

# LOFT 4020



## MASTER SIGN PLAN

05.16.2007 SUBMITTAL

**LOFT 4020**  
MASTER SIGN PLAN



RED MOUNTAIN  
Retail Group

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110-DR-2005#2  
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# Part I—General Information

## Purpose

The goal of this sign design criteria is to balance the tenants' need for high impact visibility and the community's need for an aesthetically pleasing retail center.

Signage at LOFT 4020 was designed by Gardner Signs working closely with the City of Scottsdale, Richardson Design Partnership and Red Mountain Retail Group. This sign program is being submitted as a "Master Sign Plan" so as to allow for a greater cohesiveness in tenant signage design.

## General Requirements

1. All signs require approval by Landlord, which approval shall be given or denied in accordance with the criteria set forth herein.
2. Tenant shall, at its own risk and expense, erect such sign(s), (including final electrical connections and time clock) as are required under this Exhibit and shall maintain such sign(s) in good state of repair. Tenant hereby agrees to indemnify Landlord for costs incurred by Landlord for the erection, maintenance, or removal of such sign(s). Upon vacating the Premises, tenant agrees to remove all signs and repair all damage caused by such removal.
3. If any of the following limitations, restrictions or criteria are found to be invalid under any local ordinance, regulation or law, to the extent that such limitations, restrictions or criteria is invalid as aforesaid, then the Landlord, at its sole discretion, may modify such limitations, restrictions or criteria to comply with such local ordinance, regulation or law. In no case shall the invalidity of any one of the foregoing limitations, restrictions or criteria invalidate this Exhibit.



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**PART I**  
General Information

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## Part II—Submittal and Approval Process

### Design Intent

All signage is expected to be an extension of the architecture and design of the buildings. The sign design should include only the retail name of the respective company.

Tenants are expected to retain the services of a professionally trained graphic designer to create their sign package based on this sign criteria. The designs should be creative, yet simple and clear. Signage should be limited to the trade name only. Anything in addition to this is at the discretion of the landlord.

All tenants are required to submit their sign package designs to the Landlord for review prior to submitting to the city for permitting purposes and prior to fabrication.

The design of tenants' sign package and the fabrication and installation of all signage is subject to Landlord's approval and will be performed and paid for at tenant's expense.

All required documents must be submitted prior to review by Landlord. Please submit for approval the required documentation, as described in the following section.

### Tenant Submittal Requirements

The tenant shall submit to the landlord the following documentation prior to any submissions to the City of Scottsdale for a sign permit and prior to any fabrication. Documents submitted must include the following:

- ☐ **Contact Information:** On a cover sheet for the submittal, include the following information:
  - (a) Tenant's Trade Name
  - (b) Store Unit, Square Footage of Unit and Exterior Storefront Length
  - (c) Contact Name for Tenant
  - (d) Phone Number and Email Address for Tenant Contact
  - (e) Sign Fabricator Company Name
  - (f) Contact Name for Sign Fabricator
  - (g) Phone Number and Email Address for Sign Fabricator Contact
- ☐ **Shop Drawings:** There should be a drawing for each sign type being requested. Each drawing must include the following information and specifications:
  - (a) Shop drawing must be scaleable, including elevation placement details.
  - (b) Sign must be shown superimposed on applicable elevation to indicate sign placement.
  - (c) Attachment method and materials used for mounting of signage must be specified.
  - (d) Dimensions for height of individual letters and overall dimensions of the entire sign must be indicated on drawing.
  - (e) All methods of illumination must be specified including power requirements. All thicknesses and colors of materials should be indicated (including manufacturer).





## Part II—Submittal and Approval Process (continued)

- ☐ **Tenant Site Plan:** A site plan of the tenant's space must be submitted with the following information indicated:
- (a) Site plan must be drawn to scale
  - (b) Indicate placement of each sign type being requested on the building to show overhead placement.

Once the sign package submittal has been completed, please submit to the Landlord or Sign Consultant for review. Make all submissions to:

### Landlord

Red Mountain Retail Group  
1234 East 17<sup>th</sup> Street  
Santa Ana, CA 92701  
P: (714) 460-1551  
F: (714) 245-7401

Peter Blied  
pblied@rmrginc.com

### Sign Consultant

Gardner Signs  
8101 S.W. Frontage Road  
Fort Collins, CO 80528  
P: (970) 225-1000  
F: (970) 225-0060

Chris Neenan  
cjn@gsiwest.com

Upon approval of submitted design package, the Landlord will provide an acceptance letter and an approved drawing to be submitted with the sign permit application for the City of Scottsdale. Should the City require additional modifications or revisions, said changes must be approved by the Landlord prior to re-submittal to the City of Scottsdale.

Landlord reserves the right in Landlord's sole discretion to permit exceptions to these requirements. Permission granted to a tenant to deviate from the strict requirements of this sign criteria shall not entitle any other tenant similar treatment.

Once the City of Scottsdale has provided an approved sign permit, submit a copy of the permit to the Landlord immediately. Upon completion of the fabrication and installation of signage, inspection and approval by landlord is required.

### Sign Fabrication Requirements

All signage must be fabricated consistent with the design approved by the Landlord and as stipulated by the sign permit provided by the City of Scottsdale. The following requirements also apply to all fabrication and sign fabricators:

1. Sign Fabricator shall meet with the Landlord prior to the placement and installation of Tenant's sign. A copy of the Landlord approved drawing should be presented to Landlord as evidence of prior approval.
2. The tenant and their fabricator are responsible for any damage caused to the property during the installation. Said damage must be repaired immediately and tenants' expense.
3. All signs must be fabricated and installed to comply with all applicable building and electrical codes and bear a U.L. label.
4. All clips, bolts and fasteners shall be of non-corrosive materials and concealed.
5. All electrical conduit, wireways, crossovers, transformers or ballasts, secondary wiring and any other equipment related to signage shall be concealed from the public's view.

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**PART II**  
Fabrication Requirements  
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## Part III—Approved Sign Types

### Introduction

This section contains information regarding the types of signage that are allowed, those that are prohibited and sign placement requirements.

The following sign types are permitted for tenants' to use as their identification. The primary identification for a tenant must be the canopy mounted set of channel letters. Ancillary identification is allowed through the usage of a shingle sign (also known as a blade sign). Each of these sign types must meet the following requirements as well as be consistent with the specifications provided on the following pages.

