

TO: DEVELOPMENT REVIEW BOARD **DATE:** 11/18/99
FROM: PROJECT COORDINATION
SUBJECT: CASE 92-DR-99

REQUEST: Approve Site Plan & Elevations for a Commercial Center
PROJECT NAME: McDowell Mountain Ranch Center
LOCATION: SWC McDowell Mountain Ranch Road & 105th Street

DEVELOPER/OWNER: MZN, Inc.
ARCHITECT/DESIGNER: Robert Kubicek Architect
ENGINEER: CMX Group
APPLICANT/COORDINATOR: Robert Kubicek Architect

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

PUBLIC COMMENTS: There have been no comments from the public regarding the Development Review Board application at the time of drafting this report.

DISCUSSION: The request is to approve the elevations and minor site plan features for a commercial center located at the southwest corner of McDowell Mountain Ranch Road and 105th Street. The site is zoned C-2 ESL and is located within southeastern portion of the McDowell Mountain Ranch master planned community. The 15 (gross) acre site is split between the developable northern half and the major wash corridor which encompasses the entire south half of the site.

At the 10/21/99 Development Review Board (DRB) hearing, the Board voted to approve the site plan with certain aspects of the plan to return with regards to dumpster locations, retaining wall details, playground equipment details, etc..... Also, there were certain elevations of the proposed buildings that were not included in the packet. The applicant has revised the application with all of the buildings elevations in the packet, revised certain elevations, per the Boards comments, and revised certain aspects of the site plan.

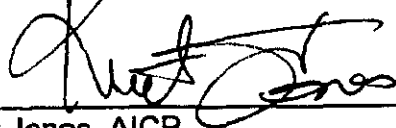
The revised site plan clearly defines the pedestrian connections throughout the site to each of the buildings, the streets and the major trail alignment just south of the rear set of buildings. The applicant relocated the dumpsters throughout the site in an effort to remove them from the main entrances to the site off 104th and 105th Streets. The revised site plan indicates where retaining walls will be necessary to grade the site consistent with the natural topography. The buildings, just north of the trail alignment, depict outdoor patios and additional landscaping between the buildings and trail. Finally, the site plan shows the locations of the outdoor playground equipment on the south side of the daycare building.

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The applicant has revised the bank pad elevations per comments of the DRB members. Also, the application includes all of the missing elevations excluded from the previous packet. The elevations utilize a McDowell Mountain Ranch "clone stone" veneer along the base of the buildings with brown stucco on the main portions of the buildings, dark brown cornice and accents and a dark brown concrete tile roof. Varying roof forms, gables and several different shaped tower elements provide for additional building undulations and provide a breaking of the roof masses on the larger buildings. The applicant has added green awnings which Staff has stipulated to return, for Staff Approval, a different, more durable material which is representative of the surrounding McDowell Mountain Ranch character.

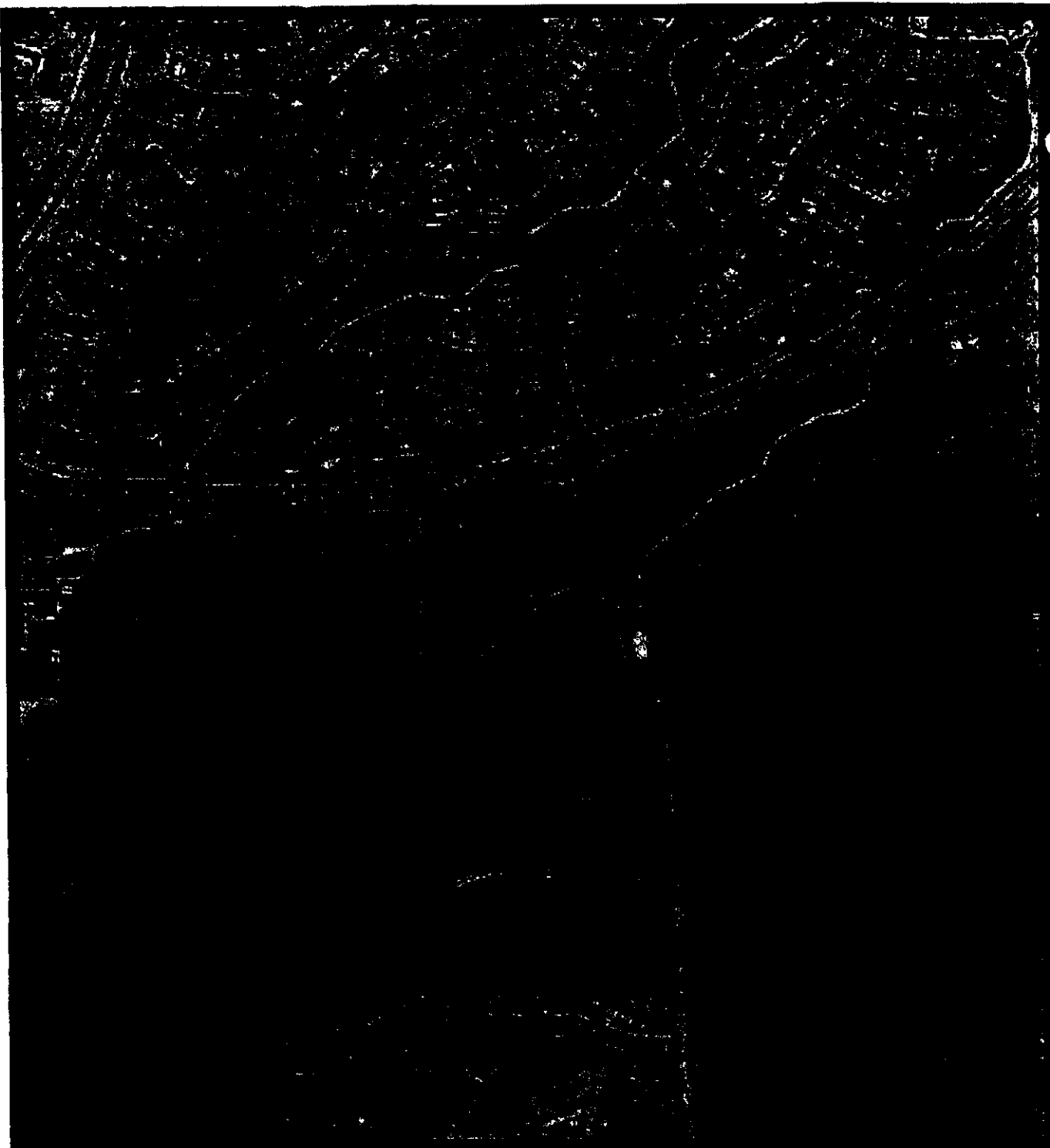
KEY ISSUES: Staff has stipulated revised lighting plans to be submitted and approved at a subsequent Development Review Board study session.

