

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 8, 2004

ITEM No. 3

CASE NUMBER/ PROJECT NAME	8-DR-2004 94 Hundred Shea		
LOCATION	9400 E Shea Blvd		
REQUEST	Request site plan and elevations approval for office/retail development.		
OWNER	94th & Shea LLC 480-451-0248	ENGINEER	Hunter Engineering Pc 480-991-3985
ARCHITECT/ DESIGNER	Patrick Hayes Architecture 480-556-9000	APPLICANT/ COORDINATOR	John Rosso 94th & Shea LLC 480-451-0248

BACKGROUND

Zoning.

The site is zoned Highway Commercial District, Planned Community District (C-3, PCD) that permits retail and office uses.

Context.

The subject property is a vacant site located at the southwest corner of Shea Blvd. and the 94th St. alignment, specifically 9400 E. Shea Blvd. Currently, the vacant property consists of desert trees and shrubs in their natural condition.

The property to the west is an existing shopping center zoned Highway Commercial District, Planned Community District (C-3, PCD). Built in the late 1980's, the adjacent retail buildings are composed of red brick and stucco with a combination of flat and tile roofs. The properties south of the site are vacant and zoned for offices (Commercial Office District /C-O). The PCS corporate headquarter complex is located to the east of the site and is also zoned Commercial Office District (C-O). PCS currently has a temporary parking lot, constructed in 1994, located on the eastern portion of the subject property. To the north, across Shea Blvd, is an existing cemetery zoned single family residential (R1-35).

APPLICANT'S PROPOSAL

Applicant's Request.

The applicant seeks approval of site plan, landscape plan, and elevations for a new mixed-use development including 3 single-story retail buildings and 1 two-story retail/office building. There will be approximately 37,000 sq. ft. of retail space in the development and approximately 35,000 sq. ft. of office space.

Development Information:

- Existing Use: vacant land
- Parcel Size: 7.77 acres (gross)
- Total Square Footage: approximately 72,000 sq. ft.
- Allowed Building Height: 36 ft.
- Proposed Building Height: 36 ft. (2-story building)
- Parking Required: 267 parking spaces
- Parking Provided: 357 parking spaces

DISCUSSION

The subject site is part of a larger area that prepared a Master Vehicular and Pedestrian Access Plan (see Attachment #12). The proposed site plan meets this master plan in terms of vehicle circulation and pedestrian connections. The development will have one access point along Shea Blvd. and another one at the southern property line connecting to the parcel south of the site. Staff has stipulated a cross access easement from the access point on Shea Blvd. to the western property line in preparation for the adjacent shopping center granting cross-access to this project in the future. Pedestrian connections have been made from the western buildings, the eastern buildings, and from the middle of the site to Shea Blvd. Connections have also been made to the office complex to the east and to the existing shopping center to the west. The applicant has provided a 100 ft. average/80 ft. minimum scenic corridor along Shea Blvd. and has met open space requirements for the site.

The three buildings are located in the central portion of the site with parking being provided in front and in back of the buildings. The main drive through the site, connecting Shea Blvd. to the parcel south of the site, consists of a cobble stone decorative paver. Parking exceeds the zoning ordinance requirements by 90 parking spaces.

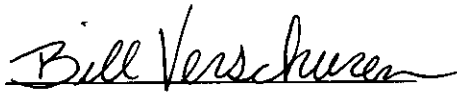
The applicant uses a variety of architectural elements such as towers, different parapet heights, wing walls, shade overhangs, and columns to break up the mass of the buildings. The main portions of the buildings are composed of stucco and masonry block, accented with stone and metals. Covered walkways consist of either tile roofs or metal structures. Parapet roofs accented with tile roofs are used for the retail buildings while the office building uses parapet roofs accented with standing seam metal roofs. The applicant chose to use a variety of tans and browns for the paints and materials of the buildings. All windows and doors, except those under covered archways, have been stipulated to be recessed a minimum of 50 % of the wall thickness and are composed of anodized aluminum painted tan. Glazing consists of a combination of clear and bronze colored throughout all of the buildings.

The landscape palette is a desert theme utilizing Desert Museum Palo Verde, Rio Salado Mesquite, Shoestring Acacia, Sweet Acacia, Desert Museum Palo Verde, and a variety of shrubs, and groundcover. A variety of native trees (26 trees) found on the site will be relocated and replanted on the site. The scenic corridor will be planted with vegetation that matches the existing materials found in the area today. The applicant is also proposing 5 palm trees to emphasize the entrance of "Building B".

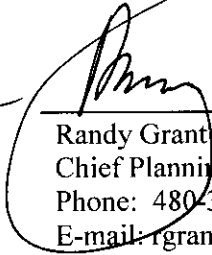
**STAFF
RECOMMENDATION**

Recommended Approach:
Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)



Bill Verschuren
Senior Planner
Phone: 480-312-7734
E-mail:
bverschuren@ScottsdaleAZ.gov



Randy Grant
Chief Planning Officer
Phone: 480-312-7995
E-mail: rgrant@scottsdaleaz.gov

ATTACHMENTS

- #1-Project Narrative
- #2-Context Aerial
- #2A-Close-Up Aerial
- #3-Zoning Map
- #4-Site Plan
- #5-Landscaping Plan
- #6-Color Elevations (Building A)
- #7 Color Elevations (Building B)
- #8-Color Elevations (Building C)
- #9-Color Elevations (Building D)
- #10-Color Perspective
- #11-Wall Details
- #12-Master Vehicular/Pedestrian Access Plan
- A-Fire Ordinance Requirements
- B-Stipulations/ Zoning Ordinance Requirements

NARRATIVE

CASE NO. 103-PA-2003

ATTACHMENT 1

94 Hundred Shea is a proposed mixed-use development including (3) single-story retail shops and a mixed-use 2-story office/retail building located on the south side of E. Shea Boulevard between 92nd St. and 96th St. This submittal incorporates \pm 37,607 gross s.f. of retail sales and \pm 35,101 gross s.f. of executive office on a 7.03 net acre site including required onsite and offsite improvements.

All parking will be onsite and at-grade supplying approximately 358 parking spaces (+/- 4.8/1000 for the retail & 5.0/1000 for the office). Covered parking canopies will be provided at the southwest of the property to accommodate +/- 36 of the 358 spaces.

This project is designed in accordance with existing and approved buildings prevalent to the area with a contemporary architectural flavor. Building body materials consist of integral colored E.I.F.S., faux stone, colored masonry, bronze insulated performance glazing, clear vision glazing, colored aluminum mullions, painted accent metal shade canopies and perforated steel. Proposed roofing materials include painted standing seam metal, concrete tile and class 'A' built-up. Hardscape will include a blend of integral color concrete with exposed aggregate accents.

