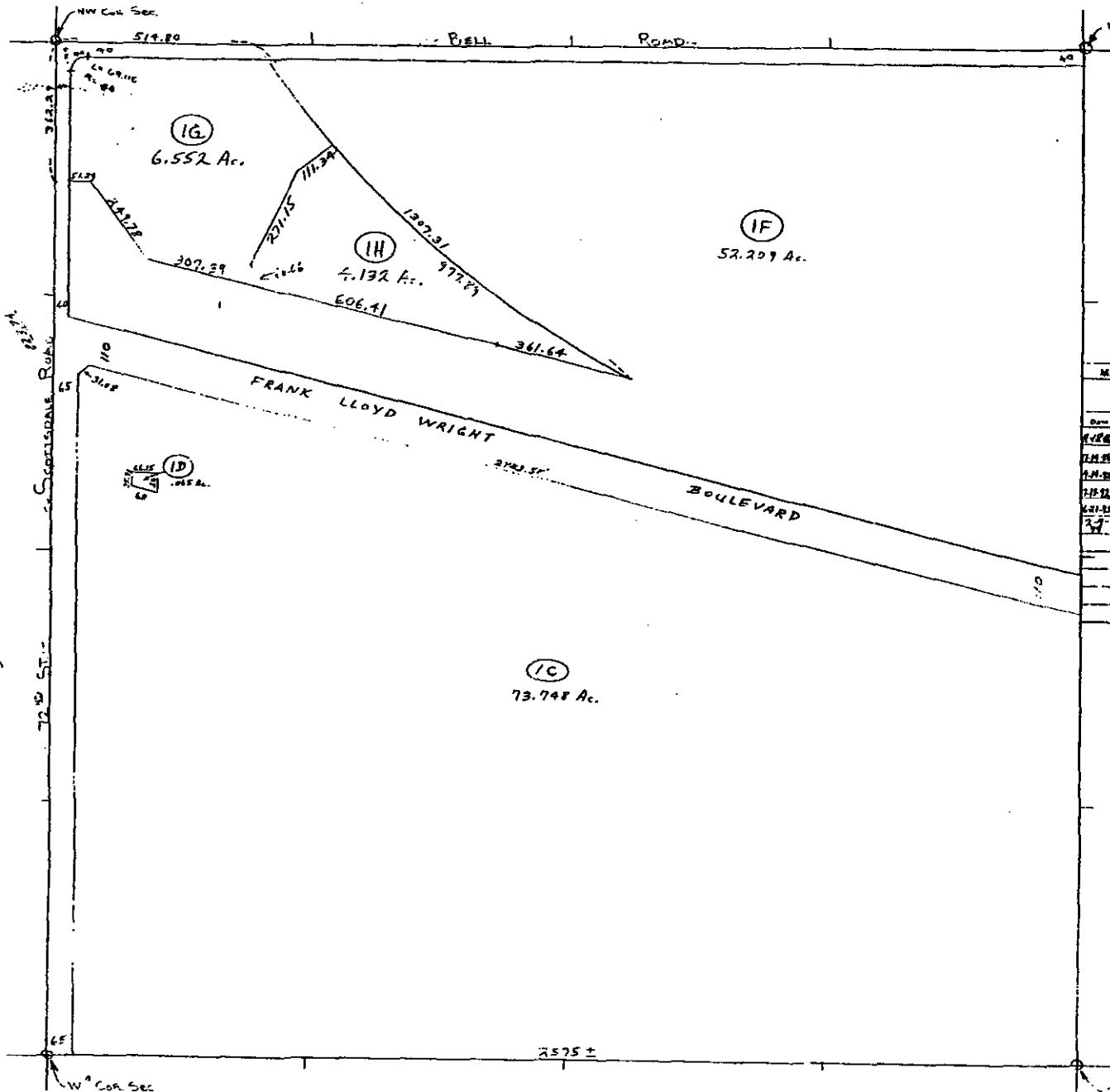


SCALE: 1" = 240'

215-46

MAYOR & COUNTY ASSESSORS OFFICE					
SCALE 1" = 240'					
RECORD BOOK					
DATE	FILE	NO.	DATE	FILE	NO.
11-15-11	1A	11571-11572	11-15-11	1A	11573-11574
11-15-11	1B	11575-11576	11-15-11	1B	11577-11578
11-15-11	1C	11579-11580	11-15-11	1C	11581-11582
11-15-11	1D	11583-11584	11-15-11	1D	11585-11586
11-15-11	1E	11587-11588	11-15-11	1E	11589-11590
11-15-11	1F	11591-11592	11-15-11	1F	11593-11594
11-15-11	1G	11595-11596	11-15-11	1G	11597-11598
11-15-11	1H	11599-11600	11-15-11	1H	11601-11602
11-15-11	1I	11603-11604	11-15-11	1I	11605-11606
11-15-11	1J	11607-11608	11-15-11	1J	11609-11610
11-15-11	1K	11611-11612	11-15-11	1K	11613-11614
11-15-11	1L	11615-11616	11-15-11	1L	11617-11618
11-15-11	1M	11619-11620	11-15-11	1M	11621-11622
11-15-11	1N	11623-11624	11-15-11	1N	11625-11626
11-15-11	1O	11627-11628	11-15-11	1O	11629-11630
11-15-11	1P	11631-11632	11-15-11	1P	11633-11634
11-15-11	1Q	11635-11636	11-15-11	1Q	11637-11638
11-15-11	1R	11639-11640	11-15-11	1R	11641-11642
11-15-11	1S	11643-11644	11-15-11	1S	11645-11646
11-15-11	1T	11647-11648	11-15-11	1T	11649-11650
11-15-11	1U	11651-11652	11-15-11	1U	11653-11654
11-15-11	1V	11655-11656	11-15-11	1V	11657-11658
11-15-11	1W	11659-11660	11-15-11	1W	11661-11662
11-15-11	1X	11663-11664	11-15-11	1X	11665-11666
11-15-11	1Y	11667-11668	11-15-11	1Y	11669-11670
11-15-11	1Z	11671-11672	11-15-11	1Z	11673-11674

4	3
29 56	29 71



215-44

215-47

215-42



DEVELOPMENT CONFERENCE

406-PA-2001

PROJECT NAME THE PROMENADE--PHASE II

PROJECT LOCATION SEC SCOTTSDALE RD. & FLW BLVD.

PROJECT USE

PARTICIPANTS

KURT JONES

GARY PEDERSON

DISCUSSION

→ Well site - Ron King Feb. 1, 99 letter
→ exchange - abandoned - new site dedicated
→ Ron King, Gary Pederson, met on well site issues

CONCLUSION

DATE TUESDAY OCT. 2 11 AM



City of Scottsdale
Pre-Application Questionnaire
Project Coordination (480) 312-7000 Fax (480) 312-7088

Date: _____
File # 406-PA-2001

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*****Do Not Write Below This Line*****

Kurt Linn 9/25

406-PA-2001
1-14-2002

51-ZN-97#4: Phase II site plan amendment (pending)

51-ZN-97

51-ZN-97#2

4-DR-99: Master Sign Program

82-DR-98: Scottsdale Promenade

82-DR-98#2: "

82-DR-1998#2A

CD #1

*Tuesday
Oct 2
11 AM*

REQUIREMENTS FOR PRE-APPLICATION MEETINGS

Due to the volume of pre-application meetings requested, we will no longer be able to schedule your request unless the following maps and information are provided along with your completed pre-application questionnaire.

REQUIRED INFORMATION WITH PRE-APPLICATION QUESTIONNAIRE:

- A completed pre-application questionnaire form, with all information provided—**PLEASE DO NOT LEAVE ANY SPACES BLANK.**
- A conceptual site plan, plot plan or schematic drawing graphically presenting your development request, and any conceptual elevations showing architectural character.
- A full size City produced aerial map—**MUST BE FROM 1999**
- An assessor map
- A 50% reduced Quarter Section map
- A 50% reduced Zoning map
- Highlight the location of your project on all maps listed above. These maps can be purchased at the Records window of the One Stop Shop, or may be obtained on line at the Digital Map Center at <http://maproom.ci.scottsdale.az.us/cosmap/dmccinfo.asp>.

PHOTOGRAPHS SHOWING THE SITE AND THE CONTEXT OF SURROUNDING BUILDINGS/PROPERTIES FROM STREET VIEW. PLEASE COMPLY WITH THE FOLLOWING INSTRUCTIONS REGARDING PHOTOGRAPHS:

- *Photos at intervals along perimeter of site for 500'*
- *Photos of adjacent improvements and adjacent development*
- *Photos of existing on-site conditions*
- *DO NOT mount photos on large poster boards, cork boards, etc.*
- *DO NOT submit "panoramic view" size photos*
- *Photos may be mounted—maximum size 8 1/2 by 11*
- *Digital photos are acceptable—if within above mentioned guidelines*
- *Number and reference all pictures by location*

These photographs are necessary to aide in understanding the architectural character of surrounding development.

NOTIFICATION OF PRE-APPLICATION MEETING DATE:

Following staff review of the above required information, you will be notified of your pre-application meeting date.

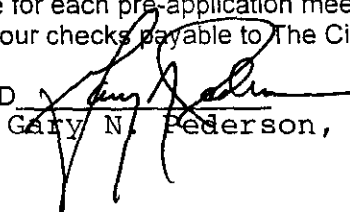
For Assistance:

For assistance or questions regarding pre-applications, contact Community Development at (480) 312-7000, or FAX (480) 312-7088.

Pre-application Fees:

The fee for each pre-application meeting is \$68.00
Make your checks payable to The City of Scottsdale

SIGNED


Gary N. Pederson, V.P.

DATE September 18, 2001

City of Scottsdale Cash Transmittal

Transmittal # : 21521

Transmittal Date : 9/20/2001

Received From :

Bill To :

PEDERSON GROUP INC
2800 N CENTRAL AVE STE 1500
PHOENIX, AZ 85004
602-265-2888

Reference # : 406PA01

Paid Date : 9/20/2001

Address : SEC Scottsdale Rd. & FLW Blvd.

MCR : Subdivision :

Lot # :

Marketing Name :

BMP : QS : Water Zone : County : NO Metes/Bounds : NO

Water Type : Sewer Type :

Gross Lot Area : 0 NAOS Lot Area : 0 Net Lot Area : 0

of Units : 1 Density : Meter Size :

Code Description	Additional	Qty	Amount	Account Number
3168 PRE-APPLICATION / DR		1	\$68.00	100-07510-44218
		Total	\$68.00	

21521/PEDERSON GROUP INC
SEP 20 2001/12:42 PM...
CASH PROCESS DATE: SEP 20 2001
02-0034878
\$ 68.00

Applicant Signature

(When a credit
406-PA-2001
1-14-2002

is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

ER METER SET - CALL 312-5650 AND REFER TO TRANS

82-DR-1998#2A



VIA HAND DELIVERY

September 18, 2001

Planning Systems

Attn: Eva

CITY OF SCOTTSDALE

7447 E. Indian School Road, Suite 125

Scottsdale, Arizona 85251

**Re: The Promenade - Phase II
SEC Scottsdale Road & Frank Lloyd Wright Blvd.
Scottsdale, Arizona**

Dear Eva:

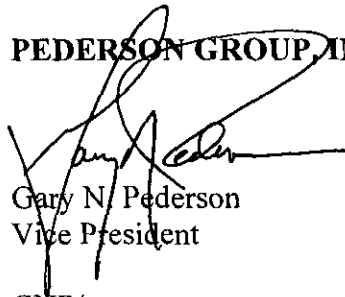
Enclosed is a Pre-Application Questionnaire. Also enclosed is our check in the amount of \$68.00, representing the applicable fee.

We would appreciate it if you would coordinate the scheduling of a Pre-Application meeting with Kurt Jones with respect to Development Review Board Approval for Phase II of The Promenade.

Thank you for your consideration. Please call if you have any questions.

Very truly yours,

PEDERSON GROUP, INC.



Gary N. Pederson
Vice President

GNP/ps
Enclosures

SP2010.LTR
P:\WINWORD\PROMENADE

**406-PA-2001
1-14-2002**

82-DR-1998#2A



DEVELOPMENT REVIEW BOARD SHOPPING LIST

SCHEDULE A MEETING WITH YOUR PROJECT COORDINATOR *BEFORE* SUBMITTING APPLICATION.

This shopping list has been prepared to assist you in submitting a complete and successful application to the City of Scottsdale. At the required pre-application meeting, a Project Coordinator will check off the items on this Shopping List that are required with your submission. Please contact your Project Coordinator KURT JONES at 480-312-7000 if you have any questions concerning your Development Review Board application.

NOTICE - DRAINAGE REQUIREMENTS

Be advised that obtaining these permits or providing the Special Inspection Checklists and Certificate of Special Inspection of Drainage Facilities may be a lengthy process and may affect the timing of your project.

SECTION 404 PERMITS. Prior to issuance of any City permits, developers must submit the City of Scottsdale Section 404 Certification Form.

NPDES. A NPDES Notice of Intent and Storm Water Pollution Prevention Plan may be required (see DSPM Guidelines).

SPECIAL INSPECTIONS AND CERTIFICATION. Prior to the issuance of Certificates of Occupancy and/or Letters of Acceptance by the Inspection Services Division, the developer, at its expense, shall submit the Certificate of Special Inspection of Drainage Facilities, Certificate of Compliance, and all special Inspection Checklists required by the Project Quality/Compliance Div.

CASE # 406-PA-01

PART I -- GENERAL REQUIREMENTS

- | | |
|-------------|--|
| <u>✓</u> 1. | DEVELOPMENT REVIEW SHOPPING LIST (this list) |
| <u>X</u> 2. | COMPLETED APPLICATION FORM (form provided) |
| <u>✓</u> 3. | APPLICATION FEE \$ <u>1213.⁰⁰</u> |

406-PA-2001
1-14-2002

82-DR-1998#2A

CASE _____-PA-_____
PAGE 2

4. **LETTER OF AUTHORIZATION** (from property owner(s) if property owner did not sign the application form)

5. **CURRENT TITLE REPORT** 8-1/2" x 11" - 1 copy

6. **LEGAL DESCRIPTION:**
8-1/2" x 11" - 1 copy

~~X~~ 7. **PROJECT NARRATIVE** (form provided)

8. **PROVIDE A COMBINED CONTEXT AERIAL AND CONTEXT SITE PLAN:**

~~Not~~ Full size
11" x 17"
8-1/2" x 11"

- 2 copies
- 9 copies
- 2 copies

AERIAL SHALL NOT BE MORE THAN 1 YEAR OLD AND SHALL INCLUDE AND OVERLAY OF THE SITE PLAN showing lot lines, tracts, easements, street locations/names and surrounding zoning for a radius from the site of:

_____ 500 feet
 _____ 1/4 mile
 _____ 1 mile
 _____ other

Show the proposed site plan in relation to surrounding development including the following:

- 1) Building footprints and other site improvements such as drives, parking areas, site walls (indicate height of buildings and site walls);
- 2) Label surrounding zoning and land uses;
- 3) Streets including sidewalks, and any surrounding driveways or intersections;
- 4) Show bike paths and trails; and
- 5) Development plans approved by the Development Review Board during the past year that have not been constructed. (Approved plans are available at the Scottsdale Records Division at 7447 E. Indian School Road, Suite 105).

9. **EXISTING CONDITIONS PHOTO EXHIBIT: PROVIDE PHOTOS MOUNTED OR PRINTED ON 8-1/2"x11" PAPER - FOR INCLUSION IN THE PACKETS.** Printed digital photos are OK.

- Photos mounted on cardboard, foamboard, particleboard, posterboard or other material will not be accepted.
- See attached Existing Conditions Photo Exhibit graphic showing required photograph locations and numbers.
- Provide **1** color original set and **8** color copy sets


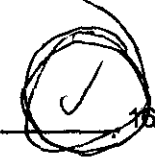
10. **LOCATION MAP:** Provide a map, drawn to scale, showing the location of the site in relation to arterial & intersecting streets and indicating the zoning of the site and adjacent properties.
8-1/2" x 11" - 1 copy

PLAN SIZE Full Size: Minimum = 24" x 36" Maximum = 30" x 42"
Full size must be folded to specifications – see attached instructions


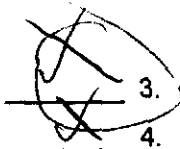

DEVELOPMENT REVIEW BOARD SHOPPING LIST

CASE _____ -PA- _____

PAGE 3

- X 11. **ABBREVIATED WATER & SEWER NEED REPORT** (Provided with Water Resources Non-Residential Development Fee Packet.)
12. **POLICY OR APPEALS OF REQUIRED DEDICATIONS AND/OR EXACTIONS** (see copy attached)
-  13. **DESIGN GUIDELINES** (provided to applicant)
14. **ARCHAEOLOGICAL RESOURCES** (information sheets provided):
- _____ 1. **Certificate of No Effect / Approval Application Form** (provided)
 - _____ 2. Archaeology Survey and Report - 3 copies
 - _____ 3. Archaeology 'Records Check' Report Only - 3 copies
 - _____ 4. Copies of Previous Archeological Research - 1 copy
15. **HISTORIC PROPERTY:** (existing or potential historic property)
- _____ 1. Narrative describing proposal to preserve the historic character or compliance with property's existing Historic Preservation Plan
-  16. **COMPLETED AIRPORT COMMUNICATION FORM** - Your property is located within the vicinity of the Scottsdale Municipal Airport (within 20,000 foot radius of the runway; information packet provided)
17. **COMMUNITY INPUT CERTIFICATION** – form attached (completed form to be submitted with application.)
18. **PURCHASE AGREEMENT** "In Lieu Parking Credits" (form provided) completed form to be submitted prior to DRB hearing

PART II -- REQUIRED PLANS & RELATED DATA

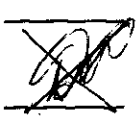

-  1. **SITE PLAN: See attached Site Plan Submittal Requirements list**
- Full size - 5 copies
 - 11" x 17" - 8 copies in stapled sets of 1 each **site plan, landscape, elevations, and any miscellaneous exhibits (includes one set for each Board member)**
 - 8-1/2" x 11" - 2 copies (quality suitable for reproduction)
 - Digital - 1 copy (See Digital Submittal Plan Requirements)
-  3. **PROJECT DATA SHEET** (form provided)
4. **SITE PLAN WORKSHEET** including calculations (sample attached)
- Full size - 1 copy
 - Digital - 1 copy (See Digital Submittal Plan Requirements)
-  5. **SITE CROSS SECTIONS:** Show existing and proposal grade lines, and all finished floor elevation of adjacent sites (at locations specified by Project Coordination Manager):
- Full size - 1 copy
 - 11" x 17" - 8 copies
 - 8-1/2" x 11" - 2 copies (quality suitable for reproduction)

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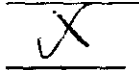


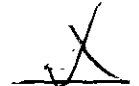
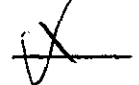

DEVELOPMENT REVIEW BOARD SHOPPING LIST

CASE _____ -PA- _____

PAGE 4

- _____ 6. **PHASING PLAN:**
Full size - 1 copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 (quality suitable for reproduction)
-  7. **TYPICAL LOT LAYOUT** for all lot types - i.e. corner, interior, flag, pie, etc.:
8 1/2" x 11" - 2 copies (quality suitable for reproduction)
-  8. **PRELIMINARY ART PLAN & SCHEMATIC DESIGN** showing location, type and scale of artwork (Required of Downtown Planned Block Developments)

PART III -- ARCHITECTURAL PLANS & RELATED REQUIREMENTS

-  1. **ELEVATIONS: Show all sides of all building(s) and indicate building heights & call out materials and colors on plans**
Full size - 1 **UNMOUNTED COLOR COPY** (photo quality paper is not allowed)
11" x 17" - 8 **COLOR** copies
8-1/2" x 11" - 1 **COLOR OR B&W** copy (quality suitable for reproduction)
Digital - 1 copy (See Digital Submittal Plan Requirements)
- NOTE:** For residential developments, provide copies of all alternate elevations and a typical street elevation.
-  2. **STREETSCAPE ELEVATION(S): Include landscaping and site walls**
Full size - 1 **UNMOUNTED COLOR** copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies
-  3. **PERSPECTIVE DRAWING:**
Full size - 1 **UNMOUNTED COLOR** copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies
- NOTE:** Applicants may bring additional mounted copies to presentations if desired.
-  4. **FLOOR PLANS:**
Full size - 1 copy
11" x 17" - 8 copies
8-1/2" x 11" - 1 copy
Digital - 1 copy (See Digital Submittal Plan Requirements)
-  5. **FLOOR PLAN WORKSHEET: (including calculations)**
Full size - 1 copy
Digital - 1 copy (See Digital Submittal Plan Requirements)
-  6. **WALL DETAILS & ENTRY FEATURE:**
Full size - 1 copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies (quality suitable for reproduction)

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DEVELOPMENT REVIEW BOARD SHOPPING LIST

CASE _____-PA-_____

PAGE 5

- _____ 7. **CORPORATE IMAGE FEATURES**
- _____ 8. **SIGN DETAILS:**
Full size - 1 copy
11" x 17" - 8 copies

PART IV – LIGHTING PLAN

- ☒ 1. **LIGHTING DETAILS:**
Full size - 1 copy
- ☒ 2. **PHOTOMETRIC ANALYSIS** with horizontal foot candle diagram
Full size - 1 copy
- ☒ 3. **LIGHTING SITE PLAN**, include landscape lighting, building lighting and all other lighting
Full size - 1 copy
- ☒ 4. **CUT SHEETS OF ALL PROPOSED LIGHTING**
- _____ 5. **OTHER:** _____

PART V – ENGINEERING REPORTS & RELATED REQUIREMENTS

- _____ 1. **RESULTS OF ALTA SURVEY:**
Full size - 1 copy
- _____ 2. **TOPOGRAPHY MAP:** (include 2'-0" minimum contours except where slopes exceed 15%)
Full size - 1 copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies (quality suitable for reproduction)
- ☒ 3. **DRAINAGE REPORT:** See Sec. 2-202 of the City's Design Standards & Policies Manual for specific submittal and content requirements. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, full color aerial/topo maps and preliminary grading and drainage plans. Full size plans/maps shall be folded and contained in pockets.
8-1/2" x 11" - 2 copies of the Drainage Report including full size plans/maps in pockets
Digital - 1 copy (See Digital Submittal Plan Requirements)
- Planning Systems will not process project applications until the Drainage Report contains sufficient information in detail, scale and clarity for review.
- _____ 4. **TRAFFIC IMPACT STUDY:** 3 copies
- _____ 5. **PARKING STUDY:** 3 copies (required for reduction of ordinance requirements)
- _____ 6. **TRIP GENERATION COMPARISON:** 3 copies

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- _____ 7. **PARKING MASTER PLAN: 2 copies** (required for reduction of ordinance requirements)
- _____ 8. **CROSS SECTION DETAIL: (no vertical exaggeration)**
Full size - 1 copy
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies (quality suitable for reproduction)
- X 9. **WATER STUDY** (basis of design report)
- X 10. **WASTE WATER STUDY** (basis of design report)
- _____ 11. **LETTER OF APPROVAL FOR FOUNTAINS OR WATER FEATURES** from the Water Conservation Office - Contact Karen Warner at 480-312-5659

PART VI -- ENVIRONMENTAL & LANDSCAPING DATA REQUIREMENTS

***** NOTE: EACH ITEM INDICATED BELOW REQUIRES THE FOLLOWING NUMBER OF COPIES:**

Full size - 2 copies
11" x 17" - 8 copies
8-1/2" x 11" - 2 copies (quality suitable for reproduction)

- X 1. **CONCEPTUAL LANDSCAPE PLAN & MATERIALS LIST** (See Section 10.200.A of the Zoning Ordinance)
- _____ 2. **NATIVE PLANT SUBMITTAL:** Aerial with site plan overlay to show spatial relationships of all protected native plants to the proposed development. Coordinator may request a full or partial Native Plant submittal as specified in See Sec. 7.504 of the Zoning Ordinance.
- _____ 3. **REVEGETATION SITE PLAN & TECHNIQUES**
- _____ 4. **TOPOGRAPHY/AERIAL OVERLAY WITH SITE PLAN SUPERIMPOSED**
- _____ 5. **SLOPE ANALYSIS SUPERIMPOSED ON TOPOGRAPHY MAP**
- _____ 6. **CUTS & FILLS SITE PLAN**
- _____ 7. **COMPOSITE FACTORS MAP**
- _____ 8. **UNSTABLE SLOPES/BOULDERS ROLLING MAP**
- _____ 9. **BEDROCK & SOILS MAP**
- _____ 10. **NATURAL AREA OPEN SPACE (NAOS) ANALYSIS PLAN**
- _____ 11. **VISTA CORRIDOR PLAN** (include typical cross section details & concept narrative)
- _____ 12. **SCENIC CORRIDOR PLAN** (include typical cross section details & concept narrative)

PART VII -- SAMPLES & MODELS

- X 1. **EXTERIOR BUILDING COLOR & MATERIAL SAMPLES:**
1 sample each, **2" x 4" x 4" maximum size**, mounted on 11" x 17" sheets. Clearly label each sample for:
- Color (i.e. Frazee #5555 Bright Blue)
 - Finish (i.e. Bronze Anodized Aluminum)
 - Material (i.e. split face CMU)
- X 2. **COLOR BOARDS:** Provide 1 8-1/2" x 11" color sheet with for each color and label with material type and colors (manufacturer, color name & number)
- _____ 3. **MASSING MODEL:** Scaled model indicating building masses on the site plan and the mass of any building within 500 feet (or other distance as required by the Project Coordinator).
- _____ 4. **DETAILED MODEL:** Scale to be specified by Project Coordination Manager
- (X) 5. **OTHER:** Master Design Concept Plan
per zoning slips.

Kurt Jones
PROJECT COORDINATOR

DATE

15 April 2001

City of Scottsdale Cash Transmittal

Transmittal # : 22644

Transmittal Date : 11/19/2001

Received From :

Bill To :

PEDERSON GROUP INC
2800 N CENTRAL AVE STE 1500
PHOENIX, AZ 85004
602-265-2888

Reference # : 406PA01

Paid Date : 11/19/2001

Address : E FRANK LLOYD WRIGHT BL / N SCOTTSDALE RD

MCR : Subdivision :

Lot # :

Marketing Name : THE PROMENADE PH II

BMP : QS : Water Zone : County : NO Metes/Bounds : NO

Water Type : Sewer Type :

Gross Lot Area : 0 NAOS Lot Area : 0 Net Lot Area : 0

of Units : 1 Density : Meter Size :

Owner Information :

PEDERSON GROUP INC
2800 N CENTRAL AVE STE 1500
PHOENIX, AZ 85004
602-265-2888

<u>Code Description</u>	<u>Additional</u>	<u>Qty</u>	<u>Amount</u>	<u>Account Number</u>
3165 DEVELOP REVIEW APPLICATION		1	\$1,213.00	100-07510-44218
		Total	\$1,213.00	

22644/PEDERSON GROUP INC
NOV 19 2001/2:57 PM...
CASH PROCESS DATE: NOV 19 2001
02-0036690
\$ 1213.00

Applicant Signature

(When a credit card is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

TO HAVE WATER METER SET - CALL 312-5650 AND REFER TO TRANSMITTAL # 22644
406-PA-2001

82-DR-1998#2A

1-14-2002



PROJECT DATA SHEET
RESIDENTIAL/COMMERCIAL
 COMMUNITY DEVELOPMENT
 DEPARTMENT

1
STOP SHOP

D.R. NO. 51-ZN-97 #4 DATE Nov. 19, 2001 ZONING PRC QS:

PROPOSED USE Commercial - Retail / Office

ADDRESS/LEGAL DESCRIPTION SEC Scottsdale Road and Frank Lloyd Wright Blvd.

TO BE COMPLETED BY APPLICANT:		CALCULATIONS	TO BE COMPLETED BY CITY:
COMMERCIAL	RESIDENTIAL		
3,639,003 S.F.		Net lot area	
XXXXXX		Gross lot area	
2,911,202	XXXXXX	Gross floor area allowed	
1,003,762	XXXXXX	Gross floor area provided	
58,224,048 CF	XXXXXX	Building volume allowed	
+27,035,888CF	XXXXXX	Building volume provided	
XXXXXX		Number of units or lots	
XXXXXX		Density allowed	
XXXXXX		Density provided	
XXXXXX		Minimum lot size allowed	
XXXXXX		Minimum lot size provided	
P.R.C. = 60 F.		Building height allowed	
60 F.		Building height provided	
1,003,762 S.F.		Net floor area	
4,417 spaces		Parking spaces required	
4,431 spaces		Parking provided on-site	
-0-		Parking provided off-site	
4,431 spaces		Total parking provided	
727,801 S.F.		Open space required	
834,166 S.F.		Open space provided	
363,900 S.F.		Front open space required	
373,380 S.F.		Front open space provided	
191,001 S.F.		Parking lot landscaping required	
191,556 S.F.		Parking lot landscaping provided	

SET BACKS

REQUIRED	PROVIDED	(INDICATE N,S,E,W)	REQUIRED	PROVIDED
50 Ft.	50 Ft.	FRONT (N)		
30 Ft.	30 Ft.	REAR (S)		
50 Ft.	50 Ft.	LEFT SIDE (W)		
25 Ft.	25 Ft.	RIGHT SIDE (E)		
	50 Ft.	PARKING (N.W.)		

82-DR-1998#2A

406-PA-2001
1-14-2002

HOOL RD. SCOTTSDALE, ARIZONA 85251 • PHONE (480) 312-7080 • FAX (480) 312-7781

CD02156 (9/93)



COUNCIL ACTION REPORT

AGENDA ITEM NO. 13

TO: Mayor and City Council
FROM: Community Development
PROJECT NAME: Scottsdale Promenade
CASE NO.: 32-GP-97 & 51-ZN-97
Resolution No. 5037 &
Ordinance No. 3130

Meeting Date: 04/21/98
Case Number: 32-GP-97 & 51-GP-97
Staff Contact: ^{KA}Jones/Faramelli
Ext.: 2524/2583

REQUEST: General Plan amendment from Category 22 (General Commercial), Category 18 (Tourist Accommodations) and Category 34 (General Employment) to Category 22 (General Commercial); and
rezone from R1-35 (Single Family Residential) to PRC (Planned Regional Development) and C-4 (General Commercial)

LOCATION: The southeast corner of Frank Lloyd Wright Blvd. & Scottsdale Road

APPLICANT: Ellerman & Schick
727 E. Maryland
Phoenix, AZ 85014

OWNER: Kemper Marley
18001 N. 52nd Street
Scottsdale, AZ 85254

PLANNING COMMISSION RECOMMENDATION: APPROVE, on the expedited agenda subject to the attached stipulations, by a vote of 4-0, Commissioner Drake abstained, and ADOPT Resolution No. 5037 and Ordinance No. 3130 affirming this case.

STAFF RECOMMENDATION: Per Planning Commission

PUBLIC COMMENT: There have been a couple of phone calls seeking information on this project from the public.

SITE DETAILS

USE: Commercial/retail/automotive
PARCEL SIZE: 87.3 acres (net)
GROSS FLOOR AREA: 640,000 +/- square feet
PARKING PROVIDED: Approx. - 3,800 spaces
PARKING REQUIRED: Approx. - 3,400 spaces

HEIGHT: 36' standard commercial
50' + for theaters
OTHER: PRC zoning standards allow
for site plan flexibility

SUMMARY OF REQUEST: The request is to amend the General Plan and rezone the southeast corner of Scottsdale Road and Frank Lloyd Wright Boulevard to allow a major retail, restaurant and entertainment project, along with a separate automotive sales site. The application intends to redesignate this site from a Category 18, Tourist Accommodations, and Category 34, General Employment, to Category 22, General Commercial. The underlying zoning is R1-35, Single Family District, which was annexed from the county, and the Applicant requests a rezoning for a Planned Regional Center zoning classification.

GENERAL PLAN DISCUSSION:

- A General Plan amendment is required to modify land use classifications.

APPROVED

Recommendation to Council:

4/21/98
DATE

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INITIALS

406-PA-2001
1-14-2002

82-DR-1998#2A

The General Plan is a comprehensive, long range policy document that guides the ultimate physical development of Scottsdale. The Plan is an official public document that is adopted by the City Council after public hearings, citizen input and a recommendation from the Planning Commission. The Plan contains four elements: Land Use, Environmental Design, Circulation, and Public Facilities. Each element is reviewed when development applications are considered. The General Plan for the parcel includes three components: a major hotel, support retail and part of the employment uses that typify the surrounding airport. In addition, the General Plan identifies an entry feature at the Scottsdale/Frank Lloyd Wright intersection.

In some respects this proposal is a realignment and reinterpretation of what the General Plan proposed. To a large extent the hotel use proposed for the site, which was intended to support the business activity of the airport, has been achieved with the construction of five hotels in the close vicinity, four of which are across Scottsdale Road from the site in Phoenix, in effect the support retail has been expanded over the proposed hotel area. The unique site and proposed character provide for a specialty retail which will support both the local hotels as well as the airport employment area, particularly with a variety of restaurants. Since the frontage along Frank Lloyd Wright east of this parcel has become a center of auto dealerships, the inclusion of another on this site is logical and helps to achieve a well-rounded availability of products for the project area.

This site is essentially the last significant parcel in the airport area west of the airport to be developed. It is also at a key location which will help to set the image and identity for this part of the airport.

Land Use: The proposal eliminates the proposed hotel use, expands the support retail use over the hotel use area and replaces the employment use with a heavy commercial use.

Circulation: Scottsdale Road and Frank Lloyd Wright Boulevard are 6 lane major arterials while Paradise Lane is a minor collector. This application has responded to the standards which apply to these streets. In addition, this site will integrate with future plans for transit service in the area.

Public Facilities: A well site is located on the parcel and will need to be integrated into the proposal. All other public facilities are sized to accommodate this use.

Environmental Design: The streetscape along Frank Lloyd Wright will be consistent with the approved guidelines. Additional setbacks will be provided along Scottsdale Road and the site can accommodate a major gateway feature at the northwest corner of the parcel.

Economic: The proposal provides for higher tourism-oriented support uses that have not been accommodated elsewhere in the airport area. This use will enhance the identity of the airport and provide support uses which serve the needs of business and employees in the area.

CITYSHAPE GUIDING PRINCIPLES:

Preserve Meaningful Open Space: The proposal includes enhanced landscaping and setbacks along Frank Lloyd Wright and Scottsdale Road, a major landscape feature at the major intersection, an interconnected system of pedestrian plazas and promenades, and a landscaped basin that serves as a buffer to nearby employment uses.

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Enhance Neighborhoods: This use will connect to and serve the business "neighborhood" to the south and east and provide a strong, quality image at a major entry point into this "neighborhood".

Support Economic Vitality: The proposal will provide important service uses for other economic activity in the area, will capture important revenues which enhance the attractiveness and viability of the airport and further the diversity of the economic base of the airport area.

Seek Sustainability: By broadening the diversity of uses in the airport and supporting adjacent uses, this use enhances the stability of local uses, encourages pedestrian activity and helps to create a sense of place.

Value Scottsdale's Unique Lifestyle and Character: The proposal includes special amenities and features in terms of landscaping, pedestrian spaces, streetscapes and a "campus" style of building layout which will demonstrate and project the open, desert, southwest lifestyle of Scottsdale and achieve this in a high quality manner.

Advance Transportation: The plan provides for access alternatives which will help to reduce the need for local traffic to use the major street system. By providing supportive uses along with accessibility for pedestrians, cyclists and transit uses. The proposal can help to reduce trip distances, particularly at lunch time, as well as the dependence on auto-based travel.

ZONING CONTEXT:

Current Zoning: The current zoning is R1-35, Single Family Residential District.

Zoning History:

- Annexed from the county as R1-35, Single Family Residential District

PROJECT DISCUSSION:

AREA CONTEXT: The request is amend the General Plan and rezone the 87 acre vacant parcel located at the southeast corner of Scottsdale Road and Frank Lloyd Wright Boulevard. This site is bordered on the north by the Central Arizona Project canal, automotive uses to the east, industrial and commercial zoning to the south and commerce park zoning to the west across Scottsdale Road in Phoenix. The site is the last large piece of vacant land west of the Scottsdale Airport runway within the Scottsdale Airport.

The overall area has witnessed an increase in development activity especially on the Phoenix side of Scottsdale Road. The Kierland master planned community, located on the southwest corner of Bell Road (Frank Lloyd Wright Boulevard) and Scottsdale Road extends south along the west side of Scottsdale Road to Acoma Drive. This master planned community is comprised of small lot single family and multi-family residential developments mixed into commercial, office and resort districts. The zoning along the west side of Scottsdale Road is primarily commercial as is evident by the recent construction of two major furniture stores and a retail, hotel and gasoline service station complex directly at the southwest corner of Bell Road and Scottsdale Road.

The northwest corner of Bell Road and Scottsdale Road, also in the City of Phoenix, is developing two moderate service hotels, two restaurant pads and a multi-family residential project. The site directly north of this application within the City of Scottsdale is designated as Developed Open

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DATE

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Space on the General Plan and zoned R1-35. This site is currently putting an application together for commercial, office and hotel uses. The land to the east of this site is developing as automobile dealerships along the Frank Lloyd Wright Boulevard frontage. The parcels to the southeast and south of this site are developing as office and warehouse uses within the Airpark. The site directly to the south of this application, along Scottsdale Road, is the Crackerjacks family center which consists of driving ranges, miniature golf, batting cages and an amusement center. The site directly south of Crackerjacks is zoned for commercial uses with an existing extended stay hotel and gasoline service station and car wash.

PROJECT CONTEXT: The proposed project combines regional and neighborhood commercial uses within a promenade setting. In other words, the applicant intends to provide for a unique site design that allows intricate site and building orientation with an internal pedestrian system that allows unimpeded access throughout the entire development. The overall scale of this project is enormous at approximately 640,000 square feet with frontage along two of Scottsdale's namesake roadways, Scottsdale Road and Frank Lloyd Wright Boulevard.

The site plan takes into consideration this important intersection and gateway into North Scottsdale by creating a large pedestrian, landscape and entry feature directly on the corner. From that point, the site plan creates an internal specialty center that allow pedestrians to park and begin the promenade through the middle of the site. The entire promenade is pedestrian oriented with shaded walkways, decorative pavement and separation from on-site vehicular traffic. The other end of the promenade is a large entertainment and restaurant themed area anchored by a multi-plex movie theater. This internal area is massive in scale and will provide for a "main street" type building placement with open space and park-like amenities.

The two retail "wings", along Scottsdale Road and Frank Lloyd Wright Boulevard, extend out from the promenade, but continue to allow for pedestrian connections and pathways to parking and the promenade area. The majority of the proposed parking is along Paradise Lane which is a highly commercial office and warehouse area and minimizes the "sea of parking" issue along Scottsdale Road and Frank Lloyd Wright Boulevard. The theater building will be a prevalent architectural element along the Paradise Lane frontage along with covered walkways to provide for convenient pedestrian connections from the proposed on-site transit node, the promenade and the abutting Airpark uses.

The proposed pad buildings are to be combined to create clusters of buildings with surrounding plaza and open space areas. With drive-thru restaurants not allowed in the PRC zoning district, the applicant intends to submit a development agreement deleting any undesirable uses that detracts from the quality of users and overall theme of the site plan. All pads are connected via plazas and pedestrian walkways and are intentionally placed on the site at different angles to diminish the lineal effect the buildings will have along the Scottsdale Road and Frank Lloyd Wright Boulevard frontage.

PLANNED REGIONAL CENTER DISCUSSION: The applicant intends to utilize the PRC zoning to create a commercial center with a major non-traditional element so as to set itself apart from standard neighborhood commercial centers. Through the use of covered pedestrian walkways, plazas with art elements, the promenade concept, an entertainment center, large open spaces and continuous center connectivity, the project provides for a regional center that accomplishes the purpose and intent of a zoning district seeking to integrate quality through character and innovative site planning. Subsequent to the rezoning process, the respective master plans will follow through the Development Review Board process in order to incorporate these key site planning features.

APPROVED
4/21/98
DATE INITIALS

ATTACHMENTS: A - Stipulations
 B - Additional Information
 #1 - Aerial Map
 #2 - Zoning Map
 #3 - Vicinity Map
 #4 - Land Use Plan
 #5 - Site Plan
 #6 - Landscape Plan
 #7 - Draft Restricted Use List
 #7A - Draft Restricted Use List
 #8 - Resolution No. 5037
 C - Land Use Plan
 #9 - Ordinance No. 3130
 D - Zoning Map
 #10 - Planning Commission Minutes 3/25/98


John Faramelli
Community Development Administrator


Richard A. Bowers
City Manager

APPROVED

4/21/98
DATE


INITIALS

The proposed PRC concept will provide for site plan flexibility to create the center's several thematic elements. The sites orientation as a gateway to North Scottsdale will enable the regional and neighborhood "wings" to capture these heavily traveled roadways. The pads and their use limitations will create quality site and building entrances to the site. The overall center concept will capitalize on the surrounding hotel and resort guests and growing residential areas in North Scottsdale and North Phoenix. Finally, the proposed center will support and serve the needs of the surrounding employment core in the Airport.

STAFF ASSESSMENT OF PROJECT ISSUES:

- A General Plan amendment is required to create a Planned Community Center
- The Tourist Accommodation designation from the General Plan standpoint is being met with the creation of multi-themed shopping and entertainment complex
- Provides for a large gateway feature at Scottsdale's two namesake roadways
- Creates an outdoor pedestrian shopping and entertainment experience
- Majority of parking along commercial and industrial area
- Art related improvements to the center add innovative details and quality to the proposed commercial center
- Pedestrian plazas, covered walkways, park-like features allows for less vehicle dependency on the site
- Integration of a City transit facility incorporates alternative means of transportation to the center and the nearby employment core within the Airport
- Automobile dealership strengthens North Scottsdale's automotive hub
- Frank Lloyd Wright Design Guidelines and continuous center architectural character throughout the site
- No further signalization on Scottsdale Road
- Proposed center serves tourist corridor, residential growth in both North Scottsdale and North Phoenix and the employment core of the Scottsdale Airport

COMMUNITY IMPACT:

The project introduces a non-traditional commercial center that offers an outdoor pedestrian amenity that parallels the concept behind the Biltmore shopping area at 24th Street and Camelback Road. By offering pedestrian oriented amenities through the promenade, entertainment complex and specialty shop areas, the site creates a sense of place in a growing tourist, residential and employment core in the northern portion of the City. Controlled access points, placing parking away from two main City thoroughfares, and allowing flexibility in site and building design enables the project to transform one of Scottsdale's gateways into a dynamic and pedestrian friendly destination commercial center.

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STIPULATIONS 32-GP-97 & 51-ZN-97

CHANGES MADE AFTER PLANNING COMMISSION ARE NOTED IN BOLD AND CAPS.

PLANNING/ DEVELOPMENT

1. CONFORMANCE TO DEVELOPMENT SUBMITTAL. Development shall be in conformance with the site plan and development program booklet submitted by Ellermann and Schick, Architects and dated 2/10/98. These stipulations take precedence over the above-referenced site plan and development program. Any proposed significant change, as determined by the Community Development Administrator shall be subject to subsequent public hearings before the Planning Commission and City Council.
2. ROADWAY BUFFER. The landscaped roadway buffer width along Scottsdale Road, ~~and along Frank Lloyd Wright Blvd.,~~ shall ~~each~~ be a minimum of 50 feet, measured from the edge of the street right-of-way/property line. **THE LANDSCAPED ROADWAY BUFFER WIDTH ALONG FRANK LLOYD WRIGHT BLVD. SHALL BE 50 FEET AND MAY BE DECREASED TO INCLUDE RIGHT-OF-WAY LANDSCAPE AND SIDEWALK AREA SUBJECT TO STAFF APPROVAL. ALSO, THE LANDSCAPE BUFFER ALONG FRANK LLOYD WRIGHT BLVD. FOR THAT PORTION OF THE SITE PROPOSED FOR AUTOMOTIVE DEALERSHIP USE SHALL HAVE A ROADWAY BUFFER WIDTH MATCHING THAT OF THE EXISTING AUTOMOTIVE DEALERSHIP TO THE EAST OF THIS SITE, TO THE SATISFACTION OF CITY STAFF.** ~~A minimum 30' landscaped roadway buffer shall be provided along the majority of Paradise Lane, with the width reducing as shown on this submittal's site plans.~~ **THE LANDSCAPED ROADWAY BUFFER WIDTH ALONG PARADISE LANE, SHALL BE A MINIMUM OF 30 FEET, MEASURED FROM THE EDGE OF THE STREET RIGHT-OF-WAY/PROPERTY LINE.** These buffer setbacks shall apply to buildings, parking areas, walls, and covered patios/covered dining areas. Display pads only are allowed within the fifty (50) foot landscaped buffer along the Frank Lloyd Wright Boulevard frontage for the auto dealership.
3. PEDESTRIAN ACCESS. With the Development Review Board submittal, the developer shall submit a plan providing pedestrian access to the commercial and recreational areas on and adjacent to the site.
4. PHASING. The developer shall include, with the Development Review Board submittal, a detailed phasing plan for the development of the parcel identified to be zoned P.R.C., to the satisfaction of Project Review staff.
5. SERVICE AND LOADING AREAS. The applicant shall revise the site plan at the time of Development Review Board submittal to ~~delete~~ **MODIFY, TO THE SATISFACTION OF CITY STAFF,** the proposed service areas along the eight (8) specialty center buildings directly at the Frank Lloyd Wright Boulevard and Scottsdale Road intersection. If service bays are utilized for these buildings, the bay areas shall be depressed so as not to be visible from Scottsdale Road and

ATTACHMENT A

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4/21/98
DATE INITIALS

6. CULTURAL MASTER PLAN. The applicant shall submit a Cultural Master Plan that allows for a minimum of one (1) percent of the assessed building valuation to be used for arts related improvements to the site plan through the use of hardscape, landscape, art, and other means of providing art related improvements for the commercial center, excluding the auto dealership. The cultural master plan shall be ~~submitted at~~ **INCLUDED WITH** the ~~time of~~ Development Review Board SUBMITTAL ~~for site plan and building elevations for each phase.~~ The specific details of this plan as well as its implementation shall be ~~for~~ **SUBJECT TO** Development Review Board consideration. ~~prior to issuance of any certificates of occupancy.~~

ENVIRONMENTAL DESIGN

1. FRANK LLOYD WRIGHT STREETScape. The frontage design treatment along Frank Lloyd Wright Blvd. shall comply with the Frank Lloyd Wright Streetscape Design Guidelines. At the time of the Development Review Board submittal, the developer shall document, to the satisfaction of Coordination Staff, compliance with the guidelines through details of landscaping, plant palette, sidewalk alignment and paving materials/patterns, and wall design.
2. RETENTION PARK. The specific design and treatment of the proposed "Retention Park", to be located at the southeast corner of the overall ~~parcel~~ **SITE**, shall be ~~contingent upon~~ **SUBJECT TO** the approval of the Development Review Board. The developer shall include the "Retention Park" plans with the first Development Review Board submittal for this project.
3. NON-PROTECTED NATIVE PLANTS. Native plants which are not protected by the Scottsdale Revised Code native plant provisions, but which are necessary for on-site revegetation, are suitable for transplanting, or are necessarily uprooted for road building or similar construction, as determined by city staff, shall be stockpiled during construction and shall be replanted in on-site landscape areas by the developer before the final site inspection.
4. MAINTENANCE AND PRESERVATION-RECORDED AGREEMENT. Before any building permit for the site is issued, the developer shall record an agreement, satisfactory to city staff, detailing the maintenance and preservation by the developer and its successors of all common areas, landscape buffers, natural areas, drainage easements and private access ways on the site and abutting rights-of-way. These designated areas shall not be accepted for maintenance or be accepted for ownership by the city without the approval of the City Council.

