

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 28, 2007

ITEM NO. 8

CASE NUMBER/ 110-DR-2005#2
PROJECT NAME The 4020 Building

LOCATION 4020 N. Scottsdale Rd.

REQUEST Request to modify previously approved building elevations to allow for five (5) spiral staircases to go from individual balconies, on the third level, to private roof decks; and to add a railing around each private roof deck.

OWNER Red Mountain Retail Group
714-460-1551

ENGINEER N/A

ARCHITECT/ Architekton
DESIGNER 480-894-4637

APPLICANT/ Peter Blied
CONTACT Red Mountain Retail Group
714-308-1171

BACKGROUND

Zoning.

The site is zoned Downtown Office Commercial Type 2 / Downtown Overlay (D OC-2/DO), which allows a range of uses, and includes mixed-use (residential & retail) projects.

Context.

The site is located on the western side of Scottsdale Road, just south of Indian School Road. Directly to the south (across E. 1st Avenue) is the Patsy Grimaldi's building. To the south and the east are structures located within the City's designated "Old Town" area, with this property being located just outside that designated area.

Adjacent Uses:

- North: Restaurant/coffee shop (Starbuck's & Baja Fresh) on the southwest corner of Indian School Road and Scottsdale Road in the Downtown Office Commercial Type 1 / Downtown Overlay (D OC-1 / DO) zone.
- South: Restaurant (Patsy Grimaldi's Pizza) in the Downtown Retail Specialty Type 1 / Downtown Overlay (D RS-1 / DO) zone.
- East: Various commercial retail and restaurant uses in the Downtown Retail Specialty Type 1 / Downtown Overlay (D RS-1 / DO) zone and the Central Business District / Downtown Overlay (C-2 / DO) zone.
- West: Various office / retail uses in the Central Business District / Downtown Overlay (C-2 / DO) zone.

Scottsdale Development Review Board Report

Case No. 110-DR-2005#2

APPLICANT'S PROPOSAL

Applicant's Request.

Request to modify previously approved building elevations to allow for five (5) spiral staircases to go from individual balconies, on the third level, to private roof decks; and to add a railing around each private roof top deck.

Development Information (No changes from previous approval):

Existing Use:	Office
Proposed Use:	Residential & Furniture Gallery
Parcel Size:	19, 144 Square Feet
Building Size:	31, 236 Square Feet
Building Height Allowed:	38 Feet (no more than 3 levels)
Building Height Proposed:	38 Feet (3 levels)
Parking Required:	34
Parking Provided:	36
Open Space Required:	None
Open Space Provided:	1,068 Square Feet
FAR Allowed:	2.15 (Based on D zone district bonuses & previous street dedications)
FAR Provided:	1.7
Number of Units:	21
Density Allowed	50 du/acre
Density Provided:	31.5 du/acre

BACKGROUND

On July 20, 2006, the Development Review Board voted to approve the proposed project on a 6-1 vote. Subsequently, the City Council voted on August 8, 2006 to appeal the DRB's decision to the City Council for consideration; and then on August 29, 2006, the City Council held a public hearing to consider whether or not to approve, approve with conditions, or deny the proposed project at 4020 North Scottsdale Road. City Council ultimately voted to approve the project on a 7-0 vote, and the applicant began working on the construction drawings.

During the final plans review, the applicant decided to change the façade along the two main public right-of-way frontages by changing from a large, common roof top deck to private, individual, roof top decks. They proposed to add 6-foot diameter spiral staircases from five (5) separate balconies, on the third level, up to private roof decks, each of which will be surrounded by a steel trellis railing.