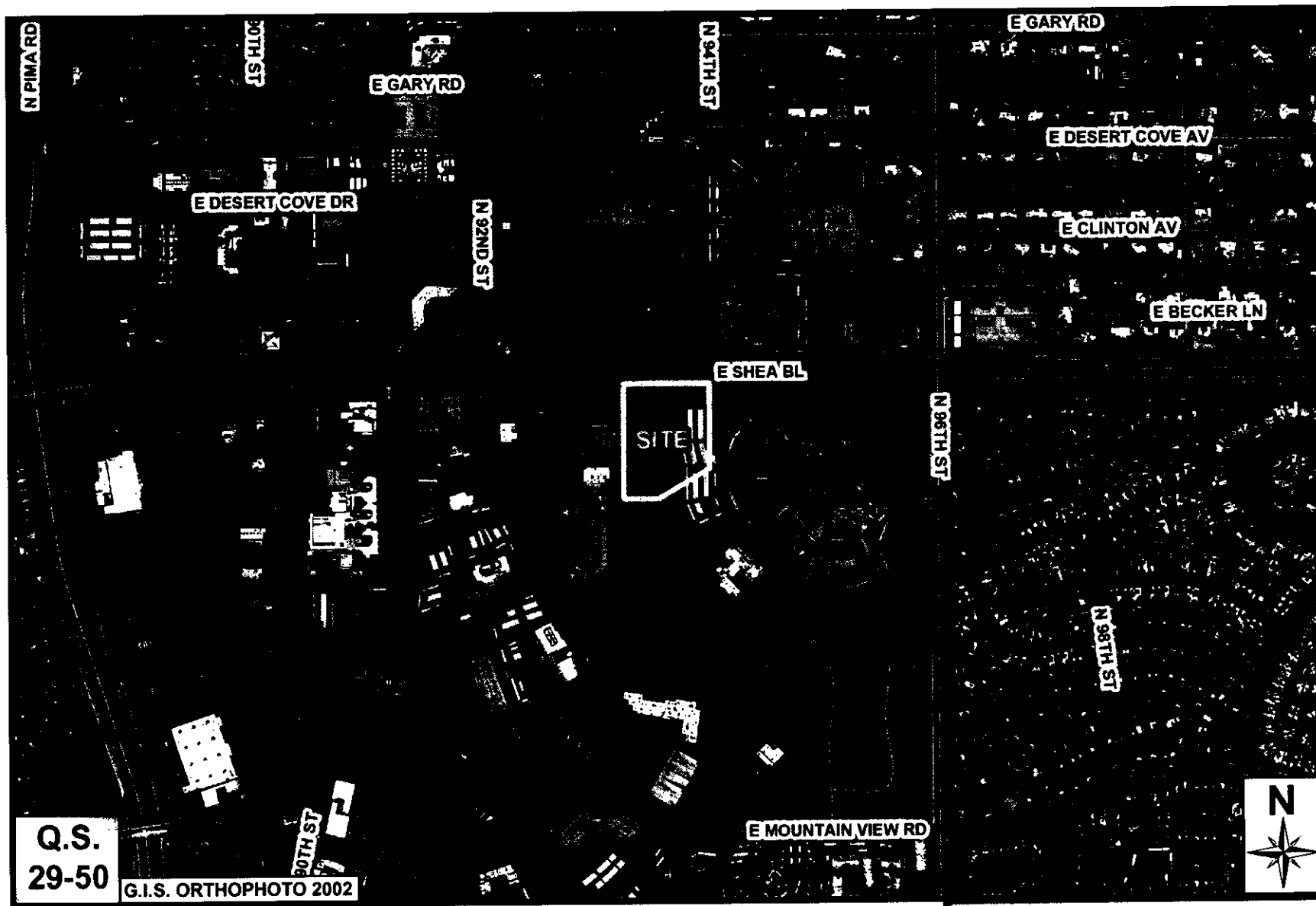
Additional site improvements have been incorporated through the use of stamped concrete or pavers along the main drive aisle spine as well as providing a water feature / fountain within the center of the round-about. New 3' high parking screen walls face Shea Boulevard and are composed of E.I.F.S., faux stone and accent metals designed to integrate within the architectural character of the center.

Seat walls & benches have been strategically located along the pedestrian route to provide relief nodes between buildings as well as for the main pedestrian connection to Shea Boulevard.

This development is designed to offer a quality example of a commercial mixed-use office/retail project prevalent in the City of Scottsdale.