RELATED CASES: Case # 74-ZN-92 #7 – Site Plan Approval



Kurt Jones, AICP
Project Coordination Manager
480-312-2524

ATTACHMENTS: #1-Aerial
#2-Zoning Map
#3-Site Plan
#4-Landscape Legend
#5-10 Elevations
#11-Project Narrative
A-Stipulations
B-Ordinance Requirements



Q.S.
35-53

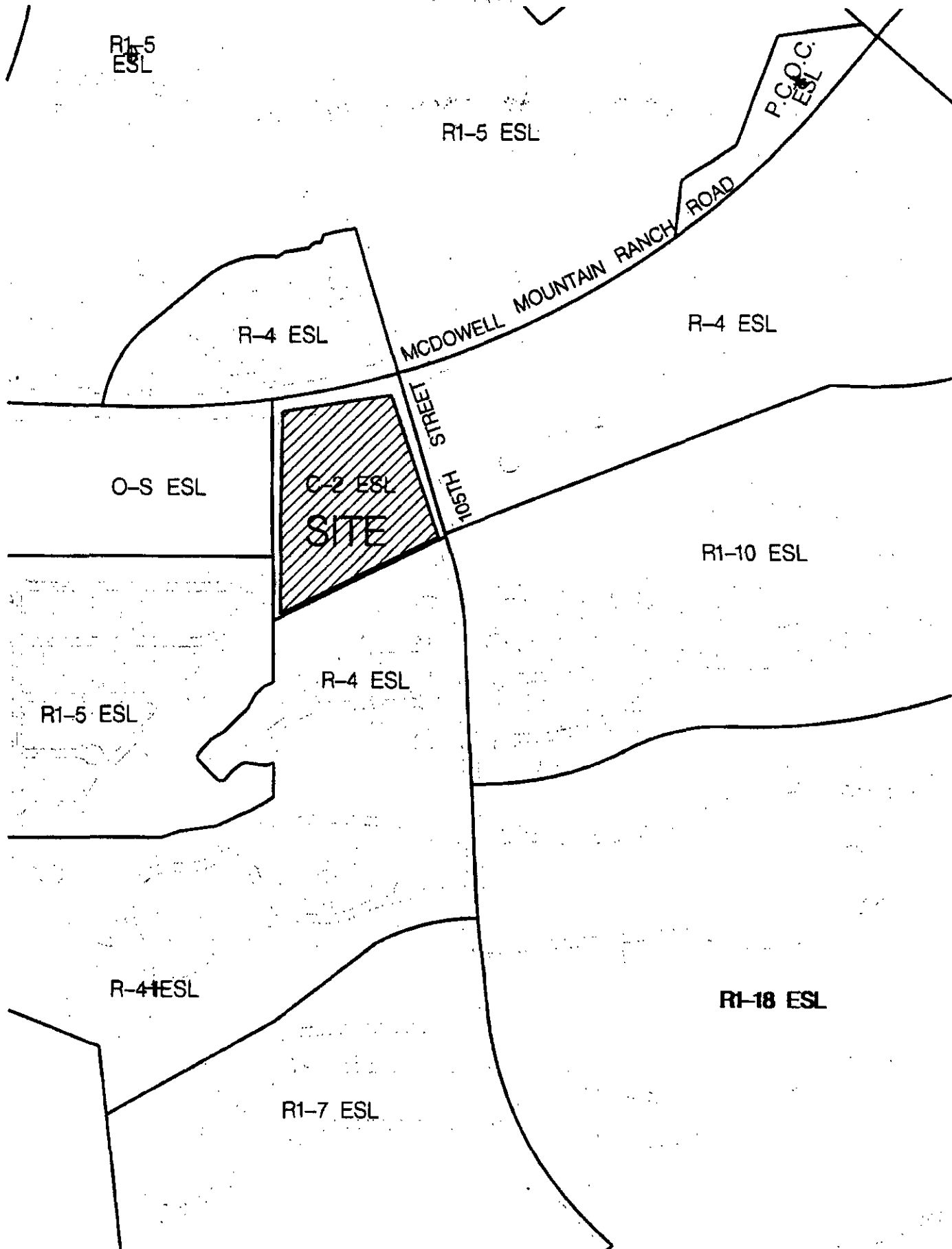
G.I.S. ORTHOGRAPHIC
1997

92-DR 99

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N

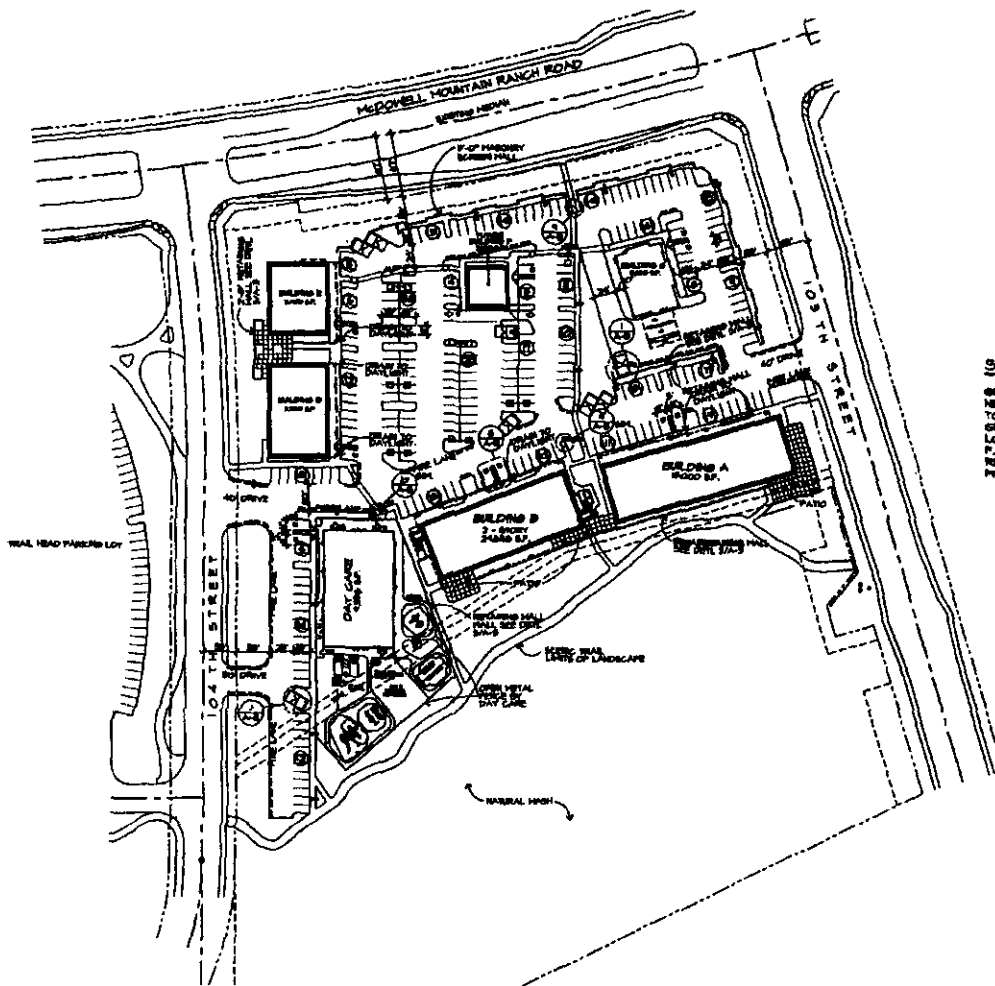
RETAIL / OFFICE

ATTACHMENT #1



92-DR-99
ATTACHMENT #2

ATTACHMENT#3

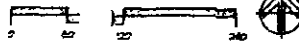


SITE DATA

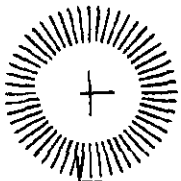
GROSS SITE AREA:	1.601780 A.C.	(1.61 A.C.)
NET SITE AREA:	99,272.22 S.F.	(2.21 A.C.)
TOTAL BUILDING AREA:	6,000 S.F.	
GROUND FLOOR AREA:	6,000 S.F.	
LOT COVERAGE:	4.5%	
PARKING:	187/280 S.F.	280 STALLS
REQUIRED PARKING:	187/280 S.F.	280 STALLS
PROVIDED PARKING:	280 STALLS	