### Primary Sign

Requirements  
Design Specifications

Page 05  
Page 06

### Shingle Sign

Requirements  
Design Specifications

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Page 08

### Center Identification Signs

Requirements  
Design Specifications

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Pages 10 & 11





## Part III—Approved Sign Types

### Primary Signs

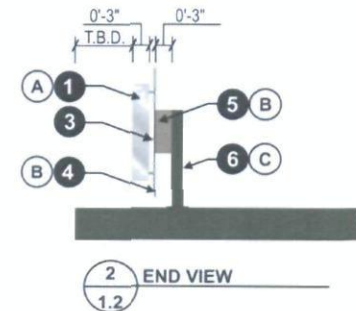
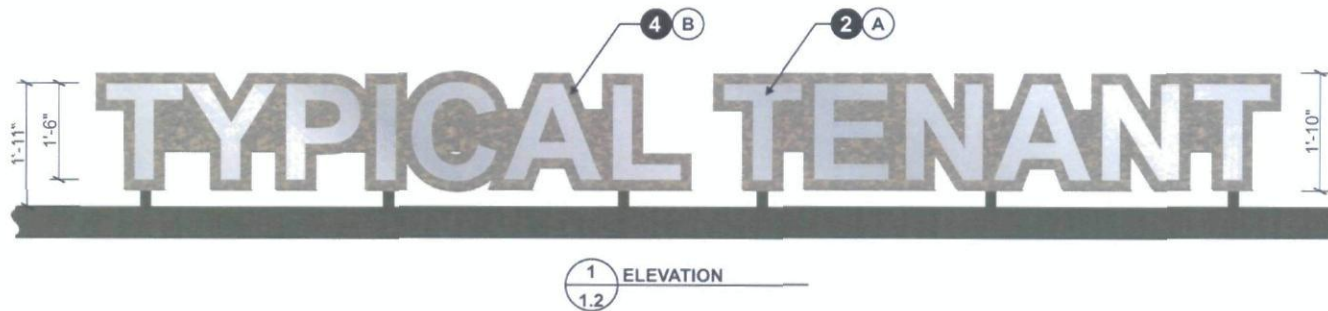
This type of sign is the only type that may be used as a tenants' main identification. In addition to meeting the following requirements, these signs must be consistent with the specifications shown on **page 06** of this sign criteria.

1. These should be comprised of pan channel letters only. Logo cabinets of any kind are not allowed.
2. Letters must be reverse illuminated through the use of brushed aluminum faces and a custom shaped background panel.
3. Returns of letters must be of aluminum fabrication. Both the faces and the returns of the letters are to be brushed aluminum.
4. Channel letters are to be mounted vertically from building canopy through the use of conduit spacers. Refer to sign specification drawings for further details, as shown on **page 06**.
5. For sign locations that do not have a canopy, letters are to be flush mounted to wall and remotely wired. All other specifications still apply.
6. Channel letters are to be illuminated with super bright white LED's.
8. Exposed illumination of any kind is not permitted. All sources of illumination should be concealed.



## Part III—Approved Sign Types

### Primary Sign Specifications



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#### S/F ILLUMINATED TENANT ID DISPLAY

FABRICATE & INSTALL (1) REQUIRED

- 1 **CHANNEL LETTERS:** Reverse channel letters paint finish  
**RETURN MATERIAL:** .040" Thk. aluminum (vfy.) without weep holes  
**LETTER BACKS:** .150" Thk. clear polycarbonate w/ alum. angle clips around perimeter for return attachment.
- 2 **LETTER FACES:** .125" Thk. routed alum. w/ painted finish. Weld/versilok faces to letter returns.
- 3 **LETTER MOUNTING METHOD:** Space off backer panel 1" w/ alum. spacers (mill finish)  
**NOTE:** (1) Letter set space off brick fascia 1" w/ alum. spacers (see corner elevation detail).  
**ILLUMINATION:** SloanLED (vfy.) White LEDs mount to letter returns. LED size & LED qty. T.B.D.  
**POWER SUPPLY:** SloanLED "Self-Contained 20" (vfy.) LED power supplies housed inside wireway.  
**PRIMARY ELECTRICAL:** 120V - total sign amps T.B.D.  
**POWER LOCATION:** Power to be provided at site by others (location T.B.D.)  
**SWITCH LOCATION:** T.B.D.
- 4 **BACKER PANELS:** .125" Thk. routed alum. panels w/ paint finish

- 5 **WIREWAY:** Attach 8" tall x 3" deep x length custom fab. alum. wireways to back of backer panels to house LED power supplies & secondary wiring.
- 6 **MOUNTING METHOD:** Wireways attach to canopy w/ 2" alum. sq. tube picks (vfy.). Picks weld to 1/4" thk. alum. matchplates which attach to canopy w/ 3/8" fasteners (vfy.). Mounting pick placement & qty. T.B.D.

**MOUNTING SURFACE:** Existing exterior canopy. Field vfy. canopy construction to determine final attachment method. Mounting dimensions T.B.D.

#### COLORS & FINISHES:

- A Paint M.A.P. Brushed Alum. (nuance)
- B Paint M.A.P. faux rusted corten steel
- C Paint M.A.P. Bronze (nuance) to match existing canopies. Color T.B.D.

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**PART III**  
Primary Signs  
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## Part III—Approved Sign Types

### Shingle Signs

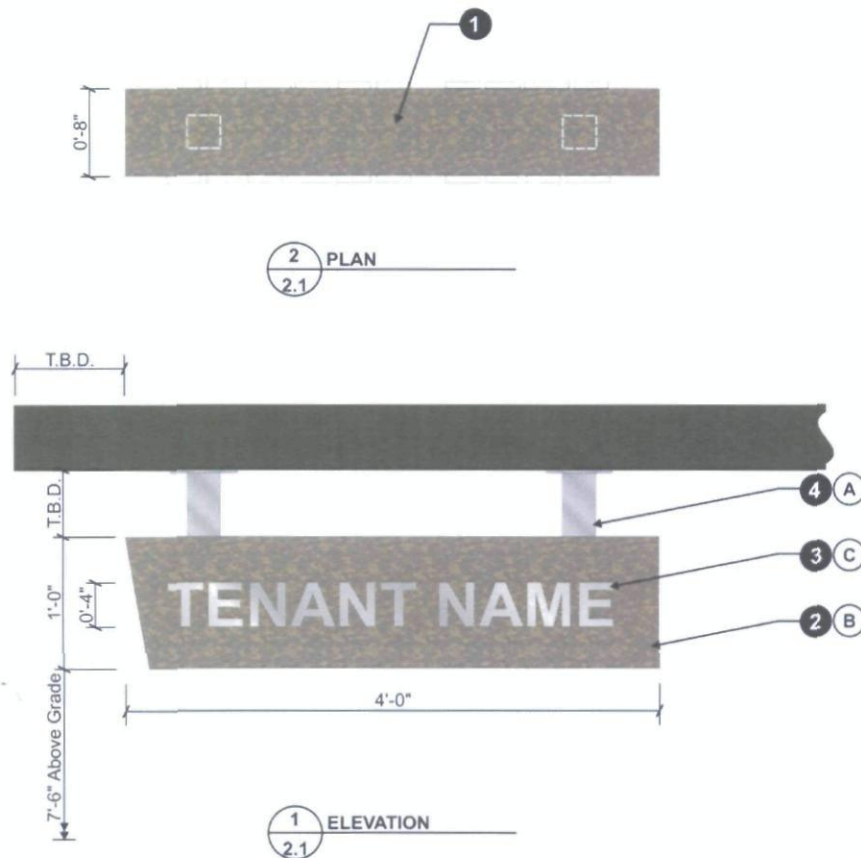
This type of sign is intended to be used as a secondary means of identification for tenants. In addition to meeting the following requirements, these signs must be consistent with the specifications shown on **page 07** of this sign criteria.

1. The overall size of this sign must be consistent with the specification drawings as shown on **page 07**.
2. The cabinet portion of this sign is to be fabricated from aluminum and painted to be consistent with the included specifications.
3. The blade cabinet is to be internally illuminated (as specified on the drawing) with the copy routed and push through.
4. Tenant copy is to be routed and push through with 3/4" acrylic and overlaid with white block out film and silver film #230-121.
5. Tenant copy is not to exceed 4" in overall height.
6. Refer to specifications for any additional requirements.