8-DR-2004
01/29/2004

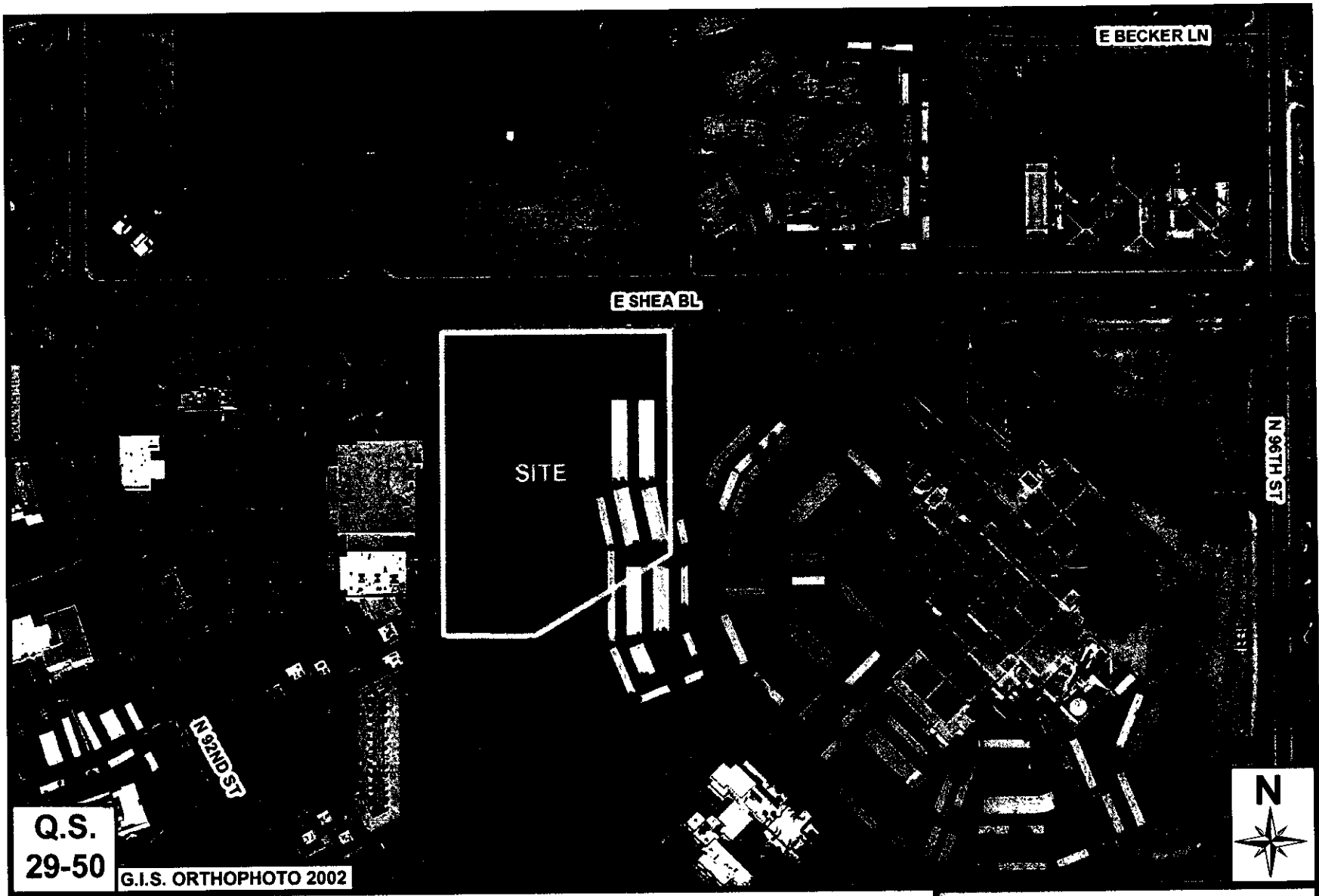
ATTACHMENT #1



94 Hundred Shea

8-DR-2004

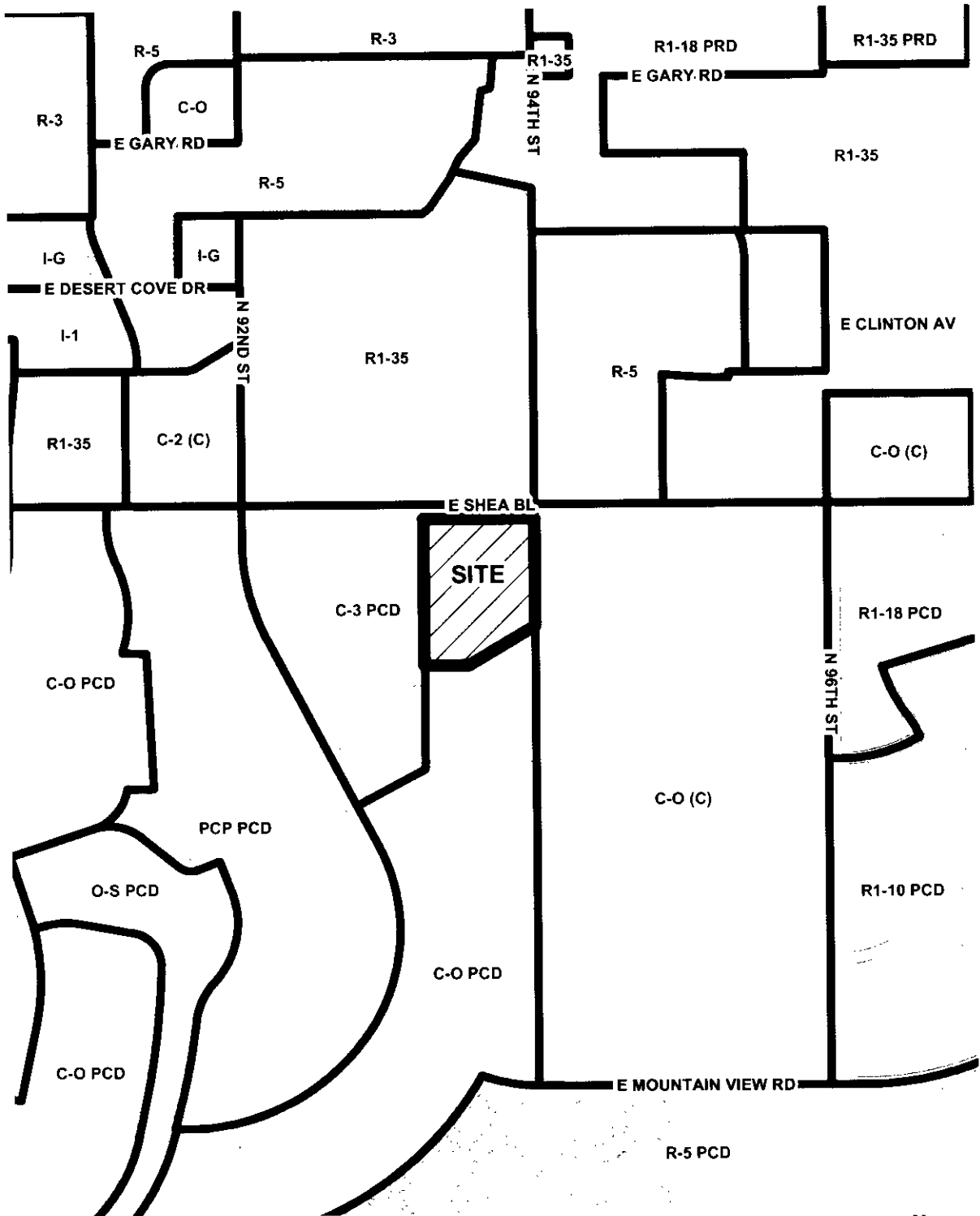
ATTACHMENT #2



94 Hundred Shea

8-DR-2004

ATTACHMENT #2A

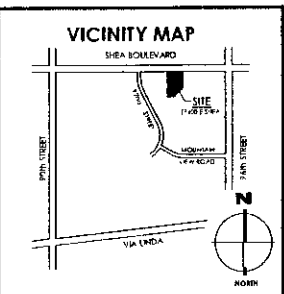
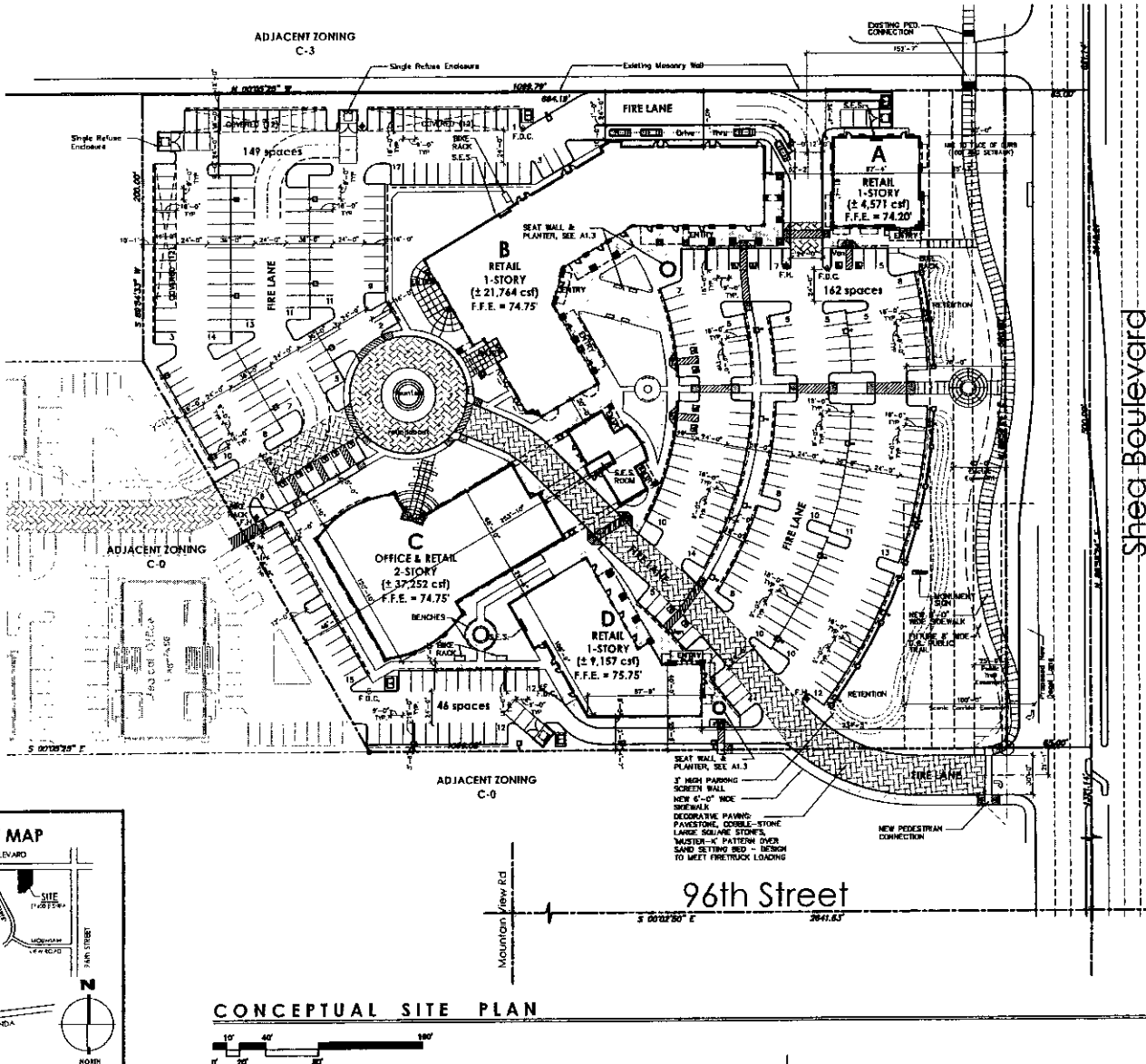