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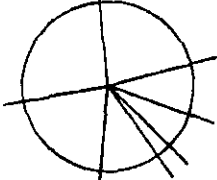
PRELIMINARY SITE PLAN
SCALE: 1" = 60' - 0"



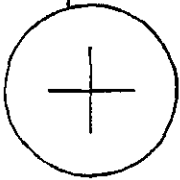
Landscape Legend



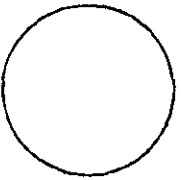
CERCIDIUM PRAECOX
SONORAN PALO VERDE
36" BOX (MATCHING) [65]



PROSOPIS CHILENSIS
CHILEAN MESQUITE (THORNLESS)
15 GALLON [85]



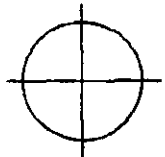
CHILOPSIS LINEARIS
DESERT WILLOW
24" BOX [44]



SALVAGED TREE
NOT FROM SITE
48" BOX [15]



EXISTING TREE
PROTECT FROM
CONSTRUCTION



FOUGUIERIA SPLENDENS
OCOTILLO
MED. 10 CANE MIN. [25]



CARNEGIA GIGANTEA
SAGUO SPEAR
6'-10' SPEARS [18]



OPUNTIA VIOLACEA 'SANTA RITA'
PURPLE PRICKLY PEAR
4 PAD MIN. [41]



SIMMONDISIA SHINENSIS
JOJOBA
5 GALLON [191]



SOPHORA SECUNDIFLORA
MESCAL BEAN
15 GALLON [91]



LARREA TRIDENTATA
CREOSOTE
5 GALLON [99]



AGAVE WEBBERII
WEBBERS AGAVE
5 GALLON [100]



ASCLEPIAS SUBULATA
DESERT MILKWEED
5 GALLON [185]



CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON [190]



DASYLIRION WHEELERII
DESERT SPOON
5 GALLON [62]



BAILEYA MULTIRADIATA
DESERT MARIGOLD
1 GALLON [209]



MELAMPODIUM LEUCANTHUM
BLACKFOOT DAISY
1 GALLON [215]



PENSTEMON PARRYI
PARRIS PENSTEMON
1 GALLON [101]



3'x3'x3' SURFACE SELECT
GRANITE BOULDER
MINIMUM 2700lbs EACH

ATTACHMENT #4

NATURAL COBBLE
FROM SITE





WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES:

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:

KEY NOTES:

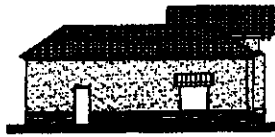
1. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
2. NEW 6" DIA. VENT PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
3. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
4. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
5. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
6. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
7. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
8. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
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11. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
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14. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
15. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
16. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
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20. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.

21. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
22. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
23. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
24. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
25. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
26. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
27. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
28. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
29. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.
30. EXISTING 4-1/2" DIA. VENT PIPE SHALL BE REMOVED AND REPLACED WITH 6" DIA. VENT PIPE.

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ATTACHMENT #6



SOUTH ELEVATION - BUILDING F'



NORTH ELEVATION - BUILDING F'

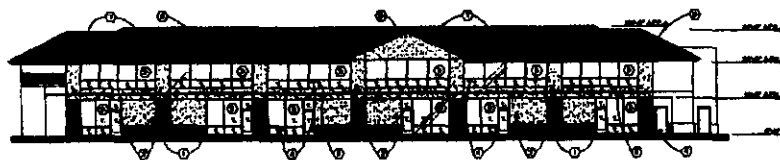


WEST ELEVATION - BUILDING F'

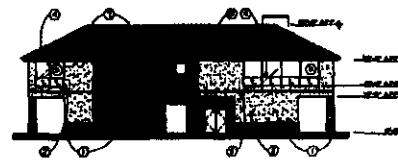


EAST ELEVATION - BUILDING 7

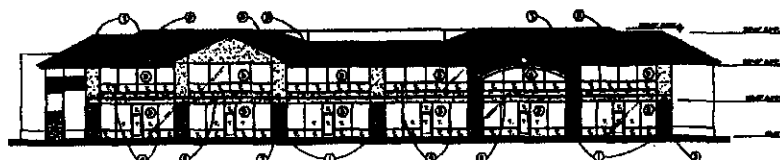
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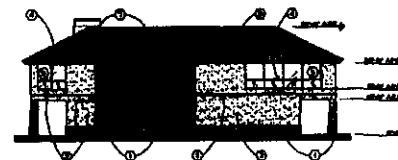
SOUTH ELEVATION - BUILDING 'B'



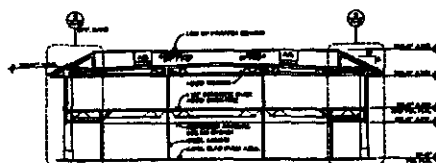
WEST ELEVATION - BUILDING 'B'



NORTH ELEVATION - BUILDING 'B'



EAST ELEVATION - BUILDING 'B'

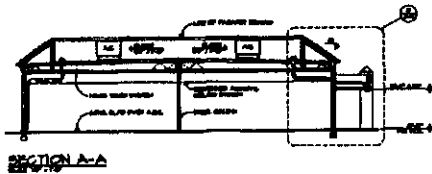
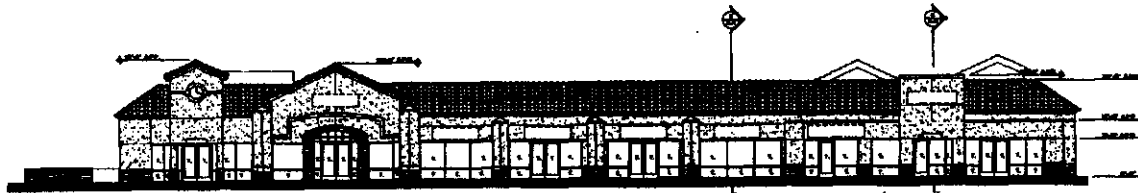
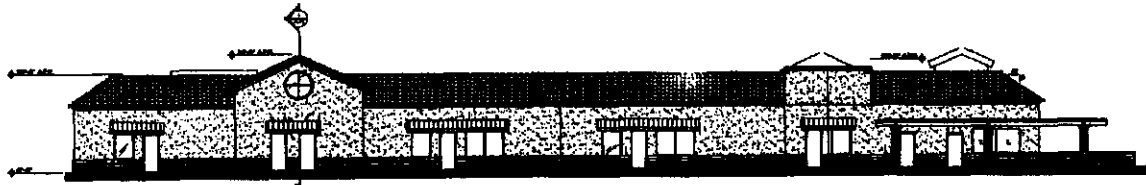


SECTION A-A

EXTERIOR MATERIALS / FINISH SCHEDULE				
NO.	DESCRIPTION	FINISH	INTERIOR	EXTERIOR
1	CEILING	PAINT	PAINT	PAINT
2	WALLS	PAINT	PAINT	PAINT
3	FLOOR	PAINT	PAINT	PAINT
4	DOORS	PAINT	PAINT	PAINT
5	WINDOWS	PAINT	PAINT	PAINT
6	ROOF	PAINT	PAINT	PAINT
7	BASE	PAINT	PAINT	PAINT
8	TRIM	PAINT	PAINT	PAINT
9	STAIRS	PAINT	PAINT	PAINT
10	LANDING	PAINT	PAINT	PAINT
11	HALL	PAINT	PAINT	PAINT
12	CLIMATE CONTROL	PAINT	PAINT	PAINT
13	MECHANICAL	PAINT	PAINT	PAINT
14	ELECTRICAL	PAINT	PAINT	PAINT
15	TELEPHONE	PAINT	PAINT	PAINT

92-DR-99

ROBERT KUNKER ARCHITECTS
 AND ASSOCIATES, INC.
 1000 15TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.RKAD.COM
 92-DR-99

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92-DR-99

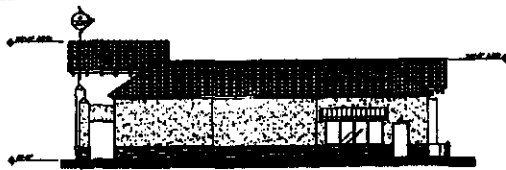
5. **Author's Address:** Department of Psychology, University of Illinois at Chicago, Chicago, IL 60607, USA.