KEY ISSUES

Architectural Elevations

DRB approval of the renovated south and east elevations of the building included several elements which changed the scope and character of the existing building. In general, the City was very supportive of the adaptive reuse of the building from an office building, which had some difficulty being successful, to a residential application above the first floor. The architectural expression of this building was somewhat modern in approach, while matching the contextual use of brick and other materials found in other structures that are in the immediate

Scottsdale Development Review Board Report
Case No. 110-DR-2005#2

area. Part of that expression are straight forms in terms of square balconies and projections from the building toward the public rights-of-way, Scottsdale Road and 1st Avenue respectively. The proposal at this point is to add a metal, spiral staircase; which serves the individual unit, and creates a repetitious (though not continuous in that some balconies do not have one) set of circular forms to the elevation facing both First Avenue and Scottsdale Road. Part of what made the character of the building contextually appropriate was the nature of the balconies and the elevation's relationship to the street and the other buildings. By adding a new element to the building, which will provide access to a roof deck in this manner, the elevation(s) will be somewhat cluttered and lose some measure of impact in terms of architecture.

Originally the application included an elevator to the roof deck, as well as the stairwell on the eastern edge of the structure. These common access points were centrally located, and appeared to fit within the context of the building, and the surrounding community of buildings. The City is very supportive of roof decks, and generally attempts to provide green roofs wherever possible (Though this building could not be engineered to provide any green roofing). The introduction of the proposed spiral stairs, on the outside of the building, diminishes the architectural look of the building, when there are opportunities within the structure to provide that same access.

**OTHER BOARDS AND
COMMISSIONS**

None. The Development Review Board's decision in this matter is final, unless a timely appeal is filed with the City Clerk's office.

**STAFF
RECOMMENDATION**

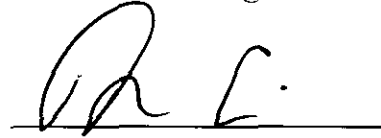
Staff recommends denial. If the board wishes to approve the proposed project staff has attached proposed stipulations for the Board's consideration.

**Scottsdale Development Review Board Report
Case No. 110-DR-2005#2**

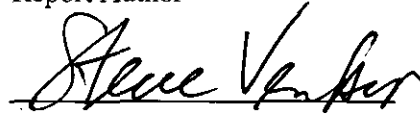
STAFF CONTACT(S)

Mac Cummins, AICP
Principal Planner
Phone: 480-312-7059
E-mail: mcummins@ScottsdaleAZ.gov

APPROVED BY



Mac Cummins, AICP
Report Author



Steve Venker
Development Review Board Liaison
Phone: 480-312-2831
E-mail: svenker@ScottsdaleAZ.gov