8-DR-2004

ATTACHMENT #3



ATTACHMENT #4



CONCEPTUAL SITE PLAN



Site Area (net)	± 306,145 s.f. net (7.03 acres net)
Site Area (gross)	± 338,645 s.f. gross (7.77 acres gross)
Zoning	C-3 PCD
Zoning Case #	103-PA-2003
Office C - Total	± 35,101 s.f.
1st Floor	± 14,634 s.f.
2nd Floor	± 20,467 s.f.
Retail - Total	± 37,607 s.f.
Retail @ Office C	± 2,151 s.f.
Pad A	± 4,535 s.f.
Shops B	± 21,764 s.f.
Shops D	± 9,157 s.f.
Building Area - Total	± 72,708 s.f.
Lot Coverage (net) Allowed	n/a
Lot Coverage (net) Provided	+ 17%
F.A.R. (net) Allowed	.80
F.A.R. (net) Provided	± .24
Volume Allowed	± 2,938,992 C.F. (9.6 feet) x (Net Site Area) (9.6 feet) x (± 306,145 s.f.) =
Volume Provided	± 1,040,526 C.F.
Pad A	± 72,560 C.F. = (4,535 s.f. x 16' T.O. Ceiling)
Shops B	± 348,224 C.F. = (21,764 s.f. x 16' T.O. Ceiling)
Office C	± 234,144 C.F. = (14,634 s.f. x 16' T.O. Ceiling)
Shops D	± 204,670 C.F. = (20,467 s.f. x 10' T.O. Ceiling)
Retail C	± 34,416 C.F. = (2,151 s.f. x 16' T.O. Ceiling)
Shops D	± 146,512 C.F. = (9,157 s.f. x 16' T.O. Roof)
Required Parking - Total	± 267 spaces
Office Standard	± 112 spaces
Office Accessible	± 5 spaces (4% of required)
Office Total (1/300)	± 117 spaces
Retail Standard	± 144 spaces
Retail Accessible	± 6 spaces (4% of required)
Retail Total (1/250)	± 150 spaces
Provided Parking - Total	± 357 spaces
Office Standard	± 170 spaces
Office Accessible	± 6 spaces
Office Total	± 176 spaces (5.0/1000)
Retail Standard	± 173 spaces
Retail Accessible	± 8 spaces
Retail Total	± 181 spaces (4.8/1000)
Building Height - Allowable	± 36'-0"
Building Height - Provided	± 36'-0"

PATRICK HAYES ARCHITECTURE

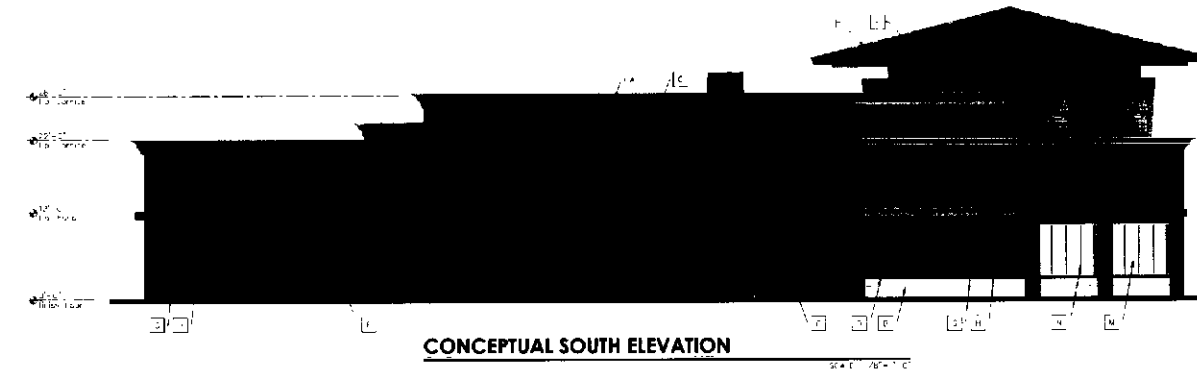
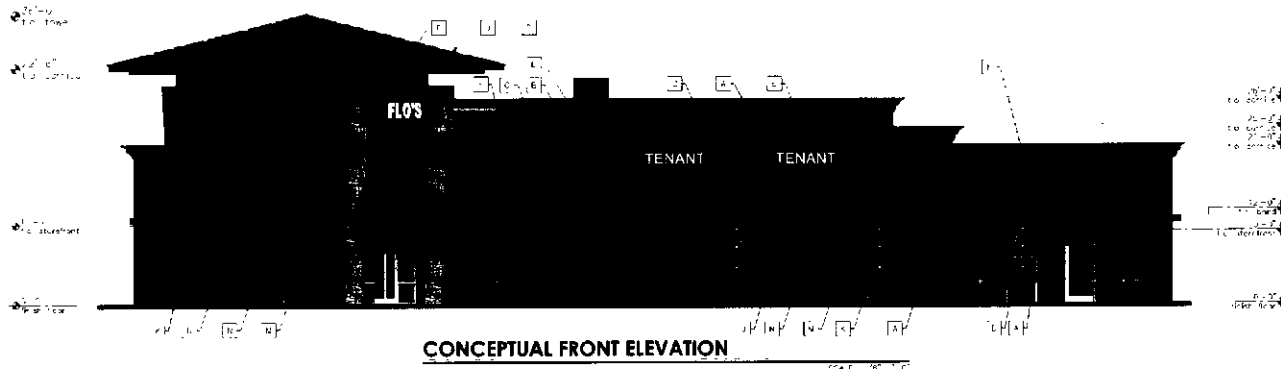
WESTAR COMPANIES