**ROBERT KUBERK ARCHITECTS
AND ASSOCIATES, INC.**
2233 EAST THOMAS ROAD
PHOENIX, ARIZONA 85016
PH 4-8100 • FAX 4-8101

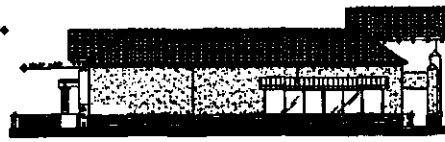
[illegible]

FOR CREDIT TO
 DEPARTMENT OF TRANSPORTATION
 AIRCRAFT SAFETY, FROM
 FROM HENRY H. HICKS, TRANSPORTATION

A-7



NORTH ELEVATION - BUILDING D



SOUTH ELEVATION - BUILDING D



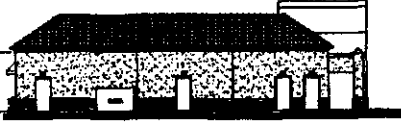
WEST ELEVATION - BUILDING D



EAST ELEVATION - BUILDING D



NORTH ELEVATION - BUILDING E



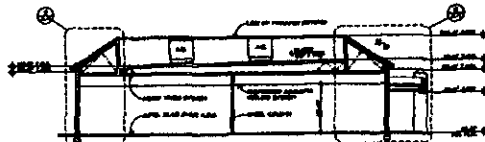
SOUTH ELEVATION - BUILDING E



EAST ELEVATION - BUILDING D



EAST ELEVATION - BUILDING E



SECTION A-A

EXTERIOR MATERIALS / FINISH SCHEDULE				
NO.	DESCRIPTION	FINISH	QUANTITY	UNIT
1	CONCRETE			
2	BRICK			
3	GLASS			
4	WOOD			
5	ROOFING			
6	PAINT			
7	LANDSCAPING			
8	LIGHTING			
9	MECHANICAL			
10	ELECTRICAL			
11	INTERIORS			
12	FINISHES			
13	CEILING			
14	FLOORING			
15	WALLS			
16	DOORS			
17	WINDOWS			
18	SCREENS			
19	SHUTTERS			
20	BLINDS			
21	VALANCES			
22	CURTAINS			
23	UPHOLSTERY			
24	FURNITURE			
25	APPLIANCES			
26	TEXTILES			
27	ACCESSORIES			
28	LANDSCAPING			
29	LIGHTING			
30	MECHANICAL			
31	ELECTRICAL			
32	INTERIORS			
33	FINISHES			
34	CEILING			
35	FLOORING			
36	WALLS			
37	DOORS			
38	WINDOWS			
39	SCREENS			
40	SHUTTERS			
41	BLINDS			
42	VALANCES			
43	CURTAINS			
44	UPHOLSTERY			
45	FURNITURE			
46	APPLIANCES			
47	TEXTILES			
48	ACCESSORIES			
49	LANDSCAPING			
50	LIGHTING			
51	MECHANICAL			
52	ELECTRICAL			
53	INTERIORS			
54	FINISHES			
55	CEILING			
56	FLOORING			
57	WALLS			
58	DOORS			
59	WINDOWS			
60	SCREENS			
61	SHUTTERS			
62	BLINDS			
63	VALANCES			
64	CURTAINS			
65	UPHOLSTERY			
66	FURNITURE			
67	APPLIANCES			
68	TEXTILES			
69	ACCESSORIES			
70	LANDSCAPING			
71	LIGHTING			
72	MECHANICAL			
73	ELECTRICAL			
74	INTERIORS			
75	FINISHES			
76	CEILING			
77	FLOORING			
78	WALLS			
79	DOORS			
80	WINDOWS			
81	SCREENS			
82	SHUTTERS			
83	BLINDS			
84	VALANCES			
85	CURTAINS			
86	UPHOLSTERY			
87	FURNITURE			
88	APPLIANCES			
89	TEXTILES			
90	ACCESSORIES			
91	LANDSCAPING			
92	LIGHTING			
93	MECHANICAL			
94	ELECTRICAL			
95	INTERIORS			
96	FINISHES			
97	CEILING			
98	FLOORING			
99	WALLS			
100	DOORS			

92-DR-99

City of

Scottsdale

PROJECT NARRATIVE

1

STOP SHOP

☐ Rezoning ☐ Other

☐ Use Permit

☒ Development Review

☐ Master Sign Programs

☐ Variance

Case # _____, 90-PA-7 -

Project Name McDowell Mtn. Ranch Center

Location SULC McDOUGALL MTN. RANCH & 105TH ST.

Applicant ROBERT KUBICEK ARCHITECTS

SITE DETAILS

Proposed/Existing Zoning: C-2

Use: RETAIL/OFFICE

Parcel Size: 12.7 ACRES NET

☒ Gross Floor Area ☐ Total Units: 64,638 S.F.

☒ Floor Area Ratio ☐ Density: .10

Parking Required: 259 STALLS

Parking Provided: 285 STALLS

Of Buildings: 7

Height: 36'-0"

Setbacks: N- 35' S- 25'

E-35' W-35'

In the following space, please describe the project or the request

92-DR-99

ATTACHMENT #11

McDowell Mountain Ranch Center Project Narrative
(SWC McDowell Mountain Ranch Road and 105th Street)
Scottsdale, Arizona

McDowell Mountain Ranch Center will provide a full range of services, both retail and community based services. It is a neighborhood environment whereby residents are conveniently serviced within the McDowell Mountain Ranch area. Nestled adjacent to a preserved wash, the small residentially scaled buildings provide the North East Scottsdale community village shopping. The significant design criteria utilized for McDowell Mountain Ranch Center are the following:

Site Plan Principles: The center provides ease of access to McDowell Mountain Ranch and is buffered from adjacent residential areas by a natural open space. Open space, a variety of buildings and location develops a village feeling.

Architectural Principles: The buildings at McDowell Mountain Ranch Center have been derived from a residential scale through the use of sloped concrete tile roofs and use of stucco and masonry. The low profiles of the retail buildings offer a non-interrupted view of the McDowell mountain range. Colors, textures and building elements are intended to reflect the surrounding development.

Landscape Concept: The contextual environment allows full utilization of both native and indigenous desert plants. Low water usage and compatible desert themes are to reflect the Lower Sonoran desert. Specimens shall re-establish materials which naturally grow in the McDowell mountain foothills.