ATTACHMENTS

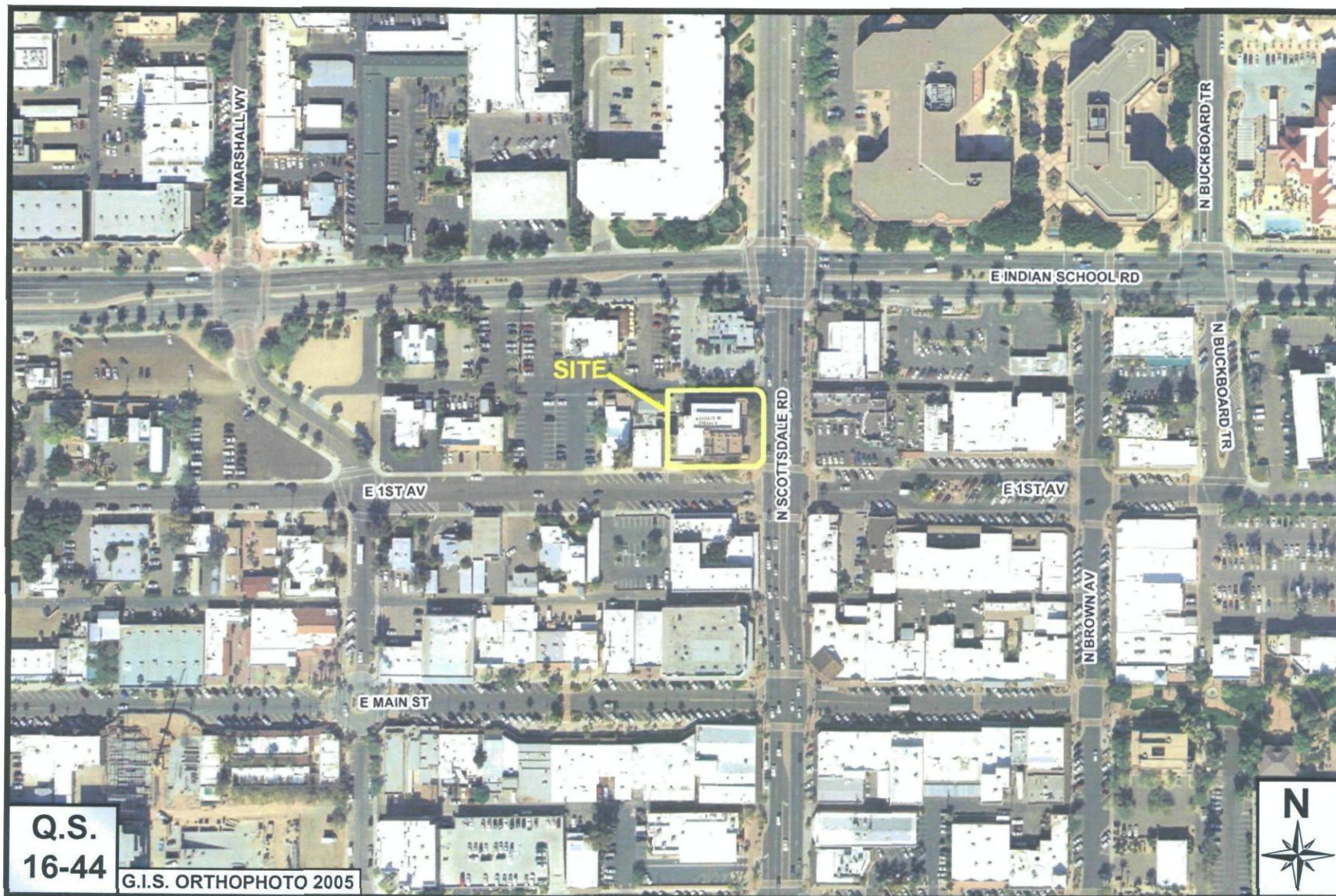
- A. Stipulations/Zoning Ordinance Requirements (If approved)
 - 1. Applicant's Narrative
 - 2. Context Aerial
 - 2A. Aerial Close-Up
 - 3. Zoning Map
 - 4. Site Plan
 - 5. Elevations

**Stipulations for Case:
The 4020 Building
Case 110-DR-2005#2**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale. Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Architekton with a received date of 5/23/2007
2. All stipulations of case number 110-DR-2005 (Other than the elevations received and stipulated to in item #1a above) remain valid and shall be adhered to.