94 HUNDRED SHEA
9400 E SHEA
SCOTTSDALE, ARIZONA

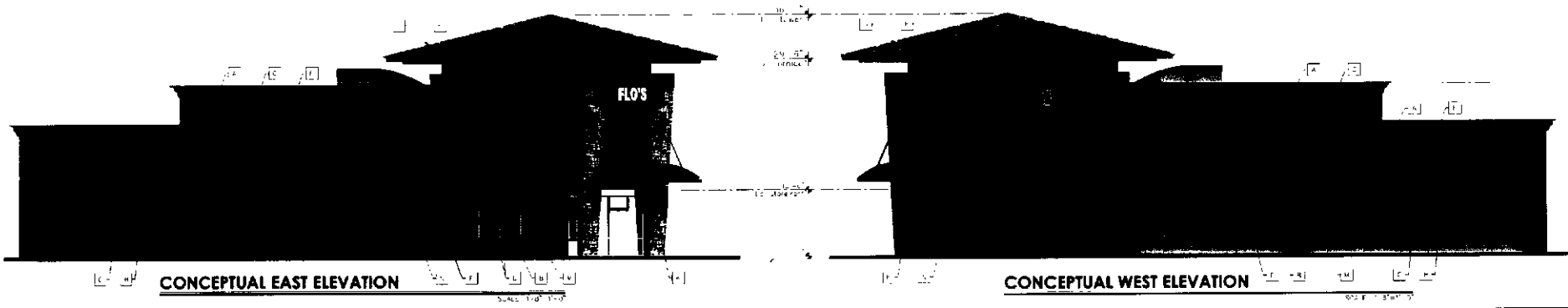
03071

043004

11/22/04



NOTE:
SLOPE LEADING TO
LEVEL LEASING A
MINIMUM OF 2%
IN ALL DIRECTIONS



FINISH SCHEDULE

1	CEILING	SPRINKLER RISER
2	MEP	RED PRESSED BRICK
3	MEP	RED PRESSED BRICK
4	MEP	RED PRESSED BRICK
5	MEP	RED PRESSED BRICK
6	MEP	RED PRESSED BRICK
7	MEP	RED PRESSED BRICK
8	MEP	RED PRESSED BRICK
9	MEP	RED PRESSED BRICK
10	MEP	RED PRESSED BRICK
11	MEP	RED PRESSED BRICK
12	MEP	RED PRESSED BRICK
13	MEP	RED PRESSED BRICK
14	MEP	RED PRESSED BRICK
15	MEP	RED PRESSED BRICK
16	MEP	RED PRESSED BRICK
17	MEP	RED PRESSED BRICK
18	MEP	RED PRESSED BRICK
19	MEP	RED PRESSED BRICK
20	MEP	RED PRESSED BRICK
21	MEP	RED PRESSED BRICK
22	MEP	RED PRESSED BRICK
23	MEP	RED PRESSED BRICK
24	MEP	RED PRESSED BRICK
25	MEP	RED PRESSED BRICK
26	MEP	RED PRESSED BRICK
27	MEP	RED PRESSED BRICK
28	MEP	RED PRESSED BRICK
29	MEP	RED PRESSED BRICK
30	MEP	RED PRESSED BRICK
31	MEP	RED PRESSED BRICK
32	MEP	RED PRESSED BRICK
33	MEP	RED PRESSED BRICK
34	MEP	RED PRESSED BRICK
35	MEP	RED PRESSED BRICK
36	MEP	RED PRESSED BRICK
37	MEP	RED PRESSED BRICK
38	MEP	RED PRESSED BRICK
39	MEP	RED PRESSED BRICK
40	MEP	RED PRESSED BRICK
41	MEP	RED PRESSED BRICK
42	MEP	RED PRESSED BRICK
43	MEP	RED PRESSED BRICK
44	MEP	RED PRESSED BRICK
45	MEP	RED PRESSED BRICK
46	MEP	RED PRESSED BRICK
47	MEP	RED PRESSED BRICK
48	MEP	RED PRESSED BRICK
49	MEP	RED PRESSED BRICK
50	MEP	RED PRESSED BRICK
51	MEP	RED PRESSED BRICK
52	MEP	RED PRESSED BRICK
53	MEP	RED PRESSED BRICK
54	MEP	RED PRESSED BRICK
55	MEP	RED PRESSED BRICK
56	MEP	RED PRESSED BRICK
57	MEP	RED PRESSED BRICK
58	MEP	RED PRESSED BRICK
59	MEP	RED PRESSED BRICK
60	MEP	RED PRESSED BRICK
61	MEP	RED PRESSED BRICK
62	MEP	RED PRESSED BRICK
63	MEP	RED PRESSED BRICK
64	MEP	RED PRESSED BRICK
65	MEP	RED PRESSED BRICK
66	MEP	RED PRESSED BRICK
67	MEP	RED PRESSED BRICK
68	MEP	RED PRESSED BRICK
69	MEP	RED PRESSED BRICK
70	MEP	RED PRESSED BRICK
71	MEP	RED PRESSED BRICK
72	MEP	RED PRESSED BRICK
73	MEP	RED PRESSED BRICK
74	MEP	RED PRESSED BRICK
75	MEP	RED PRESSED BRICK
76	MEP	RED PRESSED BRICK
77	MEP	RED PRESSED BRICK
78	MEP	RED PRESSED BRICK
79	MEP	RED PRESSED BRICK
80	MEP	RED PRESSED BRICK
81	MEP	RED PRESSED BRICK
82	MEP	RED PRESSED BRICK
83	MEP	RED PRESSED BRICK
84	MEP	RED PRESSED BRICK
85	MEP	RED PRESSED BRICK
86	MEP	RED PRESSED BRICK
87	MEP	RED PRESSED BRICK
88	MEP	RED PRESSED BRICK
89	MEP	RED PRESSED BRICK
90	MEP	RED PRESSED BRICK
91	MEP	RED PRESSED BRICK
92	MEP	RED PRESSED BRICK
93	MEP	RED PRESSED BRICK
94	MEP	RED PRESSED BRICK
95	MEP	RED PRESSED BRICK
96	MEP	RED PRESSED BRICK
97	MEP	RED PRESSED BRICK
98	MEP	RED PRESSED BRICK
99	MEP	RED PRESSED BRICK
100	MEP	RED PRESSED BRICK

ATTACHMENT #9

94 HUNDRED SHEA
9400 E SHEA
SCOTTSDALE, ARIZONA
03071X&BIV-A

PATRICK HAYES ARCHITECTURE
CONCEPTUAL BUILDING ELEVATIONS- (BUILDING 'D')
SCALE: 1/8" = 1'-0"

WESTAR COMPANIES

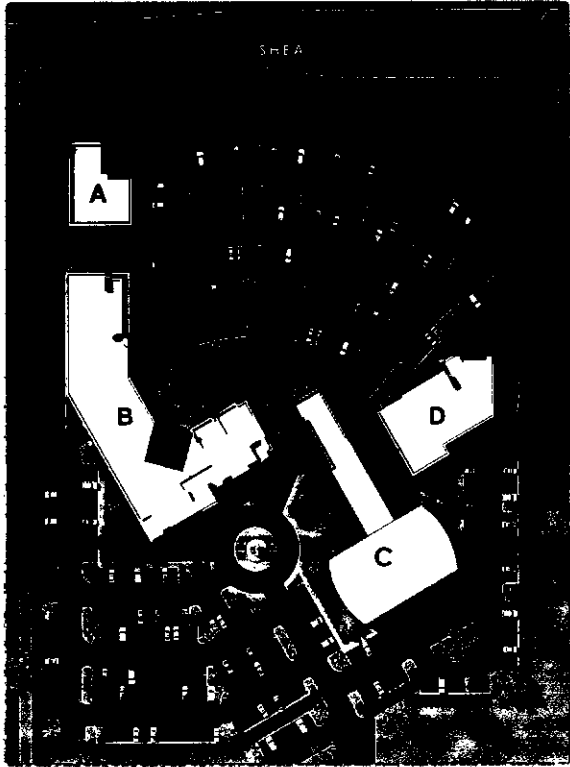
1/22/09

94

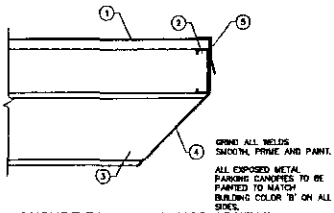
HUNDRED

Shea

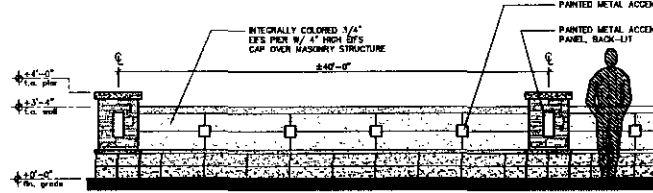
ATTACHMENT #10



1. GALVANIZED STEEL DECK, PTD
2. 12 GA. PURLINS
3. STEEL BEAM, PTD
4. CONTINUOUS PLATE PTD, TYPICAL
5. DWP EDGE TRIM ALL AROUND