MASTER PLANS

1. MASTER DESIGN CONCEPT PLAN. As a part of the first Development Review Board submittal, the developer shall submit its Master Design Concept Plan for Development Review Board review. The Plan shall address the following:

- a. *General design and architectural themes assuring overall design compatibility of all buildings and structures on the site.*
 - b. *An exterior material and color palette.*
 - c. *A landscape palette and planting theme areas, including the proposed locations of specimen trees such as the proposed date palms.*
 - d. *Typical outdoor lighting concepts and general specifications for parking lot lighting.*
 - e. *Paving material, color, and pattern details.*
 - f. *Perimeter and Screen wall elevations, patterning, and colors. (NOTE: walls along Frank Lloyd Wright Blvd. shall comply with the Frank Lloyd Wright Blvd. design standards)*
 - g. *design and amenities within the proposed pedestrian plazas.*
 - h. *The treatment of the proposed corner feature at the intersection of Frank Lloyd Wright Blvd. and Scottsdale Road.*
 - i. *Retention/detention basin aesthetic design and layout, notably along street frontages*
 - j. *The architectural connection of the materials, colors and building design of the overall commercial center and the automotive dealership building(s) site on the east.*
2. MASTER PLANS GENERALLY. The developer shall have each Master Plan specified below prepared by a registered engineer licensed to practice in Arizona. Each Master Plan shall be subject to city staff approval before any further Development Review Board submittal.
- a. Schedule A - Circulation Master Plan
 - b. Schedule B - Water Master Plan
 - c. Schedule C - Wastewater Master Plan
 - d. Schedule D - Drainage Master Plan

CIRCULATION

1. STREET CONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the following right-of-way and construct the following street improvements, in conformance with the Design Standards and Policies Manual:

Street Name/Type	Dedications	Improvements	Notes
Scottsdale Road Major Arterial	65' existing	existing	A, E
Frank Lloyd Wright Boulevard Major Arterial	65' half (50' existing)	existing	B, E
Paradise Lane Local Commercial	30' half (50' existing)	half street, 20' CL- BC, Fig. 3.1-7	C, D, E
76 th Street Local Commercial	30' half (25' existing)	half street, 20' CL- BC, Fig. 3.1-7	D, E

Notes:

- A. The developer shall be responsible for all back of curb improvements along Scottsdale Road, including streetlights, landscaping, and a minimum 8 foot wide meandering sidewalk.
- B. The developer shall be responsible for all back of curb improvements along Frank Lloyd Wright Boulevard, including streetlights, landscaping, and a minimum 8 foot wide meandering sidewalk. All street improvements for Frank Lloyd Wright Boulevard shall be in conformance with the city's Frank Lloyd Wright Boulevard Design Guidelines.
- C. The developer shall provide a minimum five foot sidewalk along Paradise Lane and 76th Street or an approved alternate pedestrian route, as determined by city staff
- D. Additional right-of-way and pavement width shall be provided as necessary on Paradise Lane to accommodate the existing median and proposed dual left-turn lanes.
- E. The developer shall provide any additional street improvements as determined by the city staff supported by the results of the approved traffic impact study for the site.

2. ACCESS RESTRICTIONS. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the necessary right-of-way, as determined by city staff, and construct the following access to the site. Access to the site shall conform to the following restrictions (distances measured to the driveway or street centerlines):

- a. Scottsdale Road - There shall be a maximum of two site driveways from Scottsdale Road, with a minimum of 330 feet between driveways. A full median break shall be provided at the southern site entrance, located approximately 600 feet north of Paradise Lane. The northern site driveway shall be restricted to right-in, right-out only access. The developer shall dedicate a one foot wide vehicular non-access easement on this street along the site frontage except at the approved site driveways.
- b. Frank Lloyd Wright Boulevard - There shall be a maximum of five site driveways from Frank Lloyd Wright Boulevard, with a minimum of 330 feet between driveways. A full median break shall be provided at the major site

entrance, located approximately one quarter mile east of Scottsdale Road. A left-in only median opening shall be provided at the site driveway located approximately 600 feet west of 76th Street. All other driveways shall be restricted to right-in, right-out only access. The developer shall dedicate a one foot wide vehicular non-access easement on this street along the site frontage except at the approved site driveways.

- c. Paradise Lane - There shall be a maximum of four site driveways from Paradise Lane, with a minimum of 330 feet between driveways. The western driveway shall be located a minimum distance of 330 feet from Scottsdale Road. Driveways shall align with existing or planned streets and driveways to the south or be offset a minimum distance of 125 feet.
 - d. 76th Street -. There shall be a maximum of three site driveways from 76th Street, with a minimum of 330 feet between driveways. Driveways shall align with existing or planned streets and driveways to the east or be offset a minimum distance of 125 feet.
3. **MEDIAN RECONSTRUCTION.** Before any certificate of occupancy is issued for the site, the developer, at its expense, shall be responsible for the reconstruction of the existing medians on Scottsdale Road and Frank Lloyd Wright Boulevard to provide left-turn access into and out of the site at approved locations, to the satisfaction of city staff; and shall relocate any existing landscaping that will be displaced, as determined by city staff.
4. **AUXILIARY LANE CONSTRUCTION.** Before any certificate of occupancy is issued for the site, the developer, at its expense, shall construct the following auxiliary lanes, in conformance with the Design Standards and Policies Manual:
- a. right-turn deceleration lanes at all approved site entrances on Scottsdale Road and Frank Lloyd Wright Boulevard;
 - b. a separate northbound right-turn lane on Scottsdale Road at the intersection of Frank Lloyd Wright Boulevard;
 - c. dual westbound left-turn lanes on Paradise Lane at the intersection of Scottsdale Road;
 - d. a separate eastbound right-turn lane on Frank Lloyd Wright Boulevard at the intersection of 76th Street;
 - e. additional turn lanes at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard to achieve an acceptable level-of-service for the build-out traffic analysis.
5. **EASEMENT REQUIREMENTS.** Before any final plan approval, the developer shall dedicate an ingress/egress easement over any shared driveways as necessary to provide access for separately owned parcels within the center, including the proposed automotive dealership, in a form acceptable to city staff.
6. **MASTER CIRCULATION PLAN.** With the Development Review Board submittal,

the developer shall submit a Master Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and design of site driveways, service locations, parking lot access and bus facilities. The site plan shall be designed to provide adequate queuing at site driveways, discourage high-speed and cut-through traffic, minimize conflicts with pedestrians, and direct on-site traffic toward the perimeter signalized intersections.

7. PEDESTRIAN CIRCULATION PLAN. With the Development Review Board submittal, the developer shall submit a Pedestrian Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and width of all sidewalks and pedestrian pathways. The site shall be designed to encourage pedestrian movement between site buildings with limited crossings of internal driveways and access aisles.
8. TRANSIT FACILITIES. With the development of the Entertainment Center portion of the site, the developer shall provide an internal transit node for use by city buses and private trolley service. The node shall be located to allow easy access from the adjacent major streets and shall be in reasonable proximity to the site's activity center. The facility shall be designed to provide seating and shade for waiting passengers. The design and location of these facilities shall be included with the Development Review Board application for this portion of the site, and shall be subject to city staff approval (Transit Department 994-7696) before any final plan approval. The developer shall enter into an indemnity agreement with the city of Scottsdale to allow on-site transit pickup and drop-off before any certificate of occupancy is issued for the site.
9. TRAFFIC SIGNAL CONSTRUCTION. The developer shall be responsible for 100 percent of the design and construction costs for a traffic signal on Frank Lloyd Wright Boulevard at the major site entrance, approximately one quarter mile east of Scottsdale Road. The traffic signal may be constructed with the initial site development, but shall not be activated until a minimum of 275,000 square feet of the center has been leased and occupied (not including the proposed auto dealership). The signal may be activated prior to this time if the signal is proven to be warranted and activation is approved by the city's Transportation Department General Manager.
10. TRAFFIC SIGNAL PARTICIPATION. Before any building permit for the site is issued, the developer shall pay to the city 50% of the design and construction costs, as determined by city staff, for the installation of a traffic signal at the intersection of Frank Lloyd Wright and 76th Street.

DRAINAGE AND FLOOD CONTROL

1. MASTER DRAINAGE REPORT. Before the improvement plan submittal to Project Review, the developer shall submit a master drainage report and plan subject to city staff approval. The master drainage report and plan shall be in conformance

with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the master drainage report and plan shall:

- a. Identify the timing of and parties responsible for construction of all storm water management facilities.
 - b. Demonstrate how the storm water storage requirement (100-yr, 2hr storm event) shall be satisfied. Indicate the location, volume and tributary area of all storage. Depth of storm water storage on pavement greater than 6-inches (remote areas only) shall be clearly defined and subject to city staff approval. At no time shall the depth of storm water on pavement exceed 8-inches.
 - c. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
 - d. Include a complete description of requirements relating to project phasing. Clearly define limits of phased construction.
2. APPROVED MASTER DRAINAGE REPORT. Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master drainage report.
3. CONCEPTUAL DRAINAGE REPORT. With the Development Review Board submittal, the developer shall submit a conceptual drainage report and plan subject to city staff approval. The conceptual report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the conceptual drainage report and plan shall:
- a. Demonstrate consistency with the master drainage plan and report.
 - b. Clearly define site specific limits of phased construction, interim storm water storage requirements, if applicable, and construction affected by timing and sequencing.
 - c. Determine easement dimensions necessary to accommodate design discharges greater than 25 cfs.
 - d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
4. FINAL DRAINAGE REPORT. With the final improvement plans submittal to Project Review, the developer shall submit a final drainage report and plan subject to Project Review approval. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the final drainage report and plan shall:
- a. Demonstrate consistency with the approved master drainage plan and report.
 - b. Provide final calculations and detailed analysis that demonstrate consistency with the accepted conceptual drainage plan and report.
5. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes

of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.

5. DRAINAGE EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements necessary to serve the site.

WATER

1. MASTER WATER REPORT. Before the improvement plan submittal to Project Review the developer shall submit a master water report and plan subject to Project Review approval. The master water report and plan shall be in conformance with the Design Standards and Policies Manual - MASTER PLANS.
2. APPROVED MASTER WATER REPORT. Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master water report.
3. NEW WATER FACILITIES. Before the issuance of Letters of Acceptance by the city, the developer, at its expense, shall provide all water lines and water related facilities necessary to serve the site. Water line and water related facilities shall conform to the city Water System Master Plan.
4. WATERLINE EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

WELL SITE RELOCATION

1. NEW WELL LOCATION. WITH THE DEVELOPMENT REVIEW BOARD SUBMITTAL, THE DEVELOPER SHALL SUBMIT A SITE PLAN, SUBJECT TO CITY STAFF APPROVAL, THAT CLEARLY SHOWS THE LOCATION OF THE NEW WELL SITE.
2. WELL SPECIFICATIONS. THE DEVELOPER SHALL DRILL THE NEW WELL IN CONFORMANCE WITH CITY OF SCOTTSDALE SPECIFICATIONS FOR NEW WELLS.
3. NEW WELL ACCEPTANCE. WHEN THE DEVELOPER HAS COMPLETED AND COMPLIED WITH ALL DESIGN SPECIFICATIONS AND PUNCH LIST ITEMS AND HAS DEMONSTRATED THAT THE NEW WELL IS PRODUCING WATER FOR THE CITY SYSTEM, TO THE SATISFACTION OF CITY STAFF, THE CITY WILL ACCEPT THE NEW WELL.
4. APPROVED CONSULTANT. PRIOR TO THE SUBMITTAL OF PRELIMINARY PLANS, THE DEVELOPER SHALL EMPLOY A CONSULTANT, WHOSE SERVICES, EXPERIENCE AND QUALITY OF WORK ARE ACCEPTABLE TO CITY STAFF. THIS CONSULTANT SHALL REVIEW

IMPROVEMENT PLANS, SPECIFICATIONS, AND PROVIDE WELL DRILLING INSPECTIONS AND CONSTRUCTION SERVICES.

5. **LIMITS ON DISCONTINUATION OF PRODUCTION CAPABILITIES.** DISRUPTION OF WATER PRODUCTION FROM EITHER WELL SITE CAN OCCUR ONLY WITHIN THE MONTHS OF JANUARY AND FEBRUARY.
6. **NEW WELL WATER QUALITY AND CAPACITY.** BEFORE PRODUCTION FROM THE EXISTING WELL IS CEASED, THE DEVELOPER, AS A MINIMUM, SHALL DEMONSTRATE TO THE SATISFACTION OF CITY STAFF THAT:
 - A. THE NEW WELL CAPACITY MEETS OR EXCEEDS THE EXISTING WELL CAPACITY.
 - B. WATER QUALITY FOR THE NEW WELL MEETS OR EXCEEDS THE WATER QUALITY OF THE EXISTING WELL.
7. **ABANDONMENT OF EXISTING WELL.** AFTER ACCEPTANCE OF THE NEW WELL BY THE CITY, THE DEVELOPER SHALL ABANDON THE EXISTING WELL IN CONFORMANCE WITH ARIZONA DEPARTMENT OF WATER RESOURCES SPECIFICATIONS.
8. **SECURITY WALL.** BEFORE ACCEPTANCE OF THE WELL BY THE CITY STAFF, THE DEVELOPER SHALL CONSTRUCT A SECURE PERIMETER WALL AROUND THE SITE.
9. **WELL SITE DEDICATION.** BEFORE ANY BUILDING PERMIT FOR THE SITE IS ISSUED, THE DEVELOPER SHALL DEDICATE TO THE CITY, IN CONFORMANCE WITH THE SCOTTSDALE REVISED CODE AND THE DESIGN STANDARDS AND POLICIES MANUAL, A WELL SITE.
 - A. DIMENSIONS OF THE WELL SITE, LOCATION AND NECESSARY ACCESS EASEMENTS, FOR WELL SITE OPERATION AND MAINTENANCE, ARE SUBJECT TO APPROVAL BY CITY STAFF.
10. **WATERLINE EASEMENTS.** BEFORE ANY BUILDING PERMIT FOR THE SITE IS ISSUED, THE DEVELOPER SHALL DEDICATE TO THE CITY, IN CONFORMANCE WITH THE SCOTTSDALE REVISED CODE AND THE DESIGN STANDARDS AND POLICIES MANUAL, ALL WATER EASEMENTS NECESSARY TO SERVE THE SITE.
- ~~5. **WELL SITE RELOCATION.** The proposed well site can be relocated on site as long as the following conditions are met and approved by the Water Resources Department.~~
- ~~6. The well shall be out of service for a supply source at this location for the months of January and February.~~
- ~~7. Production shall be equal to or greater than the existing well.~~
- ~~8. Water quality shall be equal to or greater than the existing well.~~
- ~~9. The new well shall be drilled using City of Scottsdale specifications that is used for all new city wells. Plans and specifications shall be reviewed and approved by the City's consultant.~~

- ~~10. The developer shall pay all costs of relocating the existing equipment. If the equipment can't be relocated due to not meeting code or unacceptable to reinstall, the developer shall pay these costs.~~
- ~~11. The new well site parcel shall be dedicated to the City with all necessary access easements.~~
- ~~12. The improvements shall be screened by a cmu wall. Wall location shall be determined at the Development Review Board.~~
- ~~13. The new well shall be drilled and proven to meet items # 2 and 3 before abandonment can begin on existing well.~~

WASTEWATER

1. MASTER WASTEWATER REPORT. Before the improvement plan submittal to Project Review, the developer shall submit a master wastewater report and plan subject to Project Review approval. The master wastewater report and plan shall be in conformance with the Design Standards and Policies Manual - MASTER PLANS.
2. APPROVED MASTER WASTEWATER REPORT. Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master wastewater report.
3. NEW WASTEWATER FACILITIES. Prior to the issuance of Letters of Acceptance by the City, the Developer, at its expense, shall provide all sanitary sewer lines and wastewater related facilities necessary to serve the site. Sanitary sewer lines and wastewater related facilities shall conform to the city Wastewater System Master Plan. IN ADDITION:
 - a. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All questions may be referred to Jim Nelson, Water Quality Manager at 391-5687.
 - b. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
 - c. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
4. SANITARY SEWER EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all sewer easements necessary to serve the site.

- a. On-site sewer shall be privately owned WITH MAINTENANCE THE RESPONSIBILITY OF THE OWNER.

ADDITIONAL INFORMATION

PLANNING/DEVELOPMENT

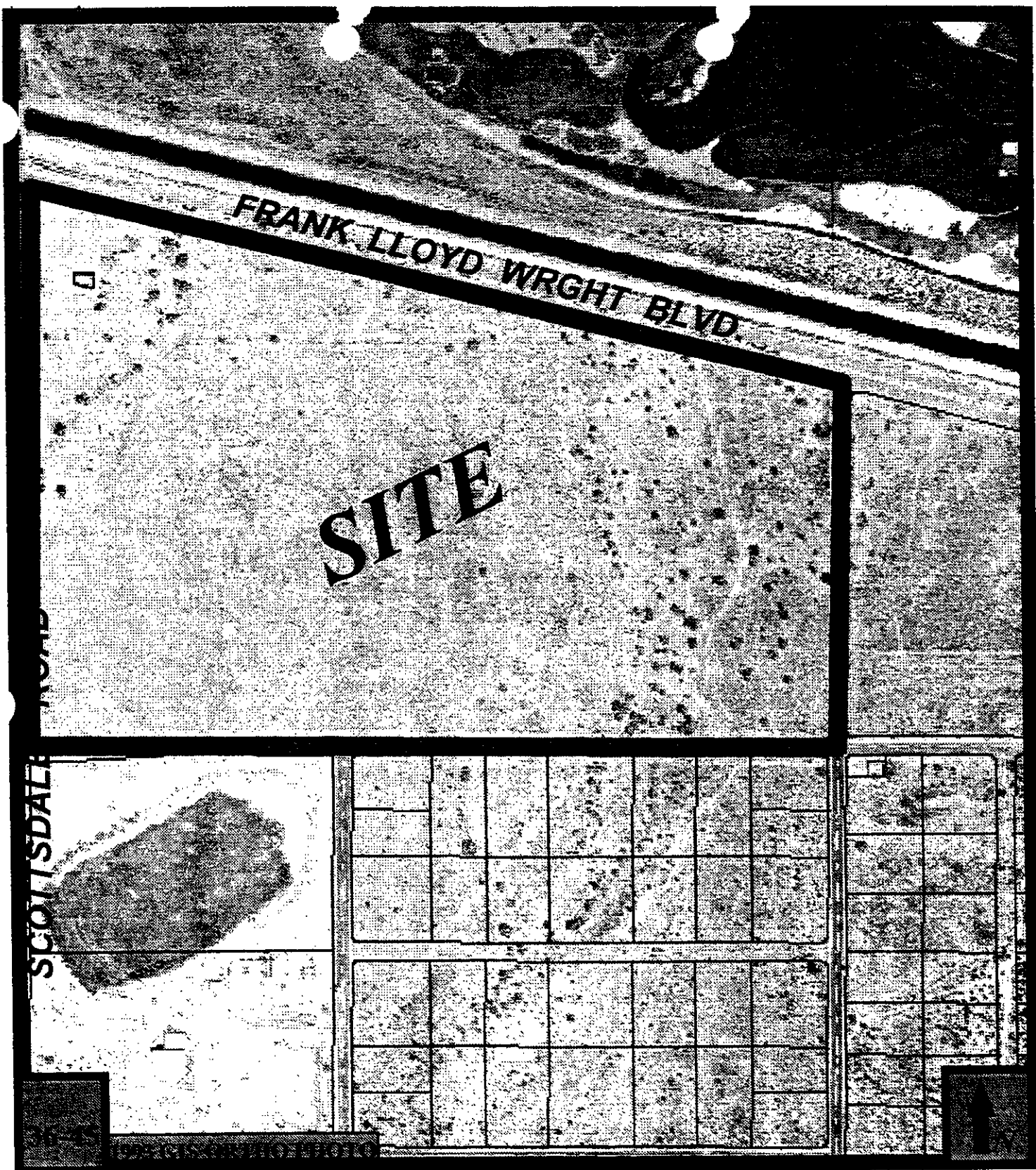
1. **DEVELOPMENT CONTINGENCIES.** The proposed site plan and development program for each parcel may be necessarily revised due to drainage issues, topography, open space requirements, and other site planning concerns which will need to be resolved at the time of Development Review Board submittal.
2. **FINAL PAD LOCATION.** The specific location of each proposed building pad shall be subject to Development Review Board approval.
3. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
 - a. wall design,
 - b. the type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use,
 - c. scenic corridors and buffered parkways,
 - d. improvement plans for common open space, common buildings and/or walls, and amenities such as ramadas, landscape buffers on public and/or private property (back-of-curb to right-of-way or access easement line included).
 - e. compliance with the Frank Lloyd Wright Streetscape Design Guidelines.
 - f. signage,
 - g. Master Design Concept Plans.
4. **NATIVE PLANT PRESERVATION.** The owner shall secure a native plant permit as defined in the Scottsdale Revised Code for each parcel. City staff will work with the owner to designate the extent of the survey required within large areas of proposed undisturbed open space. Where excess plant material is anticipated, those plants shall be offered to the public at no cost to the owner in accordance with state law and permit procedure or may be offered for sale.

ENGINEERING

1. **EPA REQUIREMENTS.** Construction activities which disturb 5 or more acres shall require a permit under the National Pollutant Discharge Elimination System (NPDES). A Notice of Intent (NOI) and a Storm Water Pollution Prevention Plan (SWPPP) shall be filed with the Environmental Protection Agency and the city before development permits can be issued. Contact the Stormwater Hotline at (703) 821-4823 for more information.
2. **CORPS OF ENGINEERS REQUIREMENTS.** A Section 404 permit from the US Army Corps of Engineers may be required for discharges of dredged or fill materials within jurisdictional washes. Contact the Phoenix Regulatory Office of the Corps of Engineers for a jurisdictional determination and further information. Written communication with the State Historic Preservation Officer may be

required as part of the 404 permit process. The Clean Water Act, Section 404 Letter of Permission procedure for Scottsdale, Arizona, may expedite this procedure.

3. **DUST CONTROL PERMITS.** Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) shall be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.
4. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development, including but not limited to washes, storm drains, drainage structures, **WELLS**, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning does not and shall not commit the city to provide any of these improvements.
5. **WELL RELOCATION/RECONSTRUCTION EXPENDITURES.** **THE DEVELOPER SHALL PAY ALL COSTS ASSOCIATED WITH WELL RELOCATION, CONSTRUCTION, AND ABANDONMENT, INCLUDING, BUT NOT LIMITED TO, THE PLANS, INFRASTRUCTURE, EQUIPMENT, PERIMETER WALL, AND WELL ABANDONMENT. THE EXISTING WELL EQUIPMENT AND ASSOCIATED FACILITIES CAN BE REUSED IF IT MEETS BUILDING CODES AND IS ACCEPTABLE BY CITY STAFF FOR REINSTALLATION.**
6. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in lieu of any water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee which is applicable at the time building permits are granted.



SCOTTSDALE PROMENADE

32-GP-97 / 51-ZN-97

ATTACHMENT #1

GENERAL PLAN



51-ZN-97

32-GP-97



	TOURIST ACCOMMODATIONS
	LOW INTENSITY RESORT
	NEIGHBORHOOD COMMERCIAL
	GENERAL COMMERCIAL
31	MINOR OFFICE
32	MAJOR OFFICE
33	MINOR EMPLOYMENT
34	GENERAL EMPLOYMENT
	RESEARCH AND DEVELOPMENT
41	NATURAL OPEN SPACE
	LIMITED USE AREA
	DEVELOPED OPEN SPACE
	CULTURAL / INSTITUTIONAL
	UTILITIES
	NATURAL OPEN SPACE AND/OR POTENTIAL LIMITED USE AREA

10	1/5 DU/AC
11	1/3-1/2 DU/AC
12	1/2-1 DU/AC
13	1-2 DU/AC
	2-4 DU/AC
	4-8 DU/AC
	8-12 DU/AC
	12-22 DU/AC

ATTACHMENT # 4

JENNY LYNN

CIRCLE MOUNTAIN ROAD

HONDA BOW ROAD

ROCKAWAY HILLS ROAD

DESERT HILLS DR.

JOY RANCH ROAD

STAGE COACH PASS

CAREFREE HIGHWAY

DOVE VALLEY ROAD

LONE MOUNTAIN ROAD

DIXILETA DRIVE

DYNAMITE BOULEVARD

JOMAX RD.

HAPPY VALLEY ROAD

PINNACLE PEAK ROAD

DEER VALLEY ROAD.

BEARDSLEY ROAD

UNION HILLS ROAD

BELL ROAD

GREENWAY ROAD

THUNDERBIRD ROAD

CACTUS ROAD

SHEA BOULEVARD

DOUBLETREE RANCH RD.

NORTHERN AVE.

INDIAN BEND ROAD

LINCOLN DRIVE

MCDONALD DRIVE

JACKRABBIT ROAD

CHAPARRAL ROAD

CAMELBACK ROAD

INDIAN SCHOOL ROAD

OSBORN ROAD

THOMAS ROAD

OAK STREET

ROOSEVELT STREET

McKELLIPS ROAD

32ND ST.

40TH ST.

48TH ST.

56TH ST.

64TH ST.

SCOTTSDALE RD.

HAYDEN RD.

PIMA RD.

96TH ST.

104TH ST.

112TH ST.

120TH ST.

128TH ST.

144TH ST.

51-ZN-97

32-GP-97

ATTACHMENT #3

DRAFT**APPENDIX B--BASIC ZONING ORDINANCE**

§ 5.2603

Sec. 5.2603. Use regulations.

A. Permitted uses. Buildings, structures or premises shall be used and building and structures shall hereafter be erected, altered or enlarged for the following uses:

1. Retail sales.

- a. Apparel and accessories stores such as men's and boys clothing and furnishings, women's wear and accessories, children's and infant's wear, family clothing, shoes, custom tailoring, fur apparel, clothing rentals, and fabrics.
- b. ~~Automotive parts stores.~~
- c. Books, newspaper, magazine or stationery stores.
- d. Camera or photographic supply stores.
- e. Cigar, tobacco, cigarette stores.
- f. Drug and proprietary stores.
- g. Florists.
- h. Eating and drinking places without live entertainment or patron dancing.
- i. Food stores and groceries such as grocers, delicatessens, meats and fish, fruits and vegetables, candy, nut, confectionery, dairy products, and bakeries.
- j. Furniture, home furnishings and equipment stores such as furniture, inside window coverings, china, glassware, metalware, household appliances, radios and televisions, music supplies and equipment, and home and portable business computers.
- k. General merchandise stores including department, variety, antiques, catalogue sales outlet, and warehouse clubs.
- l. Gift, novelty, import, art, jewelry or souvenir stores.
- m. Hobby or toy stores.
- n. Home improvement stores including but not limited to paint, glass, wallpaper, and carpet.
- o. Liquor stores.
- p. New motor vehicles stores with display and storage enclosed within a building and no service area.
- q. Petshops.
- r. Sporting goods and bicycles.
- s. Swimming pool and patio supplies and accessories.

2. Services.

- a. ~~Broadcasting studio without towers.~~
- b. Business services including blueprinting and photocopying, printing, mailing services, office equipment rentals and photofinishing services.
- c. Cellular communication facility; minor and major.
- d. Educational services including art and music schools, dancing schools, extensions of colleges or universities and day care center.
- e. Finance, insurance and real estate services including banking and bank-related services, savings and loan associations, securities, brokers and dealers, insurance agents and brokers, and real estate agents and brokers and associated services and headquarters.
- f. ~~Governmental services.~~

DRAFT

§ 5.2603

SCOTTSDALE REVISED CODE

- g. Hospital for animals including boarding and lodging provided that there are no open kennels and provided that all activities are conducted in soundproof buildings.
- h. Medical services including offices for physicians, dentists, osteopaths, chiropractors, opticians, optometrists and group health services with ancillary laboratories excluding any services requiring overnight patient stays.
- i. Personal services including laundering and dry cleaning services, photographic services, beauty shops, barber shops, and shoe repair and shining.
- j. Private business, professional and civic clubs and associations.
- k. Professional services including legal services; engineering, interior design and architectural services; and accounting, auditing and book-keeping services, and consulting services.
- l. ~~Recyclable material collection.~~
- m. Repair services including ~~appliance repair~~, watch, clock and jewelry repair, and ~~upholstery shop~~.
- n. Restaurant.
- o. ~~Taxidermist.~~
- p. Travel agency.
- q. Video tape rental.
- 3. Cultural, entertainment and recreation.
 - a. ~~Churches, synagogues, and temples.~~
 - b. Cultural activities including libraries and museums.
 - c. Game center and arcade.
 - d. ~~Pool or billiards parlor.~~
 - e. Public assembly facilities including indoor motion picture theaters and legitimate theaters.
 - f. Recreational facilities including ice skating, roller skating, bowling, gymnasiums, health and fitness centers.
- 4. Residential.
 - a. Hotels, motels, and inns.
 - b. Multifamily residential.

B. *Uses subject to a conditional use permit.*

- 1. Automobile rental.
- 2. Automobile repair and service.
- 3. Automobile wash services excluding self-operated.
- 4. Automotive tires, batteries and accessories.
- 5. ~~Broadcasting studios with towers.~~
- 6. ~~Business school.~~
- 7. Gasoline sales and service stations.
- 8. Indoor aquarium.
- 9. Live entertainment (see section 2.208 for criteria).
- 10. New and used motor vehicle sales including outdoor storage.
- 11. Outdoor recreational facilities which are greater than two (2) acres in size such as miniature golf, tennis center, water parks or play structures.
- 12. Planetaria.
- 13. Plant nursery.

APPENDIX B—BASIC ZONING ORDINANCE

§ 5.2604

14. Teen dance center.
15. Seasonal art festival.

(Ord. No. 2311, § 1, 8-21-90; Ord. No. 2317, § 1, 11-6-90; Ord. No. 2430, § 1, 1-21-92; Ord. No. 2620, § 1, 8-2-94; Ord. No. 2858, § 1, 12-5-95)

Sec. 5.2604. Property development standards.

The following property development standards shall apply to all land and buildings in the P.R.C. district.

A. Floor area ratio.

1. In no case shall the gross floor area of a structure exceed the amount equal to eight-tenths multiplied by the net lot area of the P.R.C. site in square feet. Gross office floor area shall not exceed forty (40) percent of total gross floor area of nonresidential buildings. The gross floor area of dwellings shall not exceed fifty (50) percent of the gross floor area of nonresidential buildings.

- B. Volume ratio.** In no case shall the volume of any structure exceed the product of the net lot area of the P.R.C. site in square feet multiplied by sixteen (16) feet.

C. Open space requirement.

1. In no case shall the open space requirement be less than ten (10) percent of the net lot area for zero (0) to twelve (12) feet of height, plus four-tenths percent of the net lot area of the PRC site for each foot of height above twelve (12) feet; such open space shall not be required to exceed twenty (20) percent of the net lot area except as provided in section 5.2604C.3.
2. Planned regional centers shall have a portion of the development oriented towards a courtyard or mall with buildings enclosing the courtyard, and opening onto the courtyard from at least three (3) sides. The courtyard or mall shall be a minimum of one (1) percent

of the net lot area of the P.R.C. site in square feet. The courtyard or mall shall be considered to be open space:

- a. If, in the opinion of the Development Review Board, a suitable alternative design solution is presented, the courtyard requirement may be waived.

3. Open space required under this section shall be exclusive of parking lot landscaping required under the provisions of article IX of this ordinance.

D. Building height.

1. No building shall exceed sixty (60) feet in height except as otherwise provided in article VII or this subsection.
2. Any building located in a P.R.C. zone which was constructed to a height in excess of sixty (60) feet prior to the effective date of this ordinance, in compliance with the then existing zoning provisions, and which is destroyed or damaged may be rebuilt to the height at which it was originally constructed.

E. Density.

1. Hotels or motels shall provide a minimum gross land area of two thousand (2,000) square feet of land area per guest room.
2. Dwellings shall provide a minimum gross land area of two thousand (2,000) square feet per dwelling unit. Floor area devoted to dwellings shall not be included in calculating maximum floor area as provided in section 5.2604A.

F. Yards.

1. Front Yard.
 - a. A minimum of twenty-five (25) percent of the total open space require-

Sec. 5.16. (C. GENERAL COMMERCIAL DISTRICT.

Sec. 5.1601. Purpose.

The C-4 district serves as the location for the heaviest type of activities found in the city, including warehousing, wholesaling and light manufacturing. Locations for C-4 zoning should be thoughtfully conceived so that the use of the property is adequately buffered from residential areas and so that highway frontage does not present a poor image of the community.

Sec. 5.1602. Approval required.

No structure or building shall be built or remodeled upon land in the C-4 district until Development Review (Board) approval has been obtained as outlined in article I, section 1.400 hereof.

Sec. 5.1603. Use regulations.

A. *Permitted uses.* Buildings, structures or premises shall be used and buildings and structures shall hereafter be erected, altered or enlarged only for the following uses:

1. Business and professional services.
 - a. Business and professional office (limited to ten (10)) percent of gross building floor area development on a lot within a subdivision.
 - ~~b. Hospitals for animals including boarding and lodging provided that there shall be no open kennels maintained and provided that all facilities will be in soundproof buildings.~~
 - c. School, private, operated as a commercial enterprise.
 - ~~d. Municipal uses.~~
2. Manufacturing and processing.
 - ~~a. Beverage bottling.~~
 - ~~b. Blacksmith shop or welding shop.~~
 - c. Boat building or repair.
 - ~~d. Cabinet shop.~~
 - e. Cleaning and dyeing plant.
 - ~~f. Cosmetics manufacturing.~~

- ~~g. Airy products processing.~~
- h. Electronic components manufacturing.
 - i. Furniture refinishing and manufacturing.
 - j. Ice cream manufacturing.
 - k. Ice plant or cold storage plant.
 - l. Instrument manufacturing.
 - m. Jewelry manufacturing.
 - n. Meat or poultry processing, but not including slaughtering.
 - o. Motion picture production.
 - p. Musical instrument, games and toys manufacturing.
 - q. Pharmaceutical manufacturing.
 - r. Pottery manufacturing.
 - s. Replating shop.
 - t. Research and development laboratories.
 - u. Sheet metal shop.
 - ~~v. Sign shop.~~
 - w. Upholstering shop.

3. Retail sales.

- ~~a. Appliance store.~~
- b. Automobile parts store.
- c. Automobile sales, new or used.
- ~~d. Awning or canvas store.~~
- e. Boat sales.
- f. ~~Building materials sales yard, including the sale of rock, sand and gravel as an incidental part of the main business but excluding concrete mixing.~~
- g. Carpet and floor covering store.
- h. Craft shop conducted in conjunction with retail business which includes ceramics, mosaics, fabrics, jewelry, leather goods, silk screening, dress designing, sculpturing and wood carving.
- ~~i. Furniture store.~~

- ~~j. Ice distributing station.~~
 - k. Motorcycle sales.
 - ~~l. Plant nursery.~~
 - m. Recreational vehicles and camper sales.
 - ~~n. Swimming pool sales office including display pools and equipment storage.~~
 - o. Tire shop including recapping.
4. Wholesale sales.
- ~~a. Wholesale sales of any commodity allowed as retail sales in the City of Scottsdale.~~
5. Services.
- ~~a. Animal boarding kennel, provided that there shall be no open kennels maintained and provided that all facilities will be in soundproof buildings.~~
 - b. Appliance repair.
 - ~~c. Automated or coin operated car wash.~~
 - d. Automobile rental or leasing.
 - e. Automobile storage garage.
 - f. Automotive repair, including body and paint shops.
 - g. Boat building or repair.
 - ~~h. Broadcasting station and radio, radio or television, but not including sending or receiving tower.~~
 - i. Emissions testing facility.
 - j. Equipment rental or sales.
 - k. Equipment storage.
 - ~~l. Frozen food locker.~~
 - m. General or subcontractors.
 - n. Printing, lithography, publishing or photostating establishment.
 - o. Public utility service or storage yard.
 - p. Recyclable material collection center.
 - q. Trailer repair.
 - r. Unoccupied recreational vehicle storage.

~~9. Warehouses.~~

5. Other uses.

a. Accessory buildings.

~~b. Cellular communication facility, minor and major.~~

c. Temporary buildings for uses incidental to construction work, to be removed upon completion or abandonment of construction work.

B. Uses permitted by conditional use permit.

~~1. Amusement park.~~

2. Broadcasting station and studio, commercial; commercial radio or television, including sending or receiving towers.

3. Gasoline service station (see section 2.208 for criteria).

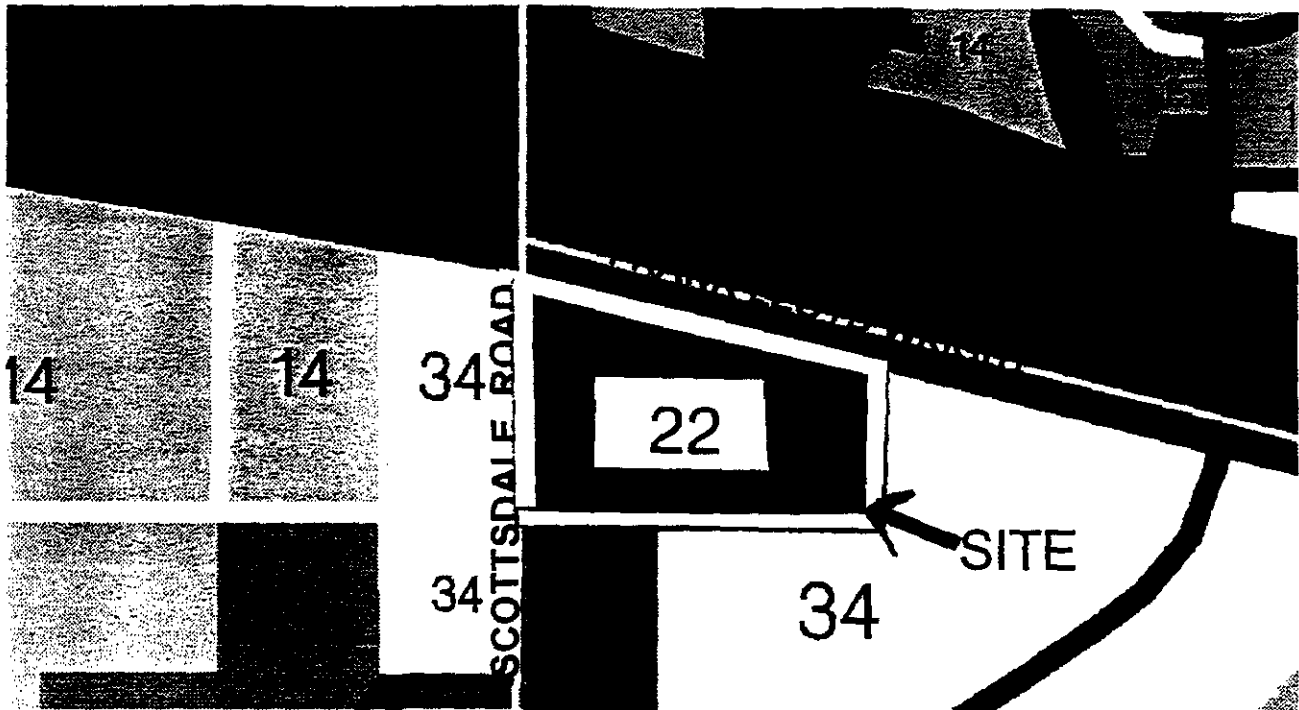
4. Outdoor sales display area.

~~5. Internalized community storage (see section 2.208 for criteria).~~~~6. Seasonal art festival.~~

(Ord. No. 1903, § 1, 9-2-86; Ord. No. 1971, § 1, 8-4-87; Ord. No. 2311, § 1, 8-21-90; Ord. No. 2430, § 1, 1-21-92; Ord. No. 2654, § 1, 4-19-94; Ord. No. 2831, § 1, 9-19-95; Ord. No. 2901, § 1, 4-16-96)

Editor's note—The arabic numbers for uses in paragraphs A and B above were not present in Ord. No. 1903. As they were present prior to enactment of Ord. No. 1903, the arabic numbers have been editorially supplied.

GENERAL PLAN



51-ZN-97

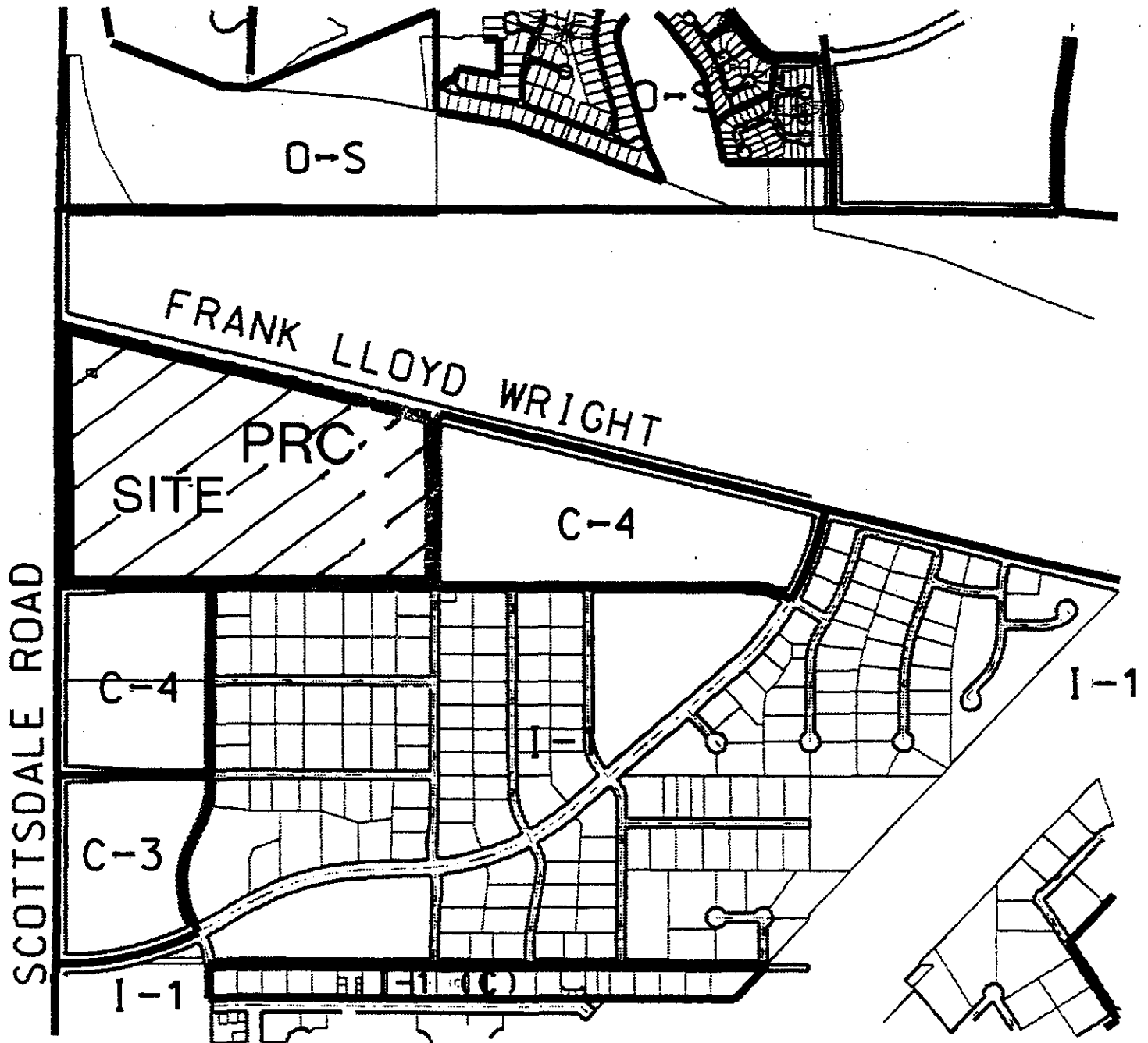
32-GP-97



	TOURIST ACCOMMODATIONS
	LOW INTENSITY RESORT
	NEIGHBORHOOD COMMERCIAL
	GENERAL COMMERCIAL
31	MINOR OFFICE
32	MAJOR OFFICE
33	MINOR EMPLOYMENT
34	GENERAL EMPLOYMENT
36	RESEARCH AND DEVELOPMENT
41	NATURAL OPEN SPACE
	LIMITED USE AREA
	DEVELOPED OPEN SPACE
46	CULTURAL / INSTITUTIONAL
	UTILITIES
	NATURAL OPEN SPACE AND/OR
	POTENTIAL LIMITED USE AREA

10	1/5 DU/AC
11	1/3-1/2 DU/AC
12	1/2-1 DU/AC
13	1-2 DU/AC
14	2-4 DU/AC
15	4-8 DU/AC
16	8-12 DU/AC
17	12-22 DU/AC

ATTACHMENT C



51-ZN-97
32-GP-97

MR. EKBLAW stated that they could with approval, do improvements over that but they would be liable for the cost if access was needed.

COMMISSIONER DRAKE commented that she would be more sympathetic with the Walsh family if he had dedicated his half of the street with regard to preserving that public street access. She said that she would take the applicant in good faith for his commitment to the neighborhood to keep that area open. She suggested that maybe the neighbors could get together and agree to have a private trail to the rear down to Peak View.

COMMISSIONER DRAKE MADE A MOTION TO FORWARD CASE 4-AB-98 TO THE CITY COUNCIL WITH A RECOMMENDATION FOR APPROVAL SUBJECT TO THE AMENDED STIPULATIONS RECEIVED IN STUDY SESSION. SECOND BY COMMISSIONER BROUHARD.

THE MOTION PASSED BY A VOTE OF FIVE (5) TO ZERO (0).

**EXPEDITED AGENDA:
ZONING**

9. 15-ZN-96#2 (Sterling Place) request by A. F. Sterling Homes, applicant/owner for an amendment to the amended development standards for a subdivision on a 11 ± acre parcel located at the northeast corner of Scottsdale Road and Cholla Road.

MS. SHEWAK presented this request as per the project coordination packet. Staff is recommending approval subject to the attached conditions.

(THERE WERE NO CARDS FROM CITIZENS WISHING TO SPEAK ON THIS CASE.)

- * 10. 32-GP-97 (Scottsdale Promenade) request by Ellermann & Schick Architects, applicant, Kemper Marley, owner, for General Plan amendment from Category 22 (General Commercial), Category 18 (Tourist Accommodations) and Category 34 (General Employment to Category 22 (General Commercial); and
51-ZN-97 rezone from R1-35 (Single Family Residential) to PRC (Planned Regional Center) and C-4 (General Commercial) on a 87.3 ± acre located at the southeast corner of Frank Lloyd Wright Boulevard and Scottsdale Road.

(COMMISSIONER DRAKE DECLARED A CONFLICT ON CASES 32-GP-97 AND 51-ZN-97 AND DID NOT PARTICIPATE IN THE DISCUSSION OR VOTE.)

MR. JONES presented this request as per the project coordination packet. Staff is recommending approval subject to the attached stipulations.



COUNCIL ACTION REPORT

AGENDA ITEM NO. 32

TO: Mayor and City Council
FROM: Community Development
PROJECT NAME: Scottsdale Promenade
CASE NO.: 51-ZN-97#2 & Resolution No. 5203
Ordinance No. 3205

Meeting Date: 1/5/99

Case Number: 51-ZN-97#2

Staff Contact: Jones/Faramelli

Ext.: 2524/2583

REQUEST: Amendment to the site plan of a previous case 51-ZN-97

LOCATION: Southeast corner of Frank Lloyd Wright Boulevard and Scottsdale Road

APPLICANT: Ellerman & Shick Architects
727 East Maryland
Phoenix, AZ

OWNER: Kemper Marley
18001 North 52nd Street
Scottsdale, AZ

PLANNING COMMISSION RECOMMENDATION: APPROVE, on the expedited agenda by a vote of 6-0, Commissioner Drake abstained subject to the attached stipulations, and ADOPT Resolution No. 5203 and Ordinance No. 3205 affirming this case.

STAFF RECOMMENDATION: APPROVE, subject to the attached stipulations.

PUBLIC COMMENT: There has been no public comment regarding this case at the time of drafting this report.

SITE DETAILS

USE: Retail Center

PARCEL SIZE: 83.5 acres

GROSS FLOOR AREA: 870,000 square feet

OTHER: Eastern portion (Major 12, Bldgs 11 & 12) zoned C-4

BUILDINGS: Specialty Center
12 Majors; 14 pads

SUMMARY OF REQUEST: The request is to approve an amendment to the site plan approved in Case # 51-ZN-97.

GENERAL PLAN DISCUSSION:

- This request complies with the General Plan in this area.