## Part III—Approved Sign Types

### Shingle Sign Specifications



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#### D/F ILLUMINATED TENANT BLADE DISPLAY

FABRICATE & INSTALL (1) REQUIRED

- 1 **FRAME TYPE:** D/F Custom fabricated 1 1/2" alum. angle frame  
**RETURNS:** .063" Thk. alum. (vfy.) w/ M.A.P. Brushed Aluminum (nuance) painted finish
- 2 **FACE TYPE:** .125" Thk. routed aluminum w/ M.A.P. Brushed Aluminum (nuance) painted finish.  
Weld/versilok faces to frame.
- 3 **PUSH THRU:** 3/4" Thk. routed clear acrylic. Overlay faces w/ white block out film & Duranodic film #230-69 (halo-illum. only).  
**PUSH THRU MOUNTING:** Each character to have 1/2" wide x .125" thk. routed flange.  
Weld studs to face (2nd surface) around flange perimeter & secure flange to face w/ nuts & silicone.

**ILLUMINATION:** Lamp vert. or horiz. w/ CWHO fluorescent lamps. Lamp sizes & quantity T.B.D.  
**BALLAST:** T.B.D.

**PRIMARY ELECTRICAL:** 120V - total sign amps T.B.D.

**POWER OUT:** Power out thru mounting pipe closest to power supply. Leave 8'-0" pigtail wire inside cab. for sign hook up.

**POWER LOCATION:** Power to be provided at site by others (location T.B.D.)

**SWITCH LOCATION:** T.B.D.

**SERVICE ACCESS:** Frame returns to have access doors as reqd.  
Attach doors w/ countersunk fasteners (paint heads to match bkgd.)

- 4 **MOUNTING PIPES:** (2) Alum. sq. tubes (size T.B.D.) w/ painted finish to match canopy.  
Sq. tubes attach to top of cab. (mounting method T.B.D.).  
Opposite end of sq. tubes weld to matchplates for canopy attachment.

**MATCHPLATES:** 1/4" Thk. alum. attach to canopy w/ (4) 3/8" fasteners (vfy.)

**MOUNTING SURFACE:** Existing exterior canopy. Field vfy. canopy construction to determine final attachment method. Mounting dimensions T.B.D.

#### COLORS & FINISHES:

- (A) Paint M.A.P. Brushed Alum. (nuance)
- (B) Paint M.A.P. faux rusted corten steel
- (C) Overlay push thru faces w/ white block out film & silver film #230-121 (halo illum. only)

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Shingle Signs  
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## Part III—Approved Sign Types

### Center Identification Signs

This type of sign is intended to be used as a means of identification for project itself (not for tenants). In addition to meeting the following requirements, these signs must be consistent with the specifications shown on **pages 10 & 11** of this sign criteria.

1. The overall size of these signs must be consistent with the specification drawings as shown on **page 10** and **page 11**.
2. Signs are to be fabricated as reverse-illuminated pan channel letters. Cabinet signs of any kind are not allowed.
3. The letters are to be remotely wired with a concealed and weather-proof box to house secondary wiring and power supplies.
4. Letters are to be illuminated with super-bright white LED.
5. Faces and returns are to be painted to match specifications shown on following two pages.



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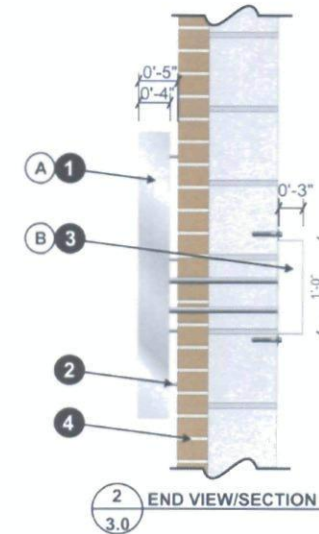
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Center Identification  
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## Part III—Approved Sign Types

### Center Identification Sign Specifications (Address Numerals)



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#### S/F HALO ILLUM. REVERSE CHANNEL LETTERS

FABRICATE & INSTALL (1) REQUIRED

- 1 **CHANNEL LETTER TYPE:** Halo-illuminated reverse channel letters  
**FACES:** .125" Thk. routed alum. w/ paint finish. Weld/versilok faces to returns.  
**RETURNS:** .040" Thk. prefinished dk. bronze aluminum (vfy.) without weep holes & paint finish  
**BACKS:** .150" Thk. clear polycarb. w/ alum. angle clips around perimeter for return attachment.
- 2 **LETTER MOUNTING METHOD:** Stud mount to fascia spaced off 1" w/ alum. spacers (mill finish)  
**ILLUMINATION:** SloanLED (vfy.) White LEDs mount to letter returns. LED size & LED qty. T.B.D.  
**NOTE:** Increase qty. of LEDs from standard qty. to insure adequate illumination.  
**POWER SUPPLY:** SloanLED "Self-Contained 20" (vfy.) LED power supplies housed inside custom transformer cover behind fascia.  
**PRIMARY ELECTRICAL:** 120V - total sign amps T.B.D.  
**POWER LOCATION:** Power to be provided at site by others (location T.B.D.)  
**SWITCH LOCATION:** T.B.D.  
**SERVICE ACCESS:** Remove letter faces (w/ attached returns) to service LEDs.

- 3 **TRANSFORMER COVER:** Break formed .063" thk. alum. (hem raw edges & rivet on ends)  
**MOUNTING METHOD:** Use ABC III F retainers as angle clips for fascia attachment.  
**SERVICE ACCESS:** Remove transformer cover from angle clips.
- 4 **MOUNTING SURFACE:** Exterior brick fascia. Mounting dimensions T.B.D. See sheets 6.0 thru 10.0 for placement details.

#### COLORS & FINISHES:

- A Paint M.A.P. Brushed Alum. (nuance)
- B Paint M.A.P. to match fascia (vfy.). Color T.B.D.

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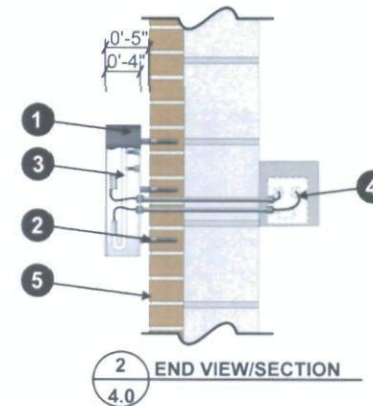
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## Part III—Approved Sign Types

### Center Identification Sign Specifications (LOFT 4020 Sign)



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#### S/F HALO ILLUM. REVERSE CHANNEL LETTERS

##### FABRICATE & INSTALL (1) REQUIRED

- 1 **CHANNEL LETTER TYPE:** Halo-illuminated reverse channel letters  
**FACES:** .125" Thk. routed alum. w/ paint finish. Weld/versilok faces to returns.  
**RETURNS:** .040" Thk. prefinished dk. bronze aluminum (vfy.) without weep holes & paint finish  
**BACKS:** .150" Thk. clear polycarb. w/ alum. angle clips around perimeter for return attachment.
- 2 **MOUNTING METHOD:** Stud mount to fascia spaced off 1" w/ alum. spacers (paint color)
- 3 **ILLUMINATION:** S/T 13mm Voltarc 6500K white neon tubing w/ dbl. backs & std. tube supports
- 4 **TRANSFORMER:** 60 MA, 12060 standard or below (12,000v max.) housed inside standard transformer box behind fascia  
**PRIMARY ELECTRICAL:** 120v - amps T.B.D.  
**POWER LOCATION:** Power to be provided at site by others (location T.B.D.)  
**SWITCH LOCATION:** Transformer box  
**SERVICE ACCESS:** Remove letter faces (w/ attached returns) to service neon.
- 5 **MOUNTING SURFACE:** Exterior brick fascia. Mounting dimensions T.B.D. See sheets 6.0 thru 10.0 for placement details.