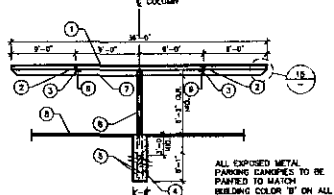


14 FUTURE PARKING CANOPY DETAIL
 SHOWN FOR DESIGN INTENT ONLY. PARKING CANOPIES UNDER SEPARATE PERMIT. 1:1/2"=1'-0"



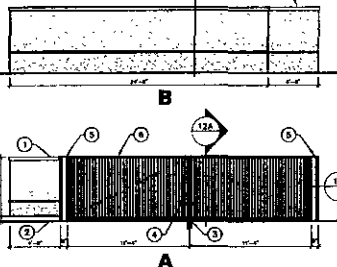
11 PARKING SCREEN WALL
 1/2"=1'-0"

1. GALV. STEEL DECK, PTD
2. 12 GA. PURLINS, TYP.
3. FLANGE BRACE, TYP.
4. C/P.A. CONCRETE CAISSON
5. (1) 4" FLANGE, EXTENDS TO 6" FROM BOTTOM OF CAISSON
6. WIDE FLANGE STEEL COLUMN - PTD
7. STEEL BEAM, PTD
8. ASPHALT PAVING, SEE CIVIL
9. PARKING CANOPY LIGHT FIXTURE W/ FLAT LENS



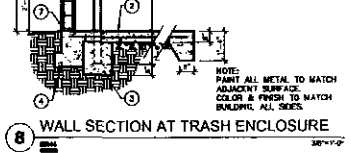
13 FUTURE PARKING CANOPY SECTION
 SHOWN FOR DESIGN INTENT ONLY. PARKING CANOPIES UNDER SEPARATE PERMIT. 1/2"=1'-0"

1. CURB WALL - SEE DETAIL 8
2. 6" CONCRETE CURB - SEE SITE PLAN FOR LOCATIONS
3. 1" GAGE BOLTS SET IN 1-1/2"x2" LONG PVC SLEEVE IN SLAB
4. PROVIDE HASP FOR PADLOCK
5. 4#4 STEEL POST - SEE DETAIL 9
6. METAL GATE - SEE DETAILS 9 & 12A

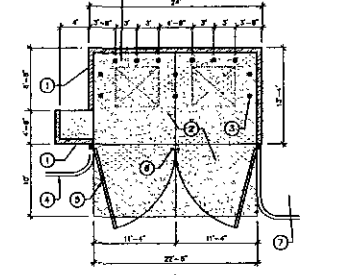


10 TRASH ENCLOSURE ELEVATIONS
 3/16"=1'-0"

1. 5" DIA. STEEL PIPE, GROUT SOLID, CROWN TOP
2. 1-1/2" THK. REINFORCED CONG. PAD W/ 4#4-1.4x-1.4x WELDED WIRE FABRIC ON 4" A.B.C.
3. CONCRETE FOOTING (TYP.)
4. CONCRETE FOOTING PER C.O.S. DETAIL 2146
5. 8"x8"x16" STANDARD GATE
6. 8"x4"x16" GRAY GMI CAP, HONED FINISH
7. KEEP HOLES AS REQ'D FOR DRAINAGE - SEE CIVIL
8. 8"x8"x16" STANDARD GATE
9. SYNTHETIC STUCCO OVER MASONRY WALL



8 WALL SECTION AT TRASH ENCLOSURE
 3/16"=1'-0"



7 TRASH ENCLOSURE ENLARGED PLAN
 3/16"=1'-0"

1. 3"x4"x1/4" STEEL ANGLE FRAME, L.L.H. WELD ALL AROUND
2. 1 3/8" CORRUGATED STEEL, DECORATIVE WELDED TO FRAME, PAINT TO MATCH ALL SURFACE
3. 5/8"x1/4" STEEL ANGLE DIAGONAL BRACING, WELD ALL AROUND - PAINTED
4. 3/4"x1/4" GAGE BOLT - PAINTED
5. 1" INSIDE DIA. (MIN.) x 3" LONG PIPE SLEEVE CAST INTO OR GROUT FILLED AND EPXDY SET IN CONCRETE SLAB
6. CONCRETE SLAB
7. STEEL ANGLE LEDGER - PAINTED

12 TRASH ENCLOSURE GATE
 2:1=1'-0"

1. CURB WALL - SEE DETAIL 8
2. 6"x1/2" CONG. PAD AND APRON
3. PIPE ROLLER, (TYP.) - SEE DETAIL 8
4. 8" CONCRETE CURB
5. STEEL GATE - SEE DETAILS 8 & 12A
6. PIPE SLEEVE LOCATION (TYP.) - SEE DETAIL 12B
7. LANDSCAPE AREA

9 TRASH ENCLOSURE GATE
 1:1/2"=1'-0"

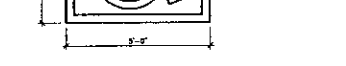
- NOTE: SIGNALING CONDUCTOR SHALL BE #6 BARE COPPER
1. POLE MANUFACTURED BY "TELEKOR" OR APPROVED EQUAL W/ "SHOCKER" FIXTURES. SEE ELECTRICAL.
 2. HANDHOLE (1) 1/4" DIA. HOLES WHERE OVER 150 VOLTS TO GROUND
 3. BASE COLLAR WITH GUSSET PLATE GROUT w/ NON-SHOCK GROUT AFTER LEVELING
 4. (1) HOT DIPPED GALVANIZED STEEL BOLTS FURNISHED WITH POLE TACK WELD NUTS TO WASHERS AND WASHERS TO BASE PLATE AFTER POSITIONING BOLTS
 5. PROVIDE (3) #2 REB # 12" O.C.
 6. FINISH WIRE PAVED SURFACE
 7. MATCH AND LAP (1) #4 VERTICAL REBAR w/ (1) #4 BOLTS
 8. PVC CONDUIT w/ BOND WIRE
 9. 3000 P.S.I. CONCRETE BASE POUR AGAINST UNDEVELOPED OR WELL COMPACTED EARTH
 10. GROUNDING LUG AT POLE
 11. ANCHOR CLAMP AT REBAR AND ANCHOR BOLT
 12. 5/8" x 3" GROUND ROD 10'-0" DEEP WITH CADWELD CONNECTION

6 LIGHTING FIXTURE
 1/2"=1'-0"

1. 2" LETTERS
2. 5" ROYAL BLUE SOLID W/ WHITE SYMBOL
3. .067" LETTERS
4. 1/2" LETTERS
5. BOTTOM OF SIGN SHALL BE NO LESS THAN 3 FEET FROM MORE THAN 6 FEET ABOVE FIN. SURFACE
6. GREEN BOARDS AND YIELD, AND BLUE SYMBOL ON WHITE REFLECTIVE BACKGROUND (TYP.)
7. BACKGROUND SUPER ENGINEER GRADE OR HIGH INTENSITY SHEETING COPY SAME AS ABOVE
8. SUBSTRATE: EPOXY GLAZE TREATED ALUMINUM

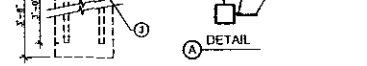
3 ACCESSIBLE SIGNAGE
 1 1/2"=1'-0"

1. 5'-0"x11'-0" SYMBOL OF ACCESSIBILITY PAINTED HANDICAP BLUE OUTLINED IN TRAFFIC YELLOW PER C.O.S. REG'S.