A sense of intimate scale, village character and the use of compatible colors and materials is the design criteria established for McDowell Mountain Ranch Center.

**BOLD & STRIKE THROUGH TEXT INDICATES REVISIONS AS APPROVED BY DRB ON 11/18/99
STIPULATIONS**

**BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST
BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING
STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.**

SITE AND BUILDING DESIGN:

1. Refuse enclosures shall be screened by material compatible with the building materials. Colors and texture to match the building, both sides.
2. No exterior vending or display shall be allowed.
3. Flagpoles, if provided, shall be one piece conical tapered.
4. Patio umbrellas if provided, shall be solid colors and shall not have any advertising in the form of signage or logos.
- ✓ 5. *Prior to final plan approval, revise site plan worksheet graphic and calculations, to the satisfaction of City staff, to display the revisions to the site plan including but not limited to the revised driveway locations.* *etc. approved 1/25/00 Jay*
6. **THERE SHALL BE NO OUTDOOR SPEAKER OR PUBLIC ADDRESS SYSTEM ALLOWED.**
7. **ALL RETAINING WALLS SHALL UTILIZE THE STONE VENEER IN ORDER BREAK UP THE MASS AND LENGTH OF THE WALLS.**
8. **A MINIMUM THREE (3) FOOT HIGH MASONRY WALL SHALL BE PLACED AROUND THE PERIMETER OF THE PATIO ALONG THE EAST AND SOUTH SIDE OF BUILDING "A".**
9. **The applicant shall place additional trees along the bank building.**

BUILDING ELEVATIONS:

1. All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure.
2. All ground mounted mechanical equipment shall be completely screened by screen walls with color and texture to match the building.
3. Roof mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or free standing screen walls subject to Project Review approval.

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4. Ground mounted communication equipment, including satellite dishes, shall be completely screened by freestanding screen walls subject to Project Review approval.
5. *The applicant shall submit alternative materials and colors for the proposed building awnings, subject to review and approval at a subsequent Development Review Board Study Session ~~Project Coordination Staff approval.~~*

ROOF ACCESS

1. No exterior visible ladders allowed.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).
2. If provided indicate location and design of scuppers, and integrate with the architectural design.

ON-SITE LIGHTING:

1. *The applicant shall submit revised lighting plans detailing the photometrics, fixture details, cut sheets, and site locations for Project Coordination staff approval and subsequent approval at a Development Review Board study session.*

SIGNS:

1. Provide note on final documents: Signs require separate approvals and permits.
2. A Master Sign Program shall be approved by the Development Review Board prior to the issuance of a sign permit for multi-tenant buildings.

BICYCLE/EQUESTRIAN:

1. Public use trail(s) location shall be approved by Project Review and are to be shown on the final plat or site plan.
2. Trails and paths shall be consistent with Section 3.4 and 7.3 of the Design Standards and Policies Manual for the City of Scottsdale.
3. The developer shall include bike rack cut sheets / details with the final plans submittal. The bike rack design shall be subject to Final Plans staff approval. Contact the City Bicycle Coordinator for the approved rack design, or for alternative rack design approval.

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WALL DESIGN:

- ① All screen and perimeter walls shall be 6 or 8-inch masonry block and shall match building texture and color, both sides.
2. The perimeter wall and landscaping shall be required to be completed prior to the start of construction.
3. No chain link fencing shall be allowed.
4. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall return to Project Review for approval prior to any submittals of final plans.

LANDSCAPING:

1. Major tree theme shall incorporate the existing theme of the neighboring properties.
2. Trees shall be provided as noted on the landscape plan proposed at Development Review Board [15 gallon minimum, 144 trees minimum *not including Fougleria Splendens (Ocotillo)*] of which 50% shall be mature as defined in Article III of the Zoning Ordinance or larger.
3. *Prior to final plan approval, revise landscape plan to the satisfaction of City staff, to add trees to the playground area for shade.*
4. *Prior to final plan approval, revise landscape plan to the satisfaction of City staff, to add trees to the area between pads "A" and "D" for the purpose of providing shade to the north/south pedestrian sidewalk.*
5. Provide low water consumptive plant materials.
6. Incorporate existing vegetation into the landscape design.
7. Provide only plant material indigenous to this site.
8. Non-indigenous plant materials, which have the potential to exceed 20 feet in height, are not to be introduced on site.
9. Landscape design and materials shall be arid to lush desert materials.
10. Areas in decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
11. Upon removal of the salvageable native plants the salvage contractor shall submit a completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Planning Inspector within 3 months from the beginning of salvage operations and/or prior to issuance of the Certificate of Occupancy.

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12. Sight distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
13. No turf areas are to be provided.
14. Retention/detention basin depth shall be measured to top of existing grade. Maximum 3 feet water depth allowed. Greater depths shall require Project Review staff approval.
15. Maximum 10:1 width to depth ratio with a 4:1 maximum slope for retention/detention basins. Depth ratios and slopes greater than this shall require Project Review staff approval prior to final plan approval.
16. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
17. Only 50% of front open space can be used for retention/detention basin.
18. Front open space used for retention/detention basin in excess of 50% shall be approved by Project Review 5 days prior to final plans submittal.
19. Provide 8% slope away from walk or curb for 5' 0" along all streets.
20. Setback all spray and stream type irrigation heads 1'-0" from back of curb or sidewalk to reduce overspray, or provide design alternatives to achieve similar results to be approved by Project Review staff.
21. All roadway medians required of this project shall be shown on the final landscape plan submittal and shall be landscaped and maintained by project's owner for a period of three years from final acceptance by the Transportation Maintenance Division.
22. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.
2. A temporary irrigation system is required in revegetated NAOS areas. This system shall be disconnected once the plant material is established and shall not exceed a period of three years.

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**TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE**

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

1. *There shall be no direct site access to McDowell Mountain Ranch Road. A one-foot wide vehicular non-access easement shall be dedicated on this street along the street frontage.*
2. *The site driveways on 104th Street and 105th Street shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257.*
3. *The site driveway on 105th Street shall be located a minimum distance of 330 from McDowell Mountain Ranch Road (measured to the driveway and street centerlines)*
4. *The southern site driveway on 104th Street shall be located a minimum distance of 125 feet north of the existing school access driveway to the west (measured to the driveway centerlines).*
5. *The site driveways on 104th Street shall be separated by a minimum distance of 165 feet (measured to the driveway centerlines).*

INTERNAL CIRCULATION:

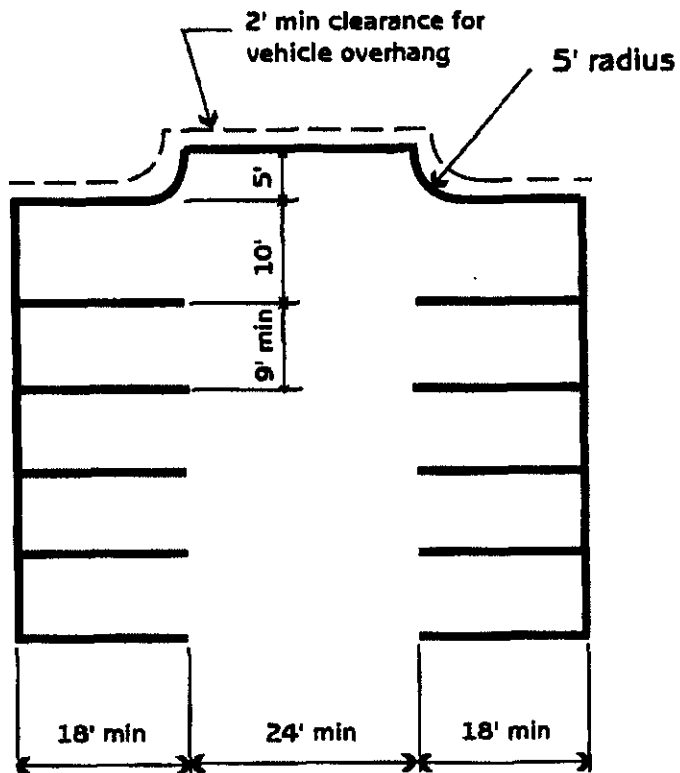
1. *The minimum internal parking aisle width shall be 24 feet.*
2. *The main access drive through the site (connecting 104th Street to 105th Street) shall be a minimum width of 30 feet.*
3. *There shall be a minimum queuing distance of 120 feet provided for the proposed bank drive-thru, measured from the drive-thru entrance to the service window area.*
4. *The dead-end parking aisle shall be designed in conformance with the attached detail.*