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## Part IV—General Size Requirements

### Introduction

The following contains specific requirements regarding depth, length, height, area and quantity of signs that a tenant may have. These items are dictated by the overall size of the tenant's store.

### Definitions

**Business Frontage:** The lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business. In the event that a tenant fronts two streets, the larger of the two frontages will be counted.

**Sign Area:** In the case of individual letters used as a sign, the area is ninety percent (90%) of the area enclosed within the smallest regular geometric figure needed to completely encompass all letters, insignias or symbols of the sign, including horizontal spacings between letters, insignias or symbols.

### Requirement Tables

The following pages indicate the sizes that are allowed on a per tenant basis. Refer to **page 13** for general sizes of the primary signage, **page 14** for the general sizes of the shingle signage and **page 15** for the overall size requirements that would apply to the current tenant layout.





## Part IV—General Size Requirements

### Primary Sign—General Requirements

The following table illustrates the requirements that each tenant must abide by for their primary sign(s). As detailed on **page 05**, the primary sign is a tenant's primary means of communicating their location to nearby viewers (mainly vehicular). These requirements include:

**Maximum Sign Size (Cumulative):** This total represents the maximum amount of square footage allowed for all of a tenants' primary signs. If a tenant has more than one primary sign, the total of the two would be counted.

**Maximum Sign Size (On a Per Sign Basis):** This total represents the maximum amount of square footage allowed for any individual primary sign. No single primary sign may exceed this maximum size (regardless of quantity allowed).

**Letter Height:** This is the maximum height allowed for the letters on a Primary sign (in terms of inches).

**Overall Sign Height:** This is the maximum height allowed for the entire sign (from top to bottom). This does not include the spacers.

**Maximum Quantity:** This is the maximum quantity of primary signs allowed to a single tenant.

Primary Sign - General Requirements	
Category	Requirement
Maximum Sign Size (Cumulative)	One and a half (1.5) square foot of signage for every business front foot (1'-0"). This calculation represents the cumulative total for all primary signage of a single tenant. No tenant may exceed eighty (80) total square feet.
Maximum Sign Size (On a Per Sign Basis)	Forty (40) square feet is the maximum size for a single primary sign. No primary sign may exceed forty (40) square feet.
Letter Height	Maximum letter height of 18"
Overall Sign Height	18" tall for Canopy-Mounted Signs. Flush mounted letters on a wall that require two or more lines of copy have a maximum height of 40".
Maximum Quantity	One (1) primary sign is allotted to a tenant for each building elevation that tenant occupies, up to a maximum of two (2) primary signs. Additional primary signs may be allotted by the landlord up to two (2) total.





## Part IV—General Size Requirements

### Shingle Sign—General Requirements

The following table illustrates the requirements that each tenant must abide by for their shingle sign(s). As detailed on [page 07](#), the shingle sign is a tenant's secondary means of communicating their location to nearby viewers (mainly pedestrian). These requirements include:

**Maximum Sign Size (Cumulative):** This total represents the maximum amount of square footage allowed for all of a tenants' shingle signs. If a tenant has more than one shingle sign, the total of the two would be counted.

**Maximum Sign Size (On a Per Sign Basis):** This total represents the maximum amount of square footage allowed for any individual shingle sign. No single shingle sign may exceed this maximum size (regardless of quantity allowed).

**Sign Dimensions:** This is the overall dimensions that each shingle sign must have.

**Height from Grade:** This represents the height from the bottom edge of the shingle sign to the ground below.

**Maximum Quantity:** This is the maximum quantity of shingle signs allowed to a single tenant.

Single Sign - General Requirements	
Category	Requirement
Maximum Sign Size (Cumulative)	Shingle Signs that meet the following criteria are exempt from the cumulative sign total.
Maximum Sign Size (on a per sign basis)	Four (4) square feet is the maximum size for a shingle sign.
Sign Dimensions	Each shingle sign must be 1'-0" in overall height and 4'-0" in overall width.
Height from Grade	Each shingle sign must be suspended from canopy such that the bottom of the shingle sign is no lower than 7'-6" from grade.
Maximum Quantity	One (1) shingle sign is allotted to a tenant for every street a tenants store has frontage on. A maximum of two (2) is allowed for a single tenant.





## Part IV—General Size Requirements

### Existing Tenant Requirements

The following table illustrates how each of the three current tenants would have their signage calculated (based on the primary sign and shingle sign requirements indicated on [pages 13](#) and [14](#), respectively).

The "Tenant Details" section contains information regarding the size of the tenant's frontage (as based on the longest frontage dimension in the event that a tenant has two) and the number of street elevations.

The "Primary Sign(s)" section contains information regarding the maximum quantity, maximum cumulative size and maximum sign size as they relate to the specific tenants and their size. These calculations are based on the requirements for primary signs, as shown on [page 13](#).

The "Shingle Sign(s)" section contains information regarding the maximum quantity and maximum sign size as they relate to the specific tenants and their size. These calculations are based on the requirements for shingle signs, as shown on [page 14](#).

Existing Tenant Requirements							
Tenant Details			Primary Sign(s)			Shingle Sign(s)	
Tenant	Number of Elevations	Total Frontage	Maximum Quantity	Maximum Size (Cumulative)	Maximum Size (per sign)	Maximum Quantity	Maximum Size (per sign)
Tenant A	1	40'-0"	2	60 square feet	40 square feet	1	4 square feet
Tenant B	2	55'-0"	2	80 square feet	40 square feet	2	4 square feet
Tenant C	1	47'-0"	1	70 square feet	40 square feet	1	4 square feet



## Part V—Site Plan, Elevations & Renderings

### Introduction

The following section contains several different types of drawings and depictions of this project with the purpose of indicating the placement location of all signage and overall scale of placed signage. These include: Site Plan, Elevation Drawings and Elevation Renderings. Refer to the below key for the appropriate page:

### Site Plan

Overall Site Plan with Sign Placement **Page 17**

### Elevation Drawings

East Elevation with Sign Placement **Page 18**  
North Elevation with Sign Placement **Page 18**  
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### Elevation Renderings

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### Overall Site Plan with Sign Placement



## Gardner signs

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## Part V—Site Plan, Elevations & Renderings

### Elevation Placement—East & North Elevations



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**PART V**  
East & North Elevations