5 ACCESSIBLE PARKING SYMBOL
 1/2"=1'-0"

1. 2"x2"x1/8" TUBE STEEL FRAME, PTD
2. 12"x24"x1/4" ALUMINUM SIGN PER CITY OF SCOTTSDALE SIGNAGE DETAIL 2124 AND DETAIL 3
3. SET TUBE POSTS IN CONCRETE BASE
4. 3/4" WIDE BY 3" LONG BY 1/8" THICK PLATE FOR SIGN ATTACH AT TOP AND BOTTOM



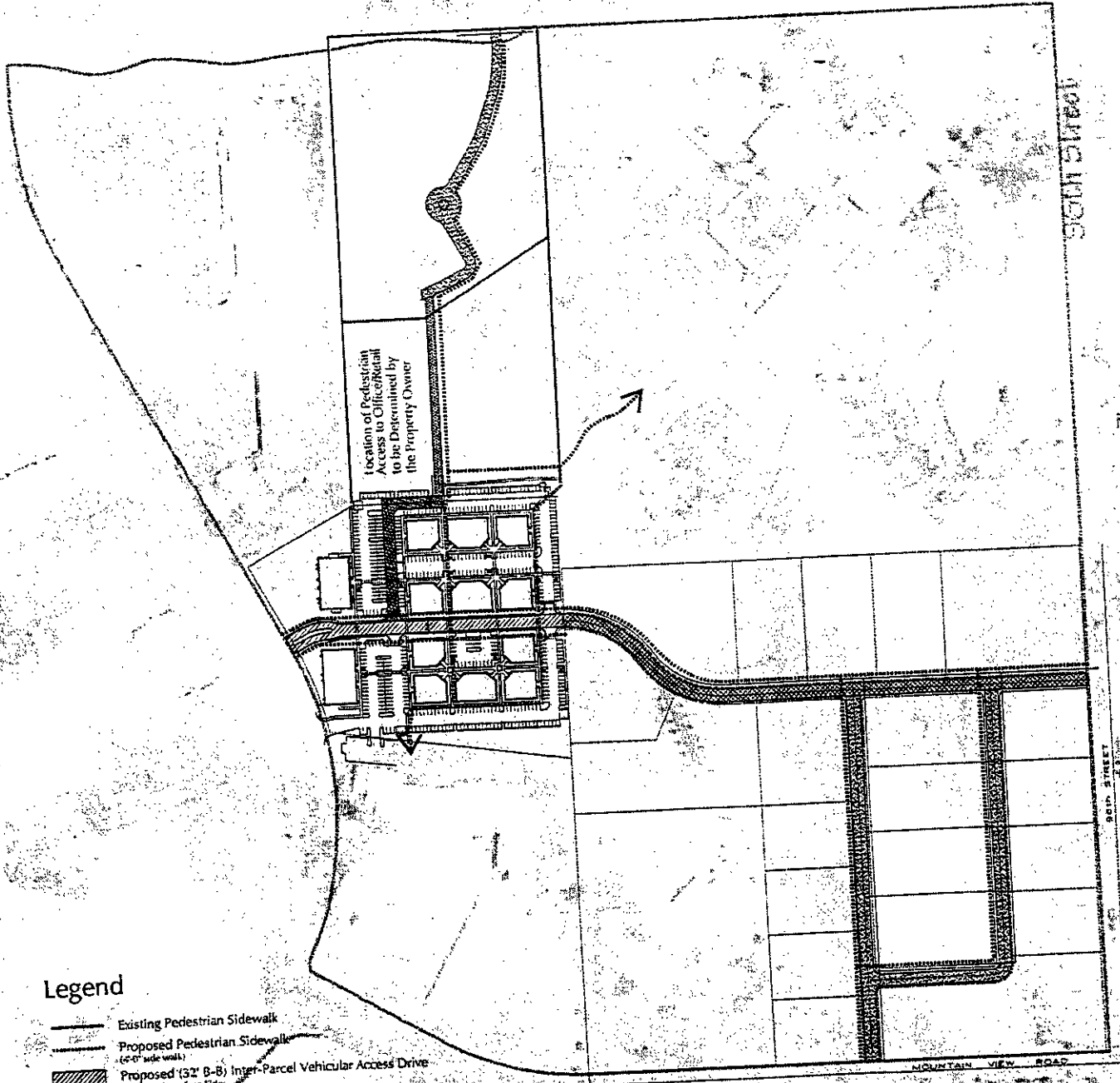
2 ACCESSIBLE PARKING SIGN
 1/2"=1'-0"

1. 4" A.B.C. FILL
2. 4" CONCRETE SLAB W/ SALT FINISH
3. ASPHALTIC CONG. - SEE CIVIL
4. CURB RETURN ALONG SIDE FULL LENGTH OF RAMP

4 ACCESSIBLE RAMP
 3/16"=1'-0"

1. 5'-0"x11'-0" SYMBOL OF ACCESSIBILITY PAINTED HANDICAP BLUE OUTLINED IN TRAFFIC YELLOW PER C.O.S. REG'S. - SEE DETAIL 5
2. ACCESSIBLE PARKING SIGN TO BE 5'-0" ABOVE FINISH GRADE. VERIFY EXACT LOCATION PRIOR TO INSTALLATION - SEE DETAIL 5
3. PAINTED 4" TRAFFIC YELLOW LINE STRIPING
4. PAINTED ACCESS ARROW ON ASPHALT PAVEMENT, ESTABLISHED BY 2'-0" O.C. PAINTED TRAFFIC YELLOW
5. CONCRETE RAMP - SEE DETAIL 4
6. CONCRETE SUBSTRATE FLUSH WITH PAVING, SEE CIVIL
7. VAN ACCESSIBLE SPACE STANDARD ACCESSIBLE SPACE

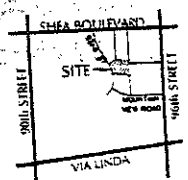
1 ACCESSIBLE PARKING STALL
 1/8"=1'-0"



Legend

- Existing Pedestrian Sidewalk
- Proposed Pedestrian Sidewalk (6'-0" wide walk)
- Proposed (32' B-B) Inter-Parcel Vehicular Access Drive
4' Sidewalk on Two Sides
- Proposed (32' B-B) Inter-Parcel Vehicular Access Drive
4' Sidewalk on One Side
- Proposed (21' B-B) Inter-Parcel Vehicular Access Drive
4' Sidewalk on One Side
- Proposed (25' B-B) Internal Vehicular Access Drive
4' Sidewalk on One Side
- Proposed (25' B-B) Internal Vehicular Access Drive
- Proposed (29' B-B) Inter-Parcel Vehicular Access Drive

Master Vehicular/ Pedestrian Access Plan



12-10-02 Rev 1/03-02



**92nd Street Offices
ATTACHMENT #12**

Prepared For:
92nd Street Offices
Investors, L.L.C.

**94TH. AND SHEA
OFFICE & RETAIL-REVISED
9400 E. SHEA BLVD.
SCOTTSDALE, AZ.**

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
- SEE THE D R SITE PLAN FOR THE FIRE LANE LOCATIONS. ALL STRUCTURAL PROJECTIONS OVER THE DRIVES, MIN. 13'-6" CLEARANCE.
3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
5. PROVIDE A KNOX ACCESS SYSTEM:
- A. KNOX BOX
 - B. PADLOCK
 - C. KNOX OVERRIDE & STROBE SWITCH FOR AUTOMATIC GATES.
6. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
7. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
8. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____
9. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
10. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER(S) OF CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
11. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 20') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
12. NUMBER OF FIRE HYDRANTS REQUIRED, 04. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
13. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
14. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
15. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. PERMIT FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED REQUIRES THAT A COMPLETED HMMP BE PROVIDED WITH SUBMITTAL OF BUILDING PLANS.
16. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
17. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)
- 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - WALL MOUNTED - 15' CLEAR OF OPENINGS.
18. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF _____ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS MAY BE REQUIRED.