The General Plan is a comprehensive, long range policy document that guides the ultimate physical development of Scottsdale. The Plan is an official public document that is adopted by the City Council after public hearings, citizen input and a recommendation from the Planning Commission. The Plan contains four elements: Land Use, Environmental Design, Circulation, and Public Facilities. Each element is reviewed when development applications are considered.

Land Use: The General Plan was amended in the original zoning case to allow this large retail center. The Land use Element designates this area as a Category 22, General Commercial and Category 34, General Employment.

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Action Taken: _____

DATE

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406-PA-2001
1-14-2002

82-DR-1998#2A

Circulation: Scottsdale Road and Frank Lloyd Wright Boulevard are designated major arterial roadways within the Circulation Element of the General Plan. Paradise Lane is designated as a minor collector roadway. A transit node is proposed to be incorporated within the site plan along the Paradise road frontage.

Traffic Impact Analysis: The existing site plan contains 320,000 sq. ft. of Retail, 110,000 sq. ft. of specialty retail, a movie theater with 30 screens, 65,000 sq. ft. of new car sales, 78,682 sq. ft. of general office building and 100,000 sq. ft. of restaurant space. The amended site plan is proposing 311,880 sq. ft. of retail, 165,600 sq. ft. of specialty retail, 70,550 of restaurant, a 164,464 sq. ft. home improvement store, and a 132,969 sq. ft. furniture store. Based on the amended site plan, the overall traffic generation rates have decreased. The majority of the reduction comes during the PM Peak Hour. There may be some additional reductions due to interaction and pass-by, but they have not been included here. The traffic generation numbers for both the existing and proposed site plans are contained in the table below.

Land Use	Daily Total	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Existing Site Plan	36,011	507	192	699	2,097	1,976	4,073
Amended Site Plan	33,683	396	242	638	1,437	1,227	2,831

Public Facilities: A well site is located along Scottsdale Road which will be incorporated into the site plan.

Environmental Design: The proposal is consistent with the previous site plan which includes a minimum 50 foot scenic corridor setback along Scottsdale Road. The Frank Lloyd Wright Boulevard streetscape will be consistent with the approved design guidelines for landscape and hardscape elements. A major gateway feature is proposed at the northwest corner of the site at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard. Smaller entry feature elements are proposed at the northeast corner and southwest corners of the project.

ZONING CONTEXT:

Current Zoning: Planned Regional Center (PRC) and C-4, General Employment District.

Zoning History:

- Case # 32-GP-97 & 51-ZN-97 – Changed the General Plan Land use designation from Category 18, Tourist Accommodations, and Category 34, General Employment, to Category 22, General Commercial and rezoned a majority of this site from R1-35 to PRC, Planned Regional Center.

PROJECT DISCUSSION:

Development as it could currently occur: The approved site plan allows for large retail and entertainment center with approximately eleven (11) acres, located on the extreme eastern portion of the site, designated for a separate car dealership.

Proposed Site Plan Modifications: The proposed modifications incorporate the previous car dealership site, removes the theater component, alters the specialty lifestyle center and creates a

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different approach to the "promenade" design. The center is located at a major gateway to North Scottsdale at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard. The new site is bounded on the east by 76th Street and on the south by Paradise Lane.

The addition of the easterly 11 acres allows for the center to be bounded on all four sides by public streets. The addition of an Eagle Hardware store on the C-4 portion creates the eastern anchor to the non-promenade section of the project. The 133,000 square foot store (labeled Major 12 on the site plan) is considered a quality home improvement store with a large (30,000 sq. ft.) garden department. The second major change on the eastern half of the project is the addition of another large retail user, The Great Indoors (labeled Major 11). While the Eagle Hardware store is primarily a home improvement store, the Great Indoors store lends itself to a home design store. These two large retailers anchor the more vehicle oriented portion of the site plan and provide for a terminus of the pedestrian plaza's from the western portion of the site.

The second major modification to the site plan is the re-creation of the Promenade portion of the project (labeled the Lifestyle Center). The plan allowed for parking within the lifestyle center which is the cluster of buildings directly abutting the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard. The new design creates a outdoor mall effect by excluding parking within the center portion and providing for an underground parking garage to allow for direct access to this set of stores and restaurants. The additional square footage allows for a unique 360 degree shopping experience with the potential for second floor offices along the western section of buildings. The large gateway feature and approved Public Art and Pedestrian master plan will continue to be incorporated into this portion and other portions of the project.

The third major site plan modification relates to the removal of the large theater complex that was proposed as a central point and terminus point of the large Promenade. Without this central pedestrian draw, the site plan for the surrounding stores and restaurants was altered to create another pedestrian plaza in a "half-moon" shape from Scottsdale Road to the central portion of the project. This stretch of stores will be highlighted with a large central plaza, shaded pedestrian connections to the specialty center and the pads, and access to the on-site transit node.

The site plan includes adding entry features at the intersections of Paradise Lane and Scottsdale Road and Frank Lloyd Wright Boulevard and 76th Street. These entry features will be designed so as to be compatible with the large entry/public art element designed for the corner of Scottsdale Road and Frank Lloyd Wright Boulevard. An additional 100,000 square feet of open space is provided on the revised site plan with additional shaded walkways to continue the pedestrian friendly design of the center.

STAFF ASSESSMENT OF PROJECT ISSUES:

- Revised site plan consistent with the General Plan
- Site plan modifications strengthen outdoor shopping experience
- Promenade portion creates pedestrian friendly atmosphere without vehicle interruption
- Shaded pedestrian walkways create connections throughout the entire center
- Large retail users concentrated to one side of the project
- Additional open space provided with revised site plan

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COMMUNITY IMPACT:

The proposed modifications enable the site plan to adjust to a more specific design suitable to the proposed uses. The deletion of parking from the lifestyle center creates a true outdoor pedestrian-friendly shopping mall at the gateway portion of the site. The introduction of a vibrant retail plaza strengthens the pedestrian connections with additional shaded pedestrian walkways to all sections of the project. The addition of an open plaza in place of the theaters strengthens the connections to the transit node and airport employment base. Additionally, the shaded walkways, additional open space, landscape setbacks from the roadways and building placement creates a project that is screened visually from the abutting important public thoroughfares.

ATTACHMENTS:

- A - Stipulations
- B - Additional Information
- #1 - Aerial
- #2 - Zoning Map
- #3 - Vicinity Map
- #4 - Land Use Plan
- #5 - Site Plan
- #6 - Previously Approved Site Plan Case 51-ZN-97
- #7 - Resolution No. 5203
- C - Amended Site Plan
- #8 - Ordinance No. 3205
- D - Amended Stipulations
- #9 - Planning Commission Minutes 11/18/98


John Faramelli

Community Development Administrator


Richard A. Bowers
City Manager

The following departments/divisions have participated in the staff review of this request and support the recommendation as stated.

- | | |
|---|---|
| <input checked="" type="checkbox"/> Community Planning | <input checked="" type="checkbox"/> Economic Development |
| <input checked="" type="checkbox"/> Urban Design Studio | <input checked="" type="checkbox"/> Transportation (Transit) (Drainage) |
| <input checked="" type="checkbox"/> Water Resources | |

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STIPULATIONS ~~32-GP-97 & 51-ZN-97~~ 51-ZN-97#2

NOTE: CHANGES MADE TO CASE 51-ZN-97 ARE INDICATED BY BOLD AND CAPS, AND STRIKEOUTS.

PLANNING/ DEVELOPMENT

1. CONFORMANCE TO DEVELOPMENT SUBMITTAL. Development shall be in conformance with the site plan and development program booklet submitted by Ellermann and Schick, Architects and dated ~~2/10/98~~ 10/20/98 . These stipulations take precedence over the above-referenced site plan and development program. Any proposed significant change, as determined by the Community Development Administrator shall be subject to subsequent public hearings before the Planning Commission and City Council.
2. ROADWAY BUFFER. The landscaped roadway buffer width along Scottsdale Road shall be a minimum of 50 feet, measured from the edge of the street right-of-way/property line. The landscaped roadway buffer width along Frank Lloyd Wright Blvd. Shall be 50 feet and may be decreased to include right-of-way landscape and sidewalk area subject to staff approval. ~~Also, the landscape buffer along Frank Lloyd Wright Blvd. For that portion of the site proposed for automotive dealership use shall have a roadway buffer width matching that of the existing automotive dealership to the east of this site, to the satisfaction of city staff.~~ The landscaped roadway buffer width along Paradise Lane, shall be a minimum of 30 feet, measured from the edge of the street right-of-way/property line. These buffer setbacks shall apply to buildings, parking areas, walls, and covered patios/covered dining areas. ~~Display pads only are allowed within the fifty (50) foot landscaped buffer along the Frank Lloyd Wright Boulevard frontage for the auto dealership.~~
3. PEDESTRIAN ACCESS. With the Development Review Board submittal, the developer shall submit a plan providing pedestrian access to the commercial and recreational areas on and adjacent to the site.
4. PHASING. The developer shall include, with the Development Review Board submittal, a detailed phasing plan for the development of **BOTH** the parcel ~~identified to be~~ zoned P.R.C., **AND THE C-4 PARCEL**, to the satisfaction of Project Review staff.
5. SERVICE AND LOADING AREAS. The applicant shall revise the site plan at the time of Development Review Board submittal to modify, to the satisfaction of City staff, the proposed service areas along the eight (8) specialty center buildings directly at the Frank Lloyd Wright Boulevard and Scottsdale Road intersection. If service bays are utilized for these buildings, the bay areas shall be depressed so as not to be visible from Scottsdale Road and Frank Lloyd Wright Boulevard. The Development Review Board shall make the determination whether to allow a below grade service area at this location.
6. CULTURAL MASTER PLAN. The applicant shall submit ~~a~~ **AN ADENDUM TO**

ATTACHMENT A

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THE APPROVED Cultural Master Plan ADDRESSING THE REVISED SITE PLAN that allows for a minimum of one (1) percent of the assessed building valuation to be used for arts related improvements to the site plan through the use of hardscape, landscape, art, and other means of providing art related improvements for the commercial center, ~~excluding the auto dealership~~. The cultural master plan shall be included with the Development Review Board submittal. The specific details of this plan as well as its implementation shall be subject to Development Review Board consideration.

- 7. DEVELOPMENT STANDARDS. THE APPLICANT SHALL INCLUDE REVISED SITE DATA SHEETS AND SUPPORTING GRAPHICS FOR THE PROPOSED IMPROVEMENTS WITHIN EACH ZONING DISTRICT, TO THE SATISFACTION OF PROJECT COORDINATION STAFF, WITH THE DEVELOPMENT REVIEW BOARD SUBMITTAL. REVISIONS TO THE SITE PLAN AND DEVELOPMENT PROGRAM SHALL BE REQUIRED, AS DETERMINED BY AND TO THE SATISFACTION OF PROJECT COORDINATION STAFF, FOR CONFORMANCE WITH THE DEVELOPMENT STANDARDS OF EACH DISTRICT.**

ENVIRONMENTAL DESIGN

1. **FRANK LLOYD WRIGHT STREETSCAPE.** The frontage design treatment along Frank Lloyd Wright Blvd. shall comply with the Frank Lloyd Wright Streetscape Design Guidelines. At the time of the Development Review Board submittal, the developer shall document, to the satisfaction of Coordination Staff, compliance with the guidelines through details of landscaping, plant palette, sidewalk alignment and paving materials/patterns, and wall design.
2. **RETENTION PARK.** The specific design and treatment of the proposed "Retention Park", to be located at the southeast corner of the overall site, shall be subject to the approval of the Development Review Board. The developer shall include the "Retention Park" plans with the first Development Review Board submittal for this project.
3. **NON-PROTECTED NATIVE PLANTS.** Native plants which are not protected by the Scottsdale Revised Code native plant provisions, but which are necessary for on-site revegetation, are suitable for transplanting, or are necessarily uprooted for road building or similar construction, as determined by city staff, shall be stockpiled during construction and shall be replanted in on-site landscape areas by the developer before the final site inspection.
4. **MAINTENANCE AND PRESERVATION-RECORDED AGREEMENT.** Before any building permit for the site is issued, the developer shall record an agreement, satisfactory to city staff, detailing the maintenance and preservation by the developer and its successors of all common areas, landscape buffers, natural areas, drainage easements and private access ways on the site and abutting rights-of-way. These designated areas shall not be accepted for maintenance or be accepted for ownership by the city without the approval of the City Council.

MASTER PLANS

1. MASTER DESIGN CONCEPT PLAN. As a part of the first Development Review Board submittal, the developer shall submit its Master Design Concept Plan for Development Review Board review. The Plan shall address the following:
 - a. *General design and architectural themes assuring overall design compatibility of all buildings and structures on the site.*
 - b. *An exterior material and color palette.*
 - c. *A landscape palette and planting theme areas, including the proposed locations of specimen trees such as the proposed date palms.*
 - d. *Typical outdoor lighting concepts and general specifications for parking lot lighting.*
 - e. *Paving material, color, and pattern details.*
 - f. *Perimeter and Screen wall elevations, patterning, and colors. (NOTE: walls along Frank Lloyd Wright Blvd. shall comply with the Frank Lloyd Wright Blvd. design standards)*
 - g. *design and amenities within the proposed pedestrian plazas.*
 - h. *The treatment of the proposed corner feature at the intersection of Frank Lloyd Wright Blvd. and Scottsdale Road.*
 - i. *Retention/detention basin aesthetic design and layout, notably along street frontages*
 - j. *The architectural connection of the materials, colors and building design of the overall commercial center and the automotive dealership building(s) site on the east.*
2. MASTER PLANS GENERALLY. The developer shall have each Master Plan specified below prepared by a registered engineer licensed to practice in Arizona. Each Master Plan shall be subject to city staff approval before any further Development Review Board submittal.
 - a. Schedule A - Circulation Master Plan
 - b. Schedule B - Water Master Plan
 - c. Schedule C - Wastewater Master Plan
 - d. Schedule D - Drainage Master Plan

CIRCULATION

1. STREET CONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the following right-of-way and construct the following street improvements, in conformance with the Design Standards and Policies Manual:

Street Name/Type	Dedications	Improvements	Notes
Scottsdale Road Major Arterial	65' existing	existing	A, E
Frank Lloyd Wright Boulevard Major Arterial	65' half (50' existing)	existing	B, E
Paradise Lane Local Commercial	30' half (50' existing)	half street, 20' CL- BC, Fig. 3.1-7	C, D, E
76 th Street Local Commercial	30' half (25' existing)	half street, 20' CL- BC, Fig. 3.1-7	D, E

Notes:

- A. The developer shall be responsible for all back of curb improvements along Scottsdale Road, including streetlights, landscaping, and a minimum 8 foot wide meandering sidewalk.
- B. The developer shall be responsible for all back of curb improvements along Frank Lloyd Wright Boulevard, including streetlights, landscaping, and a minimum 8 foot wide meandering sidewalk. All street improvements for Frank Lloyd Wright Boulevard shall be in conformance with the city's Frank Lloyd Wright Boulevard Design Guidelines.
- C. The developer shall provide a minimum five foot sidewalk along Paradise Lane and 76th Street or an approved alternate pedestrian route, as determined by city staff
- D. Additional right-of-way and pavement width shall be provided as necessary on Paradise Lane to accommodate the existing median and proposed dual left-turn lanes.
- E. The developer shall provide any additional street improvements as determined by the city staff supported by the results of the approved traffic impact study for the site.

2. ACCESS RESTRICTIONS. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the necessary right-of-way, as determined by city staff, and construct the following access to the site. Access to the site shall conform to the following restrictions (distances measured to the driveway or street centerlines):

- a. Scottsdale Road - There shall be a maximum of two site driveways from Scottsdale Road, with a minimum of 330 feet between driveways. A full median break shall be provided at the southern site entrance, located approximately 600 feet north of Paradise Lane **(THE LOCATION OF THIS MEDIAN OPENING SHALL BE COORDINATED WITH THE PROPERTY OWNER ON THE WEST SIDE OF SCOTTSDALE ROAD)**. The northern site driveway shall be restricted to right-in, right-out only access. The developer shall dedicate a one foot wide vehicular non-access easement on this street along the site frontage except at the approved site driveways.
- b. Frank Lloyd Wright Boulevard - There shall be a maximum of ~~five~~ **FOUR** site driveways from Frank Lloyd Wright Boulevard, with a minimum of 330 feet

driveways from Frank Lloyd Wright Boulevard, with a minimum of 330 feet between driveways. A full median break shall be provided at the major site entrance, located approximately one quarter mile east of Scottsdale Road. A left-in only median opening shall be provided at the site driveway located approximately 600 feet west of 76th Street. All other driveways shall be restricted to right-in, right-out only access. The developer shall dedicate a one foot wide vehicular non-access easement on this street along the site frontage except at the approved site driveways.

- c. Paradise Lane - There shall be a maximum of four site driveways from Paradise Lane, with a minimum of 330 feet between driveways. The western driveway shall be located a minimum distance of 330 feet from Scottsdale Road. Driveways shall align with existing or planned streets and driveways to the south or be offset a minimum distance of 125 feet.
 - d. 76th Street -. There shall be a maximum of three site driveways from 76th Street, with a minimum of ~~330~~ 250 feet between driveways. Driveways shall align with existing or planned streets and driveways to the east or be offset a minimum distance of 125 feet. **DRIVEWAYS WITHIN 330 FEET OF FRANK LLOYD WRIGHT BOULEVARD SHALL BE DESIGNED TO RESTRICT ACCESS TO RIGHT-IN, RIGHT-OUT ONLY.**
3. MEDIAN RECONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall be responsible for the reconstruction of the existing medians on Scottsdale Road and Frank Lloyd Wright Boulevard to provide left-turn access into and out of the site at approved locations, to the satisfaction of city staff; and shall relocate any existing landscaping that will be displaced, as determined by city staff.
4. AUXILIARY LANE CONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall construct the following auxiliary lanes, in conformance with the Design Standards and Policies Manual:
- a. right-turn deceleration lanes at all approved site entrances on Scottsdale Road and Frank Lloyd Wright Boulevard;
 - b. a separate northbound right-turn lane on Scottsdale Road at the intersection of Frank Lloyd Wright Boulevard;
 - c. dual westbound left-turn lanes on Paradise Lane at the intersection of Scottsdale Road;
 - d. a separate eastbound right-turn lane on Frank Lloyd Wright Boulevard at the intersection of 76th Street;
 - e. additional turn lanes at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard to achieve an acceptable level-of-service for the build-out traffic analysis.
5. EASEMENT REQUIREMENTS. Before any final plan approval, the developer shall dedicate an ingress/egress easement over any shared driveways as necessary to

provide access for separately owned parcels within the center, including the proposed automotive dealership, in a form acceptable to city staff.

6. MASTER CIRCULATION PLAN. With the Development Review Board submittal, the developer shall submit a Master Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and design of site driveways, service locations, parking lot access and bus facilities. The site plan shall be designed to provide adequate queuing at site driveways, discourage high-speed and cut-through traffic, minimize conflicts with pedestrians, and direct on-site traffic toward the perimeter signalized intersections.
7. PEDESTRIAN CIRCULATION PLAN. With the Development Review Board submittal, the developer shall submit a Pedestrian Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and width of all sidewalks and pedestrian pathways. The site shall be designed to encourage pedestrian movement between site buildings with limited crossings of internal driveways and access aisles.
8. TRANSIT FACILITIES. With the development of the Entertainment Center portion of the site, the developer shall provide an internal transit node for use by city buses and private trolley service. The node shall be located to allow easy access from the adjacent major streets and shall be in reasonable proximity to the site's activity center. The facility shall be designed to provide seating and shade for waiting passengers. The design and location of these facilities shall be included with the Development Review Board application for this portion of the site, and shall be subject to city staff approval (Transit Department 994-7696) before any final plan approval. ~~The developer shall enter into an indemnity agreement with the city of Scottsdale to allow on-site transit pickup and drop off before any certificate of occupancy is issued for the site.~~ **BEFORE ANY CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE SITE, THE DEVELOPER SHALL CONSTRUCT A BUS BAY AND STOP FACILITIES (LANDSCAPING, BENCH AND TRASH CAN) ON SCOTTSDALE ROAD JUST NORTH OF PARADISE LANE. THE DESIGN AND LOCATION OF THESE FACILITIES SHALL BE SUBJECT TO CITY STAFF APPROVAL (TRANSIT DEPARTMENT 994-7696) BEFORE ANY FINAL PLAN APPROVAL.**
9. TRAFFIC SIGNAL CONSTRUCTION. The developer shall be responsible for 100 percent of the design and construction costs for a traffic signal on Frank Lloyd Wright Boulevard at the major site entrance, approximately one quarter mile east of Scottsdale Road. The traffic signal may be constructed with the initial site development, but shall not be activated until a minimum of 275,000 square feet of the center has been leased and occupied (not including the proposed auto dealership). The signal may be activated prior to this time if the signal is proven to be warranted and activation is approved by the city's Transportation Department General Manager.
10. TRAFFIC SIGNAL PARTICIPATION. Before any building permit for the site is

issued, the developer shall pay to the city 50% of the design and construction costs, as determined by city staff, for the installation of a traffic signal at the intersection of Frank Lloyd Wright and 76th Street.

DRAINAGE AND FLOOD CONTROL

1. MASTER DRAINAGE REPORT. Before the improvement plan submittal to Project Review, the developer shall submit a master drainage report and plan subject to city staff approval. The master drainage report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the master drainage report and plan shall:
 - a. Identify the timing of and parties responsible for construction of all storm water management facilities.
 - b. Demonstrate how the storm water storage requirement (100-yr, 2hr storm event) shall be satisfied. Indicate the location, volume and tributary area of all storage.
 - c. ~~Depth of storm water storage on pavement greater than 6 inches (remote areas only) shall be clearly defined and subject to city staff approval. At no time shall the depth of storm water on pavement exceed 8 inches.~~ **THE DEPTH OF STORM WATER STORAGE ON PAVED SURFACES SHALL GENERALLY BE SIX (6") INCHES MAXIMUM. REMOTE AREAS OF PARKING LOTS MAY STORE EIGHT (8") INCHES MAXIMUM ON PAVED SURFACES. AT NO TIME SHALL THE DEPTH OF STORM WATER STORAGE ON PAVED SURFACES EXCEED EIGHT (8") INCHES. DEPTH OF STORM WATER STORAGE ON PAVED SURFACES SHALL BE CLEARLY SHOWN ON THE GRADING AND DRAINAGE PLANS, AND SHALL DEMONSTRATE CONSISTANCY WITH THE APPROVED MASTER DRAINAGE PLAN.**
 - d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
 - e. Include a complete description of requirements relating to project phasing. Clearly define **AND SHOW** limits of phased construction.
 - f. **ANY DESIGN THAT MODIFIES THE APPROVED MASTER DRAINAGE PLAN AND REPORT SHALL CAUSE AN ADDENDUM TO BE ADDED TO THAT PLAN AND REPORT.**
 - g. **ADDENDA GENERATED BY FINAL DRAINAGE ANALYSIS AND/OR SITE REVISION SHALL BE ADDED TO THE APPENDIX OF THE FINAL DRAINAGE REPORT FOR THIS SITE.**

2. APPROVED MASTER DRAINAGE REPORT. Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master drainage report.
3. CONCEPTUAL DRAINAGE REPORT. With the Development Review Board submittal, the developer shall submit a conceptual drainage report and plan subject to city staff approval. The conceptual report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the conceptual drainage report and plan shall:
 - a. Demonstrate consistency with the master drainage plan and report.
 - b. Clearly define site specific limits of phased construction, interim storm water storage requirements, if applicable, and construction affected by timing and sequencing.
 - c. Determine easement dimensions necessary to accommodate design discharges greater than 25 cfs.
 - d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
4. FINAL DRAINAGE REPORT. With the final improvement plans submittal to Project Review, the developer shall submit a final drainage report and plan subject to Project Review approval. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION. In addition, the final drainage report and plan shall:
 - a. Demonstrate consistency with the approved master drainage plan and report.
 - b. Provide final calculations and detailed analysis that demonstrate consistency with the accepted conceptual drainage plan and report.
5. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - a. **PERIMETER WALL. BEFORE CITY STAFF WILL ISSUE LETTERS OF ACCEPTANCE FOR MAINTENANCE OF ANY PUBLIC UTILITIES, THE DEVELOPER SHALL CONSTRUCT A PERIMETER WALL AROUND THE STORM WATER STORAGE BASIN LOCATED AT THE SOUTHEASTERLY PORTION OF THIS SITE.**
6. DRAINAGE EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised

Code and the Design Standards and Policies Manual, all drainage easements necessary to serve the site.

WATER

1. MASTER WATER REPORT. Before the improvement plan submittal to Project Review the developer shall submit a master water report and plan subject to Project Review approval. The master water report and plan shall be in conformance with the Design Standards and Policies Manual - MASTER PLANS.
2. APPROVED MASTER WATER REPORT. Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master water report.
3. NEW WATER FACILITIES. Before the issuance of Letters of Acceptance by the city, the developer, at its expense, shall provide all water lines and water related facilities necessary to serve the site. Water line and water related facilities shall conform to the city Water System Master Plan.
4. WATERLINE EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

WELL SITE RELOCATION

1. NEW WELL LOCATION. With the development review board submittal, the developer shall submit a site plan, subject to city staff approval, that clearly shows the location of the new well site.
2. WELL SPECIFICATIONS. The developer shall drill the new well in conformance with City of Scottsdale specifications for new wells.
3. NEW WELL ACCEPTANCE. When the developer has completed and complied with all design specifications and punch list items and has demonstrated that the new well is producing water for the city system, to the satisfaction of city staff, the city will accept the new well.
4. APPROVED CONSULTANT. Prior to the submittal of preliminary plans, the developer shall employ a consultant, whose services, experience and quality of work are acceptable to city staff. This consultant shall review improvement plans, specifications, and provide well drilling inspections and construction services.
5. LIMITS ON DISCONTINUATION OF PRODUCTION CAPABILITIES. Disruption of water production from either well site can occur only within the months of January

and February. **THE EXISTING WELL SITE OR NEW WELL SITE SHALL BE IN SERVICE AS A SUPPLY SOURCE FOR ALL OTHER MONTHS.**

5. **NEW WELL WATER QUALITY AND CAPACITY.** Before production from the existing well is ceased, the developer, as a minimum, shall demonstrate to the satisfaction of city staff that:
 - a. The new well capacity meets or exceeds the existing well capacity.
 - b. Water quality for the new well meets or exceeds the water quality of the existing well.
7. **ABANDONMENT OF EXISTING WELL.** After acceptance of the new well by the city, the developer shall abandon the existing well in conformance with Arizona Department of Water Resources specifications.
8. **SECURITY WALL.** Before acceptance of the well by the city staff, the developer shall construct a secure perimeter wall around the site.
9. **WELL SITE DEDICATION.** Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, a well site.
 - a. Dimensions of the well site, location and necessary access easements, for well site operation and maintenance, are subject to approval by city staff.
10. **WATERLINE EASEMENTS.** Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

WASTEWATER

1. **MASTER WASTEWATER REPORT.** Before the improvement plan submittal to Project Review, the developer shall submit a master wastewater report and plan subject to Project Review approval. The master wastewater report and plan shall be in conformance with the Design Standards and Policies Manual - MASTER PLANS.
2. **APPROVED MASTER WASTEWATER REPORT.** Before the improvement plan submittal to Project Review, the developer shall obtain approval of the master wastewater report.
3. **NEW WASTEWATER FACILITIES.** Prior to the issuance of Letters of Acceptance by the City, the Developer, at its expense, shall provide all sanitary sewer lines and wastewater related facilities necessary to serve the site. Sanitary sewer lines and wastewater related facilities shall conform to the city Wastewater System Master Plan. In addition:

- a. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All questions may be referred to Jim Nelson, Water Quality Manager at 391-5687.
 - b. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
 - c. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
4. SANITARY SEWER EASEMENTS. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all sewer easements necessary to serve the site.
 - a. On-site sewer shall be privately owned with maintenance the responsibility of the owner.

ADDITIONAL INFORMATION

PLANNING/DEVELOPMENT

1. **DEVELOPMENT CONTINGENCIES.** The proposed site plan and development program for each parcel may be necessarily revised due to drainage issues, topography, open space requirements, **DISTRICT DEVELOPMENT STANDARDS FOR EACH DISTRICT**, and other site planning concerns which will need to be resolved at the time of Development Review Board submittal.
2. **FINAL PAD LOCATION.** The specific location of each proposed building pad shall be subject to Development Review Board approval.
3. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
 - a. wall design,
 - b. the type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use,
 - c. scenic corridors and buffered parkways,
 - d. improvement plans for common open space, common buildings and/or walls, and amenities such as ramadas, landscape buffers on public and/or private property (back-of-curb to right-of-way or access easement line included).
 - e. compliance with the Frank Lloyd Wright Streetscape Design Guidelines.
 - f. signage,
 - g. Master Design Concept Plans.
 - H. **THE DESIGN AND LOCATION OF PEDESTRIAN PLAZAS.**
 - I. **THE DESIGN AND ALIGNMENT OF "SHADED WALKS" THROUGH THE PARKING LOTS**
 - J. **THE ENTRY STATEMENTS LOCATED AT THE SOUTHWEST, NORTHWEST, AND NORHTEAST CORNERS OF THE SITE.**
4. **NATIVE PLANT PRESERVATION.** The owner shall secure a native plant permit as defined in the Scottsdale Revised Code for each parcel. City staff will work with the owner to designate the extent of the survey required within large areas of proposed undisturbed open space. Where excess plant material is anticipated, those plants shall be offered to the public at no cost to the owner in accordance with state law and permit procedure or may be offered for sale.

ENGINEERING

1. **EPA REQUIREMENTS.** Construction activities which disturb five or more acres shall require a permit under the National Pollutant Discharge Elimination System (NPDES). A Notice of Intent (NOI) and a Storm Water Pollution Prevention Plan (SWPPP) shall be filed with the Environmental Protection Agency and the city before development permits can be issued. Contact ~~the Stormwater Hotline at (703) 321-1822 for more information.~~ **REGION 9 OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY, (415) 744-1500**

EPA, Arizona Department of Environmental Quality at (602) 207-4574, or at the web site <http://www.epa.gov/region9>. NOI FORMS ARE AVAILABLE IN THE CITY OF SCOTTSDALE ONE STOP SHOP, 7447 EAST INDIAN SCHOOL ROAD, SUITE 100.

2. **CORPS OF ENGINEERS REQUIREMENTS.** A Section 404 permit from the US Army Corps of Engineers may be required for discharges of dredged or fill materials within jurisdictional washes. Contact the Phoenix Regulatory Office of the Corps of Engineers for a jurisdictional determination and further information. Written communication with the State Historic Preservation Officer may be required as part of the 404 permit process. The Clean Water Act, Section 404 Letter of Permission procedure for Scottsdale, Arizona, may expedite this procedure.
3. **DUST CONTROL PERMITS.** Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) shall be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.
4. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development, including but not limited to washes, storm drains, drainage structures, wells, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning does not and shall not commit the city to provide any of these improvements.
5. **WELL RELOCATION/RECONSTRUCTION EXPENDITURES.** The developer shall pay all costs associated with well relocation, construction, and abandonment, including, but not limited to, the plans, infrastructure, equipment, perimeter wall, and well abandonment. The existing well equipment and associated facilities can be reused if it meets building codes and is acceptable by city staff for reinstallation.
6. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in lieu of any water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee which is applicable at the time building permits are granted.
7. **CONVEYANCE OF WELL SITE.** UNLESS OTHERWISE AGREED TO IN WRITING BY THE ASSET MANAGEMENT COORDINATOR, EACH TRACT OR LOT DEDICATED TO THE CITY SHALL BE: (1) CONVEYED BY A GENERAL WARRANTY DEED, AND (2) ACCOMPANIED BY A TITLE POLICY IN FAVOR OF THE CITY, BOTH TO THE SATISFACTION OF CITY STAFF AS DESIGNATED BY THE ASSET MANAGEMENT COORDINATOR.

3. 01-UP-98 (The Famous Door) request by Fortune Enterprises, applicant/owner, for use permit approval for live entertainment at an existing restaurant in C-3 (Highway Commercial) on a 15,520 square foot parcel located at 7419 E. Indian Plaza. Staff contact person is Jerry Stabley, 994-7872
TO BE CONTINUED TO DECEMBER 9, 1998

COMMISSIONER DAVIDSON MADE A MOTION TO CONTINUE CASES 77-ZN-83#2 AND 01-UP-98 TO DECEMBER 9, 1998. SECOND BY COMMISSIONER WALKER.

THE MOTION PASSED BY A VOTE OF SEVEN (7) TO ZERO (0).

EXPEDITED AGENDA:
ZONING

- * 4. 51-ZN-97#2 (Scottsdale Promenade) request by Ellerman & Schick Architects, applicant, Kemper Marley, owner for amendment to the site plan of a previous case 51-ZN-97 on a 87.3 ± acre located at the southeast corner of Frank Lloyd Wright Boulevard and Scottsdale Road.

(COMMISSIONER DRAKE DECLARED A CONFLICT ON CASE 51-ZN-97#2 AND DID NOT PARTICIPATE IN THE DISCUSSION OR VOTE.)

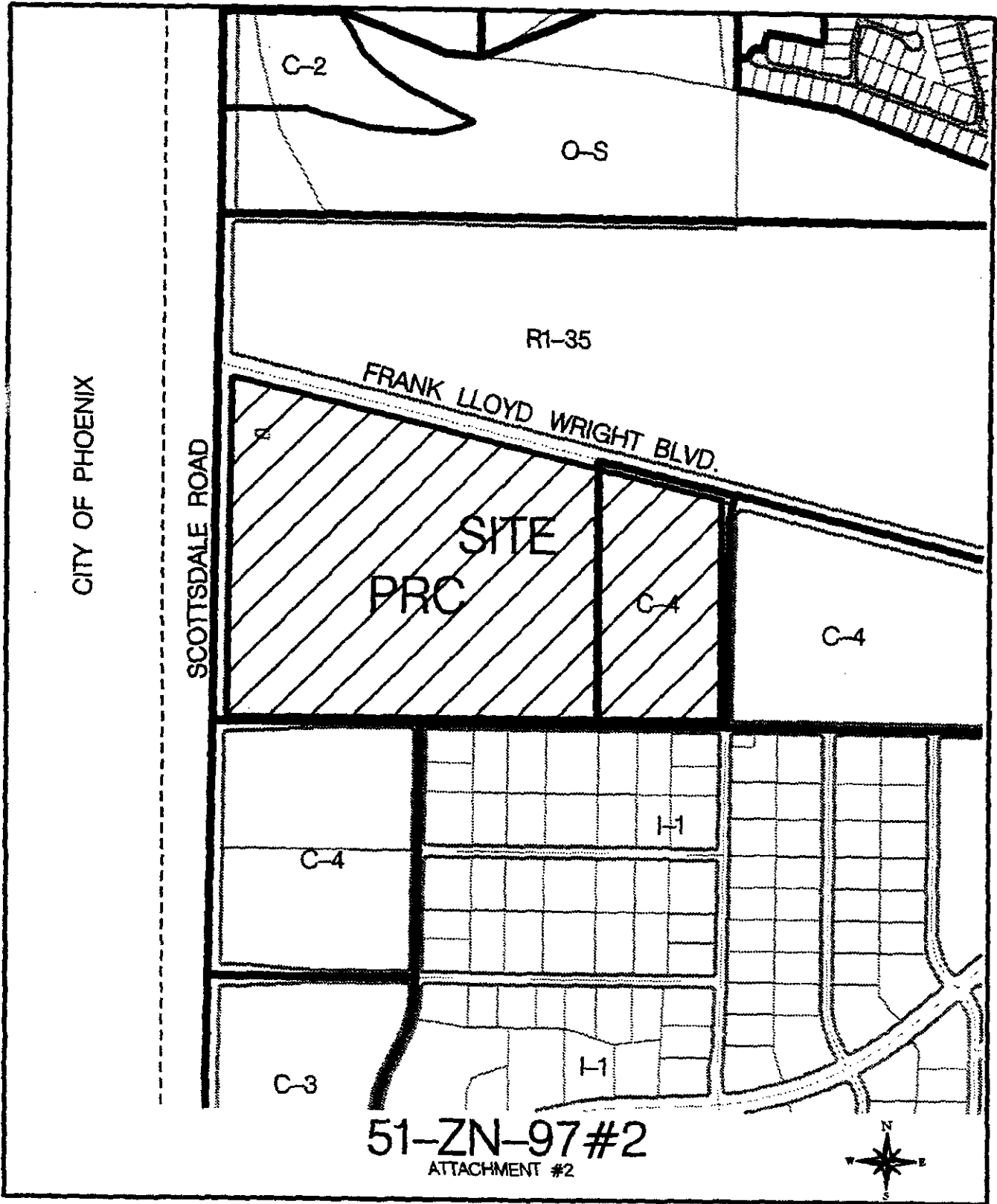
MR. JONES presented this request as per the project coordination packet. Staff is recommending approval subject to the attached stipulations.

(THERE WERE NO CITIZEN COMMENT CARDS ON THIS CASE.)

EXPEDITED AGENDA:
USE PERMITS

5. 36-UP-98 (Tommy Bahama's at the shops at Gainey Village) request by Biskind, Hunt & Taylor, applicant; Scottsdale Doubletree, LLC, owners for use permit approval for live entertainment in C-2 PCD (Central Business District/Planned Community District) on a 14.29 ± acre parcel located on the southeast corner of Scottsdale Road & Doubletree Ranch Road.

MR. JONES presented this request as per the project coordination packet. Staff is recommending approval subject to the attached conditions. Mr. Jones also read the revised conditions for items 3 and 4 regarding external doors and external speakers under Planning/Development.



PROJECT DATA

BUILDING AREA

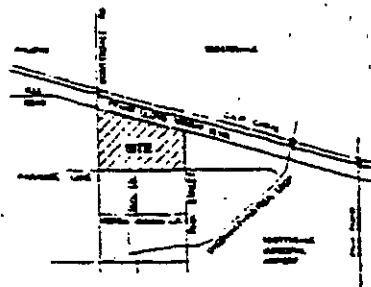
MAIN CENTER	57,000 S.F.	REMOVED
SPECIALTY CENTER	133,000 S.F.	
2ND FLOOR	30,000 S.F.	
TRADING CENTER	30,000 S.F.	
PAGE - RESTAURANT	34,000 S.F.	
PAGE - RETAIL	17,000 S.F.	
TOTAL	271,000 S.F.	REMOVED

PARKING

REMOVED		
RETAIL (170,000 S.F. @ 1/200)	850 SPACES	
RESTAURANT (80,000 S.F. @ 1/100)	800 SPACES	REMOVED
SALES (111,000 S.F. @ 1/200)	555 SPACES	
SERVICE STORAGE (140,000 S.F. @ 1/800)	175 SPACES	
SALES (111,000 S.F. @ 1/200)	555 SPACES	REMOVED
SERVICE STORAGE (140,000 S.F. @ 1/800)	175 SPACES	
RETAIL (170,000 S.F. @ 1/200)	850 SPACES	
SALES (111,000 S.F. @ 1/200)	555 SPACES	
SERVICE STORAGE (140,000 S.F. @ 1/800)	175 SPACES	
RETAIL (170,000 S.F. @ 1/200)	850 SPACES	REMOVED
TOTAL	4,000 SPACES	
REMOVED		
SURFACE	1,672 SPACES	
BELOW GROUND	1,672 SPACES	
TOTAL	3,344 SPACES	
ADDITIONAL PARKING		
REQUIRED (1/4 @ 1/4) =	174 SPACES	REMOVED
PROVIDED	184 SPACES	
VAN ACCESSIBLE REQUIRED (1/8 @ 1/4) =	22 SPACES	
VAN ACCESSIBLE PROVIDED	22 SPACES	
TOTAL PARKING	3,568 SPACES	

COVERAGE

NET SITE AREA	18,300,000 S.F.	
	417.4 ACRES	
COVERAGE (100,000 S.F. @ 1/200)	22.50	REMOVED



SITE LOCATION
NOT TO SCALE

THE PROMENADE

FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK ARCHITECTS

1967

REVISED - NOVEMBER 14, 1968

ORDINANCE NO. 3205

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF AMENDING THE STIPULATIONS PREVIOUSLY APPROVED IN CASE NO. 51-ZN-97 TO THOSE APPROVED IN ZONING CASE NO. 51-ZN-97#2 ON PROPERTY LOCATED AT THE SOUTHEAST CORNER OF FRANK LLOYD WRIGHT BOULEVARD AND SCOTTSDALE ROAD.

WHEREAS, Case No. 51-ZN-97#2, has been properly noticed for city council consideration, pursuant to the requirements of the Zoning Ordinance of the City of Scottsdale and the statutes of the State of Arizona, and the necessary hearings have been completed; and

WHEREAS, the Council of the City of Scottsdale wishes to amend zoning stipulations associated with Case No. 51-ZN-97, previously approved by the City of Scottsdale on April 21 1998;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the Zoning Ordinance of the City of Scottsdale, is hereby amended, as set forth in the amended stipulations attached hereto as Attachment D and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this 5th day of January 1999.

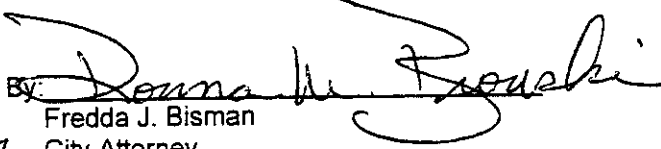
ATTEST:

CITY OF SCOTTSDALE, an Arizona
municipal corporation

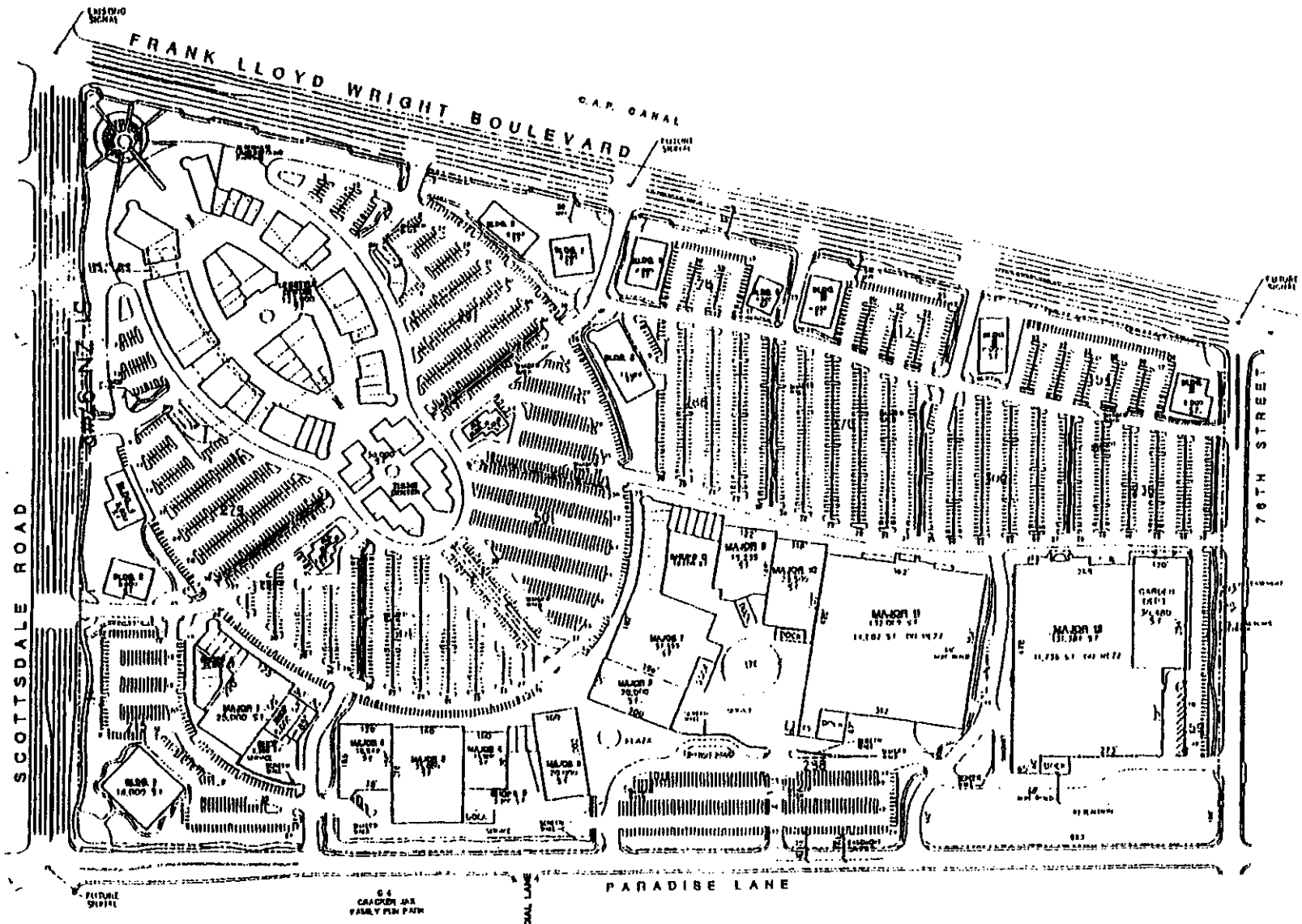
By: _____
Sonia Robertson
City Clerk

By: _____
Sam Kathryn Campana
Mayor

APPROVED AS TO FORM:

By: 
Fredda J. Bisman
City Attorney

ATTACHMENT # 8



SITE PLAN
 SCALE: 1" = 40' HORIZONTAL
 SCALE: 1" = 20' VERTICAL

51-ZN-97#2

ATTACHMENT C

RESOLUTION NO. 5203

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING THE SITE PLAN PREVIOUSLY APPROVED AS PART OF CASE NO. 51-ZN-97, ON PROPERTY LOCATED AT THE SOUTHEAST CORNER OF FRANK LLOYD WRIGHT BOULEVARD AND SCOTTSDALE ROAD.

WHEREAS, Case No. 51-ZN-97#2, has been properly noticed for city council consideration, pursuant to the requirements of the Zoning Ordinance of the City of Scottsdale and the statutes of the State of Arizona, and the necessary hearings have been completed; and

WHEREAS, the City Council adopted Ordinance No. 3130 on the 21st day of April, 1998 and incorporated by reference a site plan dated April 21, 1998; and

WHEREAS, the Council of the City of Scottsdale wishes to amend this site plan;

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Scottsdale, as follows:

Section 1. That the City Council amends the site plan as set forth on Attachment C, attached hereto and incorporated by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this 5th day of January 1999.