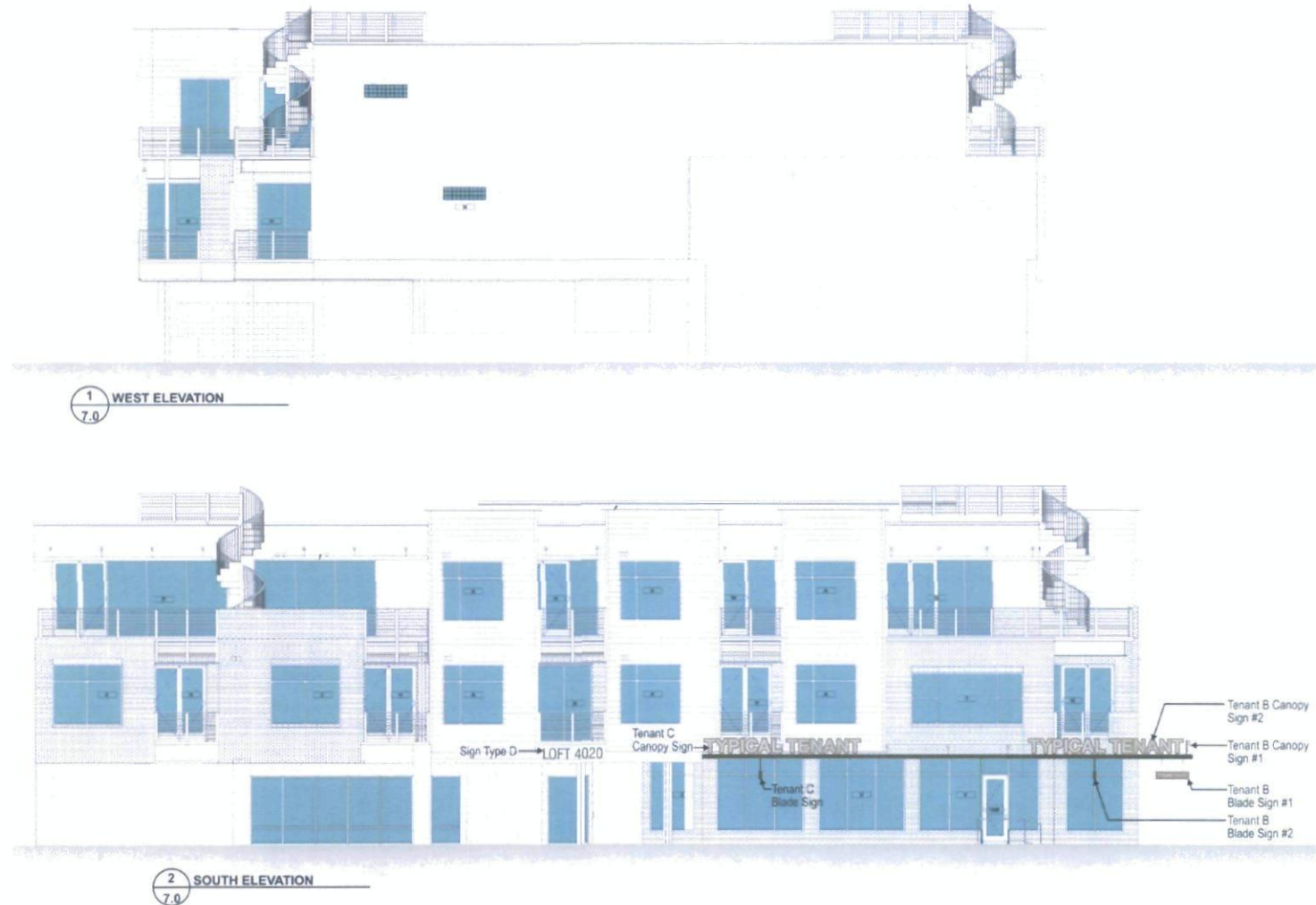
**PAGE 18**

110-DR-2005#2  
1ST: 5/23/2007



## Part V—Site Plan, Elevations & Renderings

### Elevation Placement—West & South Elevations



**LOFT 4020**  
**MASTER SIGN PLAN**



RED MOUNTAIN  
Retail Group

*Gardner*  
**signs**

**PART V**  
West & South Elevations

**PAGE 19**

110-DR-2005#2  
1ST: 5/23/2007

## Part V—Site Plan, Elevations & Renderings

Rendering Placement—East Elevation



**LOFT 4020**  
**MASTER SIGN PLAN**



RED MOUNTAIN  
Retail Group

*Gardner*  
**signs**

**PART V**  
East Elevation Rendering

**PAGE 20**

110-DR-2005#2  
1ST: 5/23/2007



## Part V—Site Plan, Elevations & Renderings

Rendering Placement—South Elevation



**LOFT 4020**  
**MASTER SIGN PLAN**



RED MOUNTAIN  
Retail Group

*Gardner*  
*signs*

**PART V**  
South Elevation Rendering

**PAGE 21**

110-DR-2005#2  
1ST: 5/23/2007



## Part III—Approved Sign Types

### Introduction

This section contains information regarding the types of signage that are allowed, those that are prohibited and sign placement requirements.

The following sign types are permitted for tenants' to use as their identification. The primary identification for a tenant must be the canopy mounted set of channel letters. Ancillary identification is allowed through the usage of a shingle sign (also known as a blade sign). Each of these sign types must meet the following requirements as well as be consistent with the specifications provided on the following pages.

### Primary Sign

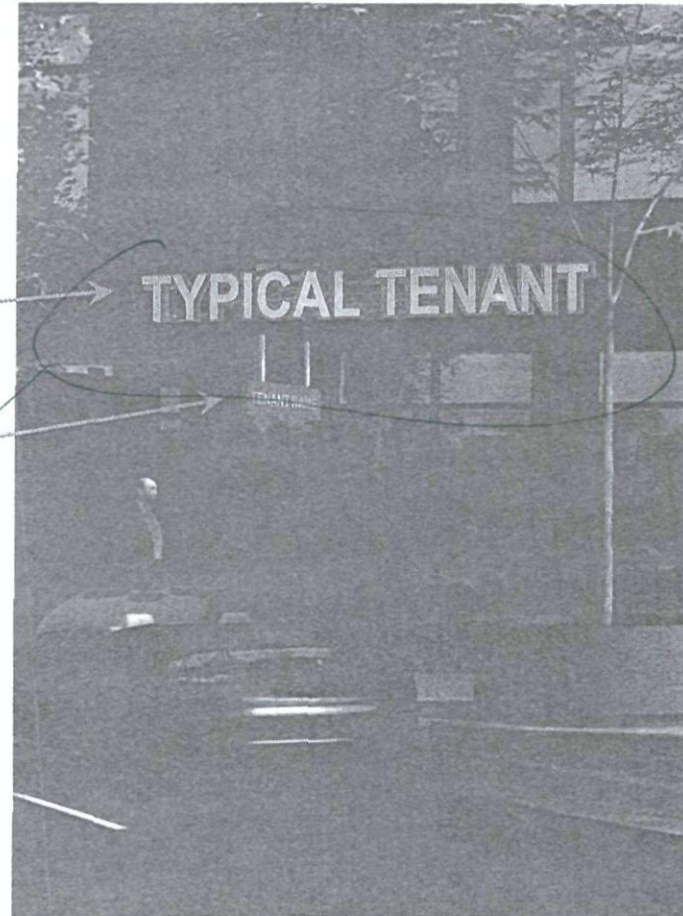
Requirements	Page 05
Design Specifications	Page 06