19. **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA (2002 EDITION) & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- C. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:**
 LT. HAZ. OFFICE ORD. GR II MERCANTILE
- D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA;**
- E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES:
 .45 OVER 3000 SQ. FT.**
- F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**
- G. PROVIDE A LOOPED UNDERGROUND WATER MAIN SYSTEM.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

**Stipulations for Case:
94th Street & Shea Office Building
Case 8-DR-2004**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Patrick Hayes Architecture with a City of Scottsdale labeled date of June 2, 2004.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Patrick Hayes Architecture with a City of Scottsdale labeled date of June 9, 2004.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by GK Flanagan Associates with a City of Scottsdale labeled date of June 2, 2004.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. All windows and doors shall be recessed a minimum of 50 % of the wall thickness except those located under covered arcades.
5. All exterior conduit and raceways shall be painted to match the building.
6. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
7. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
8. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture all sides.
9. Dooley wall fencing shall not be allowed.
10. All walls shall match the architectural color, materials and finish of the building(s) all sides.

SITE DESIGN:**DRB Stipulations**

11. The existing 100 foot scenic corridor easement along the northeastern property boundary must be released prior to the dedication of the new scenic corridor easement along Shea Blvd.
12. The adjacent parcel to the east is required to submit landscaping and grading and drainage plans for staff review and approval for any areas that are disturbed on their site due to demolition of the existing parking facilities which span both parcels.
13. The applicant must remove all parking lot screen walls from areas to be calculated as required scenic corridor easement. The pedestrian amenity and sidewalk running through the scenic corridor may be counted in the easement area.

LANDSCAPE DESIGN:**DRB Stipulations**

14. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
15. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- A. Revise the landscape plan so that there is not more than 7 feet between plants and/or plant canopies in any one direction. Increase the densities of plantings proposed to meet ordinance requirements.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

16. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign, step, seating areas and parking lot canopy lighting. Fixtures SW2 and SW3 as shown on the Development Review Board lighting design submittal must be replaced with fixtures that meet the full cutoff requirement.
17. The individual luminaire lamp shall not exceed 250 watts.
18. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
19. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
20. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaries shall be included in this calculation.
- b. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- c. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.
- d. The maintained average horizontal illuminance at grade at the storefront entries including any spill light from store interior shall not exceed the maintained average horizontal illuminance level

at grade of (5) foot-candles. The maintained maximum horizontal illuminance level at grade along the storefront entries shall not exceed fifteen (15) foot-candles.

Carport Lighting:

- e. The carport lighting shall be recessed within the canopy and shall not project below the fascia. The light source is not directly visible from the property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 21. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 22. A land division must take place prior to final plan approval of this development. The division shall take place at the C-3 PCD and C-0 PCD district boundaries.
- 23. Prior to final plan approval, the developer shall receive approval from the property owner to the east for proposed improvements located on their property. Any necessary easements must also be dedicated prior to final plan approval.
- 24. Prior to final plan approval, the developer must dedicate a scenic corridor easement along Shea Blvd. As required by stipulations of case 11-ZN-2002. The scenic corridor easement along with all proposed and existing easements on the site must be shown and called out on the site plan.
- 25. A maintenance agreement must be recorded prior to issuing of building permits. A copy of the maintenance agreement must be submitted to the City of Scottsdale prior to recordation.
- 26. Prior to final plans approval, the developer must show the approval has been obtained from the City of Scottsdale Water Resources Department for water features proposed with the development.
- 27. No exterior vending or display shall be allowed.
- 28. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 29. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- B. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 11-ZN-2002

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 30. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.

APPROVED AT DRB 07/08/2004 -- BDF

31. Basin Configuration:

- a. Basin side slopes shall not be steeper than 3:1, and basin depths shall not exceed 4 feet.
- b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
- c. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
- d. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
- e. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- C. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
 - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- D. UNDERGROUND STORM WATER STORAGE. This site is approved to install an underground storage tank to temporarily store and discharge stormwater runoff for this site only.
- E. ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.
- F. RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:
 - a. The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.
 - b. The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.
- G. LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)
- H. REFERENCE PERTINENT CODE. The final drainage report shall provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix. Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)

- I. **SIGNAGE.** The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, " Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.
- J. **TANK DRAINAGE.** A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the center of the south property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
- K. **TANK SPECIFICATIONS.** The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.
- L. **O & M SCHEDULE.** With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall: Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers. Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures. Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures. Specify that a copy of the maintenance log and a certified Letter of Inspection shall be issued to the City Inspection Services annually.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Shea Boulevard	Expressway	65 ft half street (65 ft existing) Public access easement for 8 foot wide sidewalk; 1 foot VNE.	Right turn deceleration lane; Median reconstruction to permit left turns into site only.	6 inch vertical curb and gutter	Construct a 8 ft wide sidewalk with a 5 ft min. separation from the back of curb

DRB Stipulations

- 32. The developer shall design and construct one site driveway on Shea Boulevard in general conformance with Standard Detail #2257 for CH-1.
- 33. This site shall be allowed only one site driveway onto Shea Boulevard, and left turns out of the site onto Shea Boulevard shall be prohibited.
- 34. The developer shall reconstruct the Shea Boulevard median into a channelization island that only allows west bound Shea Boulevard traffic a left turn into the site. The channelization shall be designed so that vehicles cannot turn left from the site onto Shea Boulevard.
- 35. Provide bike parking at building entrances and distribute evenly across the site.
- 36. Construct a 5 ft. wide sidewalk along the main driveway from Shea Boulevard to the south property line per the approved pedestrian circulation plan.
- 37. Construct an 8 ft. wide sidewalk along the Shea Boulevard frontage, with a minimum 5 ft. separation from the back of sidewalk. Also, dedicate a public access easement over this sidewalk.
- 38. Provide a pedestrian connection from the property abutting the east property line, through this site and connecting to the shopping center abutting the west property line.
- 39. The proposed driveway entrance on Shea Boulevard is not shown within the site property lines per the site plan dated 6/9/2004. Prior to final plans approval the owner will need to own the property or acquire a cross access easement from the owner of the property abutting this site's east property line.

40. The developer shall dedicate a cross access easement to the property owner of the parcel abutting the west property line from the proposed driveway on Shea Boulevard.
41. The developer shall dedicate a minimum 24 ft. wide vehicular cross access easement at the west property line, at the drive aisle with the drive through lane.

Ordinance

- M. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

INTERNAL CIRCULATION:**DRB Stipulations**

42. The developer shall provide a minimum parking-aisle width of 24 feet.
43. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

Ordinance

- N. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

DRB Stipulations

44. Sight distance easements shall be dedicated over sight distance triangles.
 - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
45. Vehicular Non-Access Easement:
 - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Shea Boulevard except at the approved driveway location.
46. Indemnity Agreements:
 - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

- O. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:**DRB Stipulations**

47. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures.
48. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

- P. The developer shall construct a minimum of 4 refuse enclosures. Refuse enclosures are required as follows:
 - (1) Restaurants: One per restaurant
 - (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- Q. Underground vault-type containers are not allowed.
- R. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- S. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

- 49. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

DRB Stipulations

50. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:

DRB Stipulations

51. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
52. On-site sanitary sewer shall be privately owned and maintained.
53. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

- U. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- V. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

CONSTRUCTION REQUIREMENTS

DRB Stipulations

54. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- W. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]