The 4020 Building

110-DR-2005#2

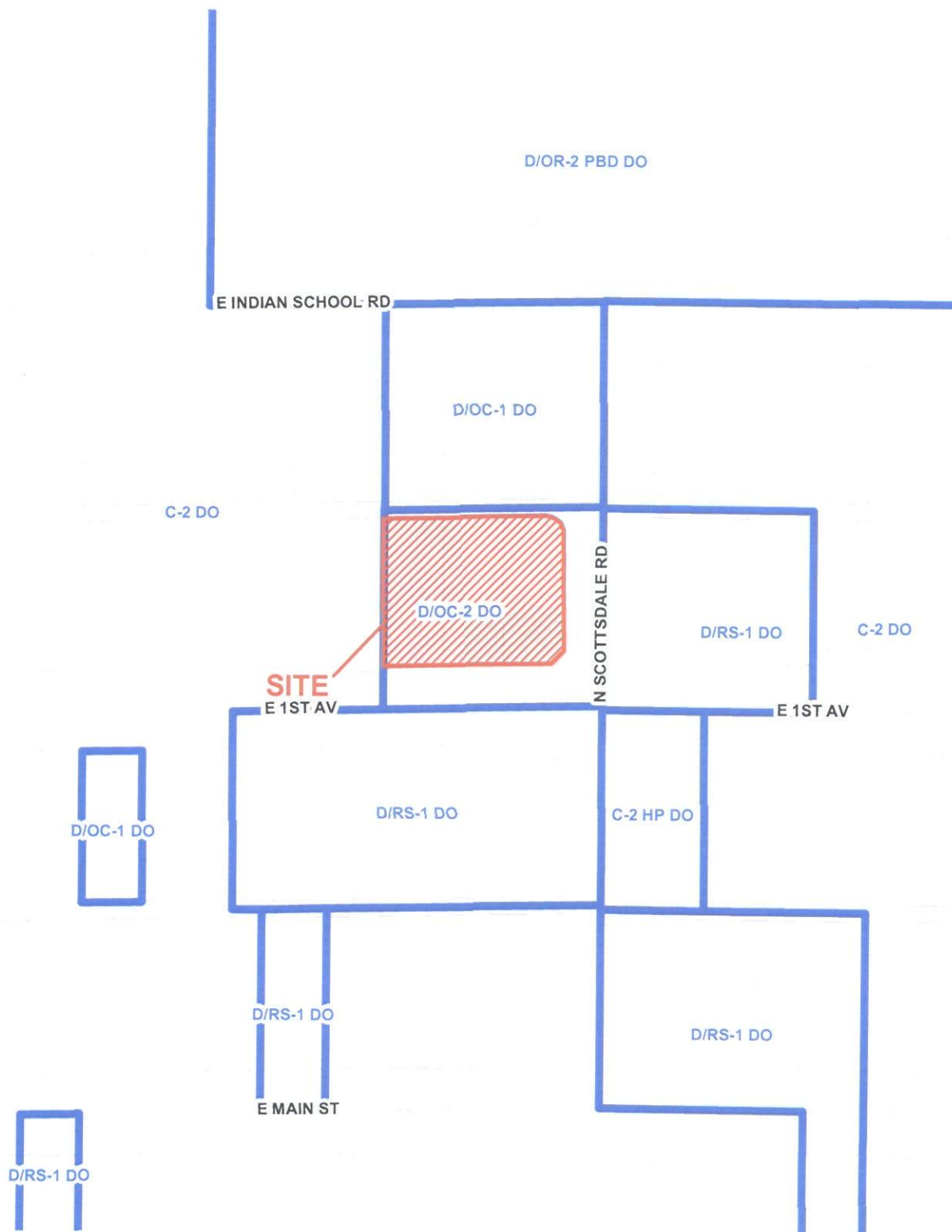
ATTACHMENT #2



The 4020 Building

110-DR-2005#2

ATTACHMENT #2A



110-DR-2005#2

ATTACHMENT #3





RED MOUNTAIN Retail Group

Peter J. Blied
Sr. Entitlements Manager

May 22, 2007

Ph: 714.460.1551
Fx: 714.245.7401
Cell: 714.308.1171

Re: *Project Narrative for Proposed Revisions to 4020 Building
(prior Case # 110-DR-2005)*

To Whom It May Concern:

In the Fall of 2006, a full redevelopment project concerning the existing structure located at 4020 North Scottsdale Road was approved by the City Council after its initial approval by the Development Review Board and subsequent appeal to the Council. The design approved provided for the rehabilitation and slight expansion of the existing office building into a vertically mixed use building with ground floor retail and 21 residential loft-style condominiums on the 2nd and 3rd floors. The approved plan included a centralized roof deck with both elevator and stairwell access to the proposed deck area for all residents. As the project evolved through the development of construction drawings and a more critical engineering evaluation, the feasibility of a shared roof deck for all residents came into question.

Upon further review and investigation, the shared roof deck became infeasible and we began to look at alternatives. Ultimately, the decision was made to redesign using steel spiral staircases for individual access to private roof decks at 5 of the 10 3rd floor loft units. These staircases are proposed to be placed on the existing exterior balcony areas and will access their own private roof deck areas that will be partitioned by a steel cable system. This concept allows for each of these units to enjoy the opportunity of additional outdoor living space at roof level, a highly desired amenity based on our research and the pace at which our proposed third floor units have received deposits from interested buyers.