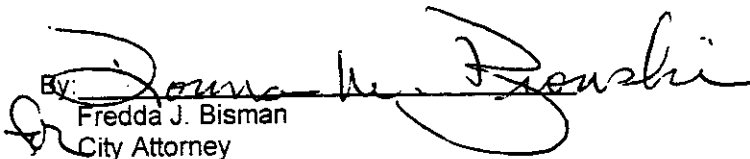
ATTEST:

CITY OF SCOTTSDALE, an Arizona
municipal corporation

By: _____
Sonia Robertson
City Clerk

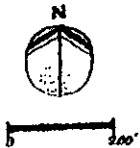
By: _____
Sam Kathryn Campana
Mayor




APPROVED AS TO FORM:

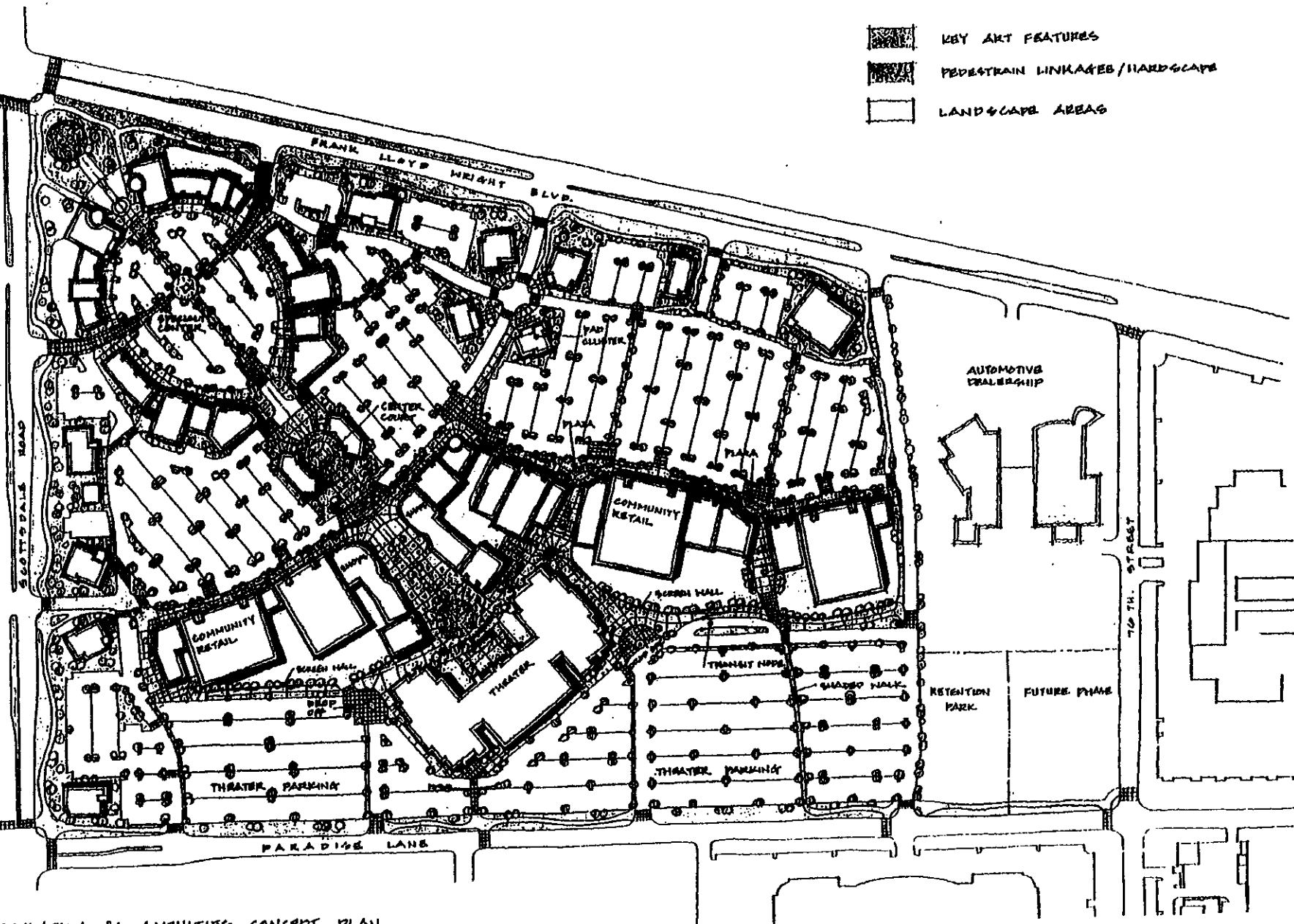
By:  _____
Fredda J. Bisman
City Attorney

ATTACHMENT # 7

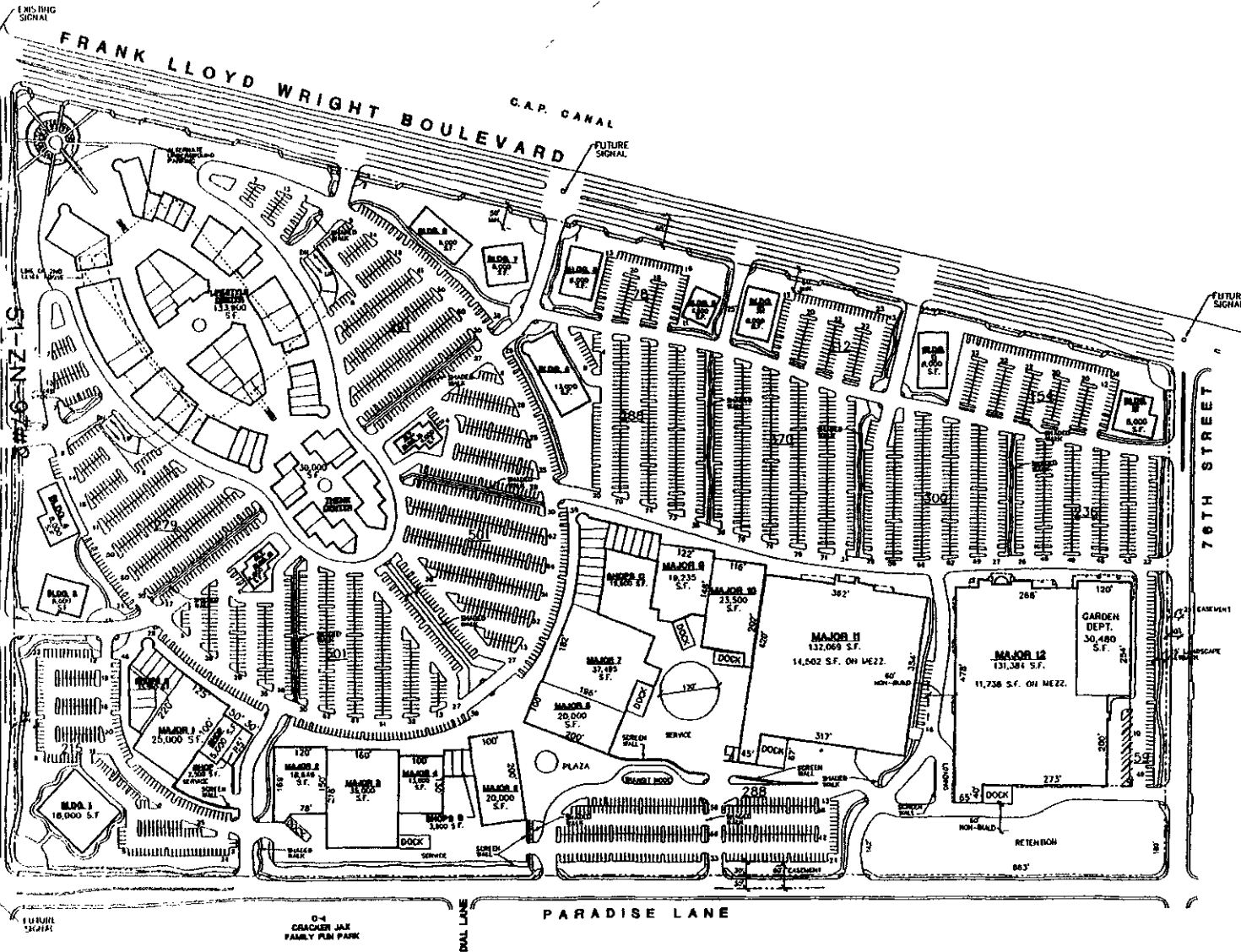
51-ZN-97



-  KEY ART FEATURES
-  PEDESTRIAN LINKAGES/HARDSCAPE
-  LANDSCAPE AREAS



PEDESTRIAN, CIRCULATION & AMENITIES CONCEPT PLAN
REV. 1-1-1P

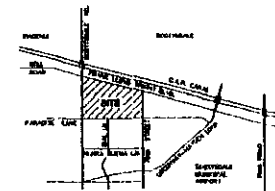


PROJECT DATA

BUILDING AREA	
MAJOR CENTER	577,802 S.F. REVISION
SPECIALTY CENTER	135,900 S.F.
2ND FLOOR	30,000 S.F.
THEME CENTER	30,000 S.F.
PADS - RESTAURANT	81,500 S.F.
PADS - RETAIL	82,000 S.F.
TOTAL	879,202 S.F. REVISION

PARKING	
RETAIL	3,300 SPACES REVISION
RESTAURANT (81,500 S.F. @ 1/200)	400 SPACES
MAJOR 11	400 SPACES
SALES (88,310 S.F. @ 1/200)	440 SPACES
SERVICE, STORAGE (40,000 S.F. @ 1/200)	200 SPACES
MAJOR 12	600 SPACES
SALES (118,042 S.F. @ 1/200)	590 SPACES
SERVICE, STORAGE (23,310 S.F. @ 1/200)	117 SPACES
INCLUDES 11,736 S.F. MEZZ.	
GARDEN DEPT. (30,480 S.F. @ 1/200)	152 SPACES
TOTAL	4,534 SPACES REVISION
PROPOSED	3,872 SPACES
ELIMINATE	184 SPACES
BELOW CRANE	362 SPACES
TOTAL	4,018 SPACES
ACCESSIBLE PARKING	
REQUIRED: 48 - 4,354 =	174 SPACES REVISION
PROVIDED:	184 SPACES
VAN ACCESSIBLE REQUIRED: (1/8 x 174) =	22 SPACES
VAN ACCESSIBLE PROVIDED:	22 SPACES
ONE PARKING	100 SPACES

COVERAGE	
NET SITE AREA	3,870,000 S.F.
COVERAGE (822,000 S.F. + 3,870,000 S.F.)	8524 ACRES REVISION



SITE LOCATION
NOT TO SCALE

THE PROMENADE FOR THE PEDERSON GROUP

43

FRANK LLOYD WRIGHT BLVD.

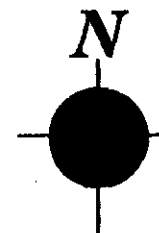
34

SCOTTDALE RD.

34

4

24



	TOURIST ACCOMMODATIONS
	LOW INTENSITY RESORT
	NEIGHBORHOOD COMMERCIAL
	GENERAL COMMERCIAL
31	MINOR OFFICE
32	MAJOR OFFICE
33	MINOR EMPLOYMENT
34	GENERAL EMPLOYMENT

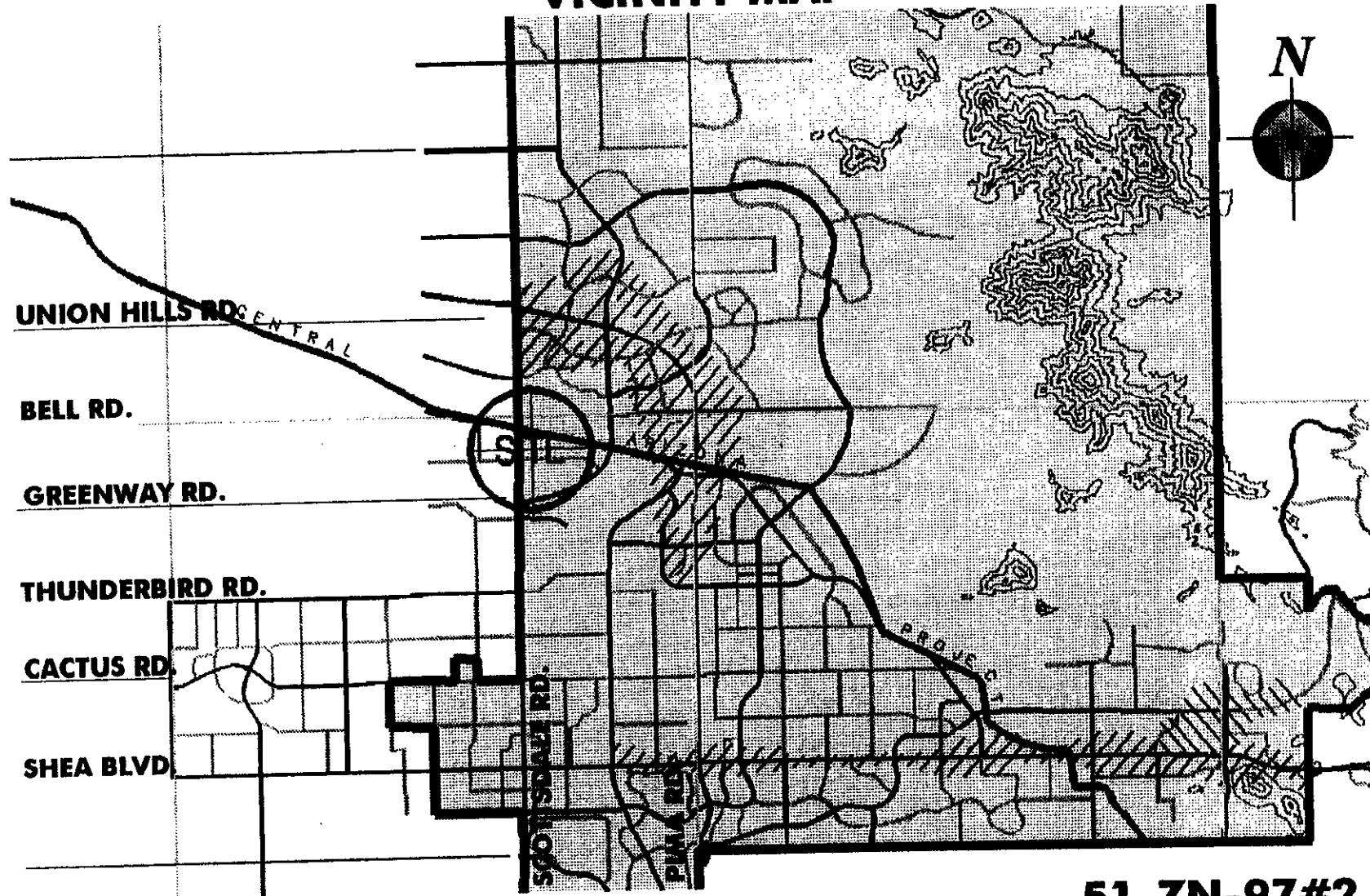
RESEARCH AND DEVELOPMENT
NATURAL OPEN SPACE
LIMITED USE AREA
DEVELOPED OPEN SPACE
CULTURAL / INSTITUTIONAL
UTILITIES
NATURAL OPEN SPACE AND/OR
POTENTIAL LIMITED USE AREA

10	1/5 DU/AC
11	1/3-1/2 DU/AC
12	1/2-1 DU/AC
13	1-2 DU/AC
	2-4 DU/AC
	4-8 DU/AC
	8-12 DU/AC
	12-22 DU/AC

51-ZN-97#2

ATTACHMENT #4

VICINITY MAP



51-ZN-97#2
ATTACHMENT #3

82-DR-1998#2

BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.

SITE AND BUILDING DESIGN:

1. *The proposed future individual pad buildings shall match the architecture, including details, materials, color, etc., and shall require additional Development Review Board approval under one or more subsequent case(s).*
2. *The pinch point formed between the buildings "Major 5" and "Major 6" (as identified on the site plan dated 11/10/98) shall be widened, to the to the satisfaction of Project Coordination staff. Major 5 and Major 6 shall architecturally address as well as have customer access on both the elevations facing north and the elevations facing the plaza, to the satisfaction of Project Coordination staff. Prior to final plans submittal, the developer shall provide revised site plan and elevations for this area, which shall be subject to the approval of Project Coordination staff.*
3. *Prior to final plans submittal, the developer shall provide additional detailing on the rear building elevations which shall closely match that provided front elevations. This requirement shall specifically include the rear of the "Lifestyle Center" buildings, as well as those buildings, which back to Scottsdale Road and Frank Lloyd Wright Blvd. The revised elevations shall be subject to the approval of Project Coordination staff.*
4. *The loading areas of the "Lifestyle/Theme Center" (the ellipse shaped grouping of buildings at the northwest corner of the site) shall be screened and/or detailed to match the architecture of the building elevations, to the satisfaction of Project Coordination staff. Prior to final plans submittal, the Developer shall submit details of these elevations to Project Coordination Staff. These elevations shall be subject to the approval of Project Coordination staff.*
5. *Prior to the final plans submittal, the developer shall provide detailed plans for the Lifestyle/Theme Center areas, including hardscape, lighting, and pedestrian amenities, etc., to the satisfaction of Project Coordination staff. The plans shall be subject to the approval of Project Coordination staff.*
6. *The right of way sidewalk paving, the paving of driveway crosswalks adjacent to Frank Lloyd Wright Blvd. , and the right of way sidewalk paving detail at the corner of Scottsdale Road and Frank Lloyd Wright Blvd. , shall be in conformance with the paving requirements of the Frank Lloyd Wright Blvd. Design Guidelines*

7. The developer shall provide specialty paving for all interior and perimeter crosswalks, as indicated on the submitted plans, to the satisfaction of Final Plans staff.
8. No exterior vending or display shall be allowed, except within the enclosed Lifestyle/Theme Center courtyard and the Pedestrian Plaza adjacent to Majors 5 and 6.
9. The location of exterior dining patios, other than those within the enclosed Lifestyle/Theme Center courtyard and the Pedestrian Plaza adjacent to Majors 5 and 6, shall be subject to the approval of Project Coordination staff.
10. No exterior public address or speaker system shall be allowed, except within the enclosed Lifestyle/Theme Center courtyard, **ALONG THE SHADED PEDESTRIAN WALKWAYS, ALONG THE FRONT OF THE COMMUNITY CENTER** and the Pedestrian Plaza adjacent to Majors 5 and 6. **LOW LEVEL BACKGROUND MUSIC IS PERMISSIBLE IN THE PARKING AREAS.**
11. The hardscape plan for the frontages adjacent to Frank Lloyd Wright Blvd. shall be in conformance with the requirements of the Frank Lloyd Wright Blvd. Design Guidelines, to the satisfaction of Final Plans staff.
12. Prior to the final plans submittal, the developer shall provide an addendum or revision to the Public Art Plan submitted and approved with case 82-DR-98, to the satisfaction of Project Coordination staff. The revision to the plan shall be subject to the approval Project Coordination staff.
13. The developer shall incorporate berming within all landscape areas adjacent to Scottsdale Road, and the Frank Lloyd Wright Boulevard, to the satisfaction of Final Plans staff.
14. Refuse enclosure shall be screened by material compatible with the building materials. Colors and texture to match the building, both sides.
15. Modify refuse enclosures as required by the Sanitation Division.
- ~~16. Provide opaque window panels in lower portion of the store front window wall, except for areas facing internally to the Lifestyle Center.~~
17. No signs shall be allowed within a building, which can be seen from adjacent properties through overhead doors.
18. The sides of the ramps to the lower levels of the parking garage shall be finished either with painted concrete, integral colored concrete and/or textured concrete; all options shall match the building.
19. Flagpoles, if provided, shall be one piece conical tapered.
20. Paint service entrance section to match the building and/or screen from view.

21. Provide certification of flame spread/retardance for awnings.
22. *Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos in locations visible from public streets, as determined by and to the satisfaction of City staff.*
23. *Prior to the final plans submittal, the developer shall provide revised elevations for the "Great Indoors" building, to the satisfaction of Project Coordination staff. The revisions shall include:*
- a). Replace the metal grid attachments indicated on the south elevation with the column details **OR OTHER DESIGN SOLUTION** shown on the north and east elevations.
 - b). Use the column details **OR OTHER DESIGN SOLUTION** shown on the north and east elevations on the west elevation.
 - c). Provide details of an interim elevation design for that portion of the west elevation proposed to abut a future building.
- The revision to the building elevations shall be subject to the approval the Project Coordination staff.
24. *The interim design for that portion of the west elevation proposed to abut a future building shall be constructed by the developer prior to the final inspection of the "Great Indoors" building, unless, at the time of final inspection request for the "great Indoors" building, the permits have been issued for that abutting building, to the satisfaction of Project Coordination staff.*
25. *Prior to the final plans submittal, the developer shall provide design details of the large retention area proposed for the southeast corner of the site. The aesthetic elements of the basins design shall be subject to the approval of Project Coordination staff.*

BUILDING ELEVATIONS:

1. All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure.
2. All ground mounted mechanical equipment shall be completely screened by screen walls with color and texture to match the building.
3. Roof mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or free standing screen walls subject to Project Review approval.
4. Ground mounted communication equipment, including satellite dishes, shall be completely screened by freestanding screen walls subject to Project Review approval.

ROOF ACCESS

1. No exterior visible ladders allowed.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).
2. If provided indicate location and design of scuppers, and integrate with the architectural design.

ON-SITE LIGHTING:

1. The developer shall provide plans to the satisfaction of City staff indicating the location of all exterior on-site lighting and lighting fixtures at the time of final plans submittal.
2. Exterior lighting fixtures shall be subject to staff approval. With the final plans submittal, the developer shall provide an additional sheet(s) showing cut sheets indicating wattage, method of shielding and fixture design, to the satisfaction of City staff.
3. *All pole-mounted lighting shall be a maximum of 25 feet in height. All pole mounted lighting within 220 feet of the Scottsdale Road, and the Frank Lloyd Wright Boulevard property lines, shall have a maximum height of twenty (20) feet. All light fixture heights shall be measured from the top of the fixture to the finished grade at the base of the light pole.*
4. *Parking lot and loading area light fixtures shall be full cut-off (flat lens), with no part of the lens below the opaque sides of the fixture. Additionally, all pole mounted lighting fixtures over the height of twenty (20) feet, the lens shall be recessed a minimum of a two (2) inch recess into the light fixture, to the satisfaction of project coordination staff. Prior to final plans, the applicant shall submit a cut sheet of the pole mounted light fixture to project coordination staff and subject to project coordination staff approval.*

SIGNS:

1. Provide note on final documents: Signs require separate approvals and permits.
2. A Master Sign Program shall be approved by the Development Review Board prior to the issuance of a sign permit for multi-tenant buildings.

BICYCLE/EQUESTRIAN:

1. The developer shall include bike rack cut sheets / details with the final plans submittal. The bike rack design shall be subject to Final Plans staff approval.
2. *The bike rack proposed in the "Public Art and Pedestrian Circulation Master Plan" document shall be subject to approval by the City Bicycle Coordinator. An alternate bike rack design may be required.*



WALL DESIGN:

1. All screen and perimeter walls shall be 6 or 8-inch masonry block **AND/OR STONE VENEER** and shall match building texture and color, both sides.
2. *The decorative fencing proposed for the retention basin shall generally match the fencing depicted on the drawing titled "section through retention", and dated 6/22/98. Prior to final plans submittal, the developer shall provide fencing details, including color, height, materials, alignment etc. to Project Coordination staff. Final fencing design shall be subject to the approval of Project Coordination staff.*
3. *The wall separating the loading areas of the majors/shops and the site's southern parking lots shall be detailed similar to the building elevations, and shall consist of the same materials and colors. Prior to Final Plans approval, the developer shall submit elevations and details of this wall, which shall be subject to the approval of Project Coordination staff.*
No chain link fencing shall be allowed.
4. *Prior to the final plans submittal, the developer shall provide elevations and details of the revised screen walls to Project Coordination staff. The developer shall provide detailing on the proposed screen walls (including parking lot screen walls to match the color and materials approved for the buildings. The wall design shall be subject to the approval of Project Coordination staff.*
5. Dooley wall fencing shall not be allowed for the screen or site walls.
6. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall return to Project Review for approval prior to any submittals of final plans.

LANDSCAPING:

1. *The landscape plan for the frontages adjacent to Frank Lloyd Wright Blvd. shall be in conformance with the Frank Lloyd Wright Blvd. Design Guidelines planting and plant palette requirements including quantities and placement of saguaros, to the satisfaction of Final Plans staff.*
2. *Prior to final plans submittal, the developer shall provide a revised landscape zone concept, including tree and plant palettes for each zone, to the satisfaction of Project Coordination staff. The revisions to the plant palettes shall include, but shall not be limited to, the changes stipulated in case 82-DR-98. The revised landscape zone concepts shall be subject to the approval of Project Coordination staff.*
3. Trees shall be provided as noted on the landscape plan proposed at Development Review Board (15 gallon minimum, 1,538 trees minimum) of which 50% shall be mature as defined in Article III of the Zoning Ordinance or larger. A minimum of 103 trees of the 1,538 required shall be placed in the retention basin at the southeast corner of the site, as shown on the landscape plan. NOTE: The developer shall provide documentation of the caliper size of the "Mature" trees. 24' box size trees may not be in conformance with the Zoning Ordinance definition of mature tree. This number of trees does not include trees to be placed in the Lifestyle/Theme center areas.

4. *The tree palette noted on the submitted landscape plan dated 11/16/98 shall be revised, deleting the proposed Narrow Leaf Gimlet, and limiting the Vitex to interior pedestrian plaza areas. Additionally the proposed Mexican Bird of Paradise shall not be considered a tree, and shall be removed from the tree palette.*
5. *The developer shall provide trees along the "Shaded Walks" in numbers matching that indicated on the landscape plan, dated 11/16/98, to the satisfaction of Final Plans staff.*
6. *Prior to the final plans submittal, the developer shall provide landscape plans for the Lifestyle/Theme Center areas, to the satisfaction of Project Coordination staff. The landscape plan and plant palette shall be subject to the approval of Project Coordination staff.*
7. *The developer shall place a minimum of 80% of the site's salvaged trees within the landscape frontages abutting the Scottsdale Road and Frank Lloyd Wright Blvd. rights-of-way.*
8. Olive trees shall be the "Swan Hill" variety.
9. Provide low water consumptive plant materials.
10. Incorporate existing vegetation into the landscape design.
11. ~~Provide only plant material indigenous to this site.~~
12. Non-indigenous plant materials, which exceed 20 feet in height, are not to be introduced on site.
13. Landscape design and materials shall be arid to lush desert materials.
14. Revise plant palette to incorporate plant materials capable of growth within the planters proposed over structure.
15. Submit a landscape plan and plant palette to Project Review for staff review and approval 15 days prior to final plans submittal.
16. Areas in decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
17. Plant palette to incorporate materials outlined by the "Downtown Urban Design Guidelines" for streetscape character.
18. Upon removal of the salvageable native plants the salvage contractor shall submit a list identifying the tag numbers of the plants surviving salvage operations to the City's Landscape Inspector prior to issuance of the Certificate of Occupancy.

19. Sight distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
20. *No turf areas are to be provided, except within the enclosed Lifestyle/Theme Center courtyard and the Pedestrian Plaza adjacent to Majors 5 and 6.*
-  21. ~~Retention/detention basin depth shall be measured to top of existing grade. Maximum 3 feet water depth allowed. Greater depths shall require Project Review staff approval.~~
-  22. ~~Maximum 10:1 width to depth ratio with a 4:1 maximum slope for retention/detention basins. Depth ratios and slopes greater than this shall require Project Review staff approval prior to final plan approval.~~
23. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
24. Only 50% of front open space can be used for retention/detention basin.
25. Provide 8% slope away from walk or curb for 5' 0" along all streets.
26. Setback all spray and stream type irrigation heads 1'-0" from back of curb or sidewalk to reduce overspray, or provide design alternatives to achieve similar results to be approved by Project Review staff.
27. All roadway medians required of this project shall be shown on the final landscape plan submittal and shall be landscaped and maintained by project's owner for a period of three years from final acceptance by the Transportation Maintenance Division.
28. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.

TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

1. Access to Scottsdale Road shall conform to the following criteria and restrictions:
 - a. *The southern site driveway on shall be located approximately 600 feet north of Paradise Lane. The developer shall modify the existing median to provide full access at this location. Evidence of an agreement with the property owner on the west side of Scottsdale Road to relocate the existing median opening shall be provided with the final plan submittal. This driveway shall be designed in general conformance with city of Scottsdale Type CH-2, Standard Detail #2257.*
 - b. *The northern site driveway shall be located a minimum distance of 330 feet from the southern site driveway and Frank Lloyd Wright Boulevard. This driveway shall be restricted to right-in, right-out access only. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.*
2. Access to shall Frank Lloyd Wright Boulevard shall conform to the following criteria and restrictions:
 - a. *The main site driveway on shall be located approximately 1320 feet from Scottsdale Road and 76th Street. The developer shall modify the existing median to provide full access at this location. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-2, Standard Detail #2257.*
 - b. *The eastern site driveway on Frank Lloyd Wright Boulevard shall be located approximately 600 feet west of 76th Street. This driveway shall be designed to prohibit the left-out maneuver. The developer shall modify the existing median to provide this access. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.*
 - c. *The western site driveway shall be located a minimum distance of 330 feet from Scottsdale Road and the adjacent driveway. The access at this location shall be restricted to right-in, right-out only; there shall be no modifications to the existing median. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.*
 - d. *The site driveway between Buildings 9 and 10 shall be located a minimum distance of 330 feet from the adjacent driveways. The access at this location shall be restricted to right-in, right-out only; there shall be no modifications to the existing median. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.*
3. Access to shall 76th Street shall conform to the following criteria and restrictions:

a. Site driveways on 76th Street shall align with existing driveways to the east or be offset a minimum distance of 125 feet. The site driveways shall be located with a minimum separation of 250 feet. The driveways shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.

b. Any site driveways located within 330 feet of Frank Lloyd Wright Boulevard shall be designed to restrict access to right-in, right-out only.

4. Site driveways on Paradise Lane shall align with existing driveways to the south or be offset a minimum distance of 125 feet. The site driveways shall be located with a minimum separation of 330 feet. The driveways shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.

5. Right-turn deceleration lanes shall be constructed at all site driveways on Scottsdale Road and Frank Lloyd Wright Boulevard.

6. A separate northbound right-turn lane shall be provided on Scottsdale Road at the intersection with Frank Lloyd Wright Boulevard (based on future major arterial cross section).

7. An eastbound deceleration lane shall be provided on Frank Lloyd Wright Boulevard at the intersection of 76th Street.

8. An in-lieu payment shall be made by the developer to provide design and construction costs for the following street improvements:

a. an additional westbound left-turn lane at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard.

b. an additional northbound left-turn lane at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard.

INTERNAL CIRCULATION:

1. The minimum internal aisle width shall be 24 feet. The main aisles that align with the site entrances shall be a minimum width of 30 feet.

2. The internal circulation shall be designed to accommodate emergency and service vehicles with a minimum outside turning radius of 45 feet and inside radius of 25 feet.

3. A connection from the major parking area to the southern parking area shall be provided between Majors 11 and 12 as shown on the submitted site plan.

4. The proposed queuing distances provided at the site driveways, as shown on the submitted site plan dated November 10, 1998, shall not be reduced without approval from the Transportation Department.

OTHER:

1. An eight-foot wide sidewalk shall be constructed on Frank Lloyd Wright Boulevard and Scottsdale Road along the site frontage. The sidewalk on Frank Lloyd Wright Boulevard shall be designed city's Frank Lloyd Wright Boulevard Design Guidelines.
2. *The developer shall provide a transit node for use by small buses and private trolley service on the site. A seating area and drop-off shall be provided at this location.*
3. *The developer shall construct a bus bay and bus stop facilities (bench, trashcan, and shelter or landscaping) on Scottsdale Road just north of Paradise Lane. The design and location of these facilities shall be subject to approval by the Transit Department prior to any final plan approval.*
4. *A pedestrian circulation plan shall be submitted for approval prior to any final plan submittal.*
5. *Sidewalk shall be provided along at least one side of every site driveway, connecting the site building to the adjacent street sidewalk*

TRAFFIC SIGNALS:

1. *The applicant shall be 100 percent responsible for the design and construction costs associated with the traffic signal improvements at the intersection of Frank Lloyd Wright Boulevard and the main site driveway. The timing of construction and operation of the signal shall be subject to the conditions outlined Circulation stipulation #9 of Zoning Case #51-ZN-97 as determined by the Transportation Department.*

STRIPING AND SIGNAGE PLAN:

1. A detailed striping and signage plan is required to be submitted with final plans; it shall include the following:
 - a) All existing improvements and striping within 300 feet of limits of construction.
 - b) All signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
2. All on-site parking lot striping shall be shown with the paving plans.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
2. Sight distance easements shall be dedicated oversight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures, published January 1994.

REFUSE COLLECTION:

1. Refuse enclosures shall be constructed to City of Scottsdale's standards (details available upon request).
2. An area 14' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:
 - Commercial Building Space: One for 0 to 20,000 s.f.
 Two for 20,001 to 40,000 s.f.
 Three for 40,001 to 60,000 s.f., etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 s.f., as shown above.

- Restaurants: One per restaurant
4. Enclosures must:
 - Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - Be positioned to facilitate collection without "backtracking."
 - Be easily accessible by a simple route.
 - Not require backing more than 35 feet.
 - Not be located on dead-end parking aisles.
 5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.
 6. Underground vault-type containers are not allowed.

DRAINAGE AND FLOOD CONTROL STIPULATIONSDRAINAGE REPORT AND PLAN

1. With the submittal of improvement plans to Project Review, the developer shall submit a final drainage report and plan, subject to approval by city staff. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION and the approved Master Drainage Report – The Promenade, prepared by CMX Group, dated ~~November 11, 1998.~~ December 1, 1998.
 - a. Any design that modifies the approved Master Drainage Report and Plan for the Promenade shall cause an addendum to be added to that study.
 - b. Addenda generated by final drainage analysis shall be added to the appendix of the final drainage report for this site.
2. Stipulations for case number 51-ZN-98 still apply.

STORM WATER STORAGE BASINS:

1. Prior to final plan approval, a final drainage report shall be submitted which calculates the storm water storage volume required, V_r , and volume provided, V_p , using the 100-year, 2-hour storm event.
 - a) Storage basin volume(s) shall be certified by the design engineer. The volume provided shall meet or exceed the required volume per City Ordinance and the approved drainage plan. The volume of storage provided must be certified as equal to or greater than design volumes required before the City will issue Letters of Acceptance for maintenance of any public utilities.
 - b) Storage basin volume required, V_r , and volume provided, V_p , shall be shown for each storage basin on the improvement plans.
 - c) Storage basin capacity SHALL NOT BE REDUCED by proposed landscaping improvements.
 - d) Storage basin design shall incorporate significant landscaping requirements such as mounds and berms, which affect storage volume..
2. Parking lots shall be designed so as to minimize interference with pedestrian traffic. *In general, depth of water shall not exceed six inches within the parking area.*
3. Storm water storage basins having less than 20,000 square feet of surface area shall not exceed 3 feet as measured from the maximum water surface elevation to the bottom of the storage basin; basin side slopes shall not exceed 4:1.

4. Storm water storage basins having greater than 20,000 square feet of surface area may exceed 3 feet in depth providing basin side slopes do not exceed 6:1 where depths are greater than 3 feet.
5. Storm water storage basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36-hours.
 - a) Provide bleed-off calculations in the Final Drainage Report to demonstrate how storm water storage basins will drain. *Verify that downstream basins will not be flooded by runoff from upstream basins.*
 - b) Show the point of out-fall for each storage basin, demonstrate that historical flow through the site has been maintained and that storm water runoff exiting this site has a safe place to flow.
6. Drainage Plan shall:
 - c) Use City benchmark datum: North American Datum of 1988 (NAD 1988). Datum not in compliance with NAD 1988 shall be approved by Project Review prior to submittal of improvement plans to Project Review.
 - d) Show all easements.
 - e) Show all drainage facilities including, but not limited to point(s) of roof out-fall, *drainage swales, ditches, culverts, storm drain pipe, catch basin inlets*, rip rap, and storm water storage basins (with storage volume required, V_r , and storage volume provided, V_p , noted on the improvement plans).
 - f) Show $Q_{(100)}$ at culvert inlets, and at storm water entrance/exit point of the parcel boundaries.
 - g) Show extents of areas inundated due to a 100-year storm event.
 - h) Provide 8% slope away from walk or curb for 5' 0" along all streets.
7. Underground storm water storage is not permitted.

OFF-SITE RUNOFF:

1. All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
2. The final drainage report shall address any offsite flows, which will affect the site grading, drainage and finished floor elevation.

FLOODPLAIN:

1. The final drainage report shall include an exhibit that indicates where the site lies within the FEMA designated areas and shall define all pertinent FEMA designations.

DRAINAGE STRUCTURES/CHANNELS:

1. The final improvement plan submittal shall clearly show all retaining wall details. A structural design report shall be provided which includes calculations for active forces based on an associated geotechnical analysis of the soils.
2. The final drainage report shall include calculations for rip-rap lined channels and rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.

DRAINAGE EASEMENTS:

1. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements and storm water storage easements necessary to serve the site.

GRADING & DRAINAGE PLAN REQUIREMENTS:

1. EPA requires that all construction activities that disturb five or more acres obtain coverage under the NPDES General Permit for Construction Activities. Completion of a Notice of Intent (NOI) and preparation of a Storm Water Pollution Prevention Plan (SWPPP) are required by EPA. A copy of the NOI must accompany final plan submittal to the city before final plans are approved. Contact Region 9 of the U.S. Environmental Protection Agency, (415) 744-1500 EPA, Arizona Department of Environmental Quality at (602) 207-4574, or at the web site <http://www.epa.gov/region9>. NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100.
2. The U.S. Army Corp of Engineers may require a Section 404 Permit for discharges of dredged or fill materials to washes under their jurisdiction. Contact the Corps' Phoenix Regulatory Office for a jurisdictional determination and further information. Written communication with the State Historic Preservation Officer (SHPO) may be required as part of the 404 Permit process as well as state water quality certification from Arizona Department of Environmental Quality. The city requires that prior to issuance of any permits, applicants shall submit evidence that applicable state and federal permits have been obtained.
3. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.

WATER AND WASTEWATER STIPULATIONSWATER and WASTEWATER:

1. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements, Sections 4 and 5 of the Design Standards and Policies Manual, and the approved master water and waste water plans for the Promenade.
2. The water system shall be designed to provide two (2) sources of water to the developed site.
3. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
4. *On-site sewer shall be privately owned and maintained. Sewer lines shall not run parallel with the water lines within dedicated water line easements. (Minimum clearance between water and sewer lines is 6 feet measured from the outside diameter of the pipes.)*
5. A completed Water and Sewer Needs Report shall be submitted for review with the final improvements plans. Approval will not be given for improvement plans until the Water and Sewer Needs Report is approved by Project Review.
6. *Stipulations for Case Number 51-ZN-97 still apply.*

WELL SITE RELOCATION:

1. *Stipulations for case number 51-ZN-97 still apply.*
2. *When the developer has completed and complied with all design specifications and punch list items and has demonstrated that the new well site is producing water for the city system, to the satisfaction of city staff, the city will accept the new well.*
3. *Prior to the submittal of preliminary plans, the developer shall employ a consultant, whose services, experience and quality of work are acceptable to city staff. This consultant shall review improvement plans, specifications, and provide well drilling inspections and construction services.*
4. *Disruption of water production from either well site can occur only within the months of January and February.*
5. *Before production from the existing well is ceased, the developer, as a minimum, shall demonstrate to the satisfaction of city staff that:*
 - a. *The new well capacity meets or exceeds the existing well capacity.*
 - b. *Water quality for the new well meets or exceeds the water quality of the existing well.*

6. *After acceptance of the new well by the city, the developer shall abandon the existing well in conformance with Arizona Department of Water Resources specifications.*
7. *The developer shall provide facilities to accept a 2,000 gpm flushing discharge from the well for a minimum of 120 minutes.*

EASEMENTS AND DEDICATIONS:

1. *Prior to the issuance of permits, all water line easements and sewer line easements shall be dedicated to the city. Water easements and sewer easements for water and sewer shall be twelve (12') feet wide, minimum width.*
2. *Indemnity agreements shall be required when substantial improvements or landscaping are proposed within a utility easement. The agreement shall acknowledge the right of the city to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.*
3. *Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, a well site. Unless otherwise agreed to in writing by the Asset Management Coordinator, each tract or lot dedicated to the city shall be: (1) conveyed by a general warranty deed, and (2) accompanied by a title policy in favor of the city, both to the satisfaction of city staff as designated by the Asset Management Coordinator.*

THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- * Review of development proposal by the Development Review Board is the first step toward obtaining a building permit.
- * Development Review Board approval expires ONE YEAR from the date of approval if a building permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- * Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- * There maybe some Ordinance requirements, which apply to your project that, are not included here.
- * City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- * Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations, which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. Stormwater storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm (2.82 inches).
2. Off-site runoff shall enter and exit the site as it did historically.
3. Stormwater storage basins should be designed to meter flow to historic outfall point. Where no outfall exists (or metering is not possible), other methods of discharge may be considered.
4. Storage basins must drain completely within 36-hours.
5. Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
6. Approval from ARMY CORPS OF ENGINEERS for a SECTION 404 PERMIT is required where proposed construction is adjacent to or with jurisdictional washes. Please contact the Phoenix Regulatory Office to arrange for a jurisdictional determination.
7. Dedications/Easements:
 - a) All drainage channels with a capacity of 25 cfs or greater shall be dedicated to the public, with maintenance the responsibility of the owner.

REFUSE REQUIREMENTS:

1. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
2. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 391-5600.

STREET LIGHTS:

1. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. No building permits may be issued until all street light arrangements (including fee requirements) have been made.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2 inches of asphalt over 4 inches of aggregate base.

TRAFFIC ORDINANCE REQUIREMENTS:

1. Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKEPATH/ SIDEWALKS
Paradise Lane	Local Commercial	30' half* (50' existing)	20' CL-BC ^{A,B}	Vertical	5' Sidewalk
76 th Street	Local Commercial	30' half* (25' existing)	20' CL-BC ^A	Vertical	5' Sidewalk
Scottsdale Road	Major Arterial	existing	existing		8' Sidewalk
Frank Lloyd Wright Boulevard	Major Arterial	65' half	existing		8' Sidewalk

A. The right-of-way and improvements for Paradise Lane shall accommodate dual-left turn lanes at the intersection with Scottsdale Road.

B. The street improvements for Paradise Lane and 76th Street shall complete the existing street improvements to the full local commercial cross section.

ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTSWATER DEVELOPMENT ORDINANCE



1. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
2. The developer shall pay a Water Development Fee and Water Resources Development Fee for City water supply in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City water system. All questions may be referred to Jim Turnbull, Water Resources Analyst, at 391-5688.
3. Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

SEWER DEVELOPMENT ORDINANCE

1. The developer shall pay a Sewer Development Fee for City sewer service in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Jim Turnbull, Water Resources Analyst, at 391-5688.
2. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole. Questions may be referred to Mike Mahoney, Water Resources Analyst at 391-5686.
3. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
4. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

FINAL PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) Architectural Plans: 11" x 17" minimum, up to 30" x 42" maximum
 - b) Landscaping/Irrigation Plans: 24" x 36"
 - c) Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape areas. Provide note on the landscape plans.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide a schedule indicating the timing on installation of all improvements required by planning.
5. Provide a site plan with the following information:
 - a) Zoning of property, and adjacent properties.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
 - d) Setback of structures - front, side, rear.
 - e) Parking lot dimensions - stall width and length, driveway width, parking angle.
 - f) Location and details of refuse enclosure & bicycle racks.
 - g) Parking calculations required/provided.
 - h) Location of handicap parking spaces & van accessible spaces.
 - i) All development on adjacent property within 50 feet of this project.
6. Provide building elevations with the following information:
 - a) Height of building (see Section 3.100 of the Zoning Ordinance for definition of building height) above finished floor/natural grade.
 - b) Label colors of all exterior materials (matching those approved at Development Review Board).
7. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope
 - c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
 - d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.

8. Provide adjacent curb elevations on Scottsdale Road, Paradise Lane, and Frank Lloyd Wright Boulevard.
 9. Obtain a native plant permit for disturbance of any protected plants on the site by submitting the following: 
 - a) Completed Native Plant Narrative & Application form
 - b) Three copies of the site plan indicating the location by tag number of each plant protected per the native plant ordinance.
 - c) Three copies of the numbered plant inventory corresponding to the tag numbers on the site plan, indicating the following:
 - i) plant type
 - ii) plant size in caliper inches
 - iii) plant condition
 - iv) whether the plant will remain in place, be relocated, or be destroyed
 - d) Location of plant nursery
 - e) Copy of vicinity map indicating the location of the project
 - f) Copy of Natural Area Open Space exhibit if applicable for the site
 - g) A copy of the 'Arizona Department of Agriculture Notice of Intent to Clear Land' form, issued through the State's Native Plant section at (602) 542-3292.
 - h) Letter of authorization from the property owner or authorized agent identifying the approved salvage contractor and verifying that all salvaged plants are to be incorporated in landscaping and used back on site.
 - i) Upon tagging the plants in accordance with Sec. 46-116 of the Scottsdale Revised Code, contact the City's Native Plant Officer at 994-7080 for inspection and permit approval.
-  **The submittal for native plant permit approval is in addition to the native plant submittal required for DR approval**

FINAL PLANS ORDINANCE REQUIREMENTSSCREENING:

1. The height of the parapet or other screening device shall be (equal to or higher/minimum 1 foot higher) than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
3. Parking lot to be screened from Scottsdale Road, Frank Lloyd Wright Blvd., and Paradise Lane by a 3 foot wall, berming, and landscaping.

BUILDING SETBACK/LANDSCAPE BUFFERS:

1. *The developer shall provide a landscape buffer along Scottsdale Road and Frank Lloyd Wright Blvd. with a minimum width of 50 feet, subject to the requirements of case 51-ZN-97. The 50' required along Frank Lloyd Wright Blvd. may include the right of way landscaping. The buffer requirements shall apply to all buildings, parking areas, walls, and covered patios/covered dining areas.*
2. *The developer shall provide a landscape buffer along Paradise Lane with a minimum width of 30 feet, subject to the requirements of case 51-ZN-97. The developer shall revise the parking area at the western end of Paradise Lane in conformance with this requirement. The buffer requirements shall apply to all buildings, parking areas, walls, and covered patios/covered dining areas.*

OPEN SPACE & NAOS:

1. *Submit a detailed graphic and calculation worksheet indicating the required amounts of openspace, front openspace, and parking lot landscaping at the time of final plans submittal. The developer shall provide separate calculations for each of the two zoning districts.*

LANDSCAPING:

1. A minimum of 1/3 of the required landscaped area for the parking lot for more than 20 cars shall be in planting areas distributed throughout the lot rather than on the perimeter. Planting areas shall have a minimum width of 7 feet and a minimum area of 120-square feet per Section 9.106 of the Zoning Ordinance.
2. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).

3. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in Section 7.500 of the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 7 of this section for specific submittal requirements). Contact the City's Native Plant Officer at 994-7080 to initiate the process.
4. Turf shall be limited to the maximum area specified in Sections 49-77 through 49-79 of the City Code and shall be shown on landscape plans submitted at the time of final plans. *Revisions may be required, as determined by Final Plans staff.*
5. Proposed fountain shall comply with the requirements of Sec. 49-80 of the City Code. *Revisions may be required, as determined by Final Plans staff.*
6. Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Section 49-82 of the City Code to the Water Conservation Office. *Documentation of conservation plan shall be provided to Final Plans staff, prior to the approval of final plans.*
7. Provide 6-inch vertical concrete curb between any driveways or parking areas and landscape areas.

GRADING:

1. Prior to final plans submittal a grading report shall be submitted indicating methods and sequencing of grading, proposed locations for stockpiling or disposing of unused materials, and plans for minimizing wind and water erosion on graded areas during development and construction.

OTHER:

1. Comply with conditions of case No.: 51-ZN-97
2. Provide 4% of required parking as handicap parking spaces (161 minimum). A minimum of 22 spaces is required to be van accessible per Section 9.105 of the Zoning Ordinance.
1. The developer shall provide bicycle parking spaces (100 minimum) per Section 9.103 of the Zoning Ordinance.

FINAL PLANS REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL.

PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- * BUILDING PLANS: 11" X 17 MINIMUM, UP TO 30" X 42" MAXIMUM
- * LANDSCAPING/IRRIGATION PLANS: 24" X 36" (MYLAR ORIGINALS)
- * CIVIL PLANS: 24" X 36" (MYLAR ORIGINALS)

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- * BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- * SITE ADDRESS.
- * PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2 INCH LETTERS.
- * NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

FINAL PLAN SUBMITTAL REQUIREMENTS
THIS FORM MUST ACCOMPANY ALL FINAL PLAN SUBMITTALS

The following items are the **BASIC MINIMUM** requirements **NECESSARY** to submit final plans for review.

BUILDING PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

DETAILED INFORMATION REGARDING MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLINGS CAN BE OBTAINED FROM THE ONE-STOP SHOP.

- [] Building plans may be reviewed at the One-Stop Shop counter
- [x] Building plans shall be submitted to Project Review for final plans review
- [x] Four sets which shall include each of the following:

- * Site Plan
- * Project Data
- * Elevations
- * Floor Plans
- * Foundation Plans
- * Building Sections
- * Wall Sections
- * Architectural Details
- * Schedules
- * Mechanical Plans and Details
- * Structural Plans and Details
- * Electrical Plans and Details

In addition provide two additional copies of site plan and two additional copies of elevations plan(s) with the submittal.