OTHER:

1. *The developer shall construct sidewalk along at least one side of each site driveway.*
2. *The developer shall construct an interior sidewalk system to connect the main retail buildings to the pad buildings.*
3. *Pedestrian connections shall be provided from the interior of the center to the existing path to the south as shown on the submitted site plan.*

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DEAD-END PARKING AISLE DETAIL



NOTES:

1. Maximum dead-end parking aisle length is 150 feet.
2. If the length exceeds 150 feet, a turn-around shall be provided for emergency vehicles.
3. No refuse enclosures are permitted on a dead-end aisle.

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STRIPING AND SIGNAGE PLAN:

1. All incidental signing and striping required by site roadway improvements shall be included on the roadway paving plans.
2. All on-site parking lot striping shall be shown with the paving plans.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
2. Sight distance easements shall be dedicated oversight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Procedures, published January 1994.

REFUSE COLLECTION:

1. Refuse enclosures shall be constructed to City of Scottsdale's standards (details available upon request).
2. An area 14' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:

- Commercial Building Space: One for 0 to 20,000 s.f.
Two for 20,001 to 40,000 s.f.
Three for 40,001 to 60,000 s.f., etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 s.f., as shown above.

- Restaurants: One per restaurant

4. Enclosures must:
 - Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - Be positioned to facilitate collection without "backtracking."
 - Be easily accessible by a simple route.
 - Not require backing more than 35 feet.
 - Not be located on dead-end parking aisles.

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5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.
6. Underground vault-type containers are not allowed.

DRAINAGE AND FLOOD CONTROL STIPULATIONS

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design, reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

DRAINAGE REPORT AND PLAN

1. FINAL DRAINAGE REPORT. With the final improvement plans submittal, the developer shall submit a final drainage report and plan, subject to Project Review approval. Before the approval of final improvement plans by Project Review, the developer shall submit two (2) hard copies and one (1) disc copy of the complete final drainage. In addition, the final drainage report and plan shall demonstrate consistency with the approved master drainage plans and reports:
 - a. *Analysis of Natural Channel Capacity & Identification of Reserved Drainage Corridors, prepared December 1992, by Robert L. Ward*
 - b. *Master Drainage Plan McDowell Mountain Ranch, prepared November 22, 1993, by Robert L. Ward*
 - c. *Master Drainage Report for McDowell Mountain Ranch, prepared November 18, 1993, prepared by Clouse Engineering.*
 - (1) Any design that modifies the approved master drainage report requires from the developer a site specific addendum to the final drainage report and plan, subject to review and approval by city staff.
 - (2) Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
 - d. Provide final calculations and detailed analysis that demonstrate consistency with the conceptual drainage plan and report accepted by City staff.
 - e. Discuss any off-site flows, which will affect the site, grading, drainage and finished floor elevation.
2. STORM WATER STORAGE REQUIREMENT. On-site storm water storage is required for the full 100-year, 2-hour storm event, unless the developer submits a Request for Waiver form to Project Review that has been approved by city staff. See Section 2 of the Design Standards and Policies Manual for waiver criterion.

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- a. The developer may choose to request a waiver of a portion of the storm water storage requirement for this site.
 - b. Request for Waiver Review forms are subject to City staff approval.
 - c. Prior to the submittal of improvement plans to Project Review, the waiver approval (i.e. the completed Waiver Review form) shall be obtained. The request for waiver review shall:
 - (1) Include a supportive argument, which demonstrates that historical flow through the site will be maintained, and that storm water runoff exiting this site has a safe place to flow.
 - (2) Include an estimate for payment in-lieu of on-site storm water storage. The amount of payment in-lieu is subject to approval by city staff .
 - d. Storage basin capacity SHALL NOT BE REDUCED by proposed landscaping improvements.
 - e. Storage basin design shall incorporate significant landscaping requirements.
3. **STORM WATER ON PAVED SURFACES.** Parking lot areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.
4. **POINT OF OUT-FALL.** *Demonstrate that storm water runoff through the site is in compliance with the approved master drainage reports and that storm water runoff exiting this site has a safe place to flow.*
5. **RELATIONSHIP TO ABUTTING PROPERTY.** Contours or sufficient spot elevations shall be shown on the grading and drainage plan and on all abutting properties and or rights of way, and shall clearly demonstrate elevations of natural ground and or proposed structures and finished grades, existing and proposed walls or retaining walls, and shall be sufficient to reflect the impact of development on the abutting properties and existing improvements.
6. **UTILITY CONFLICT COORDINATION** The final improvement plans that are submitted to Project Review shall contain a completed No Conflict Title Block on the cover sheet and be accompanied by a completed and signed No Conflict form from every affected utility company. Final improvement plans will not be accepted by the city without this documentation.
7. **GRADING AND DRAINAGE PLAN.** A site specific grading and drainage plan shall be submitted to Project Review. The grading and drainage plan shall include, but not be limited to the following:
- a. Benchmark datum shall be based on North American Datum of 1988 (NAD 1988). Prior to submittal of improvement plans to Project Review, benchmark datum not in compliance with NAD 1988 shall be submitted to Project review and shall be subject to approval by city staff.
 - b. Show all easements and tracts.
 - c. Show all drainage facilities including, but not limited to point(s) of roof out-fall, channels, culverts, storm drainpipe, weirs, rip rap, etc.

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d. Show Q(100) at culvert inlets, where wash corridors converge, and at storm water entrance/exit point of the parcel boundaries.

e. Show extents of areas inundated due to a 100-year storm event.

f. Show top of curb elevations in front of each lot, at grade breaks and at intersection corners.

10. UNDERGROUND STORM WATER STORAGE. Underground storm water storage is not permitted.

OFF-SITE RUNOFF:

1. CONVEYANCE OF PEAK DISCHARGE. All developments shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.

FLOODPLAIN:

1. FLOOD INSURANCE RATE MAP. The final drainage report shall include an exhibit that indicates where the site lies within the FEMA designated areas and shall define all pertinent FEMA designations.

DRAINAGE STRUCTURES/CHANNELS:

1. EROSION CONTROL. The final drainage report shall include calculations for rip-rap lined channels and rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.

DRAINAGE EASEMENTS:

1. DEDICATIONS. Drainage and flood control easements shall be dedicated to the city to the limits of inundation for all vista corridor washes, for all washes having a capacity of 50 cfs, and for all FEMA regulatory floodways to the extent of the 100 year base flood elevation.
 - a. All drainage and flood control easements shall be dedicated to the public with maintenance responsibility specified to be that of the property owner.
 - b. Before any building permit is issued for the site, all drainage and flood control easements determined necessary due to final design analysis and proposed improvements, shall be dedicated to the city.