### Shingle Sign

Requirements	Page 07
Design Specifications	Page 08

### Center Identification Signs

Requirements	Page 09
Design Specifications	Pages 10 & 11



110-DR-2005#2  
1ST: 5/23/2007

**LOFT 4020**  
**MASTER SIGN PLAN**



RED MOUNTAIN  
Retail Group

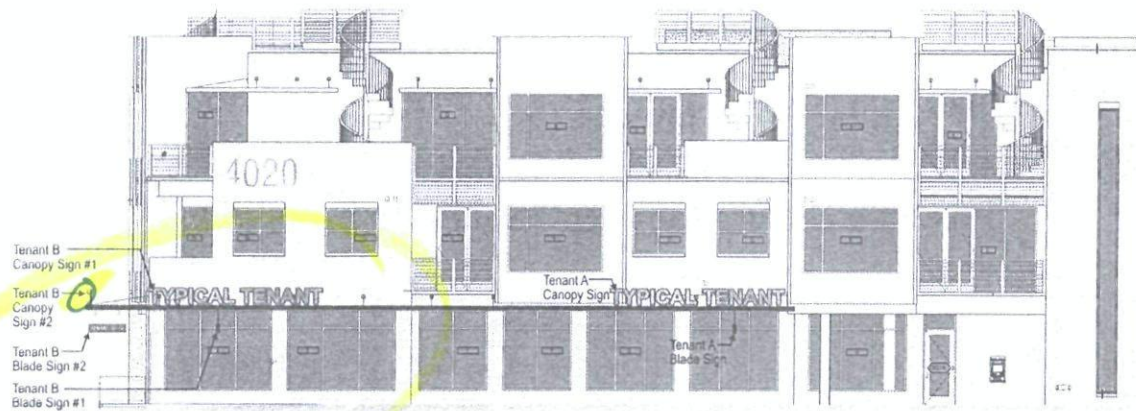
*Gardner*  
**signs**

PART III  
Introduction  
**PAGE 04**



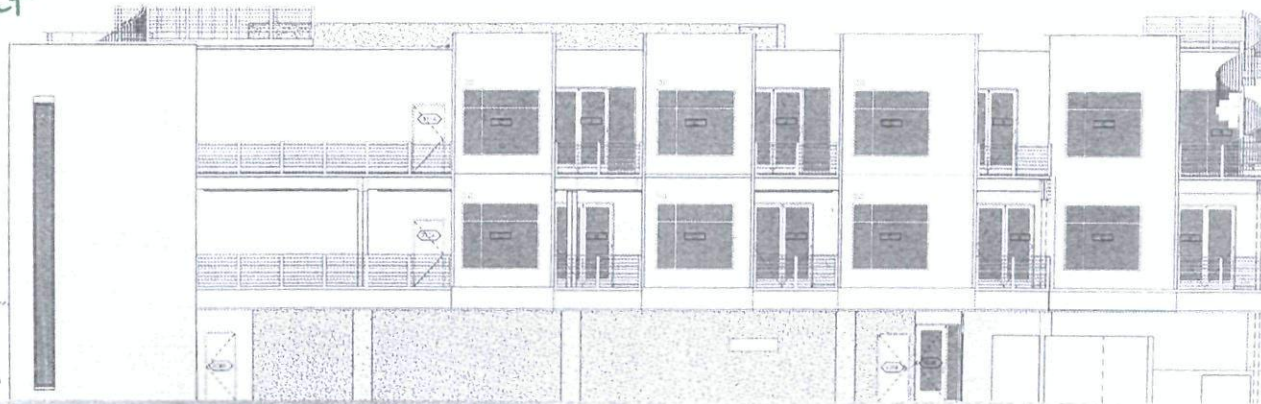
## Part V—Site Plan, Elevations & Renderings

### Placement—East & North Elevations



1 EAST ELEVATION  
1/8" = 6.0'

Signage  
cannot project  
more than  
12"



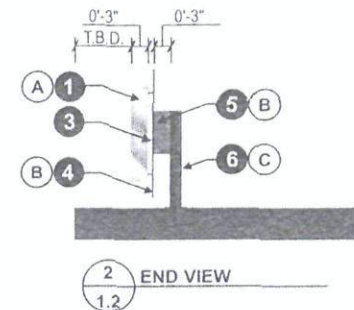
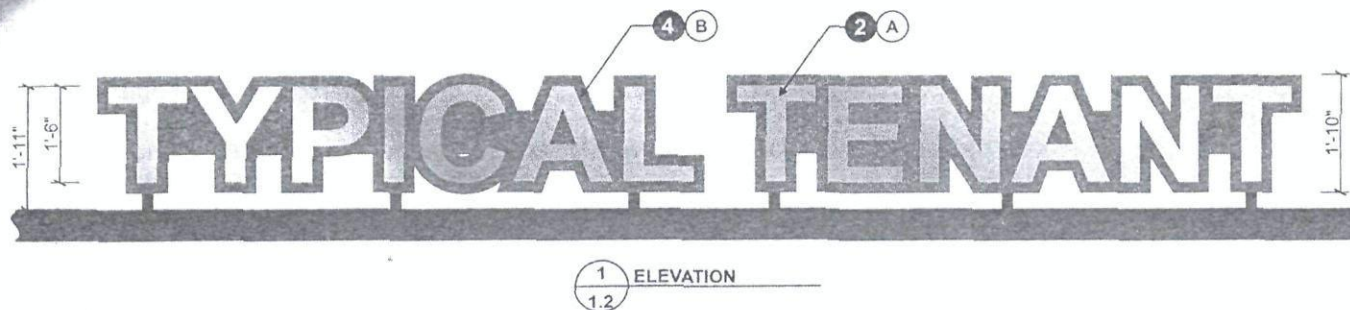
2 NORTH ELEVATION  
1/8" = 6.0'

110-DR-2005#2  
1ST: 5/23/2007



## Part III—Approved Sign Types

### Sign Specifications



134

#### S/F ILLUMINATED TENANT ID DISPLAY

FABRICATE & INSTALL (1) REQUIRED

- 1 **CHANNEL LETTERS:** Reverse channel letters paint finish  
**RETURN MATERIAL:** .040" Thk. aluminum (vfy.) without weep holes  
**LETTER BACKS:** .150" Thk. clear polycarbonate w/ alum. angle clips around perimeter for return attachment.
- 2 **LETTER FACES:** .125" Thk. routed alum. w/ painted finish. Weld/versilok faces to letter returns.
- 3 **LETTER MOUNTING METHOD:** Space off backer panel 1" w/ alum. spacers (mill finish)  
**NOTE:** (1) Letter set space off brick fascia 1" w/ alum. spacers (see corner elevation detail).

**ILLUMINATION:** SloanLED (vfy.) White LEDs mount to letter returns. LED size & LED qty. T.B.D.  
**POWER SUPPLY:** SloanLED "Self-Contained 20" (vfy.) LED power supplies housed inside wireway.  
**PRIMARY ELECTRICAL:** 120V - total sign amps T.B.D.  
**POWER LOCATION:** Power to be provided at site by others (location T.B.D.)  
**SWITCH LOCATION:** T.B.D.

- 4 **BACKER PANELS:** .125" Thk. routed alum. panels w/ paint finish

- 5 **WIREWAY:** Attach 8" tall x 3" deep x length custom fab. alum. wireways to back of backer panels to house LED power supplies & secondary wiring.
- 6 **MOUNTING METHOD:** Wireways attach to canopy w/ 2" alum. sq. tube picks (vfy.). Picks weld to 1/4" thk. alum. matchplates which attach to canopy w/ 3/8" fasteners (vfy.). Mounting pick placement & qty. T.B.D.

**MOUNTING SURFACE:** Existing exterior canopy. Field vfy. canopy construction to determine final attachment method. Mounting dimensions T.B.D.

#### COLORS & FINISHES:

- A Paint M.A.P. Brushed Alum. (nuance)
- B Paint M.A.P. faux rusted corten steel
- C Paint M.A.P. Bronze (nuance) to match existing canopies. Color T.B.D.