- [] One copy of structural, electrical, and water calculations (may be on drawings)
- [] One copy of geotechnical report accompany building plans

CIVIL PLAN SUBMITTAL REQUIREMENTS:**CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.**

- ☒ Grading & drainage plan
- ☒ Water plans
- ☒ Sewer plans
- ☒ Paving plans
- ☒ Results of survey
- ☐ Boundary survey
- ☐ Copy of the preliminary plat
- ☐ Copy of the final plat
- ☒ Drainage report
- ☒ Striping & signage plan
- ☒ Traffic signal plans
- ☒ Geotechnical report
- ☐ Structural plans including details & calculations
- ☒ Title Report (not more than 60 days old)
- ☐ Engineer's cost estimate for in-lieu payments
- ☒ Two additional architectural site plans
- ☒ Wall elevations
- ☒ Cut sheets and specifications for outdoor lighting fixtures
- ☒ Landscape & irrigation plans
- ☐ NAOS graphic & calculation worksheet
- ☒ Native plant program, or confirmation of compliance

FEE SCHEDULE**PLAN REVIEW:****BUILDING:**

Livable	\$.19 Sq. Ft.
Covered	\$.09 Sq. Ft.
Fences	\$.06 Lin. Ft.

ENGINEERING:

Lower Desert (ESLO)	\$208.00 per sheet
Upper Desert (ESLO)	\$234.00 per sheet
Hillside (ESLO)	\$250.00 per sheet

AT THE TIME OF FINAL PLAN SUBMITTAL, THE FOLLOWING FEES MUST BE PAID:**[] ENCROACHMENT PERMIT FEES:**

Encroachment permit fees are based on construction quantities. Fee rates are available from the One Stop Shop

[] FINAL PLAT FEES:

Base plan review	\$599.00
PLUS: \$94.00 per lot	_____

[x] MONTHLY FIRE HYDRANT MAINTENANCE FEE:

\$4.00 per fire hydrant - 11	<u>\$44.00</u>
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[] PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:

Amount shall be based on sealed engineer's construction cost estimate approved by final plans and paid prior to building permit issuance for the following improvements:

http://www.epa.gov/region LOCATION	IMPROVEMENTS REQUIRED
Scottsdale Road & Frank Lloyd Wright Boulevard Intersection	an additional westbound left-turn lane and an additional northbound left-turn lane

Traffic signal in-lieu fees may be based on \$80,000 for 100 percent of design and construction costs.

[] IN LIEU PARKING (For Downtown)

\$7500 per space, or \$500 initial deposit and \$71 per month per space for a term of 15 years there after (number of spaces to be determined at final plans)

DEDICATION REQUIREMENTS

[x] RIGHT-OF-WAY DEDICATIONS:

STREET NAME	REQUIRED RIGHT-OF-WAY	REQUIRED EASEMENTS	DEDICATION DEADLINE
Frank Lloyd Wright Boulevard	65' half (15' additional)	1' V.N.E.	Prior to C. of O.
Scottsdale Road		1' V.N.E.	Prior to C. of O.
76 th Street	30' half		Prior to C. of O.

[] OTHER EASEMENTS/DEDICATIONS REQUIRED: _____

	TYPE	SIZE	LOCATION	DEDICATION DEADLINE
	Public Trail			
	Bike Path			
	NAOS			
	Drainage			
	Scenic Vista Corridor			

TO: DEVELOPMENT REVIEW BOARD **DATE:** 7. 3
FROM: PROJECT COORDINATION
SUBJECT: CASE 82-DR-98

REQUEST: Approve Site Plan & Elevations for a Retail & Entertainment Complex
PROJECT NAME: The Promenade
LOCATION: SEC Frank Lloyd Wright Boulevard & Scottsdale Road

DEVELOPER/OWNER: Pederson Group, Inc./Kemper Marley, Jr.
ARCHITECT/DESIGNER: Ellerman & Schick
ENGINEER: CMX Group, Inc.
APPLICANT/COORDINATOR: Larry Ellerman/Ellerman & Schick

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

PUBLIC COMMENTS: There have been no comments from the public regarding the DRB application for this project.

DISCUSSION: The request is to approve the site plan and elevations for a majority of the Promenade shopping and entertainment center located on the southeast corner of Scottsdale Road and Frank Lloyd Wright Boulevard. The project encompasses 675,700 of gross floor area on approximately 3,143,000 square feet site. The site has three major street frontages along Scottsdale Road, Frank Lloyd Wright Boulevard and Paradise Lane. The site is zoned Planned Regional Center (PRC) to provide for flexibility in site planning and building design.

The site plan is unique in several aspects with a proposed internally designed specialty center, a long pedestrian spine from the corner of Frank Lloyd Wright Boulevard and Scottsdale Road to the entertainment center (approximately 1,500 feet long), a large pedestrian plaza, and pedestrian links throughout the center with smaller plaza and gathering places. The applicant proposes a large amount of pedestrian pavement enhancements to delineate where vehicles and pedestrians cross over each other. The majority of the parking is divided by the promenade, pad buildings and shaded pedestrian connections. The theater parking is placed along the rear of the site away from Scottsdale Road and Frank Lloyd Wright Boulevard. The theater building and separate pad building designs will need subsequent Development Review Board (DRB) approval. The site plan also incorporates a transit node along the parking in the southeast corner of the site. An underground parking garage provides for additional parking within the central specialty center parking area.

The applicant intends to provide a building design which incorporates art deco elements into modern southwestern style architecture. Through the use of a number of tans and browns, the applicant intends to create a dark wainscot utilizing a combination of split face and smooth cmu. The break in storefronts and long building elevations will be emulated with a tower element in which some towers have a metal rod accent on the very top. Metal canopies, metal grids, glass blocks, trellis are also incorporated to provide for additional articulation to the storefronts. Second floor exterior pedestrian walkways provide for breaks in the expanse of building elevations. The applicant proposes large window displays along the rear elevations of the specialty center which front along Scottsdale Road and Frank Lloyd Wright Boulevard. These elevations also incorporate an enclosed service and delivery area in order to prevent future screen walls and rear loading areas on the building. Again, the theater building and the individual pads will need to be approved at subsequent DRB public hearings.

APPROVED AS AMENDED
7/9/98 *TK*
DATE INITIALS


406-PA-2001
1-14-2002

82-DR-1998#2A

The applicant has submitted in combination with the open space plan a public art and pedestrian circulation element. This cultural/public art master plan is a voluntary commitment by the applicant to incorporate a minimum of one percent of the building valuation towards public art and pedestrian amenities. This master plan is a detailed program that supports art, pedestrian amenities, reflects Scottsdale's desert and cultural heritage and ultimately encourage shoppers to walk once they have arrived to the center. A 50 foot scenic corridor is proposed along Scottsdale Road with a meandering 50 foot to a minimum 35 foot landscape buffer along Frank Lloyd Wright Boulevard. A large retention facility is located in the extreme southeastern portion of the site which will be fenced in with significant landscaping. The landscape palette provides for native plantings along with non-native plantings to provide for shade and pedestrian friendly landscaping.

KEY ISSUES: Public Art and Pedestrian Circulation Plan, Theater and pad buildings to return for DRB public hearing approval

RELATED CASES: 51-ZN-97



Kurt Jones, AICP
Project Coordination Manager
994-2524

ATTACHMENTS:

- #1-Aerial
- #2-Zoning Map
- #3-Site Location Map
- #4-6 Site Plan
- #7-8 Landscaping Plan
- #9-11 Native Plant Inventory Plan
- #12-15 Elevations
- #16-Topo
- #17-Project Narrative
- A-Stipulations
- B-Ordinance Requirements

APPROVED AS AMENDED
7/9/98 TR
DATE INITIALS

C-O
PCD

C-2 PCL

R-5
PCD

R-1-7
PCD

O-S

R1-35

FRANK LLOYD WRIGHT BOULEVARD

CITY OF PHOENIX
SCOTTSDALE ROAD

SITE

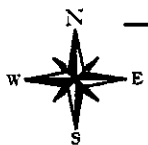
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PARADISE LANE

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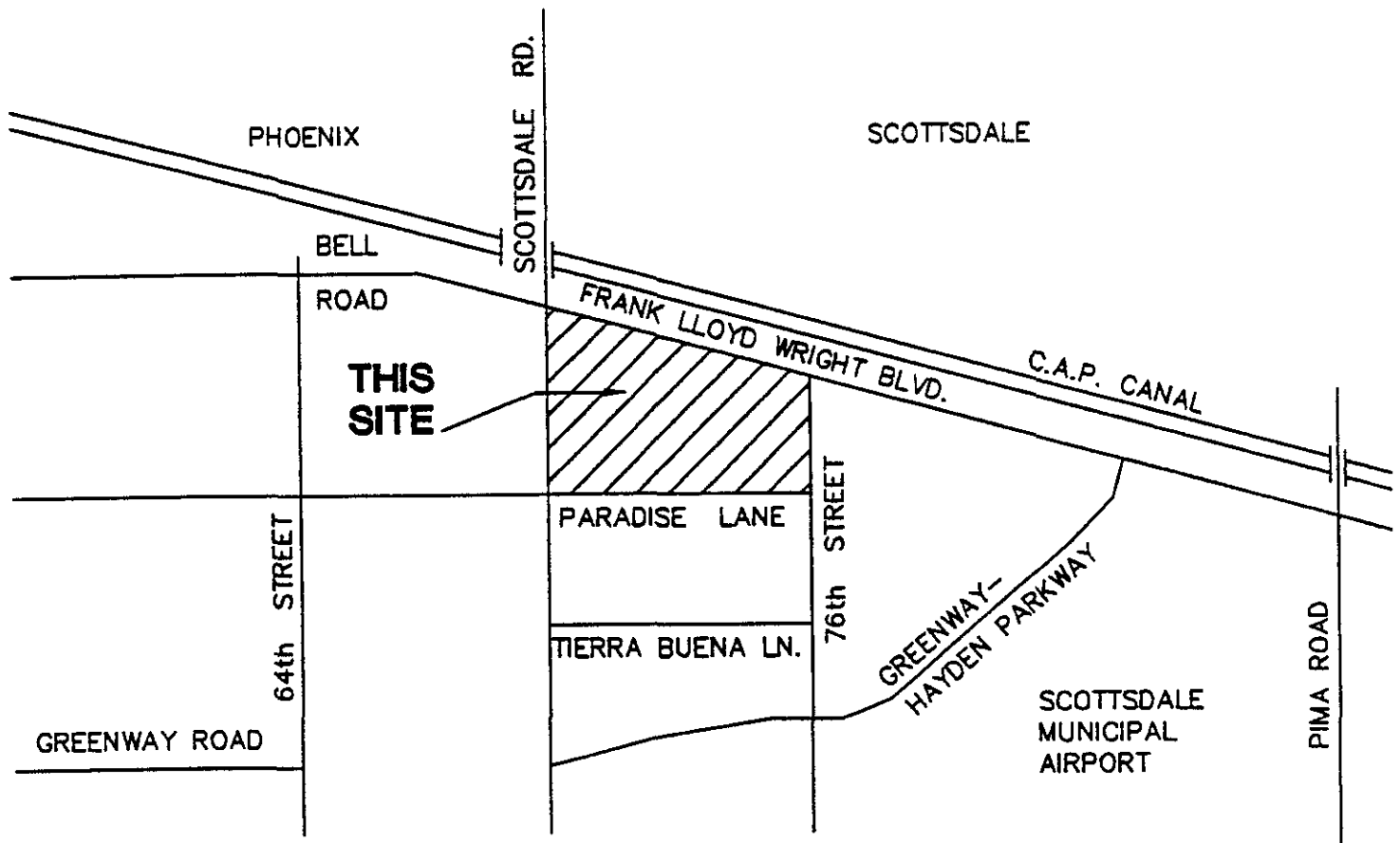
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82-DR-98

ATTACHMENT #2



SITE LOCATION

NOT TO SCALE



SCOTTSDALE PROMENADE

SCOTTSDALE

ARIZONA

FOR

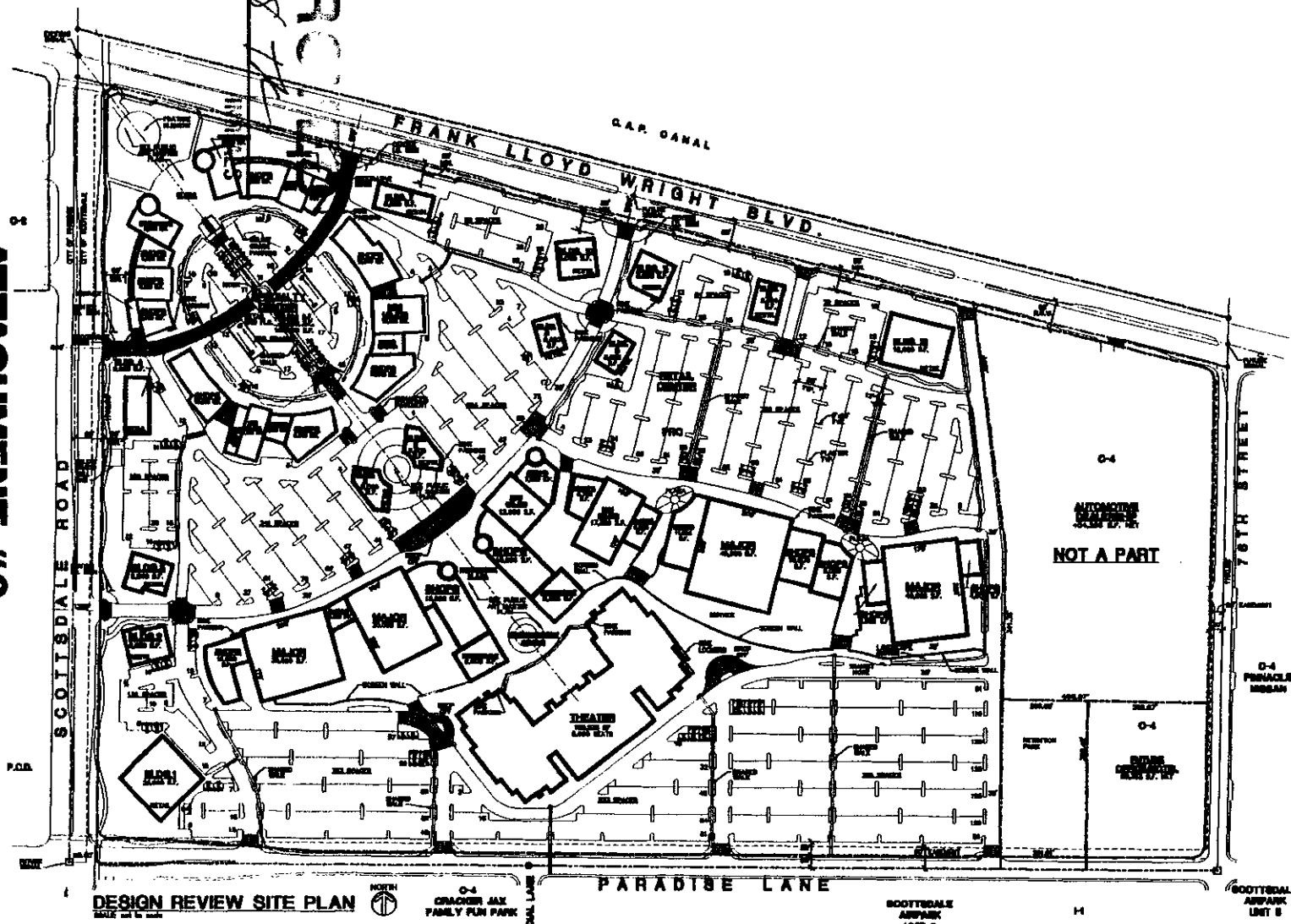
THE PEDERSON GROUP

82-DR-98

ATTACHMENT #3

ELLERMANN & SCHICK, ARCHITECTS

APPROVED
DATE 7/9/98



PROJECT DATA

DETAILS

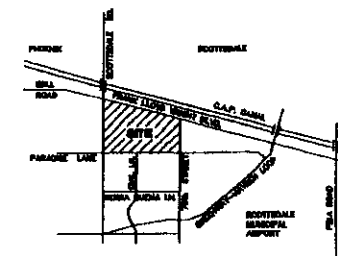
BUILDING AREA	
BASE COVERED	400,700 S.F.
SPECIALTY COVERED	100,000 S.F.
2ND FLOOR	20,000 S.F.
PAGE - RESTAURANT	67,000 S.F.
PAGE - RETAIL	31,000 S.F.
TOTAL	670,700 S.F.
(70% COVERAGE PROVIDED, 100% S.F.)	

PARKING

RETAIL	
RETAIL (1,170 S.F. @ 1/100)	1,170 SPACES
RESTAURANT (1,170 S.F. @ 1/100)	1,170 SPACES
THEATER (1,170 S.F. @ 1/100)	1,170 SPACES
TOTAL	3,510 SPACES
RETAIL	
RETAIL (1,170 S.F. @ 1/100)	1,170 SPACES
RESTAURANT (1,170 S.F. @ 1/100)	1,170 SPACES
TOTAL	2,340 SPACES
ACCESSIBLE PARKING	
RETAIL (1,170 S.F. @ 1/100)	140 SPACES
RESTAURANT (1,170 S.F. @ 1/100)	140 SPACES
TOTAL	280 SPACES
THEATER	
THEATER (1,170 S.F. @ 1/100)	140 SPACES
TOTAL	140 SPACES

COVERAGE

NET USE AREA	3,142,116 S.F.
COVERAGE (1,170 S.F. @ 1/100)	1,170 SPACES



SITE LOCATION
NOT TO SCALE

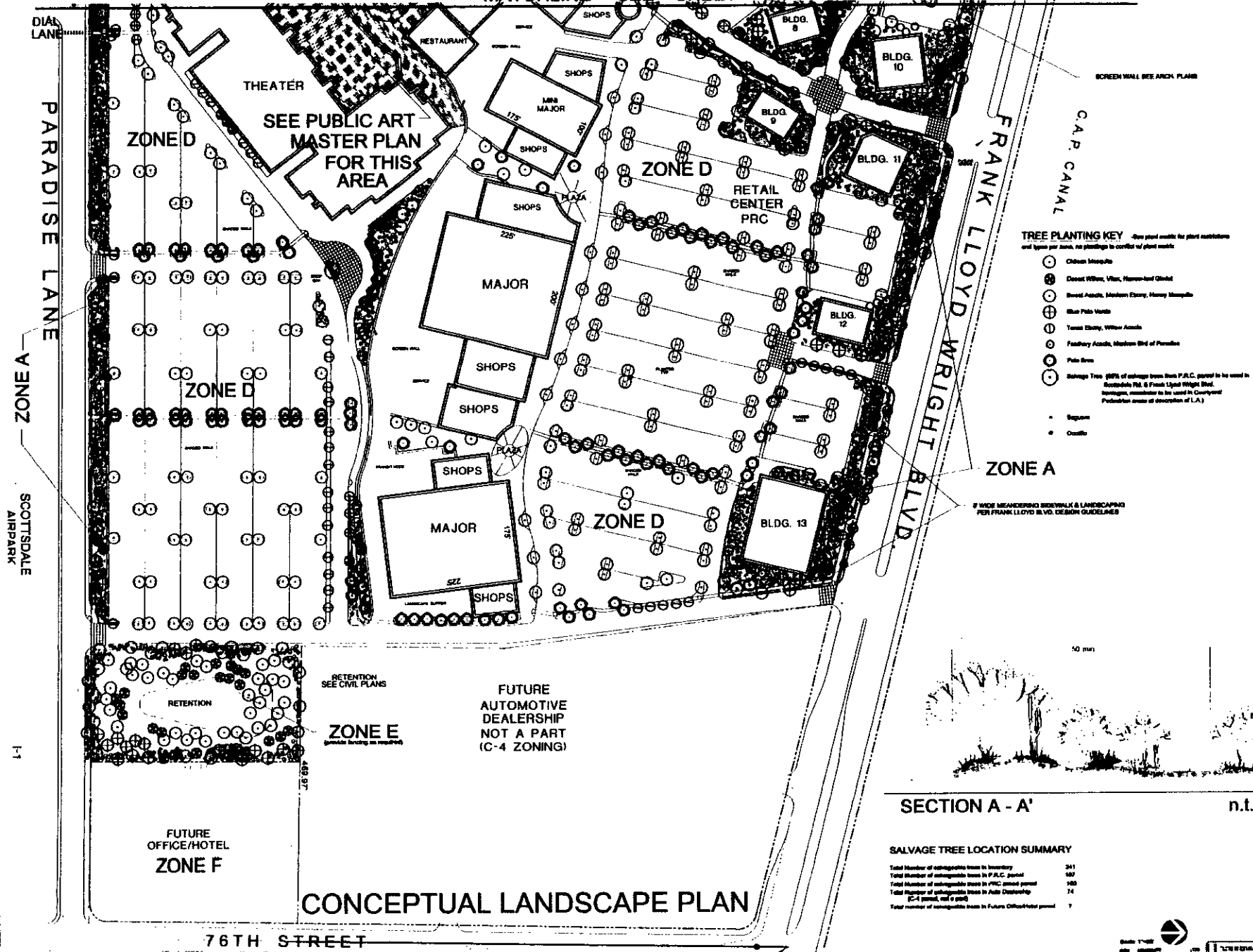
THE PROMENADE

FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS
FOOT

MATCHLINE SEE SHEET LA-1



- TREE PLANTING KEY** - See plant schedule for plant quantities and types per acre, no plantings to conflict w/ plant waste
- Children's Trees
 - Domestic Willow, Viburnum, Hawthorn, Gladiolus
 - Broad Acacia, Madroño, Honey Mesquite
 - Blue Palo Verde
 - Yucca, Yucca, Willow Acacia
 - Feathered Acacia, Madroño, Madroño
 - Palo Verde
 - Salvage Trees (80% of salvage trees from P.A.C. parcel to be used in Scottsdale Rd. & Frank Lloyd Wright Blvd. Salvage trees to be used in Conquest Promenade area at discretion of L.A.)
 - Begin
 - End



SALVAGE TREE LOCATION SUMMARY

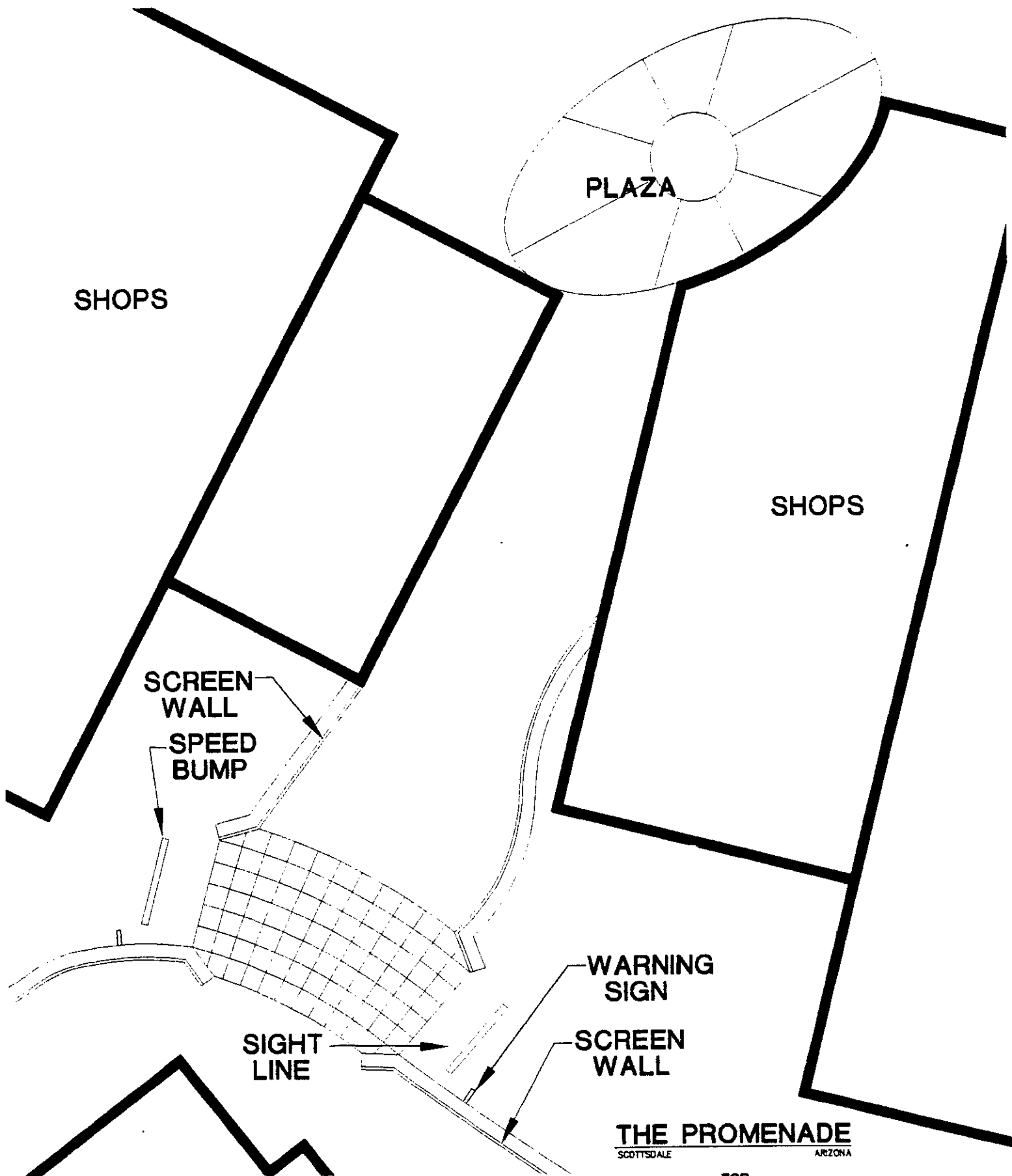
Total Number of Salvage Trees to Inventory	241
Total Number of Salvage Trees in P.A.C. parcel	149
Total Number of Salvage Trees in P.A.C. parcel	149
Total Number of Salvage Trees in Auto Dealership (C-4 parcel, not a part)	74
Total Number of Salvage Trees in Future Office/Hotel parcel	7

CONCEPTUAL LANDSCAPE PLAN

DESIGNED BY **Pederson**

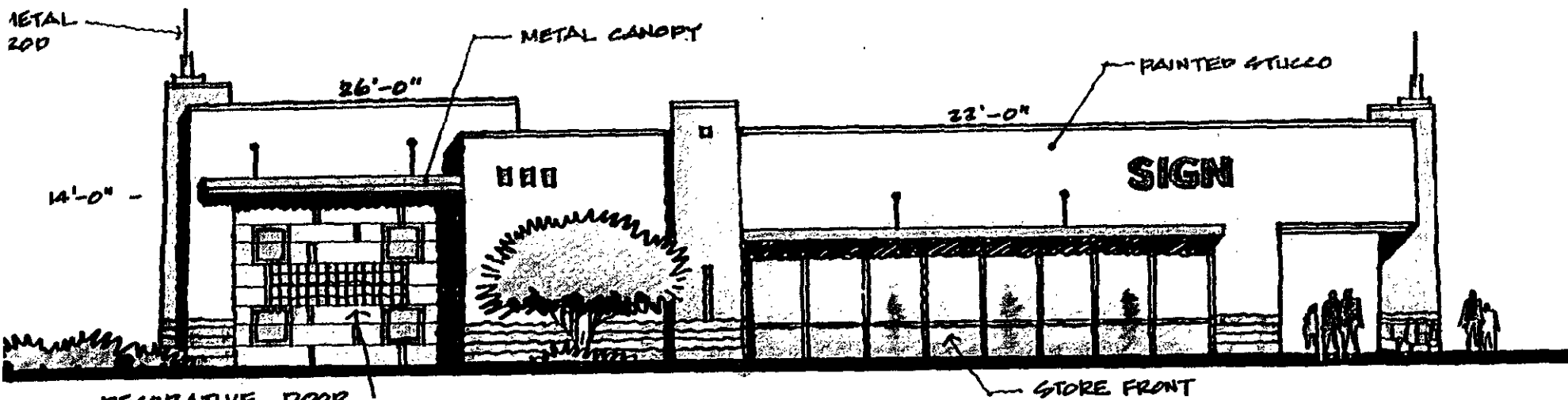
The Promenade
S.E. Corner Scottsdale Rd. and Frank Lloyd Wright Blvd.
Scottsdale, Arizona
Conceptual Landscape Plan

DRAWN BY
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TYPICAL INTERSECTION DETAIL
NOT TO SCALE

THE PROMENADE
SCOTTSDALE ARIZONA
FOR
THE PEDERSON GROUP



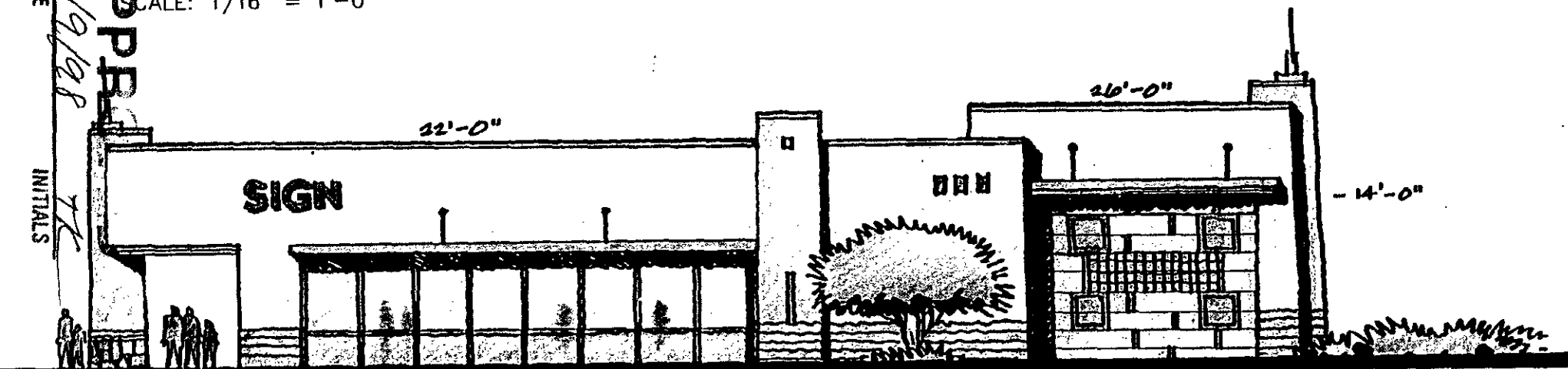
DECORATIVE DOOR

STORE FRONT

BUILDING A ELEVATION

SCALE: 1/16" = 1'-0"

DATE 7/9/98
INITIALS JK



BUILDING D ELEVATION

SCALE: 1/16" = 1'-0"

THE PROMENADE

SCOTTSDALE

ARIZONA

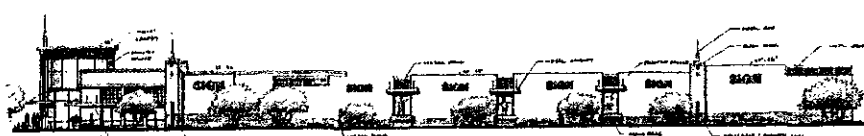
FOR

THE PEDERSON GROUP

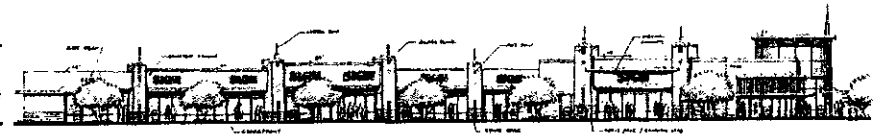
ELLERMANN & SCHICK, ARCHITECTS

97017

JUNE 22, 1998



A ELEVATION



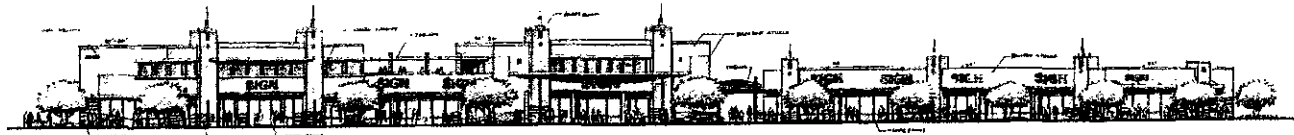
B ELEVATION



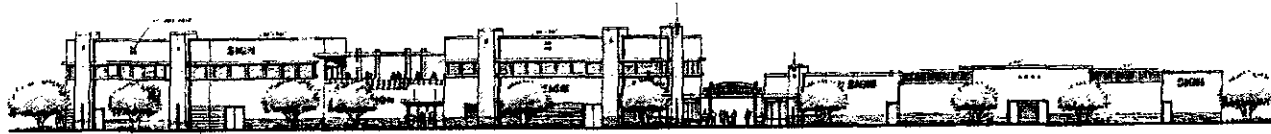
C ELEVATION



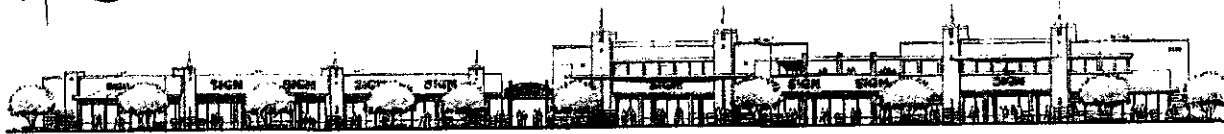
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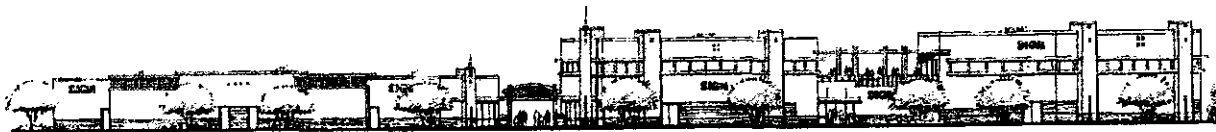
E ELEVATION



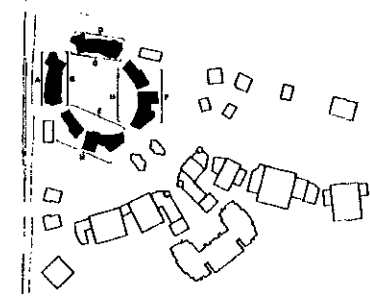
F ELEVATION



G ELEVATION



H ELEVATION



ELEVATION LOCATION MAP

FOR

THE PEDERSON GROUP

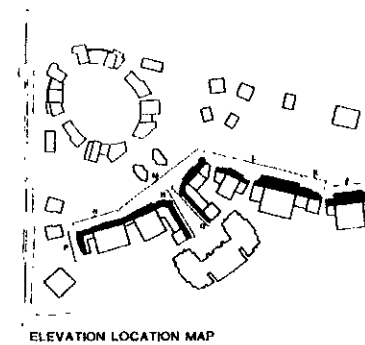
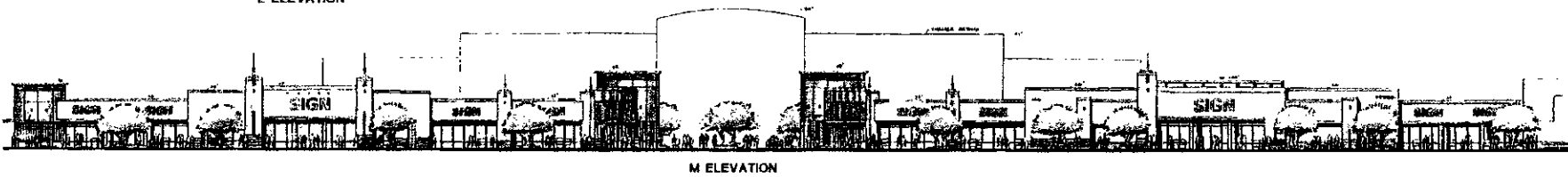
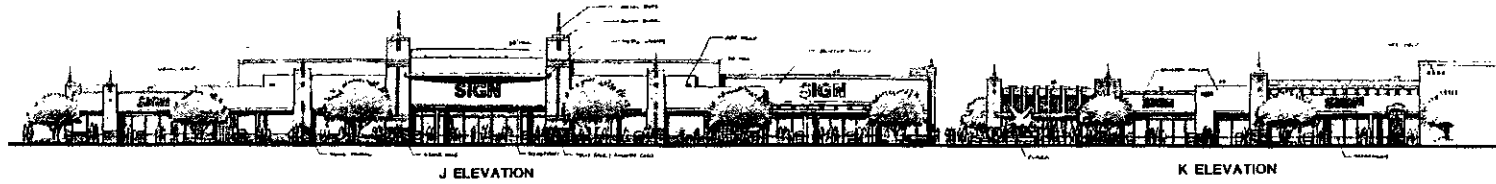
ELLERMANN & SCHICK, ARCHITECTS
1987

A CELEBRATION OF THE DESERT

THE PROMENADE

SCOTTSDALE

ARIZONA



FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS
27001
 MAY 15, 1998

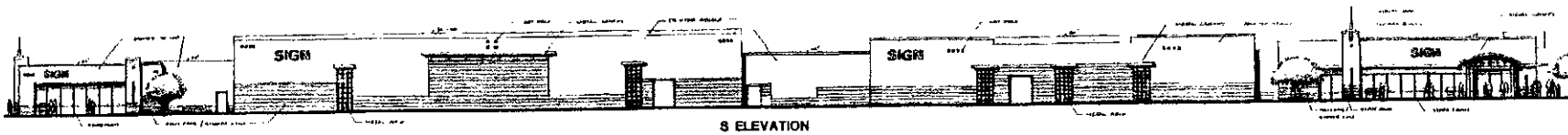
A CELEBRATION OF THE DESERT

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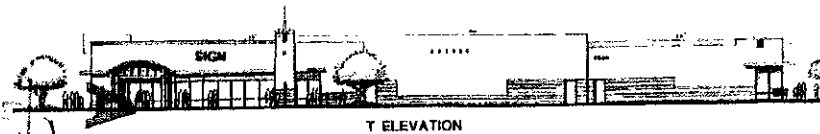
SCOTTSDALE

ARIZONA

82-DR-98



S ELEVATION



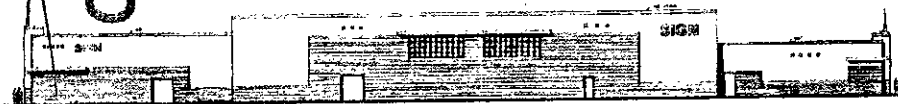
T ELEVATION



U ELEVATION



V ELEVATION



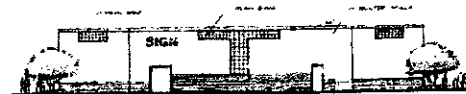
W ELEVATION



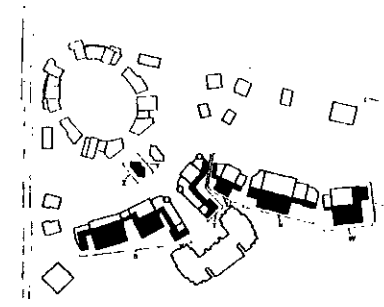
X ELEVATION



Y ELEVATION



Z ELEVATION



ELEVATION LOCATION MAP

FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS
1981 MAY 15, 1988

A CELEBRATION OF THE DESERT

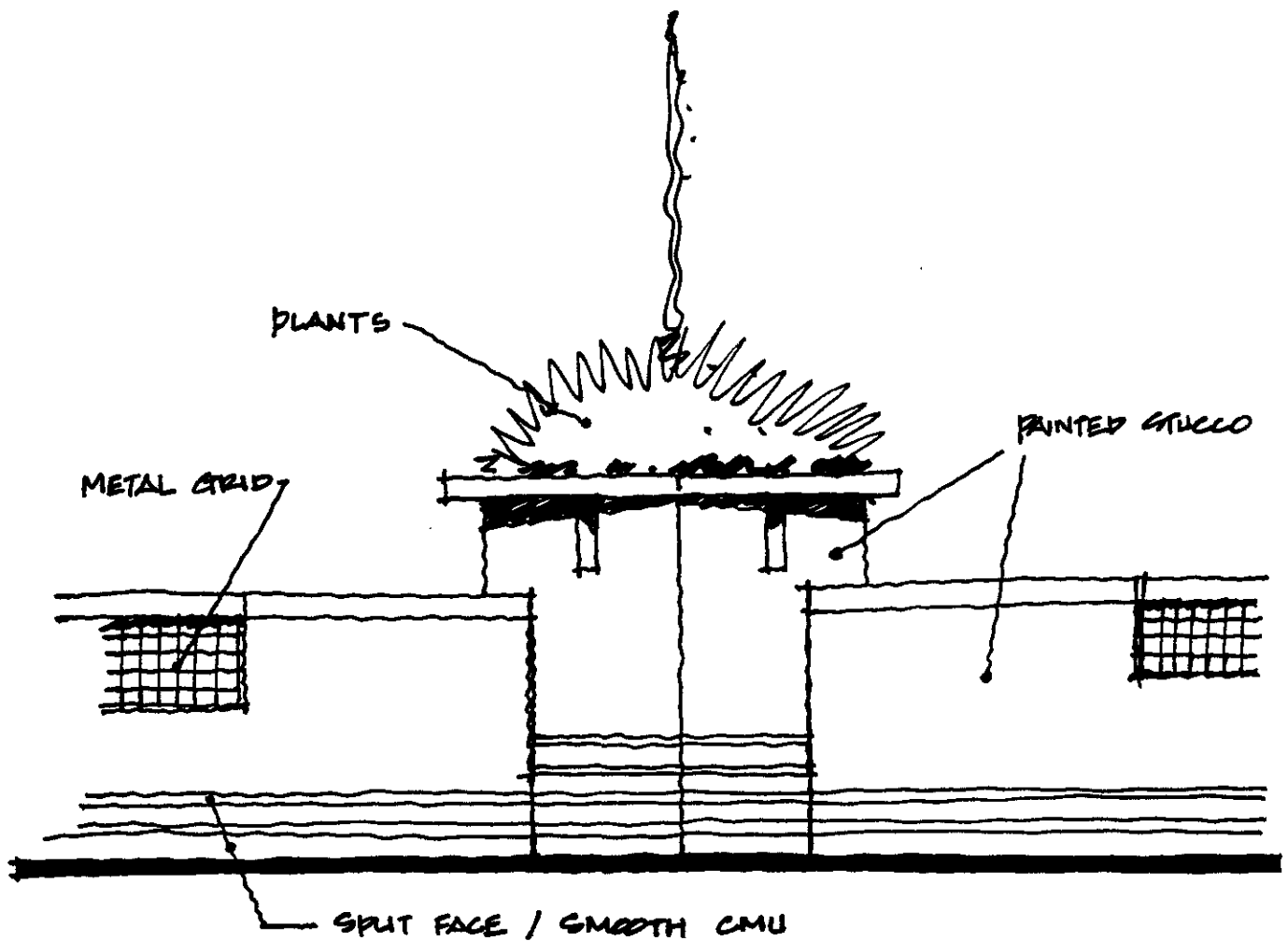
THE PROMENADE

SCOTTSDALE

ARIZONA

ATTACHMENT #14

82-DR-98



PERIMETER SCREEN WALL ELEVATION

THE PROMENADE

SCOTTSDALE

ARIZONA

FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS

97017

MAY 15, 1998

82-DR-98

ATTACHMENT #15

STAIR/ ESCALATOR
TO GRADE

PEDESTRIAN
WALK

EXIT STAIR (TYP.)

9' (TYP.)

60' (TYP.)

85° PARKING (TYP.)