The exterior stairs lend an additional sense of human scale and proportion to the 3-story building and are vaguely reminiscent of the steel fire escapes of "West Side Story" and countless other urban stories. They are proposed to be painted the same muted brown that is being used on the siding material previously approved. This allows for the addition of these stairs to blend into the building as much as possible. Alternately, it has been contemplated to use a more traditional black paint finish in order to truly mimic the "historic fire escape" look. The private roof deck areas will be managed by controls within the Covenants, Codes, and Restrictions (CC&R's) that will be recorded along with Condominium Plat currently being processed with City staff. These CC&R's will place reasonable limits and prohibitions on the activities, fixtures, and/or furniture allowed on the roof so as to protect from unsightly and potentially unsafe

conditions. Additionally, this will not be a gathering place for special events involving large numbers of non-residents.

At the ground level, we have also worked with staff to reconfigure the floor plan to provide the best opportunity for retail success by shifting floor area towards the southeast corner at the Scottsdale Road and First Avenue intersection. The appropriate step-back has been provided at the northeasterly and southwesterly ground levels such that we are meeting the letter of the required ordinances in regard to setbacks and step-backs. The general aesthetic of the building remains untouched with regard to the originally approved colors, materials, and massing. The ground level awnings are designed to project 6'-4" (based on shade studies that proved adequacy) along the southerly First Avenue frontage and a similar projection of 6'-4" is being provided along Scottsdale Road.

We recognize that changes to this building are of interest to many and that the redevelopment of this site has been a priority for many since its construction. As such, we respectfully request the support of staff, the community, and the Development Review Board so that we may develop this property in such a way as to make appropriate use of the beautiful natural and man-made skyline and scenery that embody Old Town Scottsdale. Our objective for this property is to bring new life, both residential and commercial retail, to a much-maligned, mostly vacant office building and we thank you in advance for helping us achieve this ambitious goal.

Warmest Regards,
Red Mountain Retail Group, Inc.



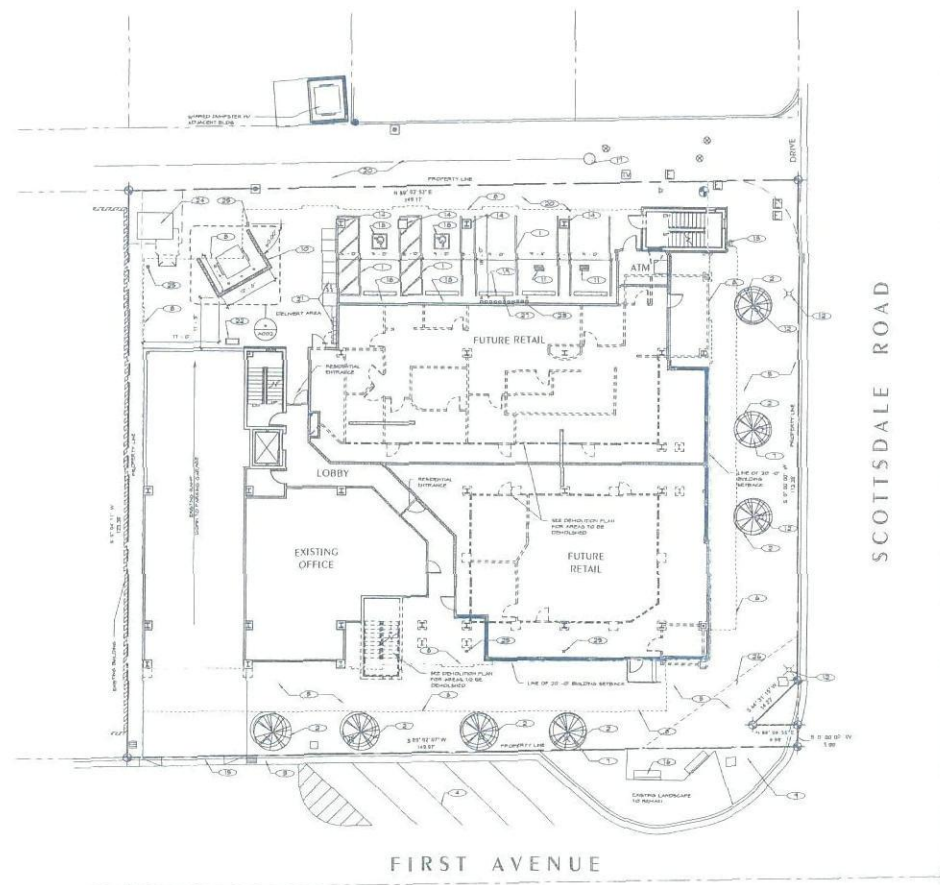
Peter J. Blied
Sr. Entitlements Manager

① SITE PLAN
SCALE: 1" = 10'-0"