110-DR-2005#2  
1ST: 5/23/2007

**LOFT 4020**  
**MASTER SIGN PLAN**



RED MOUNTAIN  
Retail Group

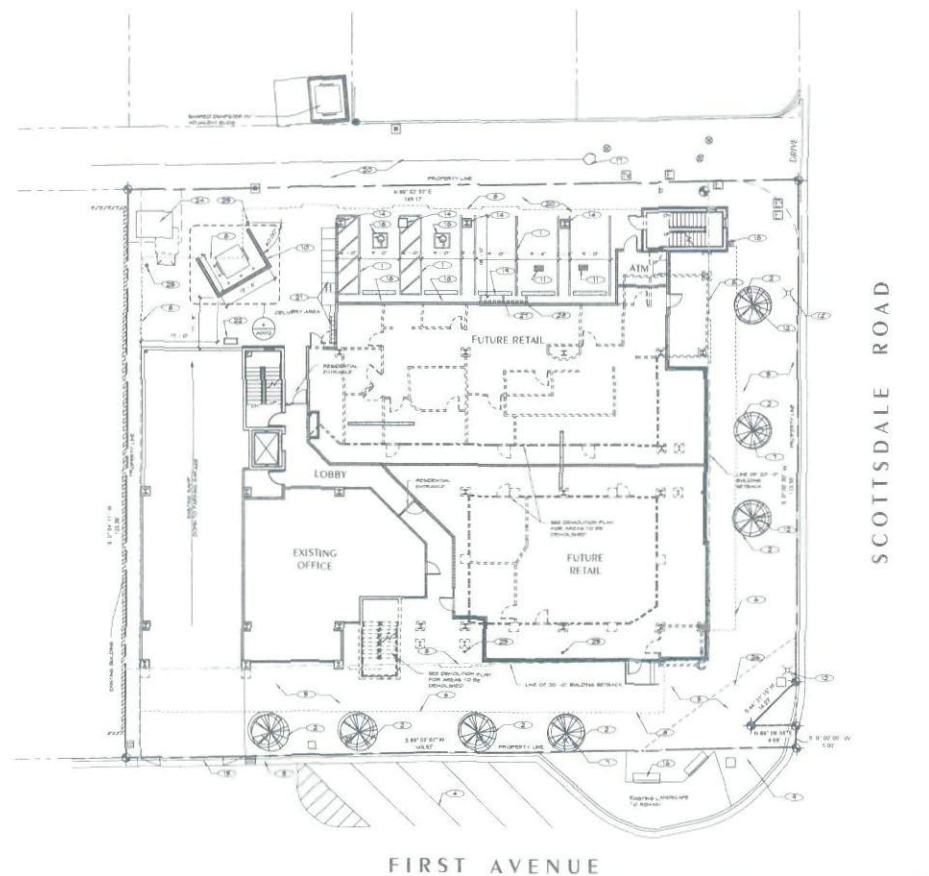
**Gardner**  
**signs**

**PART III**  
Primary Signs

**PAGE 06**



1 SITE PLAN  
SCALE: 1"=10'-0"



NO.	DESCRIPTION
1	REMOVING EXISTING ASPHALT DRIVE
2	REMOVING EXISTING ASPHALT DRIVE
3	REMOVING EXISTING ASPHALT DRIVE
4	REMOVING EXISTING ASPHALT DRIVE
5	REMOVING EXISTING ASPHALT DRIVE
6	REMOVING EXISTING ASPHALT DRIVE
7	REMOVING EXISTING ASPHALT DRIVE
8	REMOVING EXISTING ASPHALT DRIVE
9	REMOVING EXISTING ASPHALT DRIVE
10	REMOVING EXISTING ASPHALT DRIVE
11	REMOVING EXISTING ASPHALT DRIVE
12	REMOVING EXISTING ASPHALT DRIVE
13	REMOVING EXISTING ASPHALT DRIVE
14	REMOVING EXISTING ASPHALT DRIVE
15	REMOVING EXISTING ASPHALT DRIVE
16	REMOVING EXISTING ASPHALT DRIVE
17	REMOVING EXISTING ASPHALT DRIVE
18	REMOVING EXISTING ASPHALT DRIVE
19	REMOVING EXISTING ASPHALT DRIVE
20	REMOVING EXISTING ASPHALT DRIVE
21	REMOVING EXISTING ASPHALT DRIVE
22	REMOVING EXISTING ASPHALT DRIVE
23	REMOVING EXISTING ASPHALT DRIVE
24	REMOVING EXISTING ASPHALT DRIVE
25	REMOVING EXISTING ASPHALT DRIVE

110-DR-2005#2  
1ST: 5/23/07



THE RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

301 South 45th East  
Suite 100, Mesa, AZ 85206  
P: 480.966.8888  
F: 480.966.8887

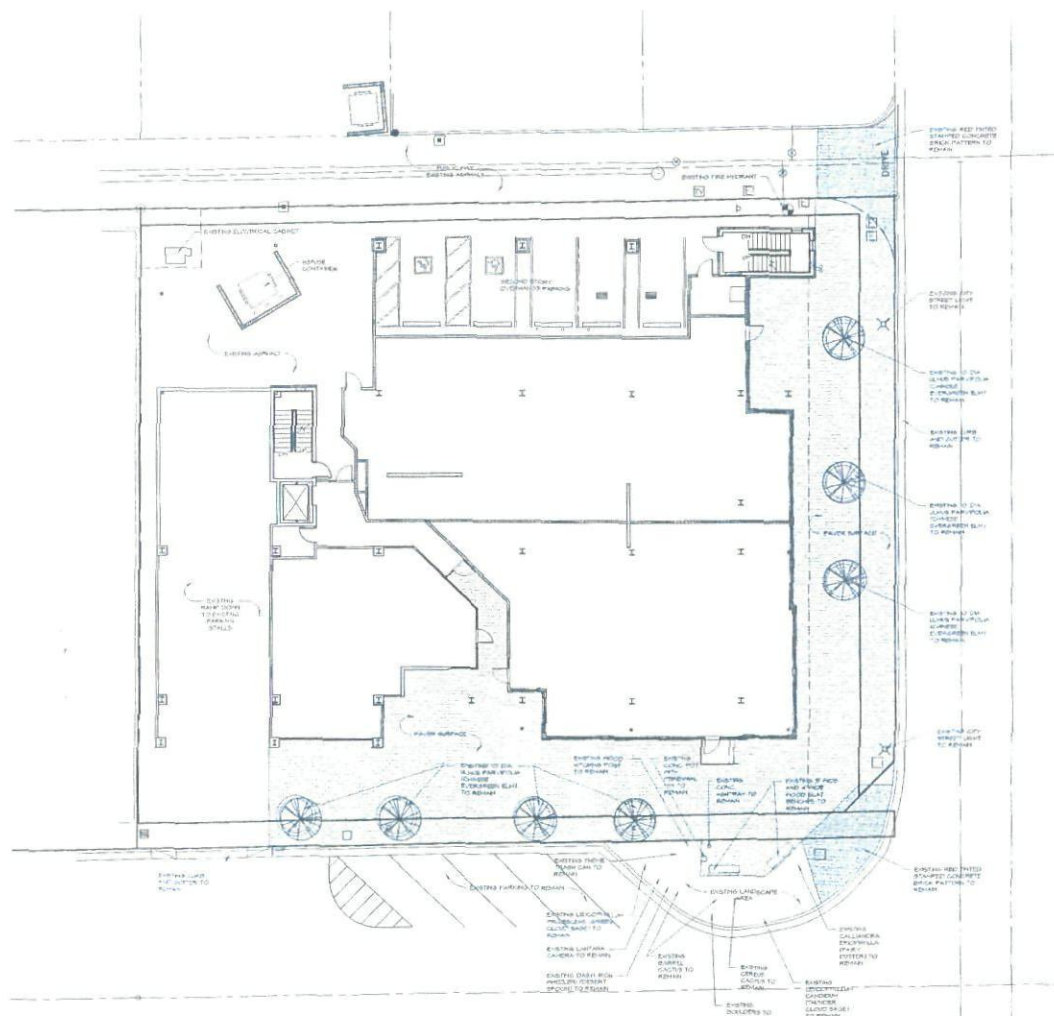


RED MOUNTAIN  
Retail Group

LOFT 4020 - MIXED USE  
5 OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ

DATE: 5/23/07  
BY: [Signature]