RAMP

RAMP

420'

300'

318 SPACES



the parking structure specialists

2828 N. Central Ave.
Suite 1110
Phoenix, Arizona 85004
(602) 241-9288

SPECIALTY CENTER BELOW GRADE PARKING

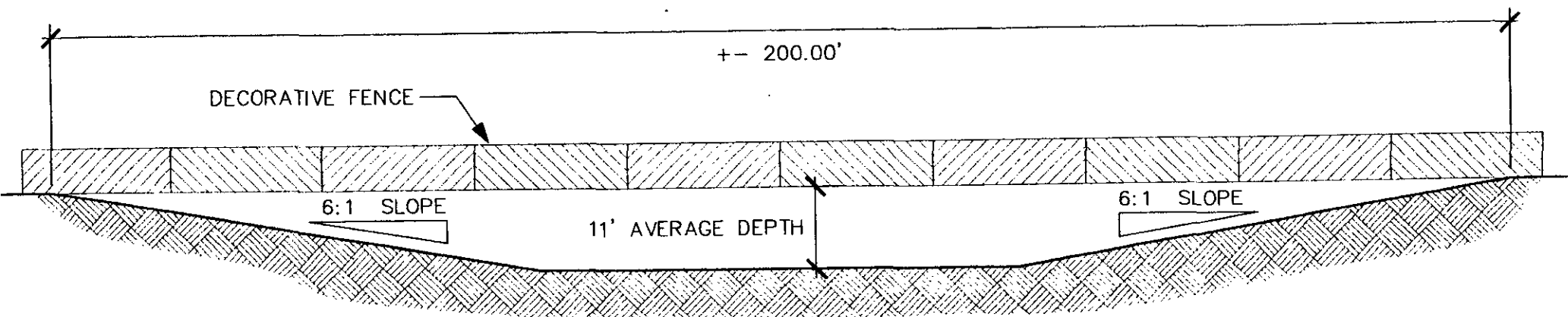


THE PROMENADE
SCOTTSDALE ARIZONA

FOR

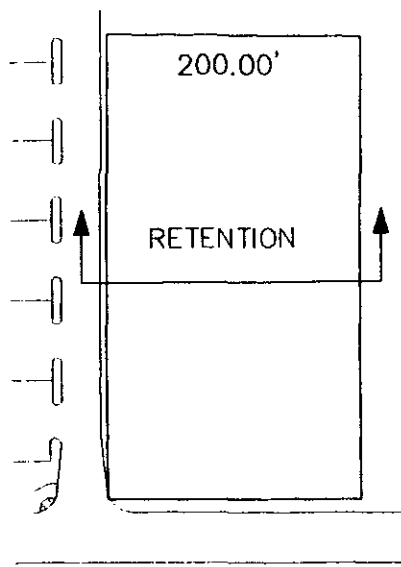
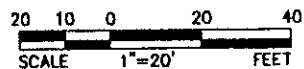
THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS
JUNE 10, 1998



SECTION THROUGH RETENTION

SCALE: 1" = 20'



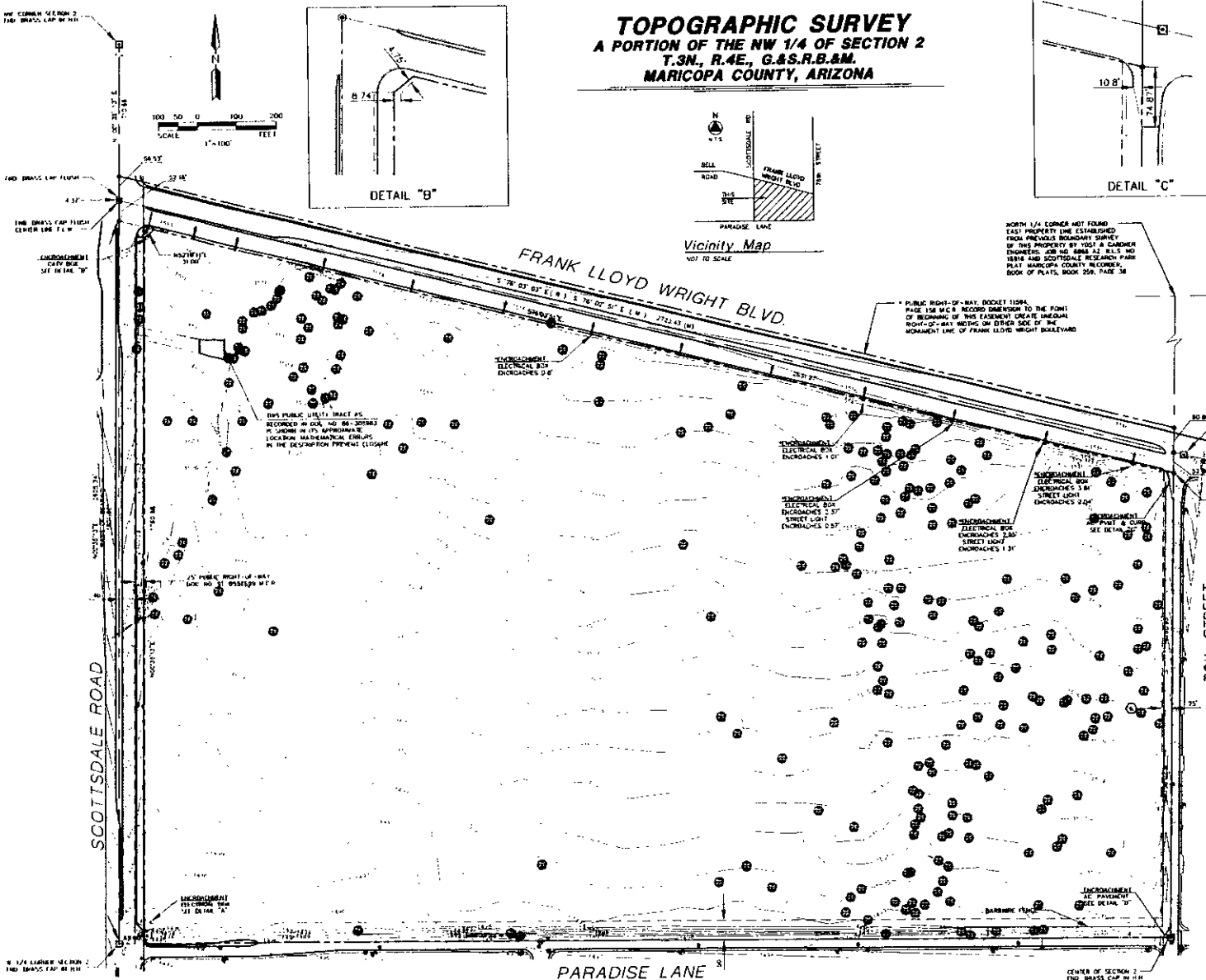
THE PROMENADE
SCOTTSDALE ARIZONA

FOR

THE PEDERSON GROUP

ELLERMANN & SCHICK, ARCHITECTS
97017 JUNE 22, 1998

TOPOGRAPHIC SURVEY **A PORTION OF THE NW 1/4 OF SECTION 2** **T.3N., R.4E., G.&S.R.B.&M.** **MARICOPA COUNTY, ARIZONA**



Legal Description

THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASIN AND MENDOTA MARICOPA COUNTY, ARIZONA, EXCEPT THAT PORTION THEREOF LYING WITHIN OF THE FOLLOWING DESCRIBED LINE, BEGINNING AT A POINT IN THE WEST BOUNDARY OF SAID NORTHWEST QUARTER THAT SAYS SOUTHERLY ALONG SAID WEST BOUNDARY, 825.74 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 2;

THENCE, SOUTH 78 DEGREES 03 MINUTES 03 SECONDS EAST, 2,723.57 FEET TO A POINT ON THE EAST LINE OF SAID NORTHWEST QUARTER, SAID POINT BEING 80.00 FEET FROM THE WEST BOUNDARY OF SAID SECTION 2, 2,643.57 FEET FROM THE EAST QUARTER CORNER OF SECTION 2; AND

EXCEPT, BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 2;

THENCE, SOUTH 00 DEGREES 30 MINUTES 13 SECONDS WEST, 1,000.23 FEET ALONG THE WEST LINE OF SAID SECTION 2;

THENCE, SOUTH 78 DEGREES 03 MINUTES 03 SECONDS EAST, 290.40 FEET TO THE POINT OF BEGINNING;

THENCE, CONTINUING SOUTH 78 DEGREES 03 MINUTES 03 SECONDS EAST, 68.00 FEET;

THENCE, NORTH 00 DEGREES 30 MINUTES 13 SECONDS WEST, 50.00 FEET;

THENCE, NORTH 00 DEGREES 47 MINUTES 48 SECONDS WEST, 50.00 FEET;

THENCE, SOUTH 00 DEGREES 34 MINUTES 13 SECONDS WEST, 30.00 FEET TO THE POINT OF BEGINNING; AND

EXCEPT THE EAST 25 FEET OF THE WEST 60 FEET, THEREOF; AND

CONTINUING AT A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER IN SECTION 2, SAID POINT LYING 825.74 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 2;

THENCE, SOUTH 78 DEGREES 03 MINUTES 03 SECONDS EAST, 80.00 FEET TO THE POINT OF INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF SCOTTSDALE ROAD AS RECORDED IN THE MARICOPA COUNTY RECORDS OF PLATS, BOOK 259, PAGE 34; AND

THENCE, NORTH 00 DEGREES 30 MINUTES 13 SECONDS WEST, 1,000.23 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SCOTTSDALE ROAD;

THENCE, SOUTH 78 DEGREES 03 MINUTES 03 SECONDS EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF FRANK LLOYD WRIGHT BOULEVARD, 25.00 FEET;

THENCE, SOUTH 78 DEGREES 03 MINUTES 11 SECONDS WEST, 30.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SCOTTSDALE ROAD;

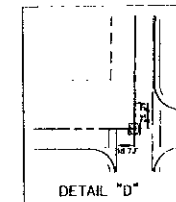
THENCE, NORTH 00 DEGREES 48 MINUTES 25 SECONDS EAST ALONG THE EAST RIGHT-OF-WAY LINE OF SCOTTSDALE ROAD, 25.00 FEET TO THE POINT OF BEGINNING.

NORTH 1/4 CORNER NOT FOUND
 EAST PROPERTY LINE ESTABLISHED
 FROM PREVIOUS BOUNDARY SURVEY
 OF THIS PROPERTY BY WEST & GARDNER
 ENGINEERS, JOB NO. 4884 AS B.L.S. NO. 1894
 AND SCOTTSDALE RECORDS, PLAT
 MARICOPA COUNTY RECORDS,
 BOOK OF PLATS, BOOK 259, PAGE 34

* PUBLIC RIGHT-OF-WAY, DOCKET 1159A,
 PLAT 156 B.C.R. RECORD ENDS 10 FT TO THE POINT
 OF BEGINNING OF THIS EASEMENT CREATES LINEAL
 RIGHT-OF-WAY WIDTH ON EITHER SIDE OF THE
 MONUMENT LINE OF FRANK LLOYD WRIGHT BOULEVARD

Vicinity Map

NOT TO SCALE



Flood Information:

USDA/NRCS FLOOD MAPS IN LINE 7, AREAS OUTSIDE THE
 LIMITS OF THE 100 YEAR FLOOD
 INSURANCE RATE MAP, COMMUNITY NO. 40002,
 PLAT 1243 OF 4104, DATED SEPTEMBER 30, 1983

Surveyor's Certificate

I, JAMES M. SOMERS, A LICENSED LAND SURVEYOR IN THE
 STATE OF ARIZONA, DO HEREBY CERTIFY THAT THIS
 SURVEYING IS BASED ON A SURVEY PERFORMED BY MY DIRECT
 SUPERVISOR, AND IS TRUE AND CORRECT TO THE BEST OF
 MY KNOWLEDGE.



"PAGE 1" OF "2" PAGES

Legend

- SET 1 OF PLAT
- ELECTRIC TRANSFORMER
- TELEPHONE "T" BOX
- WATER MAIN
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- TREE
- EXISTING CURBLINE

Notes:


- 1) THE BASIS OF BEARING IS THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASIN AND MENDOTA, SAID BEARING BEING N 00° 35' 17" E.
- 2) ALL AREA IS 3,800.00 SQ. FT. OR BY 30 FEET, MORE OR LESS.
- 3) THIS SURVEY REFLECTS ABOVE GROUND LOCATIONS OF UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRESPOND ALL IN THE AREA. CLIENT IN SERVICE OF ADJACENT THE SURVEYOR THEREOF DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AS MUCH AS THE DATA SURVEY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- 4) DECLARATION IS MADE TO ORIGINAL PURCHASER OF SURVEY IT IS NOT TRANSFERABLE TO ADDITIONAL PURCHASERS OR SUCCESSOR OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
- 5) SURVEY IS VALID ONLY WHEN BEARING SEAL AND SIGNATURE OF SURVEYOR.

BENCH MARK

BRASS CAP IS MONUMENT AT INTERSECTION OF
 SCOTTSDALE ROAD AND PARADISE LANE
 ELEVATION = 1495.66 (C.R.S. DATUM)

TOPOGRAPHIC SURVEY

SEC FRANK L. WRIGHT BLVD. & SCOTTSDALE RD. SCOTTSDALE, ARIZONA			
CMX GROUP INC.			1215 E. WASHINGTON PHOENIX, AZ 85014 PH: (602) 278-8436 FAX: (602) 280-1131
ENGINEERING PROJECT ADMINISTRATION CONSULTING ARCHITECTS			
DATE: JAN 08 10:30 AM	BY: JMS	TOTAL: 1 HOUR	DATE: 1/8/08
ENCLOSURE: 1	ORIGIN: 1	APPROVED: P.S.	DATE: 1/8/08
REV: 1	DATE: 1/8/08	DATE: 1/8/08	DATE: 1/8/08

Relocation Methodology

STEP ONE: Trees older in preparation for being
 Step and hand-unfastened out and then not move
 (down to being)
 STEP TWO: Low entire tree to remove leaf mass and transportation
 STEP THREE: Provide supplemental irrigation
 STEP FOUR: 3-4 inch cutters
 Rooting Time: 3 hours
 Pruning: 3 hours per week
 NOTE: Irrigation may vary depending on soil type and amount
 STEP FIVE: Will be 20 to 30 days in preparation of bottom leaving
 STEP SIX: After 20 to 30 days, cut tree out of hole - bottom has
 Transplant hole to central nursery location and continue
 supplemental irrigation of new location
 STEP SEVEN: Intermediate Period: Monitor tree weekly to insure
 proper irrigation and growth

Notes

All salvagable material to be clearly tagged with
 reflective tape visible from all directions.
 Color code as follows:
 Red Salvagable and remain
 White Pruned and moved to place
 Blue Destroy, not salvagable and cannot
 remain in place

Inventory Summary

THERE ARE 341 SALVAGEABLE TREES, COMPRISING 2,416 CALIPER INCHES
 THERE ARE 98 NON-SALVAGEABLE TREES, COMPRISING 1,238 CALIPER INCHES
 THERE ARE 147 SALVAGEABLE TREES ON THE PRC ZONED PARCEL
 THERE ARE 14 SALVAGEABLE TREES ON THE AUTOMOTIVE DEALERSHIP APPLIC. (C-4)
 THERE ARE 7 SALVAGEABLE TREES ON THE FUTURE OFFICE HOTEL PARCEL (C-4)
 THERE ARE A TOTAL OF 341 SALVAGEABLE TREES THAT ARE A PART OF THIS PROJECT

SPECIES	SALVAGEABLE		NON-SALVAGEABLE	
	QTY	IN.	QTY	IN.
BLUE PALM VERNER	26	1287	38	1238
MAHONIE	2	32	1	30
POINCIANA	2	80	0	0
MEXICAN PALM VERNER	1	0	0	0
NATIVE MESQUITE	52	911	19	241

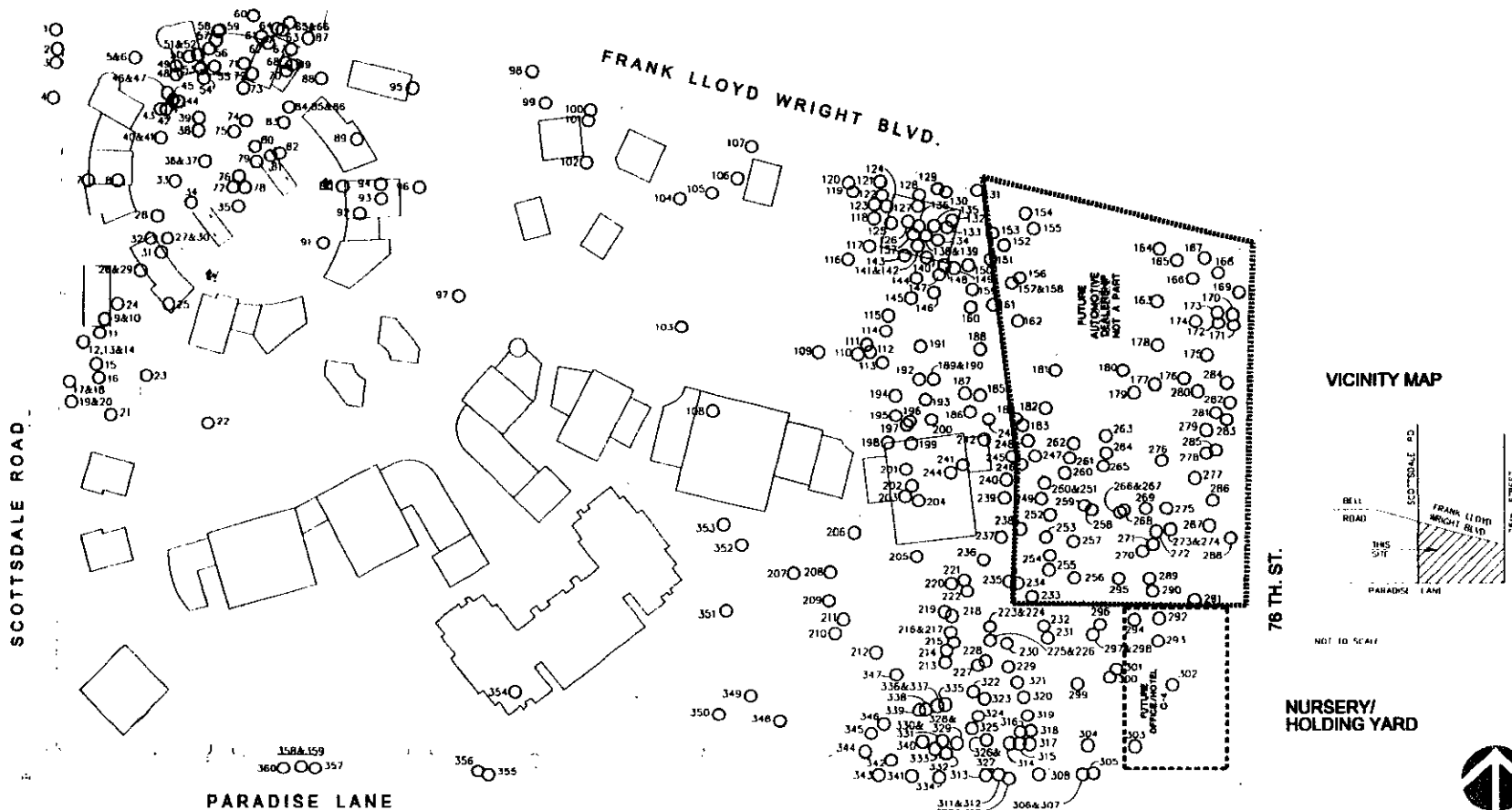
Nursery Narrative

We feel the site chosen for the Native Plant Nursery
 is the best one on this site. The area chosen will
 allow for easy access to the trees, for regular
 watering, and less transportation. This area is also
 relatively flat. Therefore, there will be less stress
 on the trees during the pick up and drop off process

Plant Narrative

Submitted Date: _____
 Project Number: _____
 Project Name: _____
 Location: _____
 Total number of protected plants to be relocated: 341
 Total number of protected plants to be destroyed: 98
 Total number of protected plants affected: 439
 * Includes all trees inventoried including both C-4 zoned Parcels & PRC zoning
 Request: _____

On this site there are several native plants growing from
 Pile wood in Mesquite. We intend to relocate all the trees
 that are salvagable on this site. The priority of trees will be
 salvaged, however, there are also trees which will be destroyed
 due to relocation, limited access, tree condition, etc.



NATIVE PLANT INVENTORY / SALVAGE PLAN

PLANT TAG SUMMARY

ACTION	TREE CACTI TRUNK SALVAGEABLE	EXP	SPECIES	HT. FT.	DIA. IN.	COMMENTS
B	Y	1	NATIVE MESQUITE	8.0		
B	Y	2	MEXICAN PALM VERDE	8.0		
B	Y	3	NATIVE MESQUITE	8.0		
D	N	4	NATIVE MESQUITE	10.0		WIDE BASE
B	Y	5	BLUE PALM VERDE	6.0		
B	Y	6	BLUE PALM VERDE	6.0		
B	Y	7	NATIVE MESQUITE	18.0		
D	N	8	NATIVE MESQUITE	17.0		WIDE BASE
B	Y	9	BLUE PALM VERDE	6.0		
B	Y	10	BLUE PALM VERDE	20.0		
B	Y	11	BLUE PALM VERDE	4.0		
B	Y	12	BLUE PALM VERDE	10.0		
B	Y	13	BLUE PALM VERDE	4.0		
B	Y	14	BLUE PALM VERDE	4.0		
B	Y	15	BLUE PALM VERDE	4.0		
B	Y	16	BLUE PALM VERDE	20.0		
D	N	17	BLUE PALM VERDE	38.0		UNHEALTHY
D	N	18	NATIVE MESQUITE	20.0		POOR FORM
D	N	19	BLUE PALM VERDE	14.0		POOR FORM
B	Y	20	BLUE PALM VERDE	12.0		
B	Y	21	POWEROOD	40.0		
B	Y	22	BLUE PALM VERDE	8.0		
B	Y	23	BLUE PALM VERDE	8.0		
B	Y	24	BLUE PALM VERDE	8.0		
B	Y	25	BLUE PALM VERDE	10.0		
B	Y	26	BLUE PALM VERDE	28.0		
B	Y	27	BLUE PALM VERDE	12.0		
B	Y	28	BLUE PALM VERDE	8.0		
B	Y	29	BLUE PALM VERDE	8.0		POOR FORM
B	Y	30	BLUE PALM VERDE	8.0		
B	Y	31	BLUE PALM VERDE	8.0		
B	Y	32	BLUE PALM VERDE	3.0		
B	Y	33	NATIVE MESQUITE	12.0		
B	Y	34	BLUE PALM VERDE	4.0		UNHEALTHY
B	Y	35	NATIVE MESQUITE	8.0		
D	N	36	BLUE PALM VERDE	8.0		POOR FORM
D	N	37	BLUE PALM VERDE	8.0		
D	N	38	BLUE PALM VERDE	3.0		
D	N	39	BLUE PALM VERDE	3.0		
D	N	40	BLUE PALM VERDE	12.0		UNHEALTHY/POOR FORM
D	N	41	BLUE PALM VERDE	14.0		UNHEALTHY
B	Y	42	BLUE PALM VERDE	6.0		
D	N	43	NATIVE MESQUITE	7.0		FLAMED ROOTS
D	N	44	BLUE PALM VERDE	12.0		POOR FORM
B	Y	45	BLUE PALM VERDE	6.0		
D	N	46	BLUE PALM VERDE	7.0		POOR FORM
D	N	47	BLUE PALM VERDE	10.0		POOR FORM
D	N	48	BLUE PALM VERDE	6.0		
D	N	49	BLUE PALM VERDE	7.0		UNHEALTHY
B	Y	50	BLUE PALM VERDE	14.0		
B	Y	51	BLUE PALM VERDE	8.0		UNHEALTHY
B	Y	52	NATIVE MESQUITE	4.0		
B	Y	53	BLUE PALM VERDE	4.0		
B	Y	54	BLUE PALM VERDE	4.0		
B	Y	55	BLUE PALM VERDE	4.0		
D	N	56	BLUE PALM VERDE	4.0		WIDE BASE/POOR FORM
D	N	57	NATIVE MESQUITE	28.0		
D	N	58	BLUE PALM VERDE	10.0		UNHEALTHY/POOR FORM
D	N	59	NATIVE MESQUITE	10.0		POOR FORM
D	N	60	BLUE PALM VERDE	20.0		
D	N	61	BLUE PALM VERDE	12.0		POOR FORM
D	N	62	BLUE PALM VERDE	20.0		UNHEALTHY
D	N	63	BLUE PALM VERDE	13.0		POOR FORM
B	Y	64	BLUE PALM VERDE	18.0		
D	N	65	NATIVE MESQUITE	18.0		
D	N	66	BLUE PALM VERDE	8.0		POOR FORM
D	N	67	HACKBERRY	30.0		WIDE BASE
B	Y	68	BLUE PALM VERDE	30.0		POOR FORM
B	Y	69	BLUE PALM VERDE	12.0		
B	Y	70	NATIVE MESQUITE	10.0		
B	Y	71	NATIVE MESQUITE	10.0		
B	Y	72	BLUE PALM VERDE	8.0		
B	Y	73	NATIVE MESQUITE	10.0		
B	Y	74	BLUE PALM VERDE	10.0		
B	Y	75	BLUE PALM VERDE	10.0		
D	N	76	BLUE PALM VERDE	10.0		POOR FORM
D	N	77	BLUE PALM VERDE	10.0		
B	Y	78	BLUE PALM VERDE	10.0		
D	N	79	BLUE PALM VERDE	15.0		FLAMED ROOTS
D	N	80	BLUE PALM VERDE	10.0		
B	Y	81	BLUE PALM VERDE	10.0		
B	Y	82	BLUE PALM VERDE	6.0		
B	Y	83	BLUE PALM VERDE	10.0		
B	Y	84	BLUE PALM VERDE	14.0		
B	Y	85	BLUE PALM VERDE	10.0		
B	Y	86	BLUE PALM VERDE	10.0		
B	Y	87	BLUE PALM VERDE	10.0		
B	Y	88	NATIVE MESQUITE	12.0		
B	Y	89	BLUE PALM VERDE	10.0		
B	Y	90	NATIVE MESQUITE	14.0		
B	Y	91	BLUE PALM VERDE	8.0		
B	Y	92	NATIVE MESQUITE	10.0		
B	Y	93	BLUE PALM VERDE	10.0		
B	Y	94	NATIVE MESQUITE	10.0		UNHEALTHY
B	Y	95	NATIVE MESQUITE	10.0		
D	N	96	NATIVE MESQUITE	30.0		WIDE BASE
B	Y	97	NATIVE MESQUITE	10.0		
D	N	98	BLUE PALM VERDE	12.0		UNHEALTHY
B	Y	99	BLUE PALM VERDE	8.0		
B	Y	100	BLUE PALM VERDE	8.0		
B	Y	101	NATIVE MESQUITE	14.0		
B	Y	102	NATIVE MESQUITE	8.0		
B	Y	103	BLUE PALM VERDE	8.0		
B	Y	104	NATIVE MESQUITE	14.0		
B	Y	105	NATIVE MESQUITE	12.0		
B	Y	106	NATIVE MESQUITE	10.0		
B	Y	107	BLUE PALM VERDE	8.0		UNHEALTHY
B	Y	108	BLUE PALM VERDE	10.0		
B	Y	109	BLUE PALM VERDE	10.0		
B	Y	110	BLUE PALM VERDE	10.0		
B	Y	111	BLUE PALM VERDE	10.0		UNHEALTHY
B	Y	112	BLUE PALM VERDE	10.0		
B	Y	113	BLUE PALM VERDE	11.0		UNHEALTHY
B	Y	114	BLUE PALM VERDE	14.0		
D	N	115	BLUE PALM VERDE	13.0		UNHEALTHY
D	N	116	BLUE PALM VERDE	12.0		
B	Y	117	BLUE PALM VERDE	7.0		
B	Y	118	BLUE PALM VERDE	8.0		UNHEALTHY
B	Y	119	BLUE PALM VERDE	10.0		
B	Y	120	NATIVE MESQUITE	12.0		
B	Y	121	NATIVE MESQUITE	10.0		
B	Y	122	BLUE PALM VERDE	14.0		UNHEALTHY
D	N	123	BLUE PALM VERDE	20.0		POOR FORM/WIDE BASE
D	N	124	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	125	BLUE PALM VERDE	12.0		
D	N	126	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	127	BLUE PALM VERDE	10.0		UNHEALTHY

ACTION	TREE CACTI TRUNK SALVAGEABLE	EXP	SPECIES	HT. FT.	DIA. IN.	COMMENTS
B	Y	128	BLUE PALM VERDE	12.0		
B	Y	129	NATIVE MESQUITE	10.0		
B	Y	130	BLUE PALM VERDE	14.0		
B	Y	131	NATIVE MESQUITE	14.0		
B	Y	132	NATIVE MESQUITE	14.0		
B	Y	133	BLUE PALM VERDE	12.0		
D	N	134	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	135	NATIVE MESQUITE	12.0		UNHEALTHY
D	N	136	BLUE PALM VERDE	13.0		UNHEALTHY
D	N	137	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	138	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	139	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	140	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	141	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	142	BLUE PALM VERDE	8.0		UNHEALTHY/POOR FORM
B	Y	143	BLUE PALM VERDE	8.0		
D	N	144	BLUE PALM VERDE	10.0		UNHEALTHY
B	Y	145	NATIVE MESQUITE	10.0		
D	N	146	NATIVE MESQUITE	6.0		DAMAGED TRUNK
D	N	147	NATIVE MESQUITE	10.0		
B	Y	148	BLUE PALM VERDE	8.0		
B	Y	149	NATIVE MESQUITE	8.0		
D	N	150	BLUE PALM VERDE	11.0		UNHEALTHY
D	N	151	BLUE PALM VERDE	12.0		UNHEALTHY
D	N	152	NATIVE MESQUITE	8.0		
D	N	153	NATIVE MESQUITE	12.0		
D	N	154	NATIVE MESQUITE	12.0		
D	N	155	NATIVE MESQUITE	12.0		
D	N	156	NATIVE MESQUITE	14.0		
D	N	157	NATIVE MESQUITE	8.0		TOO CLOSE TO #156
D	N	158	NATIVE MESQUITE	10.0		POOR FORM
D	N	159	BLUE PALM VERDE	10.0		
D	N	160	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	161	BLUE PALM VERDE	8.0		
D	N	162	REDWOOD	40.0		
B	Y	163	BLUE PALM VERDE	7.0		
D	N	164	BLUE PALM VERDE	12.0		UNHEALTHY
D	N	165	NATIVE MESQUITE	12.0		
B	Y	166	BLUE PALM VERDE	10.0		
D	N	167	BLUE PALM VERDE	8.0		
D	N	168	BLUE PALM VERDE	6.0		
D	N	169	BLUE PALM VERDE	6.0		
D	N	170	BLUE PALM VERDE	16.0		POOR FORM
D	N	171	BLUE PALM VERDE	16.0		
D	N	172	BLUE PALM VERDE	28.0		
D	N	173	BLUE PALM VERDE	14.0		
D	N	174	BLUE PALM VERDE	12.0		
D	N	175	BLUE PALM VERDE	12.0		
D	N	176	BLUE PALM VERDE	8.0		
D	N	177	BLUE PALM VERDE	10.0		
D	N	178	BLUE PALM VERDE	10.0		
D	N	179	BLUE PALM VERDE	10.0		
D	N	180	BLUE PALM VERDE	10.0		
D	N	181	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	182	BLUE PALM VERDE	14.0		
D	N	183	BLUE PALM VERDE	8.0		
D	N	184	BLUE PALM VERDE	8.0		
D	N	185	BLUE PALM VERDE	10.0		
D	N	186	BLUE PALM VERDE	10.0		
D	N	187	BLUE PALM VERDE	14.0		
D	N	188	BLUE PALM VERDE	4.0		UNHEALTHY
D	N	189	BLUE PALM VERDE	8.0		
D	N	190	BLUE PALM VERDE	8.0		
D	N	191	BLUE PALM VERDE	8.0		
D	N	192	BLUE PALM VERDE	10.0		
D	N	193	BLUE PALM VERDE	10.0		
D	N	194	BLUE PALM VERDE	11.0		EXPOSED ROOTS
D	N	195	BLUE PALM VERDE	30.0		UNHEALTHY/WIDE BASE
D	N	196	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	197	BLUE PALM VERDE	6.0		FLAMED ROOTS
D	N	198	BLUE PALM VERDE	6.0		
D	N	199	BLUE PALM VERDE	12.0		
D	N	200	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	201	BLUE PALM VERDE	14.0		
D	N	202	BLUE PALM VERDE	10.0		
D	N	203	BLUE PALM VERDE	12.0		UNHEALTHY
D	N	204	BLUE PALM VERDE	12.0		UNHEALTHY
D	N	205	BLUE PALM VERDE	12.0		
D	N	206	BLUE PALM VERDE	13.0		
D	N	207	BLUE PALM VERDE	8.0		
D	N	208	BLUE PALM VERDE	8.0		
D	N	209	BLUE PALM VERDE	8.0		
D	N	210	BLUE PALM VERDE	8.0		
D	N	211	BLUE PALM VERDE	7.0		
D	N	212	BLUE PALM VERDE	12.0		
D	N	213	BLUE PALM VERDE	12.0		
D	N	214	BLUE PALM VERDE	10.0		
D	N	215	BLUE PALM VERDE	10.0		
D	N	216	BLUE PALM VERDE	10.0		
D	N	217	BLUE PALM VERDE	10.0		
D	N	218	BLUE PALM VERDE	17.0		UNHEALTHY
D	N	219	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	220	BLUE PALM VERDE	12.0		UNHEALTHY
D	N	221	BLUE PALM VERDE	8.0		UNHEALTHY
D	N	222	NATIVE MESQUITE	10.0		
D	N	223	HACKBERRY	40.0		WIDE BASE
D	N	224	BLUE PALM VERDE	17.0		UNHEALTHY
D	N	225	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	226	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	227	BLUE PALM VERDE	17.0		UNHEALTHY
D	N	228	BLUE PALM VERDE	6.0		POOR FORM
D	N	229	NATIVE MESQUITE	6.0		WIDE BASE
D	N	230	BLUE PALM VERDE	10.0		UNHEALTHY
D	N	231	HACKBERRY	20.0		UNHEALTHY
D	N	232	HACKBERRY	18.0		
D	N	233	BLUE PALM VERDE	28.0		UNHEALTHY
D	N	234	BLUE PALM VERDE	12.0		
D	N	235	BLUE PALM VERDE	16.0		UNHEALTHY
D	N	236	NATIVE MESQUITE	10.0		FLAMED ROOTS
D	N	237	BLUE PALM VERDE	6.0		UNHEALTHY
D	N	238	BLUE PALM VERDE	10.0		
D	N	239	BLUE PALM VERDE	4.0		
D	N	240	BLUE PALM VERDE	10.0		
D	N	241	BLUE PALM VERDE	6.0		
D	N	242	NATIVE MESQUITE	6.0		
D	N	243	BLUE PALM VERDE	8.0		
D	N	244	HACKBERRY	6.0		
D	N	245	BLUE PALM VERDE	6.0		
D	N	246	BLUE PALM VERDE	8.0		
D	N	247	BLUE PALM VERDE	13.0		
D	N	248	BLUE PALM VERDE	8.0		
D	N	249	BLUE PALM VERDE	6.0		
D	N	250	BLUE PALM VERDE	10.0		
D	N	251	BLUE PALM VERDE	6.0		
D	N	252	BLUE PALM VERDE	6.0		
D	N	253	BLUE PALM VERDE	7.0		
D	N	254	BLUE PALM VERDE	6.0		
D	N	255	BLUE PALM VERDE	10.0		EXPOSED ROOTS



Scottsdale

PROJECT NARRATIVE

1

STOP SHOP

- ☐ Rezoning
 ☐ Other
- ☐ Use Permit
- ☒ Development Review
- ☐ Master Sign Programs
- ☐ Variance

Case # 82-DT-98 / 1 -PA-

Project Name The Promenade

Location SEC Scottsdale Rd & FLW Blvd.

Applicant Ellermann & Schick Architects

SITE DETAILS

Proposed/Existing Zoning: PRC

Use: Regional Shopping Center

Parcel Size: 79.76 gross acres

☒ Gross Floor Area ☐ Total Units: 675,705

☒ Floor Area Ratio ☐ Density: 0.215

Coverage: 20.4% * from curb

Parking Required: 3,625

Parking Provided: 3,763

Of Buildings: 23

Height: 36' - 56'

Setbacks: N- 50' * S-30'

E- 30' W-50'

In the following space, please describe the project or the request

See attached narrative

82-DR-98

ATTACHMENT #17

**Development Review
Project Narrative
The Promenade**

SEC Scottsdale Road & Frank Lloyd Wright Boulevard

The Scottsdale Airpark and related major retail uses along Frank Lloyd Wright Boulevard have evolved into a major regional employment and commercial core within the city of Scottsdale. The Scottsdale City Council has recently approved a General Plan Amendment and a rezoning to rezone a portion of the southeast corner of Scottsdale Road and Frank Lloyd Wright Blvd. C-4, with the balance of the site being rezoned PRC. This application relates only to the Planned Regional Center proposed for the PRC zoned site.

The Pederson Group recognizes the fact that Frank Lloyd Wright Boulevard is a “gateway” to North Scottsdale. The northwest corner of the parcel is being designed with this in mind. The corner will feature open space and consultants have been retained to make a significant architectural/art statement at the corner. The design will create a unique identity for this development, which will emphasize a view corridor and a pedestrian promenade which will run more than 1,500 feet from the corner of Scottsdale Road and Frank Lloyd Wright Boulevard to an open space courtyard in front of the theater. From the architectural/art feature at the corner, the promenade will travel through a Specialty Center which will have its own space and identity, and will be composed of upscale fashion oriented shops. Pedestrian linkages are designed to encourage families to walk among the shops in the Specialty Center, and down the promenade to an open air courtyard which will be longer than a football field. This courtyard will contain clusters of dining establishments with open air patios, and will be anchored at it terminus by

Scottsdale's first state of the art multiplex theater with stadium seating. The long promenade with walkways on either side and the large courtyard will create a pedestrian urban street scene and a form of "piazza". The goal is to design an entertainment/dining/commercial development which will be a regional destination where our guest will stay for a while and have a four to eight hour "mini-vacation" where they can:

- Shop at an emporium of upscale shops,
- Browse books and listen to music at major book and music stores,
- View a film at a state of the art multiplex theater with stadium seating; and
- Eat at signature dining establishments which will compliment the theater.

The design of this development will be unique to Scottsdale, as there is no development in the entire state which combines these entertainment/dining/retail uses in this manner. Additionally, the retail "wings" to each side of the promenade will feature multiple anchors in the 30,000 to 45,000 square foot range which will cater to the upscale lifestyle of North Scottsdale residents.

The highest architectural standards have been established for The Promenade and the Applicant has agreed that the project will be developed in accordance with a Cultural Master Plan that allows for a minimum of 1% of the assessed building valuation of the project to be used for arts related improvements to the site plan through the use of hardscape, landscape, art and other means of providing art related improvements. The Promenade will certainly "raise the bar" with respect to the quality of projects of this magnitude.

**BOLD & STRIKE THROUGH TEXT INDICATES REVISIONS AS APPROVED BY DRB 7/9/98
STIPULATIONS**

**BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST
BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING
STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.**

SITE AND BUILDING DESIGN:

1. *The proposed future theater and future individual pad buildings shall match the architecture, including details, materials, color, etc., and shall require additional Development Review Board approval under one or more subsequent case(s).*
2. *Prior to final plans submittal, the developer shall provide additional detailing on the rear building elevations to more closely match that provided front elevations, specifically on the rear of the Specialty Center buildings, as well as those buildings which back to Scottsdale Road and Frank Lloyd Wright Blvd. The revised elevations shall be subject to the approval of Project Coordination staff.*
3. *The loading areas of the Specialty Center buildings shall be screened with a false building wall, detailed to match the architecture of the building elevations. Prior to final plans submittal, the Developer shall submit details of these elevations to Project Coordination Staff. These elevations shall be subject to the approval of Project Coordination staff.*
4. *Elevations of the loading door areas of buildings "A" and "D" shall match those depicted on the submitted 8 1/2 x 11 elevations, dated 6/22/98.*
5. *Pedestrian intersections with loading area drive ways shall generally match the submitted detail titled "typical intersection detail, dated 6/22/98.*
6. *A tower element, similar to those shown on other building elevations, shall be provided on the corner of building "B".*
7. *The right of way sidewalk paving, the paving of driveway crosswalks adjacent to Frank Lloyd Wright Blvd. , and the right of way sidewalk paving detail at the corner of Scottsdale Road and Frank Lloyd Wright Blvd. , shall be in conformance with the paving requirements of the Frank Lloyd Wright Blvd. Design Guidelines*
8. *The developer shall provide specialty paving for all interior and perimeter crosswalks .* *me up*
9. *Refuse enclosure shall be screened by material compatible with the building materials. Colors and texture to match the building, both sides.*

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10. Modify refuse enclosures as required by the Sanitation Division.
11. Provide opaque window panels in lower portion of the store front window walls, **EXCEPT FOR THE INTERIOR OF THE SPECIALTY CENTER.**
- ~~12.~~ *No exterior vending or display shall be allowed, except within the enclosed Specialty Center courtyard and the Pedestrian Plaza.*
13. Provide minimum six (6) foot high wall to screen the overhead doors at the loading area.
14. No signs shall be allowed within a building which can be seen from adjacent properties through overhead doors.
15. The sides of the ramps to the lower levels of the parking garage shall be finished either with painted concrete, integral colored concrete and/or textured concrete; all options shall match the building.
16. Flagpoles, if provided, shall be one piece conical tapered.
17. Paint service entrances to match the building exterior.
18. Provide warranty as to color fastness of concrete roof tile.
19. Provide certification of flame spread/retardance for awnings.
20. Drives and parking areas to be treated for dust control.
- ~~21.~~ *No exterior public address or speaker system shall be allowed, except within the enclosed Specialty Center courtyard and ALL Pedestrian Plaza'S.*
22. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos, **WHICH ARE EXPOSED TO PUBLIC STREETS.**
23. **THE SITE PLAN SHALL REFLECT AN ADDITIONAL CROSS-WISE PEDESTRIAN ACCESS WALKWAY FROM THE TWO (2) PARKING AREAS BEHIND THE SPECIALTY SHOPS TO BUILDINGS 5 AND 6 ALONG THE PROMENADE AND CONNECT TO BUILDING (PAD) 3 AND BUILDING (PAD) 8.**
24. **THE APPLICANT SHALL SUBMIT REVISED ENLARGED SCALE COLORED ELEVATIONS FOR THE DEVELOPMENT REVIEW BOARD REVIEW. THE APPLICANT SHALL ALSO SUBMIT SCREEN WALL DESIGNS AND COLORS AND THE REAR AREAS OF THE SPECIALTY SHOPS TO RETURN TO A DEVELOPMENT REVIEW BOARD STUDY SESSION FOR REVIEW AND APPROVAL.**

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BUILDING ELEVATIONS:

1. All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure.
2. All ground mounted mechanical equipment shall be completely screened by screen walls with color and texture to match the building.
3. Roof mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or free standing screen walls subject to Project Review approval.
4. Ground mounted communication equipment, including satellite dishes, shall be completely screened by freestanding screen walls subject to Project Review approval.

ROOF ACCESS

1. No exterior visible ladders allowed.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).
2. If provided indicate location and design of scuppers, and integrate with the architectural design.

ON-SITE LIGHTING:

1. Provide plans indicating location and details of all exterior on-site lighting and lighting fixtures (re: diffusing, standards, glare, height, etc.) at the time of final landscape plans submittal.
2. All pole mounted lighting shall be a maximum of 25 feet in height. ~~The height of the parking lot light fixtures may be increased, subject to the approval of Project Coordination staff, if doing so would decrease the number of light fixtures and poles to the satisfaction of Project Coordination staff.~~ **ALL POLE MOUNTED LIGHTING BETWEEN SCOTTSDALE ROAD AND FRANK LLOYD WRIGHT BOULEVARD AND THE FIRST INTERNAL SITE DRIVEWAY SHALL HAVE A MAXIMUM HEIGHT OF TWENTY (20) FEET.**
3. **Parking lot and loading area light fixtures shall be full cut-off (flat lens), with no part of the lens below the opaque sides of the fixture. ADDITIONALLY, ALL POLE MOUNTED LIGHTING FIXTURES OVER THE HEIGHT OF TWENTY (20) FEET, THE LENSE SHALL BE RECESSED A MINIMUM OF A TWO (2) INCH RECESS INTO THE LIGHT FIXTURE, TO THE SATISFACTION OF PROJECT COORDINATION STAFF. PRIOR TO FINAL PLANS, THE APPLICANT SHALL SUBMIT A CUT SHEET OF THE POLE MOUNTED LIGHT FIXTURE TO PROJECT COORDINATION STAFF AND SUBJECT TO PROJECT COORDINATION STAFF APPROVAL.**

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4. Exterior lighting fixtures shall be subject to staff approval. With the final plans submittal, the developer shall provide an additional sheet(s) showing cut sheets indicating wattage, method of shielding and fixture design, to the satisfaction of City staff.

SIGNS:

1. Provide note on final documents: Signs require separate approvals and permits.
2. A Master Sign Program shall be approved by the Development Review Board prior to the issuance of a sign permit for multi-tenant buildings.

BICYCLE:

1. The developer shall include bike rack cut sheets / details with the final plans submittal. The bike rack design shall be subject to Final Plans staff approval.
2. *The bike rack proposed in the "Public Art and Pedestrian Circulation Master Plan" document shall be subject to approval by the City Bicycle Coordinator. An alternate bike rack design may be required.*

WALL DESIGN:

1. All screen and perimeter walls shall be 6 or 8 inch masonry block and shall match building texture and color, both sides.
2. *The decorative fencing proposed for the retention basin shall generally match the fencing depicted on the drawing titled "section through retention", and dated 6/22/98. Prior to final plans submittal, the developer shall provide fencing details, including color, height, materials, etc. to Project Coordination staff. Final fencing design shall be subject to the approval of Project Coordination staff.*
3. *The wall separating the loading areas of the majors/shops and the site's southern parking lots shall be detailed similar to the building elevations, and shall consist of the same materials and colors. Prior to Final Plans approval, the developer shall submit elevations and details of this wall, which shall be subject to the approval of Project Coordination staff.*
4. No chain link fencing shall be allowed.
5. Submit elevations and details of perimeter walls for staff review and approval.
6. Dooley wall fencing shall not be allowed for the perimeter wall.
7. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall return to Project Review for approval prior to any submittals of final plans.

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INITIALS

LANDSCAPING: Project Coordinator approved copies of LS are in Burns' office.

1. ~~Major tree theme shall incorporate the existing theme of the neighboring properties.~~
2. The landscape plan for the frontages adjacent to Frank Lloyd Wright Blvd. shall be in conformance with the planting and plant palette requirements (including saguaro quantities and placement) **AND HARDSCAPE** of the Frank Lloyd Wright Blvd. Design Guidelines
3. • Trees shall be provided as noted on the landscape plan proposed at Development Review Board (15 gallon minimum, 1,278 trees minimum) of which 50% shall be mature as defined in Article III of the Zoning Ordinance or larger. A minimum of 100 trees of the 1,278 required shall be placed in the retention basin at the southeast corner of the site, as shown on the landscape plan. NOTE: The 1,278 trees required does not include those trees proposed for "ZONE C" covered by the Public Art Plan.
4. Planting and trees in the area identified on the landscape plan as "ZONE C" shall generally match that shown on the submitted Public Art and Pedestrian Circulation Master Plan.
5. The following plants shall be limited to interior areas of the Promenade (ZONE C) and interior areas of the hotel/office sites.
Ficus species, Jacaranda species, Asparagus meyeri, Hibiscus Rosa, Hibiscus species, Jasminum nitidum, Podocarpus macrophyllus, Cuphea llavea, Dietes species, Equestum hyemale, Passiflora alatocaerulea, Strelitzia reginae, Ficus nitida, Prunus caroliniana, and Liriope muscari.
 The developer shall provide a "lush landscape" maintenance program, including irrigation schedule and frost protection measures, to the satisfaction of Project Coordination staff, prior to final plans submittal.
6. Olive trees shall be the "Swan Hill" variety.
7. Provide low water consumptive plant materials.
8. Incorporate existing vegetation into the landscape design.
9. The developer shall place a minimum of 80% of the site's salvaged trees within the landscape frontages abutting the Scottsdale Road and Frank Lloyd Wright Blvd. rights-of-way.
10. Landscape design and materials shall be arid to lush desert materials.
11. Areas in decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
12. Upon removal of the salvageable native plants the salvage contractor shall submit a list identifying the tag numbers of the plants surviving salvage operations to the City's Landscape Inspector prior to issuance of the Certificate of Occupancy.

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13. Sight distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
14. Turf areas are to be a minimum of 10 feet in width.
15. No turf areas are to be provided within the frontage areas of the site, nor the retention area located in the southeast corner of the site (formerly identified as the retention park).
16. Retention/detention basin depth shall be measured to top of existing grade. Maximum 3 feet water depth allowed. Greater depths shall require Project Review staff approval.
17. Maximum 10:1 width to depth ratio with a 4:1 maximum slope for retention/detention basins. Depth ratios and slopes greater than this shall require Project Review staff approval prior to final plan approval.
18. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
19. Only 50% of front open space can be used for retention/detention basin, **FOR ALL STREET FRONTAGES.**
20. Planters over structure shall be of sufficient depth to assure their capability of supporting and maintaining the plant material in a healthy condition. Details shall receive staff approval.
21. Provide 8% slope away from walk or curb for 5' 0" along all streets.
22. Setback all spray and stream type irrigation heads 1'-0" from back of curb or sidewalk to reduce overspray, or provide design alternatives to achieve similar results to be approved by Project Review staff.
23. All roadway medians (or alterations to medians) required of this project shall be shown on the final landscape plan submittal and shall be landscaped and maintained by project's owner for a period of three years from final acceptance by the Transportation Maintenance Division.
24. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.

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TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

1. The southern site driveway shall be located approximately 600 feet north of Paradise Lane. The developer shall modify the existing median to provide full access at this location. Evidence of an agreement with the property owner on the west side of Scottsdale Road to relocate the existing median opening shall be provided with the final plan submittal. This driveway shall be designed in general conformance with city of Scottsdale Type CH-2, Standard Detail #2257.
2. The northern site driveway shall be located a minimum distance of 330 feet from the southern site driveway and Frank Lloyd Wright Boulevard. This driveway shall be restricted to right-in, right-out access only. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.
3. The main site driveway on Frank Lloyd Wright Boulevard shall be located approximately 1320 feet from Scottsdale Road and 76th Street. The developer shall modify the existing median to provide full access at this location. The site driveway shall be designed in general conformance with city of Scottsdale Type CH-2, Standard Detail #2257.
4. Site driveways on Paradise Lane shall align with existing driveways to the south or be offset a minimum distance of 125 feet. The site driveways shall be located a separated by a minimum distance of 330 feet. The driveways shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.
5. Right-turn deceleration lanes shall be constructed at all site driveways on Scottsdale Road and Frank Lloyd Wright Boulevard.
6. A separate northbound right-turn lane shall be provided on Scottsdale Road at the intersection with Frank Lloyd Wright Boulevard (based on future major arterial cross section).
7. An in-lieu payment shall be made by the developer to provide design and construction costs for the following street improvements:
8. an additional westbound left-turn lane at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard.
9. an additional northbound left-turn lane at the intersection of Scottsdale Road and Frank Lloyd Wright Boulevard.

INTERNAL CIRCULATION:

The minimum internal aisle width shall be 24 feet. The main aisles that align with the site entrances shall be a minimum width of 30 feet.

The internal circulation shall be designed to accommodate emergency and service vehicles with a minimum outside turning radius of 45 feet and inside radius of 25 feet.

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OTHER:

1. *An eight foot wide sidewalk shall be constructed on Frank Lloyd Wright Boulevard and Scottsdale Road along the site frontage. The sidewalk on Frank Lloyd Wright Boulevard shall be designed city's Frank Lloyd Wright Boulevard Design Guidelines.*
2. *The developer shall provide a transit node for use by city buses and private trolley service on the site. A seating area and drop-off shall be provided at this location.*
3. *A pedestrian circulation plan shall be submitted for approval prior to any final plan submittal.*
4. *Sidewalk shall be provided along at least one side of every site driveway, connecting the site building to the adjacent street sidewalk*

TRAFFIC SIGNALS:

1. The applicant shall be 100 percent responsible for the design and construction costs associated with the traffic signal improvements at the intersection of Frank Lloyd Wright Boulevard and the main site driveway. The timing of construction and operation of the signal shall be subject to the conditions outlined Circulation stipulation #9 of Zoning Case #51-ZN-97 as determined by the Transportation Department.

STRIPING AND SIGNAGE PLAN:

1. A detailed striping and signage plan is required to be submitted with final plans; it shall include the following:
 - a) All existing improvements and striping within 300 feet of limits of construction.
 - b) All signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
2. All on-site parking lot striping shall be shown with the paving plans.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
2. Sight distance easements shall be dedicated oversight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures, published January 1994.