ATTACHMENT #4

110-DR-2005#2
1ST: 5/23/07

NO.	DESCRIPTION
1	EXISTING PARKING SPACES - SEE DETAIL C-1000
2	EXISTING PARKING SPACES TO REMAIN - PARKING
3	EXISTING LAND AND BUFFER TO REMAIN
4	EXISTING PARKING SPACES TO REMAIN
5	EXISTING LAND AND BUFFER TO REMAIN
6	EXISTING PARKING SPACES TO REMAIN
7	EXISTING LAND AND BUFFER TO REMAIN
8	EXISTING PARKING SPACES TO REMAIN
9	EXISTING LAND AND BUFFER TO REMAIN
10	EXISTING PARKING SPACES TO REMAIN
11	EXISTING LAND AND BUFFER TO REMAIN
12	EXISTING PARKING SPACES TO REMAIN
13	EXISTING LAND AND BUFFER TO REMAIN
14	EXISTING PARKING SPACES TO REMAIN
15	EXISTING LAND AND BUFFER TO REMAIN
16	EXISTING PARKING SPACES TO REMAIN
17	EXISTING LAND AND BUFFER TO REMAIN
18	EXISTING PARKING SPACES TO REMAIN
19	EXISTING LAND AND BUFFER TO REMAIN
20	EXISTING PARKING SPACES TO REMAIN
21	EXISTING LAND AND BUFFER TO REMAIN
22	EXISTING PARKING SPACES TO REMAIN
23	EXISTING LAND AND BUFFER TO REMAIN
24	EXISTING PARKING SPACES TO REMAIN
25	EXISTING LAND AND BUFFER TO REMAIN





THE
RICHARDSON
DESIGN
PARTNERSHIP,
LLC

800 South 40th Street
Salt Lake City, Utah 84115
P: 801.555.1000
F: 801.555.1001



RED MOUNTAIN
Retail Group

LOFT 4020 - MIXED USE
OLD TOWN SCOTTSDALE
4020 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ

PROJECT
ARCHITECT
CITY VENDOR

SITE PLAN
A001



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	1. EXISTING CURB CUT - SEE PLAN
2	2. EXISTING CURB CUT - SEE PLAN
3	3. EXISTING CURB CUT - SEE PLAN
4	4. EXISTING CURB CUT - SEE PLAN
5	5. EXISTING CURB CUT - SEE PLAN
6	6. EXISTING CURB CUT - SEE PLAN
7	7. EXISTING CURB CUT - SEE PLAN
8	8. EXISTING CURB CUT - SEE PLAN
9	9. EXISTING CURB CUT - SEE PLAN
10	10. EXISTING CURB CUT - SEE PLAN
11	11. EXISTING CURB CUT - SEE PLAN
12	12. EXISTING CURB CUT - SEE PLAN
13	13. EXISTING CURB CUT - SEE PLAN
14	14. EXISTING CURB CUT - SEE PLAN
15	15. EXISTING CURB CUT - SEE PLAN
16	16. EXISTING CURB CUT - SEE PLAN
17	17. EXISTING CURB CUT - SEE PLAN
18	18. EXISTING CURB CUT - SEE PLAN
19	19. EXISTING CURB CUT - SEE PLAN
20	20. EXISTING CURB CUT - SEE PLAN



THE
RICHARDSON
DESIGN
PARTNERSHIP,
L.L.C.