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GRADING & DRAINAGE REQUIREMENTS:

1. EPA. The EPA requires that all construction activities that disturb five or more acres obtain coverage under the NPDES General Permit for Construction Activities. Completion of a Notice of Intent (NOI) and preparation of a Storm Water Pollution Prevention Plan (SWPPP) are required by EPA. A copy of the NOI must accompany final plan submittal to the city before final plans are approved. Contact Region 9 of the U.S. Environmental Protection Agency, (415) 744-1500 EPA, Arizona Department of Environmental Quality at (602) 207-4574, or at the web site <http://www.epa.gov/region9>. NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100.
2. SECTION 404 PERMITS. Before the City issues development permits for a project, the developer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]
3. DUST CONTROL PERMITS. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving equipment permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (507-6727) for fees and application information.

WATER AND WASTEWATER STIPULATIONS**WATER and WASTEWATER:**

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.
2. WATER SOURCES. The looped water system shall be designed to provide two (2) sources of water to the developed site.
3. PRIVATE SEWER SYSTEM. On-site sanitary sewer shall be privately owned and maintained.
4. HORIZONTAL CLEARANCE. Minimum distance from outside of waterline pipe to outside of sanitary sewer pipe is six (6') feet.
5. CLEARANCE FROM WALLS. In cases where there are property walls and utility easement conflicts, the following shall apply:
 - a. All walls parallel to the easement shall be set such that the face of the wall is at a six (6') feet from the outside diameter of the water or sewer line.

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- b. All walls set across or perpendicular to utility lines shall be designed with gates or removable wall panel to allow service or emergency access.
6. SERVICE CONNECTIONS TO THE MAIN. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
7. WATER AND SEWER NEEDS REPORT. A completed Water and Sewer Needs Report shall be submitted for review with the final improvements plans. Approval will not be given for improvement plans until the Water and Sewer Needs Report is approved by Project Review.

EASEMENTS:

1. DEDICATIONS. All water line easements shall be dedicated to the City prior to the issuance of permits.
2. LOCATION & CLEARANCE. Privately owned sanitary sewer shall not run parallel within the waterline easement.

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THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- * Review of development proposal by the Development Review Board is the first step toward obtaining a building permit.
- * Development Review Board approval expires ONE YEAR from the date of approval if a building permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- * Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- * There maybe some Ordinance requirements, which apply to your project that, are not included here.
- * City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- * Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations, which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. **STORM WATER STORAGE REQUIREMENT.** Storm water storage is required.
2. **HISTORICAL FLOW.** Off-site runoff must enter and exit the site as it did historically.
3. **SECTION 404 PERMITS.** Approval from the Army Corps of Engineers under the conditions of SECTION 404 PERMIT is required where proposed construction is adjacent to or within major washes.
4. **DEDICATIONS AND EASEMENTS.** All vista corridor easements, drainage easements and easements for storm water storage shall be dedicated to the city as drainage and flood control easements, with maintenance the responsibility of the owner.

REFUSE REQUIREMENTS:

1. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
2. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 312-5600.

STREET LIGHTS:

1. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. No building permits may be issued until all street light arrangements (including fee requirements) have been made.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTS

WATER DEVELOPMENT ORDINANCE

1. **HEALTH AND SAFETY REQUIREMENTS.** The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
2. **DEVELOPMENT FEES.** The developer shall pay a Water Development Fee and Water Resources Development Fee for City water supply in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City water system. All questions may be referred to Water Resources at 312-5650.
3. **WATER METER FEES.** Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

SEWER DEVELOPMENT ORDINANCE

1. **DEVELOPMENT FEE.** The developer shall pay a Sewer Development Fee for City sewer service in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Water Resources at 312-5650.

FINAL PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) Architectural Plans: 11" x 17" minimum, up to 30" x 42" maximum
 - b) Landscaping/Irrigation Plans: 24" x 36"
 - c) Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape areas. Provide note on the landscape plans.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide the necessary design documents and plans as established for the "Environmentally Sensitive Lands District".
5. Provide a schedule indicating the timing on installation of all improvements required by planning.
6. Provide a contour map of the existing topography.
7. Provide a site plan with the following information:
 - a) Zoning of property, and adjacent properties.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
 - d) Setback of structures - front, side, rear.
 - e) Parking lot dimensions - stall width and length, driveway width, parking angle.
 - f) Location and details of refuse enclosure & bicycle racks.
 - g) Parking calculations required/provided.
 - ✓ h) Location of handicap parking spaces & van accessible spaces.
 - i) All development on adjacent property within 50 feet of this project.
8. Provide building elevations with the following information:
 - a) Height of building (see Section 3.100 of the Zoning Ordinance for definition of building height) above finished floor/natural grade.
 - b) Label colors of all exterior materials (matching those approved at Development Review Board).

9. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope
 - c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
 - d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.
10. Provide adjacent curb elevations on McDowell Mountain Ranch Road, 103rd Street, and 104th Street.
11. Obtain a native plant permit for disturbance of any protected plants on the site by submitting the following: ☼
 - a) Completed Native Plant Narrative & Application form
 - b) Three copies of the site plan indicating the location by tag number of each plant protected per the native plant ordinance.
 - c) Three copies of the numbered plant inventory corresponding to the tag numbers on the site plan, indicating the following:
 - i) plant type
 - ii) plant size in caliper inches
 - iii) plant condition
 - iv) whether the plant will remain in place, be relocated, or be destroyed
 - d) Location of plant nursery
 - e) Copy of vicinity map indicating the location of the project
 - f) Copy of Natural Area Open Space exhibit if applicable for the site
 - g) A copy of the 'Arizona Department of Agriculture Notice of Intent to Clear Land' form, issued through the State's Native Plant section at (602) 542-3292.
 - h) Letter of authorization from the property owner or authorized agent identifying the approved salvage contractor and verifying that all salvaged plants are to be incorporated in landscaping and used back on site.
 - i) Upon tagging the plants in accordance with Sec. 46-116 of the Scottsdale Revised Code, contact the City's Native Plant Officer at 994-7080 for inspection and permit approval.

☼ **The submittal for native plant permit approval is in addition to the native plant submittal required for DR approval**

FINAL PLANS ORDINANCE REQUIREMENTSSCREENING:

1. The height of the parapet or other screening device shall be (equal to or higher/minimum 1 foot higher) than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
3. Parking lot to be screened from McDowell Mountain Ranch Road, 103rd Street, and 104th Street, (by a 3-foot wall, berming, and/or landscaping).

COLORS:

1. Exterior materials and paint colors shall not exceed a value or chroma of 6 as indicated in the Munsell Book of Color per ESLO. The applicant shall resubmit a color palette to Project Coordination for final review and approval.