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REFUSE COLLECTION:

1. Refuse enclosures shall be constructed to City of Scottsdale's standards (details available upon request).
2. An area 14' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:

- Commercial Building Space: One for 0 to 20,000 s.f.
 Two for 20,001 to 40,000 s.f.
 Three for 40,001 to 60,000 s.f., etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 s.f., as shown above.

- Restaurants: One per restaurant
4. Enclosures must:
 - Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - Be positioned to facilitate collection without "backtracking."
 - Be easily accessible by a simple route.
 - Not require backing more than 35 feet.
 - Not be located on dead-end parking aisles.
 5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.
 6. Underground vault-type containers are not allowed.

DRAINAGE AND FLOOD CONTROL STIPULATIONSDRAINAGE REPORT AND PLAN

1. The developer shall submit a final drainage report and plan with improvement plans to Project Review. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - DRAINAGE REPORT PREPARATION and the approved master drainage report. In addition, the final drainage report and plan shall provide final calculations and detailed analysis that demonstrate consistency with the accepted conceptual drainage plan and report.
2. Comply with conditions of Case Number 51-ZN-97.

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STORM WATER STORAGE BASINS:

1. Prior to final plan approval, a final drainage report shall be submitted which calculates the storm water storage volume required, V_r , and volume provided, V_p , using the 100-year, 2-hour storm event.
 - a) Storage basin volume(s) shall be certified by the design engineer. The volume provided shall meet or exceed the required volume per City Ordinance and the approved drainage plan. The volume of storage provided must be certified as equal to or greater than design volumes required before the City will issue Letters of Acceptance for maintenance of any public utilities.
 - b) Storage basin volume required, V_r , and volume provided, V_p , shall be shown, for each storage basin and storage area, on the improvement plans.
 - c) Storage basin capacity SHALL NOT BE REDUCED by proposed landscaping improvements.
 - d) Storage basin design shall incorporate significant landscaping requirements such mounds and berms which affect storage volume..
2. Up to 50% percent of required storm water storage may be provided in parking areas when the following conditions are met:
 - a) Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - b) Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic.
 - c) *In general, depth of water shall not exceed six inches within the parking area. Depths of 8-inches may be allowed in remote areas and are subject to approval by City staff.*
3. *Storm water storage basins having less than 20,000 square feet of surface area shall not exceed 3 feet as measured from the maximum water surface elevation to the bottom of the storage basin; and basin side slopes shall not exceed 4:1.*
4. *Storm water storage basins having greater than 20,000 square feet of surface area may exceed 3-feet in depth providing basin side slopes do not exceed 6:1 where depths are greater than 3 feet.*
5. Storm water storage basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36-hours.
 - a) Provide bleed-off calculations in the final drainage report to demonstrate how stormwater storage basins will drain.

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- b) Show the point of outfall for each storage basin, demonstrate that historical flow through the site has been maintained and that storm water runoff exiting this site has a safe place to flow.
6. Drainage Plan shall:
- a) Use City benchmark datum: North American Datum of 1988 (NAD 1988). Datum not in compliance with NAD 1988 shall be approved by Project Review prior to submittal of improvement plans to Project Review.
 - b) Show all easements and tracts.
 - c) *Show all drainage facilities including, but not limited to, point(s) of roof outfall, drainage swales and ditches, culverts, storm drain pipe, catch basin inlets, weirs, rip rap, storm water storage basins and surface storage (with storage volume required, V_r , and storage volume provided, V_p , noted on the improvement plans).*
 - d) Show $Q(100)$ at culvert inlets, and at stormwater entrance/exit point of the parcel boundaries.
 - e) Show extents of areas inundated due to a 100-year storm event.
 - f) Provide 8% slope away from walk or curb for 5' 0" along all streets.
7. Underground stormwater storage is not permitted.

OFF-SITE RUNOFF:

1. All developments shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
2. The final drainage report shall address any offsite flows which will affect the site, grading, drainage and finished floor elevation.

FLOODPLAIN:

1. The final drainage report shall include an exhibit that indicates where the site lies within the FEMA designated areas and shall define all pertinent FEMA designations.

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DRAINAGE STRUCTURES:

1. The final improvement plan submittal shall clearly show all retaining wall details. A structural design report shall be provided which includes calculations for active forces based on an associated geotechnical analysis of the soils.
2. The final drainage report shall include calculations for rip-rap lined *ditches* and rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.

DRAINAGE EASEMENTS:

1. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements and storm water storage easements necessary to serve the site.

GRADING & DRAINAGE PLAN REQUIREMENTS:

1. EPA requires that all construction activities that disturb five or more acres obtain coverage under the NPDES General Permit for Construction Activities. Completion of a Notice of Intent (NOI) and preparation of a Storm Water Pollution Prevention Plan (SWPPP) are required by EPA. A copy of the NOI must accompany final plan submittal to the city before final plans are approved. Contact the EPA's Storm Water Hotline at (703) 821-4823. NOI forms are available in the One Stop Shop, 7447 East Indian School Road, Suite 100.
2. The U.S. Army Corp of Engineers may require a Section 404 Permit for discharges of dredged or fill materials to washes under their jurisdiction. Contact the Corps' Phoenix Regulatory Office for a jurisdictional determination and further information. Written communication with the State Historic Preservation Officer (SHPO) may be required as part of the 404 Permit process as well as state water quality certification from Arizona Department of Environmental Quality. The city requires that prior to issuance of any permits, applicants shall submit evidence that applicable state and federal permits have been obtained.
3. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.

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WATER AND WASTEWATER STIPULATIONSWATER and WASTEWATER:

1. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements and Sections 4 and 5 of the Design Standards and Policies Manual, and the approved master water and waste water reports for this site.
2. The water system shall be designed to provide two (2) sources of water to the developed site.
3. In cases where there are property walls and water and/or sewer line easement conflicts, the following shall apply:
 - a. All walls parallel to the easement shall be set such that the face of the wall is at a minimum 4 feet from the outside diameter of the water or sewer line.
 - b. All walls set across or perpendicular to utility lines shall be designed with gates or removable wall panel to allow service or emergency access.
4. On-site sewer shall be privately owned and maintained. Sewer lines shall not run within dedicated utility easements.
5. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
6. A completed Water and Sewer Needs Report shall be submitted for review with the final improvements plans. Approval will not be given for improvement plans until the Water and Sewer Needs Report is approved by Project Review.

WELL SITE RELOCATION

1. Comply with the conditions of Case Number 51-ZN-97.
2. When the developer has completed and complied with all design specifications and punch list items and has demonstrated that the new well is producing water for the city system, to the satisfaction of city staff, the city will accept the new well.
3. Prior to the submittal of preliminary plans, the developer shall employ a consultant, whose services, experience and quality of work are acceptable to city staff. This consultant shall review improvement plans, specifications, and provide well drilling inspections and construction services.
4. Disruption of water production from either well site can occur only within the months of January and February.
5. Before production from the existing well is ceased, the developer, as a minimum, shall demonstrate to the satisfaction of city staff that:
 - a. The new well capacity meets or exceeds the existing well capacity.
 - b. Water quality for the new well meets or exceeds the water quality of the existing well.

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6. *After acceptance of the new well by the city, the developer shall abandon the existing well in conformance with Arizona Department of Water Resources specifications.*

EASEMENTS AND DEDICATIONS:

1. *Prior to the issuance of permits, all water line easements, and sewer line easements if applicable, shall be dedicated to the city. Water easements and sewer easements for city water and sewer shall be twelve (12') foot wide, minimum width.*
2. *Easements for city water and sewer lines adjacent to private property lines, shall be located in 20-foot (minimum width) easements.*
3. *Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, a well site.*
 - a. *Dimensions of the well site, location and necessary access easements, for well site operation and maintenance, are subject to approval by city staff.*
4. *Indemnity agreements shall be required when substantial improvements or landscaping are proposed within a utility easement. The agreement shall acknowledge the right of the city to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.*

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THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- * Review of development proposal by the Development Review Board is the first step toward obtaining a building permit.
- * Development Review Board approval expires ONE YEAR from the date of approval if a building permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- * Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- * There maybe some Ordinance requirements which apply to your project that are not included here.
- * City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- * Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED, REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. Stormwater storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm (2.82 inches).
2. Off-site runoff shall enter and exit the site as it did historically.
3. Stormwater storage basins should be designed to meter flow to historic outfall point. Where no outfall exists (or metering is not possible), other methods of discharge may be considered.
4. Storage basins must drain completely within 36-hours.
5. Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
6. Approval from ARMY CORPS OF ENGINEERS for a SECTION 404 PERMIT is required where proposed construction is adjacent to or with jurisdictional washes. Please contact the Phoenix Regulatory Office to arrange for a jurisdictional determination.
7. Dedications/Easements:
 - a) All drainage channels with a capacity of 25 cfs or greater shall be dedicated to the public, with maintenance the responsibility of the owner.

REFUSE REQUIREMENTS:

1. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
2. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 391-5600.

STREET LIGHTS:

1. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. No building permits may be issued until all street light arrangements (including fee requirements) have been made.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2 inches of asphalt over 4 inches of aggregate base.

TRAFFIC ORDINANCE REQUIREMENTS:

1. Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKEPATH/ SIDEWALKS
Paradise Lane	Local Commercial	30' half* (50' existing)	20' CL-BC*	Vertical	5' Sidewalk
Scottsdale Road	Major Arterial	existing	existing		8' Sidewalk
Frank Lloyd Wright Boulevard	Major Arterial	65' half	existing		8' Sidewalk

* The right-of-way and improvements for Paradise Lane shall accommodate dual-left turn lanes at the intersection with Scottsdale Road.

ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTSWATER DEVELOPMENT ORDINANCE

1. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
2. The developer shall pay a Water Development Fee and Water Resources Development Fee for City water supply in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City water system. All questions may be referred to Jim Turnbull at 391-5688 or Mike Mahoney at 391-5686, Water Resources Analyst.
3. Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

SEWER DEVELOPMENT ORDINANCE

1. The developer shall pay a Sewer Development Fee for City sewer service in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Jim Turnbull at 391-5688 or Mike Mahoney at 391-5686, Water Resources Analyst.
2. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All questions may be referred to Jim Nelson, Water Quality Manager at 391-5687.
3. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
4. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

FINAL PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) Architectural Plans: 11" x 17" minimum, up to 30" x 42" maximum
 - b) Landscaping/Irrigation Plans: 4" x 36"
 - c) Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape areas. Provide note on the landscape plans.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide a schedule indicating the timing on installation of all improvements required by planning.
5. Provide a site plan with the following information:
 - a) Zoning of property, and adjacent properties.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
 - d) Setback of structures - front, side, rear.
 - e) Parking lot dimensions - stall width and length, driveway width, parking angle.
 - f) Location and details of refuse enclosure & bicycle racks.
 - g) Parking calculations required/provided.
 - h) Location of handicap parking spaces & van accessible spaces.
 - i) All development on adjacent property within 50 feet of this project.
6. Provide building elevations with the following information:
 - a) Height of building (see Section 3.100 of the Zoning Ordinance for definition of building height) above finished floor/natural grade.
 - b) Label colors of all exterior materials (matching those approved at Development Review Board).
7. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope
 - c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
 - d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.

8. Provide adjacent curb elevations on Scottsdale Road, Paradise Lane, and Frank Lloyd Wright Blvd.
 9. Obtain a native plant permit for disturbance of any protected plants on the site by submitting the following: ☆
 - a) Completed Native Plant Narrative & Application form
 - b) Three copies of the site plan indicating the location by tag number of each plant protected per the native plant ordinance.
 - c) Three copies of the numbered plant inventory corresponding to the tag numbers on the site plan, indicating the following:
 - i) plant type
 - ii) plant size in caliper inches
 - iii) plant condition
 - iv) whether the plant will remain in place, be relocated, or be destroyed
 - d) Location of plant nursery
 - e) Copy of vicinity map indicating the location of the project
 - f) Copy of Natural Area Open Space exhibit if applicable for the site
 - g) A copy of the 'Arizona Department of Agriculture Notice of Intent to Clear Land' form, issued through the State's Native Plant section at (602) 542-3292.
 - h) Letter of authorization from the property owner or authorized agent identifying the approved salvage contractor and verifying that all salvaged plants are to be incorporated in landscaping and used back on site.
 - i) Upon tagging the plants in accordance with Sec. 46-116 of the Scottsdale Revised Code, contact the City's Native Plant Officer at 994-7080 for inspection and permit approval.
- ☆ **The submittal for native plant permit approval is in addition to the native plant submittal required for DR approval**

FINAL PLANS ORDINANCE REQUIREMENTSSCREENING:

1. The height of the parapet or other screening device shall be (equal to or higher/minimum 1 foot higher) than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
3. Parking lot to be screened from Scottsdale Road, Frank Lloyd Wright Blvd., and Paradise Lane by a 3 foot wall, berming, and landscaping.

BUILDING SETBACK/LANDSCAPE BUFFERS:

1. *The developer shall provide a landscape buffer along Scottsdale Road and Frank Lloyd Wright Blvd. with a minimum width of 50 feet, subject to the requirements of case 51-ZN-97. The 50' required along Frank Lloyd Wright Blvd. may include the right of way landscaping. The buffer requirements shall apply to all buildings, parking areas, walls, and covered patios/covered dining areas.*
2. *The developer shall provide a landscape buffer along Paradise Lane with a minimum width of 30 feet, subject to the requirements of case 51-ZN-97. The developer shall revise the parking area at the western end of Paradise Lane in conformance with this requirement. The buffer requirements shall apply to all buildings, parking areas, walls, and covered patios/covered dining areas.*

LANDSCAPING:

1. A minimum of 1/3 of the required landscaped area for the parking lot for more than 20 cars shall be in planting areas distributed throughout the lot rather than on the perimeter. Planting areas shall have a minimum width of 7 feet and a minimum area of 120-square feet per Section 9.106 of the Zoning Ordinance.
2. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).
3. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in Section 7.500 of the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 7 of this section for specific submittal requirements). Contact the City's Native Plant Officer at 994-7080 to initiate the process.
4. Turf shall be limited to the maximum area specified in Sections 49-77, thru 49-79 of the City Code and shall be shown on landscape plans submitted at the time of final plans.

5. Proposed fountain shall comply with the requirements of Sec. 49-80 of the City Code.
6. Provide 6 inch vertical concrete curb between any driveways or parking areas and landscape areas.

GRADING:

1. Prior to final plans submittal a grading report shall be submitted indicating methods and sequencing of grading, proposed locations for stockpiling or disposing of unused materials, and plans for minimizing wind and water erosion on graded areas during development and construction.

OTHER:

1. Comply with conditions of case No.: 51-ZN-97#2
2. Provide 4% of required parking as handicap parking spaces (145 minimum). A minimum of 19 of the 145 spaces are required to be van accessible per Section 9.105 of the Zoning Ordinance.
3. The developer shall provide bicycle parking spaces (100 minimum) per Section 9.103 of the Zoning Ordinance.

RAMENADE
S. FRANK LLOYD WRIGHT
& SCOTTSDALE RD.
SCOTTSDALE, AZ.

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> 1 PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS</p> <p><input checked="" type="checkbox"/> 2 FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & UFC AT THE FOLLOWING LOCATIONS:
 <u>SHADE CANOPIES MUST HAVE A MIN. 13'-6" VERTICAL CLEARANCE.</u></p> <p><input checked="" type="checkbox"/> 3 IT IS THE DEVELOPER'S RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & TO INCORPORATE SAME INTO THEIR BLDG PLANS (PER C.O. S. 91-3)</p> <p><input checked="" type="checkbox"/> 4 SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS</p> <p><input checked="" type="checkbox"/> 5 PROVIDE KNOX BOX ACCESS:
 <input checked="" type="checkbox"/> A. KNOX BOX <input type="checkbox"/> B. PADLOCK
 <input type="checkbox"/> C. ELECTRONIC</p> <p><input checked="" type="checkbox"/> 6 SUBMIT PLANS FOR AN OCCUPANT NOTIFICATION SYSTEM PER SCOTTSDALE REVISED CODES</p> <p><input type="checkbox"/> 7 SUBMIT PLANS FOR A CL-A- FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES. SEE SHEET</p> <p><input type="checkbox"/> 8 ADD 2 1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ FT PER FLOOR LEVEL AND/OR IF FIRE DEPT ACCESS IS LIMITED TO LESS THAN 360°</p> <p><input type="checkbox"/> 9 ALL BLDGS 4 OR MORE STORIES IN HEIGHT, OF TYPE I & II CONSTRUCTION SHALL HAVE A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM</p> | <p><input checked="" type="checkbox"/> 9 BACKFLOW PREVENTION WILL BE REQUIRED ON CLASS I & II FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODES</p> <p><input checked="" type="checkbox"/> 10 PROVIDE ALL WEATHER ACCESS ROAD (MIN 20') TO ALL BLDGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION</p> <p><input checked="" type="checkbox"/> 11 NUMBER OF REQUIRED FIRE HYDRANTS -12- DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. DEVELOPER TO PROVIDE WAIVER OF FIRE DEPT. RESPONSIBILITY OR COPY OF CURRENT CITY APPROVED CIVIL WATER PLANS TO FIRE SPRINKLER CONTRACTOR FOR LOCATING NEW AND/OR EXISTING HYDRANT WATER MAIN SUPPLY DATA. SPACED MAX O/C 700' AT 1500 GPM</p> <p><input checked="" type="checkbox"/> 12 PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET</p> <p><input checked="" type="checkbox"/> 13 EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE CITY ORDINANCE & UFC. SEE SHEET</p> <p><input type="checkbox"/> 14 SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MAT'L INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC., NFPA 704 EMER PLACARDING & STORAGE SEPARATION. A COMPLETED APPLICATION FOR HAZARDOUS MATERIALS PERMIT SHALL BE PROVIDED WITH BLDG PLANS (HMIS/HMMP)</p> <p><input checked="" type="checkbox"/> 15 FIRELINE, SPRINKLER & STANDPIPE SYSTEM TO BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES</p> <p><input checked="" type="checkbox"/> 16 FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE OR AT AN APPROVED LOCATION MIN. SIZE: 2 1/2" X 2 1/2" X <u>4" N.P.T.</u>
 <input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB INDEPENDENT WET LINE
 <input checked="" type="checkbox"/> WALL MOUNTED-15' CLEAR OF OPENINGS</p> |
|---|---|

17. **SPRENKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (1) ONE COMPLETE SET OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY MINIMUM NICET III DESIGN TECHNICIAN**
- ☐ A. **MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS**
- ☐ B. **MODIFIED NFPA 13-R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS FOR UP TO SIX UNITS PER BUILDING FED FROM DOMESTIC SERVICE**
- ☐ C. **MODIFIED NFPA 13R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS PLUS ATTIC AREAS (CALCULATE UP TO FOUR REMOTE HEADS & 500 SQ FT MIN. IN ATTIC) FED FROM SEPARATE FIRELINE PER COS ORDINANCE & FIRE DEPT WRITTEN STANDARDS**
- ☐ D. **MODIFIED LIGHT HAZARD COMMERCIAL SYSTEM WITH QUICK RESPONSE SPRINKLER HEADS.**
- ☒ E. **NFPA COMMERCIAL SYSTEM / DESIGN CRITERIA: LT. HAZ. 0.10/1500 OFFICE
ORD. HAZ. GR. 11 - 0.20/1500 MERCANTILE _**
-
-
- ☐ F. **STORAGE 12' 0" & HIGHER REQUIRE DESIGN PER NFPA 231 OR 231C & ARTICLE 81 OF THE 1994 U.B.C.**
- ☐ G. **SPEC WAREHOUSE/OFFICE BUILDING SPRINKLER DESIGN CRITERIA:**
.45 OVER 3000 SQ FT -
-
-
- ☐ H.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 994-7070, 994-7684, 994-7127

FINAL PLANS REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL.

PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- | | |
|---------------------------------|---|
| * BUILDING PLANS: | 11" X 17 MINIMUM, UP TO 30" X 42" MAXIMUM |
| * LANDSCAPING/IRRIGATION PLANS: | 24" X 36" (MYLAR ORIGINALS) |
| * CIVIL PLANS: | 24" X 36" (MYLAR ORIGINALS) |

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- * BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- * SITE ADDRESS.
- * PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2 INCH LETTERS.
- * NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

FINAL PLAN SUBMITTAL REQUIREMENTS
THIS FORM MUST ACCOMPANY ALL FINAL PLAN SUBMITTALS

The following items are the **BASIC MINIMUM** requirements **NECESSARY** to submit final plans for review.

BUILDING PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

DETAILED INFORMATION REGARDING MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLINGS CAN BE OBTAINED FROM THE ONE-STOP SHOP.

- ☐ Building plans may be reviewed at the One-Stop Shop counter
- ☒ Building plans shall be submitted to Project Review for final plans review
- ☒ Four sets of each of the following:
 - * Site Plan & two additional copies of site plan
 - * Project Data
 - * Elevations
 - * Floor Plans
 - * Foundation Plans
 - * Building Sections
 - * Wall Sections
 - * Architectural Details
 - * Schedules
 - * Mechanical Plans and Details
 - * Structural Plans and Details
 - * Electrical Plans and Details
- ☒ One copy of structural, electrical, and water calculations (may be on drawings)
- ☐ One copy of geotechnical report accompany building plans

CIVIL PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

- ☒ Grading & drainage plan
- ☒ Copy of Master Water Report and plan
- ☒ Copy of Master Waste Water Report and plan
- ☒ Water plans
- ☒ Sewer plans
- ☒ Paving plans
- ☒ Results of survey
- ☒ Copy of the master site plan
- ☒ Copy of Master Drainage report
- ☒ Final Drainage report
- ☒ Striping & signage plan
- ☐ Traffic signal plans
- ☐ Geotechnical report
- ☐ Structural plans including details & calculations
- ☒ Title Report (not more than 60 days old)
- ☐ Engineer's cost estimate for in-lieu payments
- ☒ Two additional architectural site plans
- ☒ Wall elevations
- ☒ Cut sheets and specifications for outdoor lighting fixtures
- ☒ Landscape & irrigation plans
- ☐ NAOS graphic & calculation worksheet
- ☒ Native plant program, or confirmation of compliance

FEE SCHEDULEPLAN REVIEW:**BUILDING:**

Livable	\$.18 Sq. Ft.
Covered (minimum per hour: \$38)	\$.09 Sq. Ft.
Fences	\$.06 Lin. Ft.

ENGINEERING:

Non-ESLO	\$200.00 per sheet
Lower Desert (ESLO)	\$200.00 per sheet
Upper Desert (ESLO)	\$225.00 per sheet
Hillside (ESLO)	\$240.00 per sheet

AT THE TIME OF FINAL PLAN SUBMITTAL, THE FOLLOWING FEES MUST BE PAID:☐ STREET SIGNAGE FEE:

<input type="checkbox"/> Street Name - Number of poles () x \$77.00 =	\$ _____
<input type="checkbox"/> Street Name w/stop - Number of poles () x \$112=	\$ _____
<input type="checkbox"/> Stop Signs - Number of poles () x \$70 =	\$ _____
<input type="checkbox"/> Speed Limit Signs - Number of poles () x \$70 =	\$ _____

REQUIRED AMOUNT DATE

☐ STREET LIGHTS: _____☐ ENCROACHMENT PERMIT FEES:

Encroachment permit fees are based on construction quantities. Fee rates are available from the One Stop Shop

☐ FINAL PLAT FEES:

Base plan review	\$576.00
PLUS: \$90.00 per lot	_____

☒ MONTHLY FIRE HYDRANT MAINTENANCE FEE:

\$4.00 per fire hydrant - 12	<u>\$48.00</u>
------------------------------	----------------

☐ PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:

Amount shall be based on sealed engineer's construction cost estimate approved by final plans and paid prior to building permit issuance for the following improvements:

LOCATION	IMPROVEMENTS REQUIRED

Traffic signal in-lieu fees may be based on \$80,000 for 100 percent of design and construction costs.

☐ IN LIEU PARKING (For Downtown)

\$7500 per space, or \$500 initial deposit and \$71 per month per space for a term of 15 years there after (number of spaces to be determined at final plans)

DEDICATION REQUIREMENTS

[x] RIGHT-OF-WAY DEDICATIONS:

STREET NAME	REQUIRED RIGHT-OF-WAY	REQUIRED EASEMENTS	DEDICATION DEADLINE
Frank Lloyd Wright Boulevard	65' half (15' additional)	1' V.N.E.	Prior to C. of O.
Scottsdale Road		1' V.N.E.	

[] OTHER EASEMENTS/DEDICATIONS REQUIRED: _____

	TYPE	SIZE	LOCATION	DEDICATION DEADLINE
	Public Trail			
	Bike Path			
	NAOS			
	Drainage			
	Scenic Vista Corridor			

TO: DEVELOPMENT REVIEW BOARD **DATE:** 2/18/99
FROM: PROJECT COORDINATION
SUBJECT: CASE 4-DR-99

REQUEST: Approve Site Plan & Elevations for an Office/Warehouse/Showroom Building
PROJECT NAME: Balson Investments
LOCATION: 16001 North Greenway-Hayden Loop

DEVELOPER/OWNER: Balson Investments
ARCHITECT/DESIGNER: James Elson Architect
ENGINEER: D & M Engineering
APPLICANT/COORDINATOR: James Elson Architect

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

CONCURRENCE: The Airport Director has reviewed and approved the proposal and the release of the taxiway easement. There are several stipulations within this report which relate to the airport's policies.

DISCUSSION: The applicant is requesting approval of the site plan and elevations for a 48,000 square foot office/warehouse project located in the Airpark approximately one block south of Frank Lloyd Wright Boulevard. The project is situated on three lots, which in total equal approximately 3 acres. The lots will be tied as one parcel having access on two street frontages; Greenway-Hayden Loop and 80th Street.

In order for the site plans to meet parking, open space and retention requirements, the applicant will release a portion of the taxiway easement. The portion of the easement to be released only serves the three subject properties as well as one additional lot. This remaining lot will continue to have adequate taxiway access, as approved by the airport.

The buildings will be constructed of a combination of scored and scored split-face C.M.U., with 4 inch and 8 inch contrasting accent bands. The elevations are also detailed with 32 inch split-face inserts, exposed aggregate concrete columns and curved walls along the street frontages. The service areas and loading bays are centrally located and positioned along the back-sides of the buildings to visually screen them from the streets. The rear of Building B (east) employs recessed glazing and landscaping for visual continuity when viewed from Greenway-Hayden Loop.

The landscaping and retention areas are designed with curved landscape walls to add character to the street frontages. The landscape palette consists of a variety of low water-use plant materials.



Michele Leadabrand
Senior Project Coordination Planner
312-7087

ATTACHMENTS:

- #1-Aerial
- #2-Zoning Map
- #3-Location Map
- #4-Site Plan
- #5-Phasing Plan
- #6-7 Landscaping Plan
- #8-12 Elevations
- #13-14 Floor Plans
- #15-Project Narrative
- A-Stipulations
- B-Ordinance Requirements

APPROVED AS AMENDED
2/18/99 TK
DATE INITIALS

406-PA-2001
1-14-2002

82-DR-1998#2A



Q.S.
35-46

G.I.S. ORTHOGRAPHIC
1997

4-DR-99



Balson Investments

ATTACHMENT #1

Frank Lloyd Wright Blvd

C-4

Paradise Lane

I-1

Road

Hayden

Greenway

site

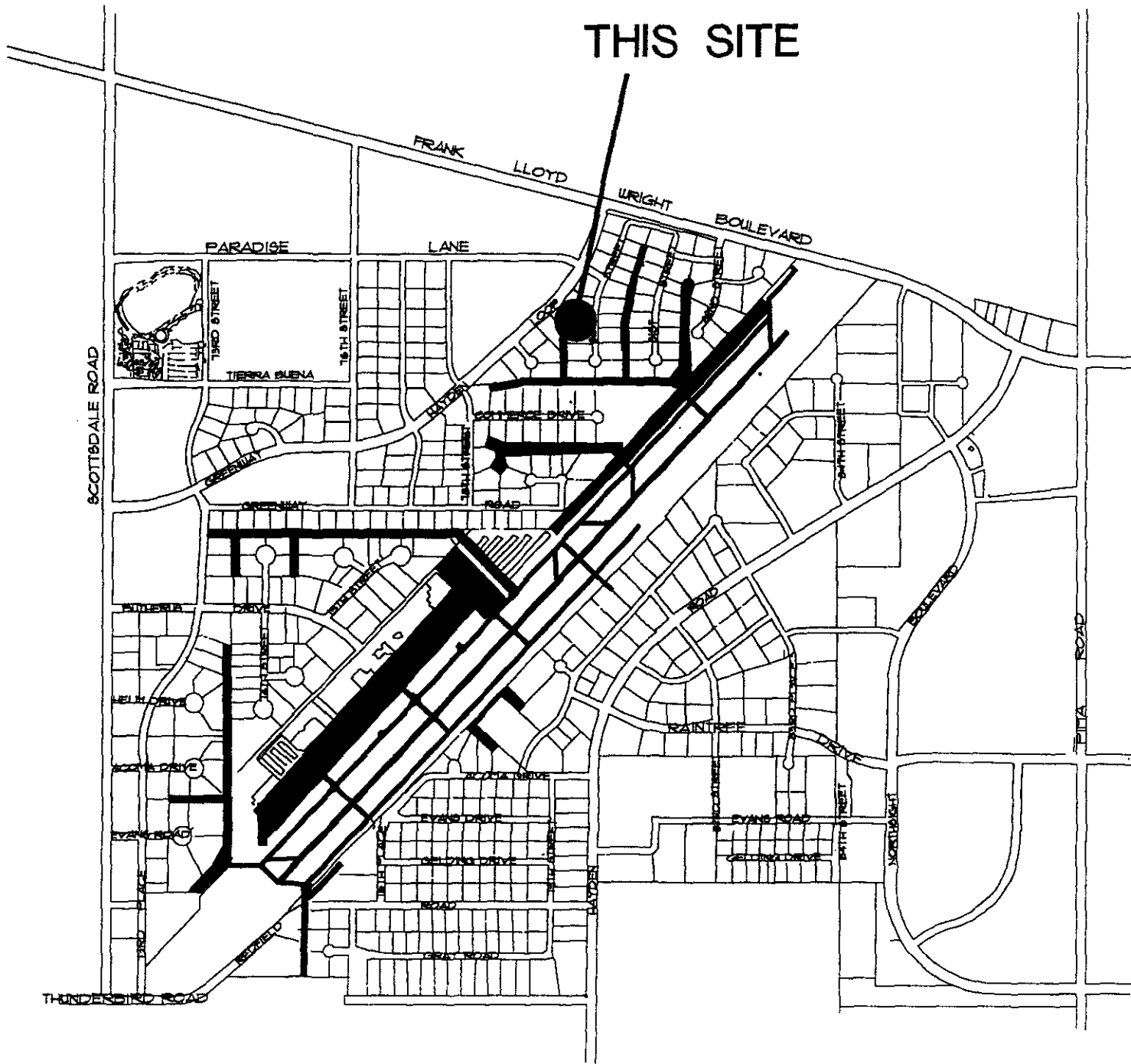
80th Street

I-1

4-DR-99

attachment #2





LOCATION MAP

DEVELOPMENT DATA

RECORD LOT AREA

LOT AREA 1.25 AC

OCCUPANCY GROUP:

OFFICE 1.0
RETAIL 0.25

CONSTRUCTION TYPE:

1.0

ZONING:

BUILDING HEIGHT:

35'0"

BUILDING AREA:

BUILDING A

OFFICE (S.F. APPROX.) 1,000 S.F.

RETAIL (S.F. APPROX.) 250 S.F.

TOTAL 1,250 S.F.

BUILDING B

OFFICE (S.F. APPROX.) 1,000 S.F.

RETAIL (S.F. APPROX.) 250 S.F.

TOTAL 1,250 S.F.

PARKING REQUIREMENTS:

BUILDING A

OFFICE (S.F. APPROX.) 1,000 11.0 SPACES

RETAIL (S.F. APPROX.) 250 3.0 SPACES

TOTAL 14.0 SPACES

BUILDING B

OFFICE (S.F. APPROX.) 1,000 11.0 SPACES

RETAIL (S.F. APPROX.) 250 3.0 SPACES

TOTAL 14.0 SPACES

TOTAL REQUIRED

28.0 SPACES

PARKING PROVIDED:

28.0 SPACES

(PART OF DEVELOPMENT)

OPEN SPACE REQUIREMENTS:

RECREATION

1.0 AC (S.F. APPROX.) 1.0 AC

1.0 AC (S.F. APPROX.) 1.0 AC

TOTAL REQUIRED 2.0 AC

OPEN SPACE PROVIDED:

RECREATION

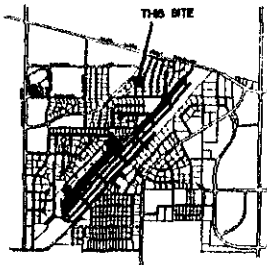
2.0 AC (S.F. APPROX.) 2.0 AC

2.0 AC (S.F. APPROX.) 2.0 AC

TOTAL PROVIDED 4.0 AC

LOT COVERAGE:

100%



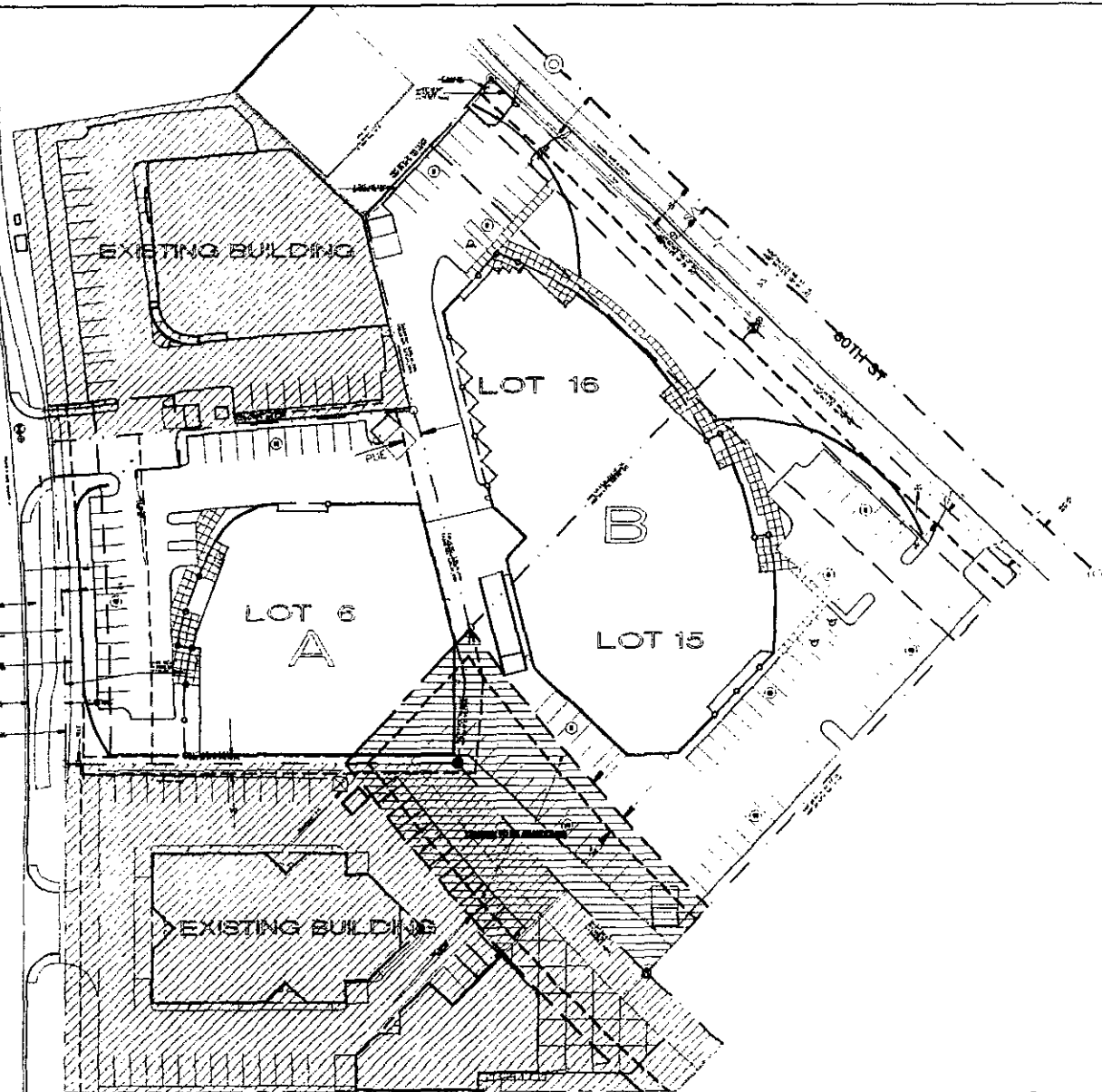
LOCATION MAP

DATE 2/18/99

INITIALS JK

APPROVED

GREENWAY HAYDEN LOOP



NEW BUILDING FOR BALCONY RESTAURANT
NORTH SCOTTSDALE AIRPARK UNIT 1
LOT 6, 15, 16, 17

10770 North
Greenway Hayden Loop
Scottsdale, Arizona
85258

248-7480 telephone
248-7480 fax
248-7480 modem

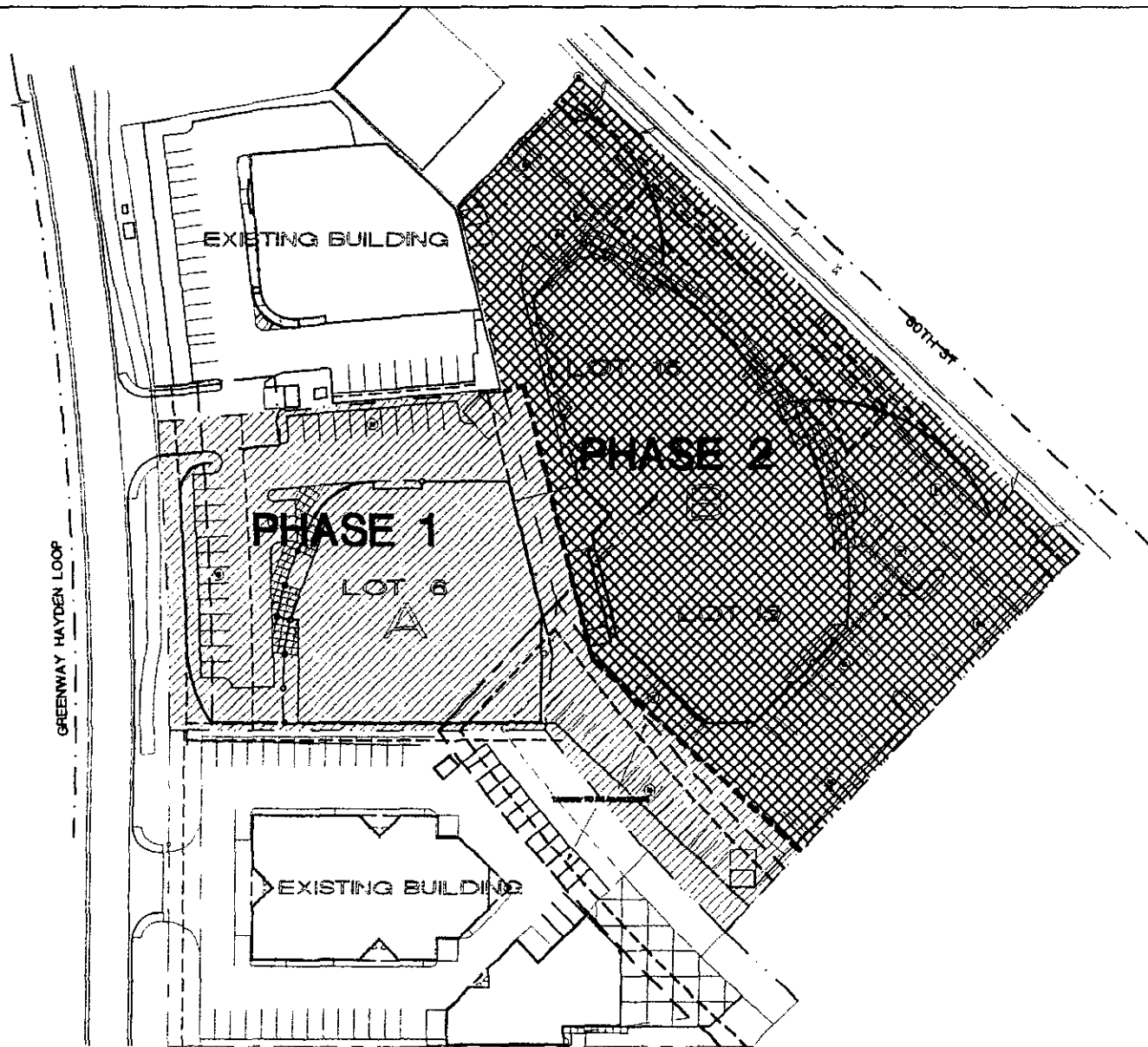
james
elison

architect

4DR99

SITE PLAN

ATTACHMENT #5



A NEW BUILDING FOR BALECH INVESTMENTS, LLC
 NORTH SCOTTSDALE AIRPARK UNIT 4
 LOTS 6, 7, 8 & 9

18770 north
 greenway Hayden loop
 north Scottsdale, Arizona
 85255
 480-7482 telephone
 480-7482 fax
 480-7482 website

**james
 elson**
 architect

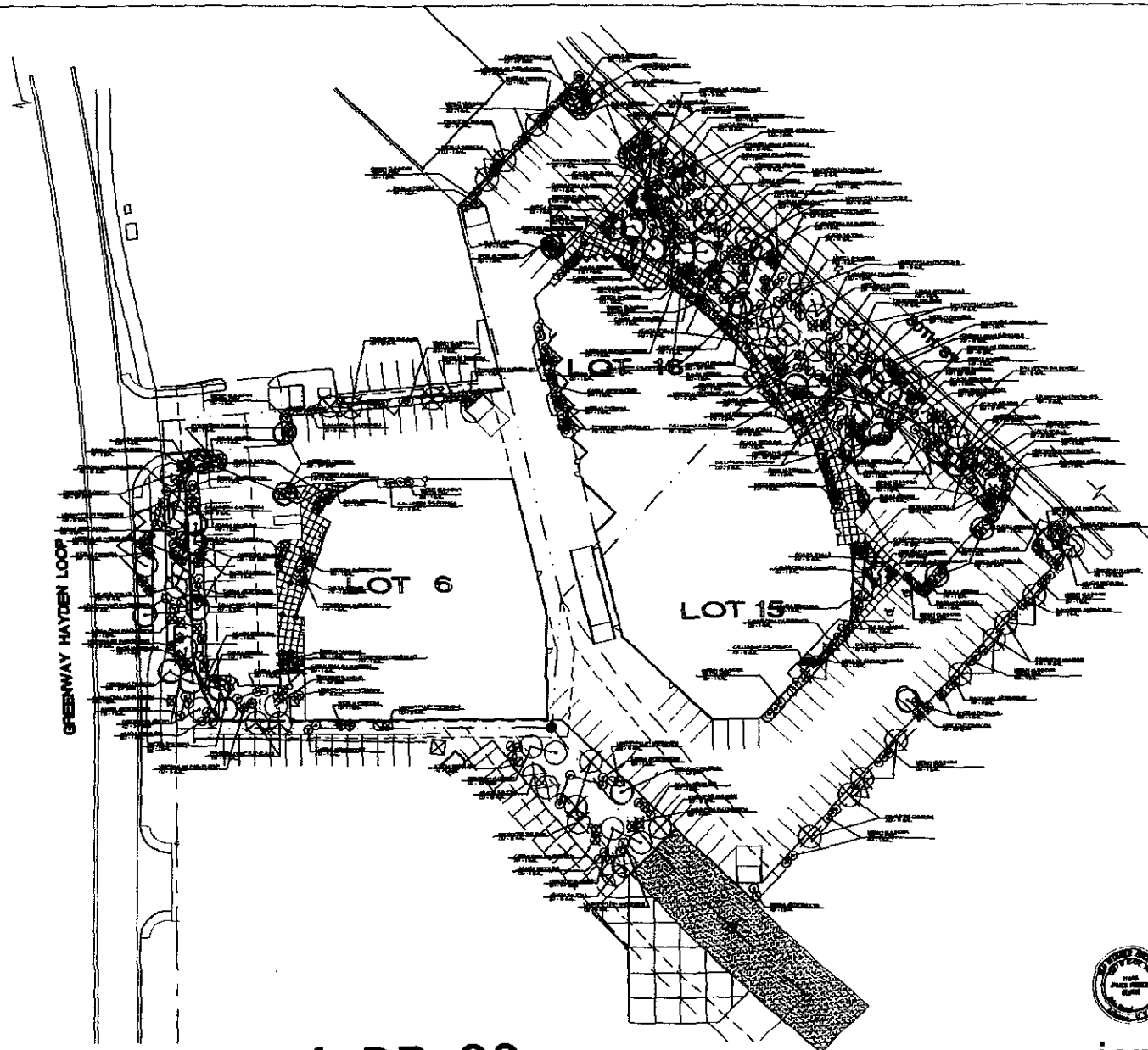
4DR99 PHASING PLAN

SCALE: 1" = 30'-0"

LANDSCAPE MATERIALS

	CERCIDIPHYLLUM FLORIBUNDUM	BLUE PALO VERDE
	CERCIDIPHYLLUM FRAXINIFOLIUM	PALO VERDE
	ACACIA GREGGII	SWEET ACACIA
	ACACIA SALIGNA	WILLOW ACACIA
	PROSOPIS JULIFLORA	CHILEAN MESQUITE
	PINUS EDULIS	TEXAS REDWOOD
	CARAGANA ARBORESCENS	CANYON COTONEUTER
	ACACIA GREGGII	
	CARAGANA ARBORESCENS	
	CERCIDIPHYLLUM FLORIBUNDUM	MEXICAN BIRD OF PARADISE
	JUSTITIA SPICIGERATA	MEXICAN HONEYBUCKLE
	NERIUM OLEANDER	OLIVE
	YUCCA ELATA	RED YUCCA
	SANTOLIMA DISTACHYOIDES	SANTOLIMA
	ENCELIA FARINOSA	BRITTLE BUSH
	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE
	BACCHARIS ARBORESCENS	COTONEUTER
	DALEA GREGGII	TRAILING NODDIE BUSH
	PROSOPIS JULIFLORA	PROSTRATE PROSOPIS

ATTACHMENT #6



4-DR-99

LANDSCAPE PLAN














james
elton

architect

15770 north
greenway hayden loop
suite one hundred
scottsdale, arizona
85250
443-8211 telephone
348-7485 fax
348-7483 modem

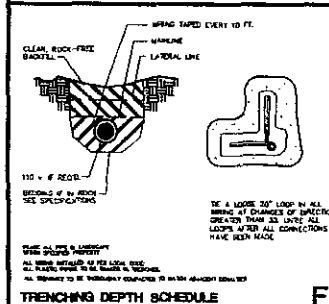
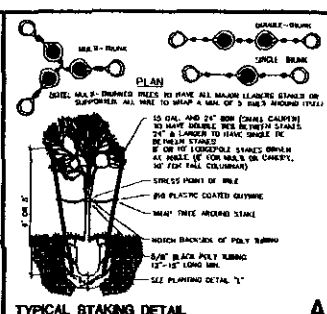
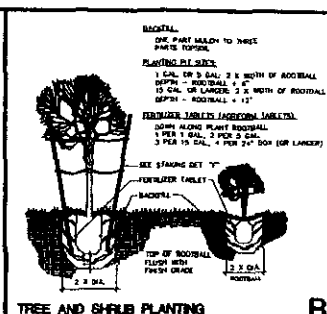
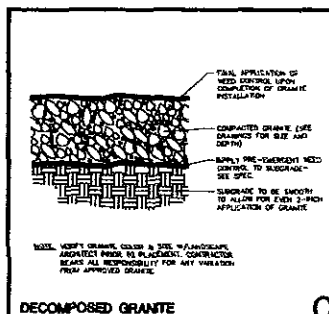
SCALE: 1" = 30'-0"

ATTACHMENT #1

IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
	METER (BY OTHERS)
	MAINLINE - MIN. CLASS 200
	LATERAL LINE - MIN. CLASS 200
	BACKFLOW PREVENTOR - FBCO MODEL 765-BY PRESSURE VACUUM BREAKER
	ELECTRIC VALVE - HARDIE ULTRA FLOW - 1000 SERIES SIZE AS INDICATED ON DRAWING
	RAIRBIRD 1006 ID SERIES W/PLASTIC NOZZLE
	DRIP EMITTER 0.5GPH - BOUNTY#6 SERIES SEE DETAILS
	FLUSH CAP
	RAIMMASTER ELECTRIC CONTROLLER - 4 STATION TWO WEEK PROGRAMMABLE
	CONTROLLER/STATION VALVE SIZE
	RAIRBIRD PRESSURE REGULATOR PSI-HLB-75

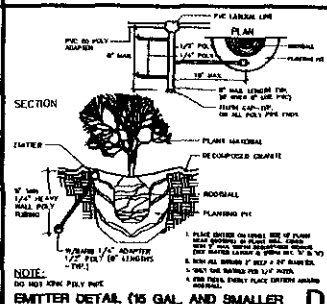
LANDSCAPE MATERIALS

	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	No.
TREES		CERCIUM FLORIDUM	BLUE PALM VERGE	24" BOX	24
		CERCIUM PRACOX	PALO BREA	24" BOX	21
		ACACIA BRILLII	SWEET ACACIA	15 GAL	14
		ACACIA SALICINA	WILLOW ACACIA	24" BOX	5
		PROSPERIS GILBERTII	GILBERT MESQUITE	15 GAL	23
SHRUBS		MYRTILLICUM FLEXICULUM	TEXAS BUCHU	24" BOX	0
		ACACIA NEDOLENS		1 GAL	48
		CASBA ARTEMISIDES	CADDOA	1 GAL	84
		CASBAHIA YULGHERIA	MEXICAN BIRD OF PARADISE	1 GAL	30
		JACINIA SPICIFERA	MEXICAN HONEYBUCKLE	1 GAL	11
		NERIUM OLIVACEUM	DAISY OLIVE	1 GAL	44
		HEMEROCALLIS PARSIFLORA	RED YUCCA	9 GAL	28
		BENTONIA CHRYSAEOPHYLLA	BENTONIA	1 GAL	76
		ENCELIA PARVIFLORA	BRITTLE BUSH	1 GAL	19
		LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	9 GAL	30
GROUND COVER		DIACORHIS ASTERACEAE	COYOTE BUSH	9 GAL	18
		CALLANDRIA CALIFORNICA	SAVA FAIRY DUSTER	1 GAL	30
		DALEA GREGGII	TRAILING INDIGO BUSH	1 GAL	51
		HYPOPHORUM PARSIFLORA	PRESTRATE HYPOPHORUM	1 GAL	44



PIPE SIZE	GALLONS PER HOUR	EMITTER TYPE
48" BOX	10	(5) S-20
36" BOX	8	(4) S-20
24" BOX	6	(3) S-20
15 GAL.	4	(2) S-20
5 GAL.	1	(1) S-20
1 GAL.	1	(1) S-20
PALMS (IN D.G. CHL'Y)	10	(5) S-20

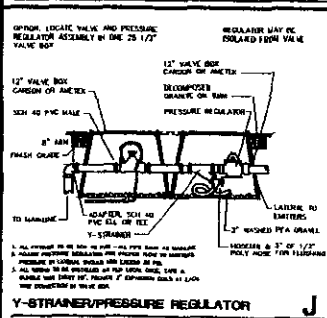
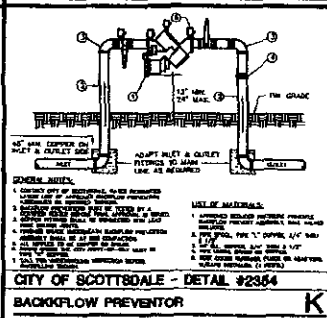
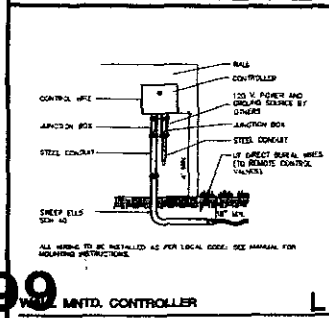
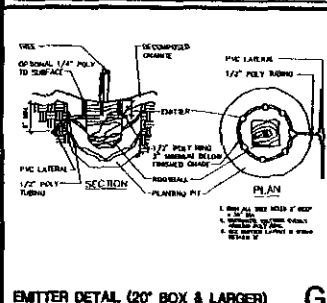
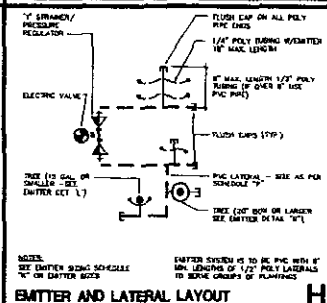
NOTE: ALL EMITTERS TO BE BRIGGSAN MODEL "2" AT P.S.I.
NO SUBSTITUTES.