90 South 400 East
Salt Lake City, Utah 84143
P: 801.338.8888
F: 801.338.8888



RED MOUNTAIN
Retail Group

LOFT 4020 - MIXED USE
OLD TOWN SCOTTSDALE
4020 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ

DATE: 5/23/07

DATE: 5/23/07

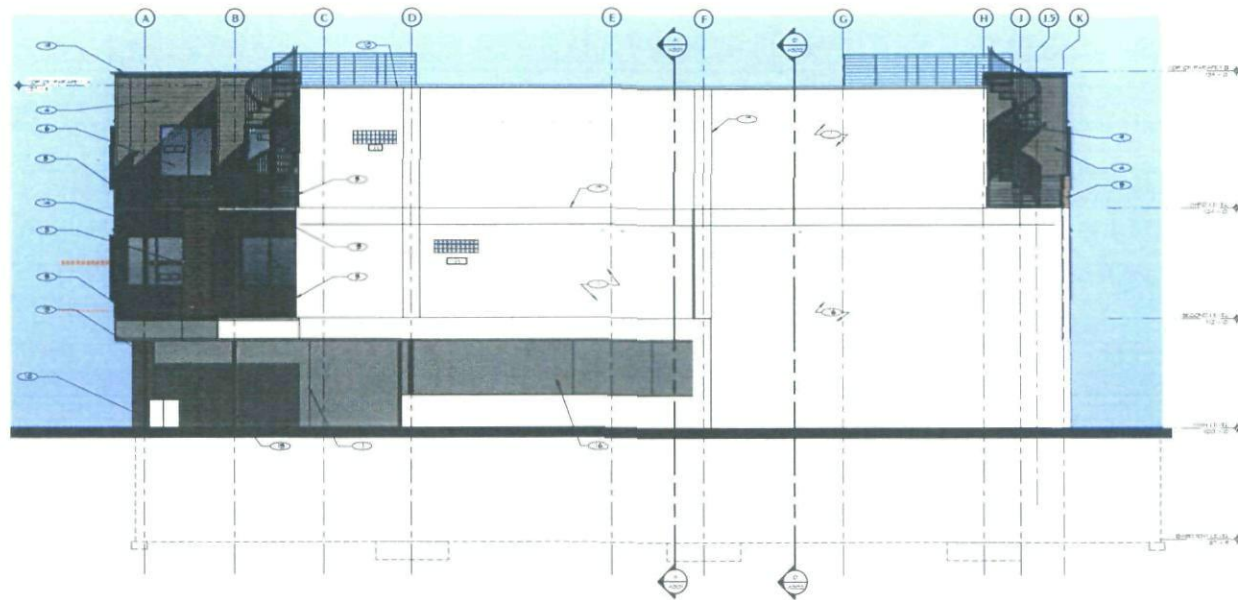
DATE: 5/23/07

DATE: 5/23/07

DATE: 5/23/07

DATE: 5/23/07

DATE: 5/23/07



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
2	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
3	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
4	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
5	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
6	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
7	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
8	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
9	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
10	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
11	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
12	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
13	ARCHITECT'S OFFICE: 1000 W. 10TH ST.
14	ARCHITECT'S OFFICE: 1000 W. 10TH ST.



THE
RICHARDSON
DESIGN PARTNERSHIP,
L.L.C.

Richardson Design
Partnership, L.L.C.
1000 W. 10TH ST.
SUITE 100
DENVER, CO 80202
P: 303.733.8800
F: 303.733.8800



RED MOUNTAIN
Retail Group



LOFT 4020 - MIXED USE
OLD TOWN SCOTTSDALE
4020 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85250

DATE: 5/23/07

EXTERIOR
ELEVATIONS
A202

110-DR-2005#2
1ST: 5/23/07

**THE 4020 BUILDING
MIXED USE RENOVATION
4020 N. SCOTTSDALE RD.
SCOTTSDALE, AZ**

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.

MAINTAIN EXISTING

- ☐ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☒ 7. SUBMIT PLANS FOR A CLASS B FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. MAINTAIN EXISTING

- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF EXIST AT 1500 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x EXIST (NSHT)
 - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☒ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC. EXCEPTION: FULL 13 IN ATTIC SPACE
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: PER USE/OCCUPANCY SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.