BUILDING HEIGHT:

1. *Prior to final plan approval, revise elevations to the satisfaction of City staff, to provide building elevations that are a maximum of 36'-0" (thirty-six feet) above natural grade.*

OPEN SPACE & NAOS:

1. Submit a detailed graphic and calculation worksheet indicating the required amounts of NAOS based on Section 7.853 of the Zoning Ordinance at the time of final plans submittal. If any of the designated NAOS areas will be disturbed by cuts and fills, drainage swales, or culverts, or other construction, submit a detailed graphic and calculation worksheet depicting areas within the NAOS which require revegetation due to construction disturbance.
2. All areas calculated as NAOS shall be a minimum of 30 feet in width, except along roadsides where it may be reduced to 20 feet. Any alterations to this shall be approved by Project Coordination staff.
3. All areas calculated as undisturbed NAOS shall be left untouched, except that additional plant materials, indigenous to the site only, may be introduced to NAOS as approved by the Project Review staff in compliance with Section 7.583.D.1 of the Zoning Ordinance.
4. FINAL PLANS SHALL NOT BE APPROVED until a protection program indicating construction boundaries, and techniques used to insure that NAOS is not disturbed during construction, has been submitted and field approved by Project Review staff.

LANDSCAPING:

1. A minimum of 1/3 of the required landscaped area for the parking lot for more than 20 cars shall be in planting areas distributed throughout the lot rather than on the perimeter. Planting areas shall have a minimum width of 7 feet and a minimum area of 120-square feet per Section 9.106 of the Zoning Ordinance.
2. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).
3. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in Section 7.500 of the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 7 of this section for specific submittal requirements). Contact the City's Native Plant Officer at 994-7080 to initiate the process.
4. Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Section 49-82 of the City Code to the Water Conservation Office.
5. Provide 6-inch vertical concrete curb between any driveways or parking areas and landscape areas.

GRADING:

1. Prior to final plans submittal a grading report shall be submitted indicating methods and sequencing of grading, proposed locations for stockpiling or disposing of unused materials, and plans for minimizing wind and water erosion on graded areas during development and construction.
2. Cuts and fills exceeding limits outlined in Sec. 204 of the Design Guidelines & Policies for Environmentally Sensitive Lands/Section 6.806 A.3 of the Hillside Ordinance shall require Development Review Board approval.

OTHER:

1. Comply with conditions of case Nos.: 74-ZN-92 and 74-ZN-92 #7
2. *With the submittal for final plans, provide a detailed parking calculation sheet, to the satisfaction of City staff, including calculations for gross floor area and use for each unit/pad with required parking calculations including bicycle and accessible parking. In addition, with each tenant improvement, an update to these calculations, satisfactory to City staff, shall be submitted to final plans. Any proposed restaurants shall require a floor plan, satisfactory to City staff, to be submitted with the revised parking calculations a fore mentioned.*

FINAL PLANS REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL.

PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- | | |
|---------------------------------|---|
| * BUILDING PLANS: | 11" X 17 MINIMUM, UP TO 30" X 42" MAXIMUM |
| * LANDSCAPING/IRRIGATION PLANS: | 24" X 36" (MYLAR ORIGINALS) |
| * CIVIL PLANS: | 24" X 36" (MYLAR ORIGINALS) |

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- * BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- * SITE ADDRESS.
- * PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2 INCH LETTERS.
- * NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

FINAL PLAN SUBMITTAL REQUIREMENTS
THIS FORM MUST ACCOMPANY ALL FINAL PLAN SUBMITTALS

The following items are the **BASIC MINIMUM** requirements **NECESSARY** to submit final plans for review.

BUILDING PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

DETAILED INFORMATION REGARDING MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLINGS CAN BE OBTAINED FROM THE ONE-STOP SHOP.

- ☐ Building plans may be reviewed at the One-Stop Shop counter
- ☒ Building plans shall be submitted to Project Review for final plans review
- ☒ Four sets which shall include each of the following:

- * Site Plan
- * Project Data
- * Elevations
- * Floor Plans
- * Foundation Plans
- * Building Sections
- * Wall Sections
- * Architectural Details
- * Schedules
- * Mechanical Plans and Details
- * Structural Plans and Details
- * Electrical Plans and Details

In addition provide two additional copies of site plan and two additional copies of elevations plan(s) with the submittal.

- ☐ One copy of structural, electrical, and water calculations (may be on drawings)
- ☐ One copy of geotechnical report accompany building plans

CIVIL PLAN SUBMITTAL REQUIREMENTS:

CIVIL PLANS AND BUILDING PLANS MUST BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

Improvement Plans:

- ☒ Grading and Drainage Plan
- ☒ Water Plans
- ☒ Sewer Plans
- ☒ Paving Plans (including striping & signage)
- ☐ Traffic Signal Plans
- ☐ Striping & Signage Plans
- ☐ Structural Plans (including details & calculations)

Surveys:

- ☒ Results of Survey ☐ Boundary Survey

Plats:

- ☐ Preliminary Plat ☐ Final Plat

Reports:

- | | | | | | | |
|---------------|-------------------------------------|--------------|--------------------------|------------|-------------------------------------|-------|
| Drainage | <input checked="" type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input checked="" type="checkbox"/> | Final |
| Water | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Sewer | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Circulation | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| Signalization | <input type="checkbox"/> | Master | <input type="checkbox"/> | Conceptual | <input type="checkbox"/> | Final |
| | <input type="checkbox"/> | Geotechnical | <input type="checkbox"/> | Structural | | |

- ☒ The completed Waiver Request Form (must be signed by city staff)

Engineer's cost estimates for payment in-lieu of:

- ☐ Street improvements
- ☐ Signalization
- ☒ Storm water storage
- ☐ Title Report (not more than 60 days old)
- ☒ Cut sheets and specifications for outdoor lighting fixtures
- ☒ Two (2) additional architectural site plans
- ☒ Wall elevations
- ☒ Landscape & irrigation plans
- ☒ NAOS graphic & calculation worksheet
- ☒ Native plant program, or confirmation of compliance

FEE SCHEDULE
PLAN REVIEW:

BUILDING:

Livable	\$.21 Sq. Ft.
Covered	\$.10 Sq. Ft.
Fences	\$.07 Lin. Ft.

ENGINEERING:

Lower Desert (ESLO)	\$432.00 per sheet
Upper Desert (ESLO)	\$460.00 per sheet
Hillside (ESLO)	\$476.00 per sheet

AT THE TIME OF FINAL PLAN SUBMITTAL, THE FOLLOWING FEES MUST BE PAID:

☐ **ENCROACHMENT PERMIT FEES:**

Encroachment permit fees are based on construction quantities. Fee rates are available from the One Stop Shop

☐ **FINAL PLAT FEES:**

Base plan review	\$3,000.00
PLUS: \$94.00 per lot	_____

☒ **MONTHLY FIRE HYDRANT MAINTENANCE FEE:**

\$4.00 per fire hydrant - 2	<u>\$8.00</u>
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☐ **PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:**

Amount shall be based on sealed engineer's construction cost estimate approved by final plans and paid prior to building permit issuance for the following improvements:

LOCATION	IMPROVEMENTS REQUIRED

Traffic signal in-lieu fees may be based on \$80,000 for 100 percent of design and construction costs.

☐ **IN LIEU PARKING (For Downtown)**

\$7500 per space, or \$500 initial deposit and \$7.1 per month per space for a term of 15 years there after (number of spaces to be determined at final plans)

DEDICATION REQUIREMENTS

[x] RIGHT-OF-WAY DEDICATIONS:

STREET NAME	REQUIRED RIGHT-OF-WAY	REQUIRED EASEMENTS	DEDICATION DEADLINE
McDowell Mountain Ranch Road	existing	1' V.N.E.	Prior to C. of O.

[x] OTHER EASEMENTS/DEDICATIONS REQUIRED: _____

	TYPE	SIZE	LOCATION	DEDICATION DEADLINE
	Public Trail			
	Bike Path			
	NAOS			
	Drainage			
	Scenic Vista Corridor			