PIPE SIZE	FLOW (GPM)
1/2"	0-5
3/4"	5-10
1 INCH	10-15
1-1/4"	15-25
1-1/2"	25-35
2 INCHES	35-60
2-1/2"	60-80
3 INCHES	80-120
4 INCHES	120-200

1. ALL VALVE BODIES TO BE CARBON, ANTI-ON EQUAL.
2. ALL 1/2" CLASS PIPE TO BE CLASS 215.
3. ALL LARGER PIPE AND 4" TO 72" TO BE ANTIWAVE CLASS 220.
4. ALL MANHOLE PIPE TO BE ANTIWAVE CLASS 200.

PIPE SIZING SCHEDULE



AN INDUSTRIAL PROJECT FOR
BALSON INVESTMENTS, L.L.C
NORTH SCOTTSDALE AIRPARK

15770 north
greenway hayden la
suisa one hundred ft
scottsdale, arizona
86280
348-7480 telephone
348-7482 fax
348-7483 modem

james
elson

APPROVED
DATE 2/18/99
JL



SOUTH ELEVATION



NORTH ELEVATION

4DR99

building b

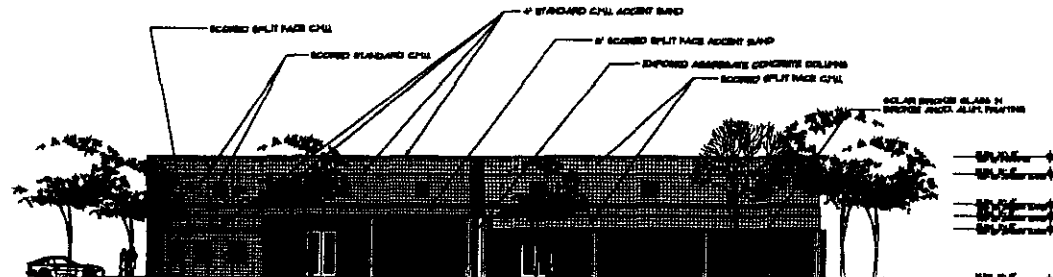
james
elton
architect

14716 north
greenway highway
silo and timber floor
montreal, arizona
85007
348-7497 telephone
348-7498 fax
348-7498 internet

APPROVED
DATE 2/18/99
INITIALS JH



NORTH ELEVATION



WEST ELEVATION

4DR99

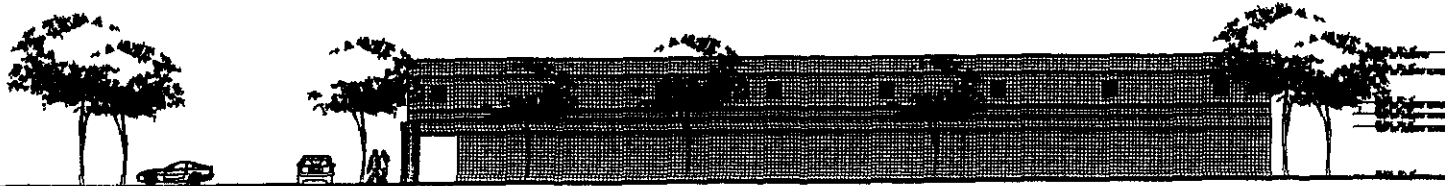
Building a james elson

architect

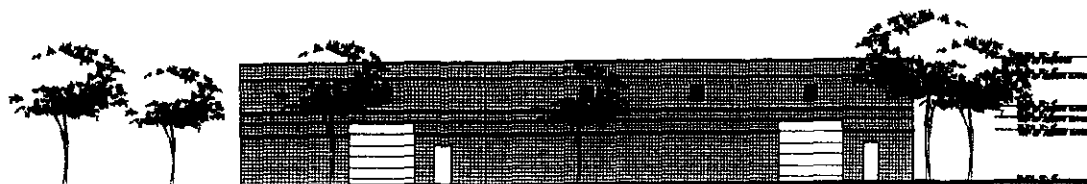
14276 south
greenway highway loop
santa ana, california 92705
714-740-1000
714-740-1001
714-740-1002

ATTACHMENT #11

APPROVED
DATE 2/19/99
JTC



SOUTH ELEVATION



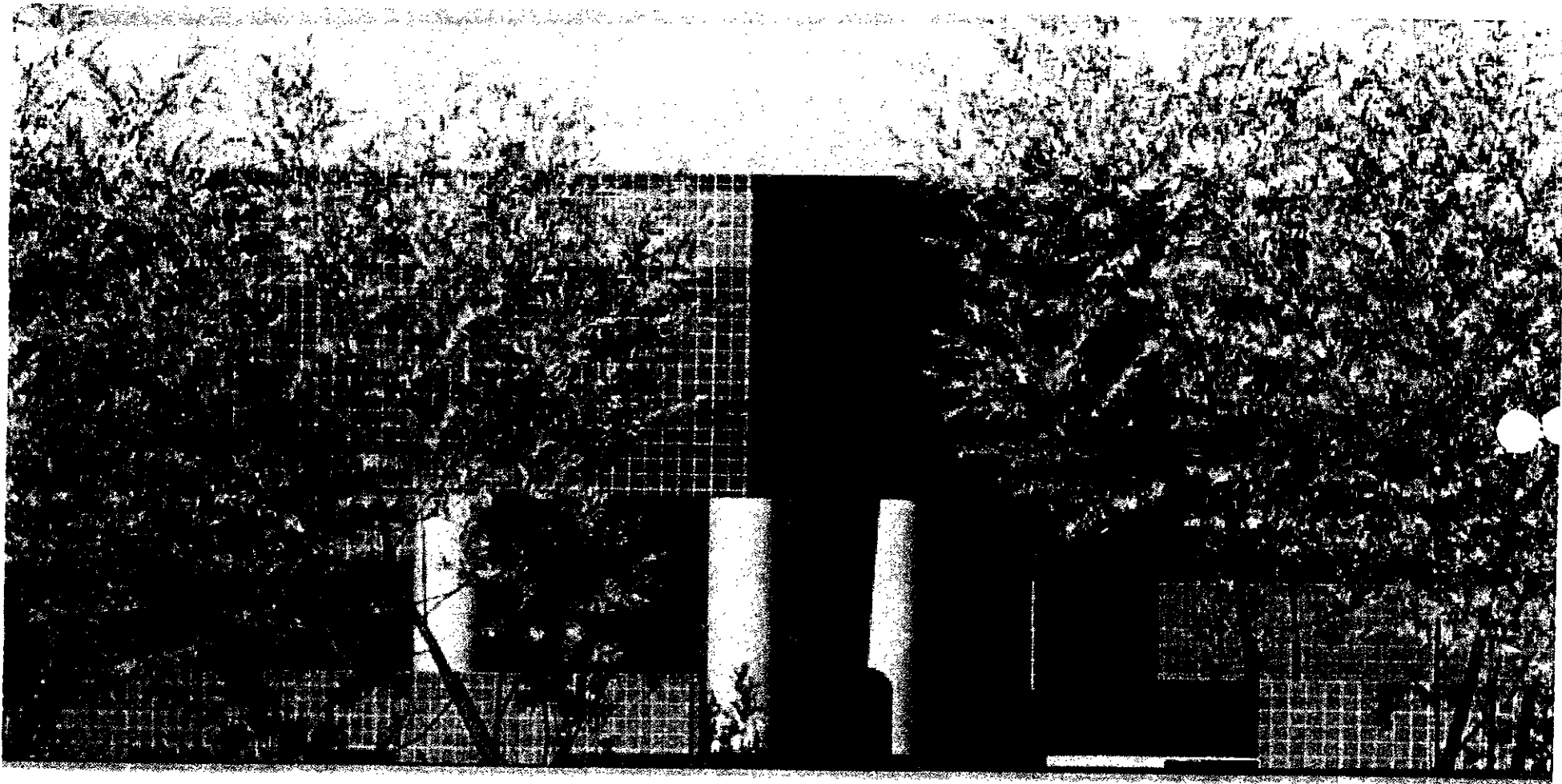
EAST ELEVATION

Building a

4DR99

james
elton
architect

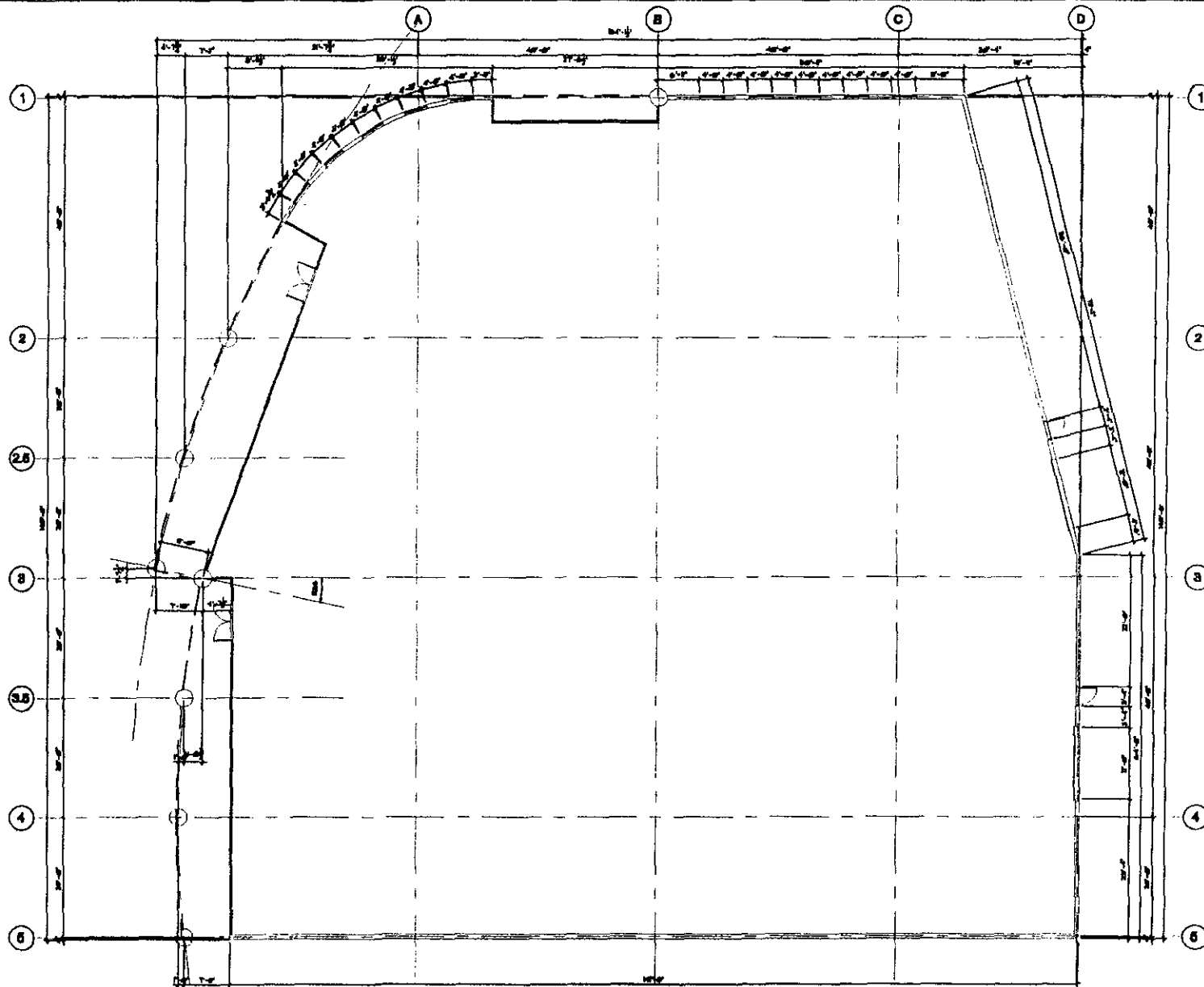
18770 north
greenway highway, suite
1000, north
08000
248-7488 telephone
248-7488 fax
248-7488 mobile



DETAIL OF BUILDING ENTRY

10/1/14

ATTACHMENT #13



4DR99

FLOOR PLAN - BUILDING A

james
elison

architect

NEW BUILDING A - 1000 INVESTMENTS, LLC
NORTH SCOTTSDALE AVENUE, SUITE 100
CITY OF SCOTTSDALE, ARIZONA



DATE
DRAWN
CHECKED
DATE
BY

DATE
DRAWN
CHECKED
DATE
BY

A1

15770 north
greenway boulevard
suite one hundred four
emmettsville, arkansas
62240

548-7440 telephone
548-7440 fax
548-7440 internet

4DR99 FLOOR PLAN - BUILDING B

SCALE: 3/32" = 1'-0"



City of Scottsdale **PROJECT NARRATIVE**



☐ Rezoning ☐ Other
☐ Use Permit
☒ Development Review
☐ Master Sign Programs
☐ Variance

Case # 4-DR. 99, 591 -PA- 98
Project Name BALSON INVESTMENTS
Location _____
Applicant JAMES ELSON

SITE DETAILS

Proposed/Existing Zoning: I - 1 Parking Required: 108 SPACES
Use: OFF / WARE / STORAGE Parking Provided: 109 SPACES
Parcel Size: 128,636 SF (3.045 AC) # Of Buildings: TWO (2)
☐ Gross Floor Area ☐ Total Units: 48,072 SF Height: 20'
☐ Floor Area Ratio ☐ Density: 3624 Setbacks: N- 46' S- 5'
E- 150' W- 62'

In the following space, please describe the project or the request

SEE ATTACHMENTS

4DR99

ATTACHMENT #15

PROJECT NARRATIVE

15770 north
greenway-hayden loop
suite one hundred four

scottsdale, arizona
85260

348-7460 telephone
348-7462 fax
348-7463 modem

This project is proposed as a speculative industrial campus to be located on three lots along the Greenway-Hayden Loop, approximately one block south of Frank Lloyd Boulevard, in the Scottsdale Airpark. The lots will be 'lot-tied', and the portion of the taxiway easement located on the subject lots will be abandoned and used for retention and a landscaped setting for use by the tenants in the project. The taxiway adjacent to the new parcel will remain.

The parcel is irregularly shaped, and the site plan allows vehicular circulation around the two proposed buildings, as well as access to both Greenway-Hayden Loop and 80th Street. All service bays, loading areas and overhead doors are centrally located and positioned behind the buildings to visually screen them from the streets. The rear of building B employs recessed glazing and landscaping for visual continuity when viewed from Greenway-Hayden Loop.

The buildings are proposed to be constructed of a combination of scored and scored split face concrete masonry units, with 4" & 8" contrasting accent bands, visually unifying the various building elements and glazed areas. The elevations are further detailed with 32" split face inserts. Exposed aggregate concrete columns provide additional detail, as well as identify entry locations for tenants.

The 'industrial box' look of a multi-tenant building is mitigated through the use a large radius facade along the street frontage elevations. This radius is offset at the suite entrances to further identify their locations. The parking screen walls also employ this large radius for aesthetic continuity.

The color palate is of southwest desert earth tones, and the landscaping is comprised of xeriscape desert and semi-desert plant materials.

**BOLD & STRIKE THROUGH TEXT INDICATES REVISIONS AS APPROVED BY DRB 218/99
STIPULATIONS**

**BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST
BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING
STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.**

SITE AND BUILDING DESIGN:

1. Refuse enclosure shall be screened by material compatible with the building materials. Colors and texture to match the building, both sides.
2. Garage doors shall be sectional overhead doors.
3. Flagpoles, if provided, shall be one piece conical tapered.
4. Paint service entrance section to match the building and/or screen from view.
- ✓ 5. No exterior public address or speaker system shall be allowed.
6. Prior to final plan submittal, the developer shall submit documentation approved by the Airport Director or designee demonstrating compliance with the airport zoning height requirements relative to potential obstructions.
7. **PRIOR TO FINAL PLAN SUBMITTAL, THE DEVELOPER SHALL SUBMIT DOCUMENTATION APPROVED BY THE AIRPORT DIRECTOR OR DESIGNEE DEMONSTRATING THE EXACT BOUNDARIES OF THE RELEASE OF EASEMENT FOR THE TAXIWAY AND THE LOCATION AND DESIGN OF THE VEHICLE BARRIERS.**
8. *Prior to final plan approval, revise site plan to provide bollards at the man doors that open onto the drive isles or provide a design alternative to remove the doors from that location.*
9. *Prior to final plan approval, provide documentation of a lot tie for lots 6, 15 and 16 to the satisfaction of city staff.*
10. **PRIOR TO FINAL PLAN APPROVAL, PROVIDE DOCUMENTATION OF THE RELEASE OF EASEMENT FOR PORTIONS OF THE TAXIWAY.**
11. *Any storm water storage basins that require handrails shall not be counted toward required open space. Should hand rails be required for any storage basin, a revised site plan work sheet satisfactory to city staff, with open space calculations and graphic shall return to project coordination staff prior to final plan approval.*

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BUILDING ELEVATIONS:

1. All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure.
2. All ground mounted mechanical equipment shall be completely screened by screen walls with color and texture to match the building.
- ✓ 3. Roof mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or free standing screen walls subject to Project Review approval.
4. Ground mounted communication equipment, including satellite dishes, shall be completely screened by freestanding screen walls subject to Project Review approval.

ROOF ACCESS

- ✓ ① No exterior visible ladders allowed.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).
2. If provided indicate location and design of scuppers, and integrate with the architectural design.
3. *Prior to final plan approval, revise roof drains to show installation in compliance with drainage requirements. Roof drainage plan shall be subject to civil and building final plan approval.*

ON-SITE LIGHTING:

1. The developer shall provide plans to the satisfaction of City staff indicating the location of all exterior on-site lighting and lighting fixtures at the time of final plans submittal.
2. Exterior lighting fixtures shall be subject to staff approval. With the final plans submittal, the developer shall provide an additional sheet(s) showing cut sheets indicating wattage, method of shielding and fixture design, to the satisfaction of City staff.
3. The developer shall provide an exterior lighting plan to the satisfaction of City staff 15 days prior to final plans submittal. The exterior lighting plan shall be subject to the approval of City staff.
- ✓ 4. All pole-mounted lighting shall be a maximum of 20 feet in height.

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SIGNS:

- ✓1. Provide note on final documents: Signs require separate approvals and permits.

BICYCLE/EQUESTRIAN:

1. The developer shall include bike rack cut sheets / details with the final plans submittal. The bike rack design shall be subject to Final Plans staff approval. Contact the City Bicycle Coordinator for the approved rack design, or for alternative rack design approval.

WALL DESIGN:

1. All screen and perimeter walls shall be 6 or 8-inch masonry block and shall match building texture and color, both sides.
2. No chain link fencing shall be allowed.
3. Submit elevations and details of gate for staff review and approval. No chain link shall be allowed.
4. Barbed wire shall not be visible from adjacent properties.
5. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall return to Project Review for approval prior to any submittals of final plans.

LANDSCAPING:

1. Major tree theme shall incorporate the existing theme of the neighboring properties.
2. Trees shall be provided as noted on the landscape plan proposed at Development Review Board (15 gallon minimum, 97 trees minimum) of which 50% shall be mature as defined in Article III of the Zoning Ordinance or larger.
3. *Areas within 30 feet of the remaining taxiway shall not be landscaped and shall not be counted in open space calculations.*
4. Provide low water consumptive plant materials.
5. Incorporate existing vegetation into the landscape design.
6. Landscape design and materials shall be arid to lush desert materials.

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7. Areas in decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
8. Upon removal of the salvageable native plants the salvage contractor shall submit a list identifying the tag numbers of the plants surviving salvage operations to the City's Landscape Inspector prior to issuance of the Certificate of Occupancy.
9. Sight distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
10. No turf areas are to be provided.
11. Retention/detention basin depth shall be measured to top of existing grade. Maximum 3 feet water depth allowed. Greater depths shall require Project Review staff approval.
12. Maximum 10:1 width to depth ratio with a 4:1 maximum slope for retention/detention basins. Depth ratios and slopes greater than this shall require Project Review staff approval prior to final plan approval.
13. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
14. Only 50% of front open space can be used for retention/detention basin.
15. Provide 8% slope away from walk or curb for 5' 0" along all streets.
16. Setback all spray and stream type irrigation heads 1'-0" from back of curb or sidewalk to reduce overspray, or provide design alternatives to achieve similar results to be approved by Project Review staff.
17. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.

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TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

1. The new site driveways on 80th Street shall be designed in general conformance with city of Scottsdale Type CL-1, Standard Detail #2256.
2. The site driveways on 80th Street shall be located a minimum distance of 30 feet from the adjacent property lines (measured to the driveway centerlines).

INTERNAL CIRCULATION:

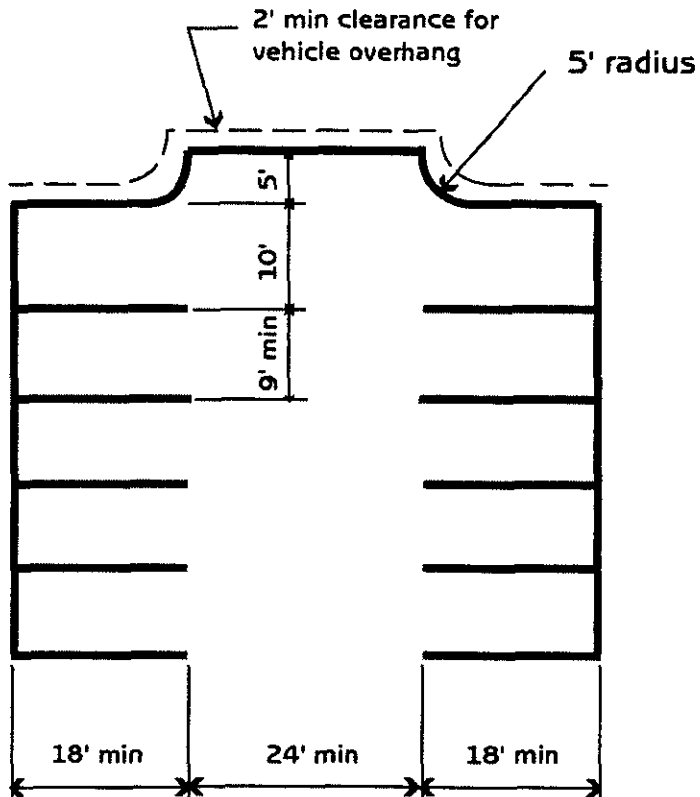
1. The minimum internal parking and access aisle width shall be 24 feet.
2. The internal circulation shall be designed to accommodate emergency and service vehicles with a minimum outside turning radius of 45 feet and inside radius of 25 feet.
3. The dead-end parking aisle shall be designed in conformance with the attached detail.
4. Cross-access easements shall be dedicated over any paved connections between the site parcels unless they are lot-tied prior to final plan approval.
5. The developer shall gate the connection between Building A and Building B to prevent cut-through traffic from Greenway-Hayden to 80th Street.

OTHER:

1. Evidence of the abandonment of the taxiway easement on the site shall be provided prior to any final plan submittal.
2. Exterior doors shall not open into the required 24-foot wide aisle width. These doors shall be recessed into the building or a 4 foot wide buffer area shall be constructed at the entrances.

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DEAD-END PARKING AISLE DETAIL



NOTES:

1. Maximum dead-end parking aisle length is 150 feet.
2. If the length exceeds 150 feet, a turn-around shall be provided for emergency vehicles.
3. No refuse enclosures are permitted on a dead-end aisle.

STRIPING AND SIGNAGE PLAN:

1. All incidental signing and striping required by site roadway improvements shall be included on the roadway paving plans.
2. All on-site parking lot striping shall be shown with the paving plans.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
2. Sight distance easements shall be dedicated oversight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures, published January 1994.

REFUSE COLLECTION:

1. Refuse enclosures shall be constructed to City of Scottsdale's standards (details available upon request).
2. An area 14' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:
 - Commercial Building Space: One for 0 to 20,000 s.f.
Two for 20,001 to 40,000 s.f.
Three for 40,001 to 60,000 s.f., etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 s.f., as shown above.

4. Enclosures must:
 - Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - Be positioned to facilitate collection without "backtracking."
 - Be easily accessible by a simple route.
 - Not require backing more than 35 feet.
 - Not be located on dead-end parking aisles.

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5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.
6. Underground vault-type containers are not allowed.

DRAINAGE AND FLOOD CONTROL STIPULATIONS

DRAINAGE REPORT AND PLAN

1. With the submittal of improvement plans to Project Review, the developer shall submit a final drainage report and plan, subject to approval by city staff. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the final drainage report and plan shall provide final calculations and detailed analysis that demonstrate consistency with the conceptual drainage plan and report, *accepted by city staff on February 2, 99.*

STORM WATER STORAGE:

1. Prior to final plan approval, a final drainage report shall be submitted which calculates the storm water storage volume required, V_r , and volume provided, V_p , using the 100-year, 2-hour storm event.
 - a) Storage basin volume(s) shall be certified by the design engineer. The volume provided shall meet or exceed the required volume per City Ordinance and the approved drainage plan. The volume of storage provided must be certified as equal to or greater than design volumes required before the City will issue Letters of Acceptance for maintenance of any public utilities.
 - b) Storage basin volume required, V_r , and volume provided, V_p , shall be shown for each storage basin on the improvement plans.
 - c) Storage basin capacity SHALL NOT BE REDUCED by proposed landscaping improvements.
 - d) Storage basin design shall incorporate significant landscaping requirements such mounds and berms, which affect storage volume..
2. Up to 50% percent of required storm water storage may be provided in parking areas when the following conditions are met:
 - a) Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - b) Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic.

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- c) Depth of water shall not exceed six inches within the parking area.
- 3. Basin side slopes shall not exceed 4:1, and the basin depth shall not exceed 3 feet.
- 4. Storm water storage basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36-hours.
 - a) Provide bleed-off calculations in the Final Drainage Report to demonstrate how stormwater storage basins will drain.
 - b) Show the point of outfall for each storage basin, demonstrate that historical flow through the site has been maintained and that storm water runoff exiting this site has a safe place to flow.
- 5. Underground storm water storage is not permitted.

GRADING & DRAINAGE PLAN REQUIREMENTS:

- 1. A site specific grading and drainage plan shall be submitted to Project Review. The grading and drainage Plan shall:
 - a) Benchmark datum shall be based on North American Datum of 1988 (NAD 1988). Prior to submittal of improvement plans to Project Review, benchmark datum not in compliance with NAD 1988 shall be submitted to Project review and shall be subject to approval by city staff.
 - b) *Clearly show and define the drainage areas.*
 - c) *Clearly show and define the point of roof out fall.*
 - d) Show all easements.
 - e) Show all drainage facilities including, but not limited to point(s) of roof outfall, storm drainpipe, weirs, rip rap, and storm water storage basins (with storage volume required, V_r , and storage volume provided, V_p , noted on the improvement plans).
 - f) Show $Q(100)$ at culvert inlets, and at storm water entrance/exit point of the parcel boundaries.
 - g) Show extents of areas inundated due to a 100-year storm event.
 - h) Provide 8% slope away from walk or curb for 5' 0" along all streets.

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2. Before final plans are approved, a copy of the NOI must accompany the final improvement plan submittal to Project Review. EPA requires that all construction activities that disturb five or more acres obtain coverage under the NPDES General Permit for Construction Activities. Completion of a Notice of Intent (NOI) and preparation of a Storm Water Pollution Prevention Plan (SWPPP) are required by EPA. Contact Region 9 of the U.S. Environmental Protection Agency at (415) 744-1500, the Arizona Department of Environmental Quality at (602) 207-4574, or at the web site <http://www.epa.gov/region9>. NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100.
3. Prior to issuance of any permits, the developer shall submit evidence that applicable state and federal permits have been obtained. The U.S. Army Corp of Engineers may require a Section 404 Permit for discharges of dredged or fill materials to washes under their jurisdiction. Contact the Corps' Phoenix Regulatory Office for a jurisdictional determination and further information. Provide the City with a written determination of the 404 status prepared and signed by the Corps of Engineers. Written communication with the State Historic Preservation Officer (SHPO) may be required as part of the 404 Permit process as well as state water quality certification from Arizona Department of Environmental Quality.
4. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.

OFF-SITE RUNOFF:

1. All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
2. The final drainage report shall address any offsite flows, which will affect the site grading, drainage and finished floor elevation.

FLOODPLAIN:

1. The final drainage report shall include an exhibit that indicates where the site lies within the FEMA designated areas and shall define all pertinent FEMA designations.

DRAINAGE STRUCTURES/CHANNELS:

1. The final improvement plan submittal shall clearly show all retaining wall details. A structural design report shall be provided which includes calculations for active forces based on an associated geotechnical analysis of the soils.

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2. The final drainage report shall include calculations for rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.
3. *Handrails shall be provided where the vertical change in elevation is two feet or more. See City of Scottsdale standard detail for handrails.*

DRAINAGE EASEMENTS:

1. Before any building permit for the site is issued, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements and storm water storage easements necessary to serve the site.

WATER AND WASTEWATER STIPULATIONS

WATER and WASTEWATER:

1. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements and Sections 4 and 5 of the Design Standards and Policies Manual.
2. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
3. A completed Water and Sewer Needs Report shall be submitted for review with the final improvements plans. Approval will not be given for improvement plans until the Water and Sewer Needs Report is approved by Project Review.

EASEMENTS AND DEDICATIONS:

1. Indemnity agreements shall be required when substantial improvements or landscaping are proposed within a utility easement. The agreement shall acknowledge the right of the city to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

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THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- * Review of development proposal by the Development Review Board is the first step toward obtaining a building permit.
- * Development Review Board approval expires ONE YEAR from the date of approval if a building permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- * Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- * There maybe some Ordinance requirements, which apply to your project that, are not included here.
- * City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- * Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations, which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. Stormwater storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm (2.82 inches).
2. Off-site runoff shall enter and exit the site as it did historically.
3. Stormwater storage basins should be designed to meter flow to historic outfall point. Where no outfall exists (or metering is not possible), other methods of discharge may be considered.
4. Storage basins must drain completely within 36-hours.
5. Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
6. Approval from ARMY CORPS OF ENGINEERS for a SECTION 404 PERMIT is required where proposed construction is adjacent to or with jurisdictional washes. Please contact the Phoenix Regulatory Office to arrange for a jurisdictional determination.
7. Dedications/Easements:
 - a) All drainage channels with a capacity of 25 cfs or greater shall be dedicated to the public, with maintenance the responsibility of the owner.

REFUSE REQUIREMENTS:

1. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
2. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 391-5600.

STREET LIGHTS:

1. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. No building permits may be issued until all street light arrangements (including fee requirements) have been made.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2 inches of asphalt over 4 inches of aggregate base.

ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTSWATER DEVELOPMENT ORDINANCE

1. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
2. The developer shall pay a Water Development Fee and Water Resources Development Fee for City water supply in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City water system. All questions may be referred to Jim Turnbull, Water Resources Analyst, at 391-5688.
3. Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

SEWER DEVELOPMENT ORDINANCE

1. The developer shall pay a Sewer Development Fee for City sewer service in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Jim Turnbull, Water Resources Analyst, at 391-5688.

FINAL PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) Architectural Plans: 11" x 17" minimum, up to 30" x 42" maximum
 - b) Landscaping/Irrigation Plans: 24" x 36"
 - c) Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape areas. Provide note on the landscape plans.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide a schedule indicating the timing on installation of all improvements required by planning.
5. Provide a contour map of the existing topography.
6. Provide a site plan with the following information:
 - a) Zoning of property, and adjacent properties.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
 - d) Setback of structures - front, side, rear.
 - e) Parking lot dimensions - stall width and length, driveway width, parking angle.
 - f) Location and details of refuse enclosure & bicycle racks.
 - g) Parking calculations required/provided.
 - h) Location of handicap parking spaces & van accessible spaces.
 - i) All development on adjacent property within 50 feet of this project.
7. Provide building elevations with the following information:
 - a) Height of building (see Section 3.100 of the Zoning Ordinance for definition of building height) above finished floor/natural grade.
 - b) Label colors of all exterior materials (matching those approved at Development Review Board).
8. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope
 - c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
 - d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.

9. Provide adjacent curb elevations on 80th St and Greenway Hayden Loop.
10. Obtain a native plant permit for disturbance of any protected plants on the site by submitting the following: ☼
 - a) Completed Native Plant Narrative & Application form
 - b) Three copies of the site plan indicating the location by tag number of each plant protected per the native plant ordinance.
 - c) Three copies of the numbered plant inventory corresponding to the tag numbers on the site plan, indicating the following:
 - i) plant type
 - ii) plant size in caliper inches
 - iii) plant condition
 - iv) whether the plant will remain in place, be relocated, or be destroyed
 - d) Location of plant nursery
 - e) Copy of vicinity map indicating the location of the project
 - f) Copy of Natural Area Open Space exhibit if applicable for the site
 - g) A copy of the 'Arizona Department of Agriculture Notice of Intent to Clear Land' form, issued through the State's Native Plant section at (602) 542-3292.
 - h) Letter of authorization from the property owner or authorized agent identifying the approved salvage contractor and verifying that all salvaged plants are to be incorporated in landscaping and used back on site.
 - i) Upon tagging the plants in accordance with Sec. 46-116 of the Scottsdale Revised Code, contact the City's Native Plant Officer at 994-7080 for inspection and permit approval.

☼ **The submittal for native plant permit approval is in addition to the native plant submittal required for DR approval**

FINAL PLANS ORDINANCE REQUIREMENTSSCREENING:

1. The height of the parapet or other screening device shall be (equal to or higher/minimum 1 foot higher) than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
3. Parking lot to be screened from 80th St. and Greenway-Hayden Loop (by a 3-foot wall, berming, and/or landscaping).

LANDSCAPING:

1. A minimum of 1/3 of the required landscaped area for the parking lot for more than 20 cars shall be in planting areas distributed throughout the lot rather than on the perimeter. Planting areas shall have a minimum width of 7 feet and a minimum area of 120-square feet per Section 9.106 of the Zoning Ordinance.
2. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).
3. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in Section 7.500 of the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 7 of this section for specific submittal requirements). Contact the City's Native Plant Officer at 994-7080 to initiate the process.
4. Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Section 49-82 of the City Code to the Water Conservation Office.
5. Provide 6-inch vertical concrete curb between any driveways or parking areas and landscape areas.

GRADING:

1. Prior to final plans submittal a grading report shall be submitted indicating methods and sequencing of grading, proposed locations for stockpiling or disposing of unused materials, and plans for minimizing wind and water erosion on graded areas during development and construction.
2. Cuts and fills exceeding limits outlined in Sec. 204 of the Design Guidelines & Policies for Environmentally Sensitive Lands/Section 6.806 A.3 of the Hillside Ordinance shall require Development Review Board approval.

OTHER:

1. Provide 4% of required parking as handicap parking spaces (5 minimum). A minimum of 1 space is required to be van accessible per Section 9.105 of the Zoning Ordinance.
2. Provide one bicycle parking space per each 10 required vehicle parking spaces (11 minimum) per Section 9.103 of the Zoning Ordinance.
3. *Prior to final plan approval for any tenant improvement, a revised floor plan worksheet including parking calculations for the individual tenant improvement and for the entire project shall be submitted to project coordination staff for review and approval.*

ELSON INVESTMENT
OFFICE / WAREHOUSE
80TH STREET
SCOTTSDALE, AZ.

DA 11-14-99

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|--|--|
| <input checked="" type="checkbox"/> 1 PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS | <input checked="" type="checkbox"/> 9 BACKFLOW PREVENTION WILL BE REQUIRED. ON CLASS I & II FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODES |
| <input checked="" type="checkbox"/> 2 FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & UFC AT THE FOLLOWING LOCATIONS:
<u>SEE THE D.R. SITE PLAN.</u> | <input checked="" type="checkbox"/> 10 PROVIDE ALL WEATHER ACCESS ROAD (MIN 20') TO ALL BLDGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION |
| <input checked="" type="checkbox"/> 3 IT IS THE DEVELOPER'S RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & TO INCORPORATE SAME INTO THEIR BLDG PLANS (PER C.O. S. 91-3) | <input checked="" type="checkbox"/> 11 NUMBER OF REQUIRED FIRE HYDRANTS <u>ONE</u> DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. DEVELOPER TO PROVIDE WAIVER OF FIRE DEPT. RESPONSIBILITY OR COPY OF CURRENT CITY APPROVED CIVIL WATER PLANS TO FIRE SPRINKLER CONTRACTOR FOR LOCATING NEW AND/OR EXISTING HYDRANT WATER MAIN SUPPLY DATA. SPACED MAX O/C <u>700'</u> AT 1500 GPM |
| <input type="checkbox"/> 4 SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS | <input checked="" type="checkbox"/> 12 PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET |
| <input checked="" type="checkbox"/> 5 PROVIDE KNOX BOX ACCESS:
<input checked="" type="checkbox"/> A. KNOX BOX <input type="checkbox"/> B. PADLOCK
<input type="checkbox"/> C. ELECTRONIC | <input checked="" type="checkbox"/> 13 EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE CITY ORDINANCE & UFC. SEE SHEET |
| <input type="checkbox"/> 6 SUBMIT PLANS FOR AN OCCUPANT NOTIFICATION SYSTEM PER SCOTTSDALE REVISED CODES | <input type="checkbox"/> 14 SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MAT'L INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC., NFPA 704 EMER PLACARDING & STORAGE SEPARATION. A COMPLETED APPLICATION FOR HAZARDOUS MATERIALS PERMIT SHALL BE PROVIDED WITH BLDG PLANS (HMIS/HMMP) |
| <input type="checkbox"/> 7 SUBMIT PLANS FOR A FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES. SEE SHEET | <input checked="" type="checkbox"/> 15 FIRELINE, SPRINKLER & STANDPIPE SYSTEM TO BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES |
| <input checked="" type="checkbox"/> 8 ADD 2 1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ FT PER FLOOR LEVEL AND/OR IF FIRE DEPT ACCESS IS LIMITED TO LESS THAN 360° | <input checked="" type="checkbox"/> 16 FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE OR AT AN APPROVED LOCATION MIN. SIZE: 2 1/2" X 2 1/2" X <u>4"</u> (NHST)
<input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB INDEPENDENT WET LINE
<input type="checkbox"/> WALL MOUNTED-15' CLEAR OF OPENINGS |
| <input type="checkbox"/> 9 ALL BLDGS 4 OR MORE STORIES IN HEIGHT, SHALL HAVE A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM | |

17. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SET OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY MINIMUM NICET III DESIGN TECHNICIAN
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS
- ☐ B. MODIFIED NFPA 13-R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS FOR UP TO SIX UNITS PER BUILDING FED FROM DOMESTIC SERVICE
- ☐ C. MODIFIED NFPA 13R SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS PLUS ATTIC AREAS (CALCULATE UP TO FOUR REMOTE HEADS & 500 SQ FT MIN. IN ATTIC) FED FROM SEPARATE FIRELINE PER COS ORDINANCE & FIRE DEPT WRITTEN STANDARDS
- ☐ D. MODIFIED LIGHT HAZARD COMMERCIAL SYSTEM WITH QUICK RESPONSE SPRINKLER HEADS.
- ☒ E. NFPA COMMERCIAL SYSTEM / DESIGN CRITERIA: LT. HAZ. 0.10/1500 -- OFFICE
- -
-
- ☒ F. STORAGE 12' 0" & HIGHER REQUIRE DESIGN PER NFPA 231 OR 231C & ARTICLE 81 OF THE 1997 U.F.C.
- ☒ G. SPEC WAREHOUSE/OFFICE BUILDING SPRINKLER DESIGN CRITERIA:
- .45 OVER 3000 SQ FT
- -
-
- ☐ H.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 994-7070, 994-7684, 994-127

FINAL PLANS REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL.

PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- * BUILDING PLANS: 11" X 17 MINIMUM, UP TO 30" X 42" MAXIMUM
- * LANDSCAPING/IRRIGATION PLANS: 24" X 36" (MYLAR ORIGINALS)
- * CIVIL PLANS: 24" X 36" (MYLAR ORIGINALS)

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- * BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- * SITE ADDRESS.
- * PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2 INCH LETTERS.
- * NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

FINAL PLAN SUBMITTAL REQUIREMENTS
THIS FORM MUST ACCOMPANY ALL FINAL PLAN SUBMITTALS

The following items are the **BASIC MINIMUM** requirements **NECESSARY** to submit final plans for review.

BUILDING PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

DETAILED INFORMATION REGARDING MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLINGS CAN BE OBTAINED FROM THE ONE-STOP SHOP.

- ☐ Building plans may be reviewed at the One-Stop Shop counter
- ☒ Building plans shall be submitted to Project Review for final plans review
- ☒ Four sets which shall include each of the following:
 - * Site Plan
 - * Project Data
 - * Elevations
 - * Floor Plans
 - * Foundation Plans
 - * Building Sections
 - * Wall Sections
 - * Architectural Details
 - * Schedules
 - * Mechanical Plans and Details
 - * Structural Plans and Details
 - * Electrical Plans and Details

In addition provide two additional copies of site plan and two additional copies of elevations plan(s) with the submittal.

- ☐ One copy of structural, electrical, and water calculations (may be on drawings)
- ☐ One copy of geotechnical report accompany building plans

CIVIL PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

- ☒ Grading & drainage plan
- ☒ Water plans
- ☒ Sewer plans
- ☒ Paving plans (including striping & signage)
- ☒ Results of survey
- ☐ Boundary survey
- ☐ Copy of the preliminary plat
- ☐ Copy of the final plat
- ☒ Drainage report
- ☐ Striping & signage plan
- ☐ Traffic signal plans
- ☐ Geotechnical report
- ☒ Structural plans including details & calculations
- ☐ Title Report (not more than 60 days old)
- ☐ Engineer's cost estimate for in-lieu payments
- ☒ Two additional architectural site plans
- ☒ Wall elevations
- ☒ Cut sheets and specifications for outdoor lighting fixtures
- ☒ Landscape & irrigation plans
- ☐ NAOS graphic & calculation worksheet
- ☒ Native plant program, or confirmation of compliance

FEE SCHEDULEPLAN REVIEW:**BUILDING:**

Livable	\$.19 Sq. Ft.
Covered	\$.09 Sq. Ft.
Fences	\$.06 Lin. Ft.

ENGINEERING:

Lower Desert (ESLO)	\$208.00 per sheet
Upper Desert (ESLO)	\$234.00 per sheet
Hillside (ESLO)	\$250.00 per sheet

AT THE TIME OF FINAL PLAN SUBMITTAL, THE FOLLOWING FEES MUST BE PAID:☐ ENCROACHMENT PERMIT FEES:

Encroachment permit fees are based on construction quantities. Fee rates are available from the One Stop Shop

☐ FINAL PLAT FEES:

Base plan review	\$599.00
PLUS: \$94.00 per lot	_____

☒ MONTHLY FIRE HYDRANT MAINTENANCE FEE:

\$4.00 per fire hydrant - ONE \$4.00

☐ PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:

Amount shall be based on sealed engineer's construction cost estimate approved by final plans and paid prior to building permit issuance for the following improvements:

LOCATION	IMPROVEMENTS REQUIRED

Traffic signal in-lieu fees may be based on \$80,000 for 100 percent of design and construction costs.

☐ IN LIEU PARKING (For Downtown)

\$7500 per space, or \$500 initial deposit and \$71 per month per space for a term of 15 years there after (number of spaces to be determined at final plans)