SITE PLAN  
A001



1 CONCEPTUAL LANDSCAPE PLAN  
SCALE: 1"=10'-0"

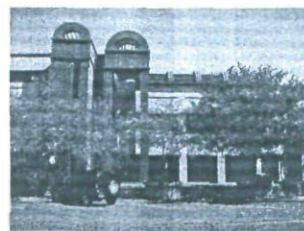
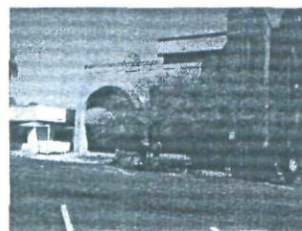
LANDSCAPE NOTES:

THE EXISTING BUILDING ON THIS SITE WILL BE RENOVATED. CURRENT CURBS, DRIVES AND OTHER FEATURES ARE PROPOSED TO REMAIN UNCHANGED, EXCEPT AS NOTED ON LISTED BELOW.

THE EXISTING TREES AND LANDSCAPING ALONG SCOTTSDALE ROAD AND 1ST AVENUE WILL BE PRESERVED.

EXISTING 24" HIGH ROUND CAST IN PLACE PAINTED CONCRETE TREE PLANTERS WILL BE REPAINTED. PLANTERS EACH CONTAIN A TREE LIGHT AND A MIX OF BOPHORA BECAUDLUSIA AND ASPARAGUS DENSIFLORUS (SPRENGER).

DECOMPOSED GRANITE IN LANDSCAPE AREA AT 1ST AVE AND SCOTTSDALE ROAD IS 1/2" HAZARD BOLD. TO REMAIN WITH THE EXCEPTION OF THE LANDSCAPE AREA INDICATED AT THE CORNER OF SCOTTSDALE RD. AND 1ST AVE. THE REMAINDER OF THE SITE IS PAVED.



110-DR-2005#2  
1ST: 5/23/07



THE RICHARDSON  
DESIGN PARTNERSHIP,  
L.L.C.

20 S. W. 10th St.  
Suite 100, Ft. Lauderdale, FL 33304  
P: 954.581.1000  
F: 954.581.1001

RED MOUNTAIN  
Retail Group

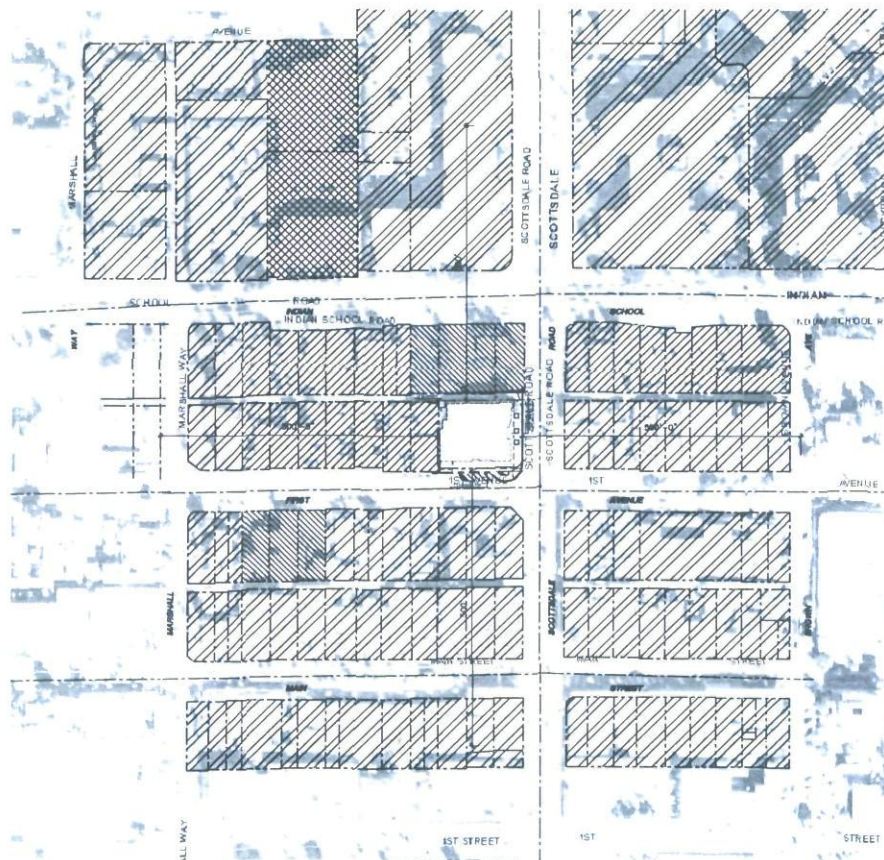
LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
8020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

DATE: 5/23/07  
PROJECT: 110-DR-2005#2  
DRAWN BY: J. H. H. P.  
CHECKED BY: J. H. H. P.

LANDSCAPE PLAN

1001





# INFORMATION

SITE EXISTING ZONING D OC-2  
 SITE PROPOSED ZONING D OC-C

## ZONING

DOWNTOWN OC-1



DOWNTOWN OC-2



RS-1



OR-2



RH-2



CONTEXT AERIAL AND SITE PLAN  
 SITEPLAN

SCALE: 1" = 100'-0"



ARCHITECTON

## PROJECT TEAM

ARCHITECTON  
 1000 N. Scottsdale Rd., Suite 100, Scottsdale, AZ 85257  
 480.948.1000  
 1000 N. Scottsdale Rd., Suite 100, Scottsdale, AZ 85257  
 480.948.1000  
 1000 N. Scottsdale Rd., Suite 100, Scottsdale, AZ 85257  
 480.948.1000

## KEY PLAN

A MIXED USE  
 DEVELOPMENT  
 FOR



The  
 4020  
 Building  
 4020 N. Scottsdale Rd.  
 Scottsdale, Az.



PLOT DATE - 12.19.05

A1  
 CONTEXT  
 PLAN

110-DR-2005#2  
 1ST: 5/23/07



① EAST ELEVATION  
SCALE: 3/16" = 1'-0"



② NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	BRICK - RED
2	BRICK - DARK
3	BRICK - LIGHT
4	BRICK - WHITE
5	BRICK - BROWN
6	BRICK - GREY
7	BRICK - BLACK
8	BRICK - BLUE
9	BRICK - GREEN
10	BRICK - PURPLE
11	BRICK - PINK
12	BRICK - YELLOW
13	BRICK - ORANGE
14	BRICK - RED

THE RICHARDSON DESIGN PARTNERSHIP, LLC  
780 South 4020 East  
Salt Lake City, Utah 84119  
P: 801.581.8888  
F: 801.581.8880

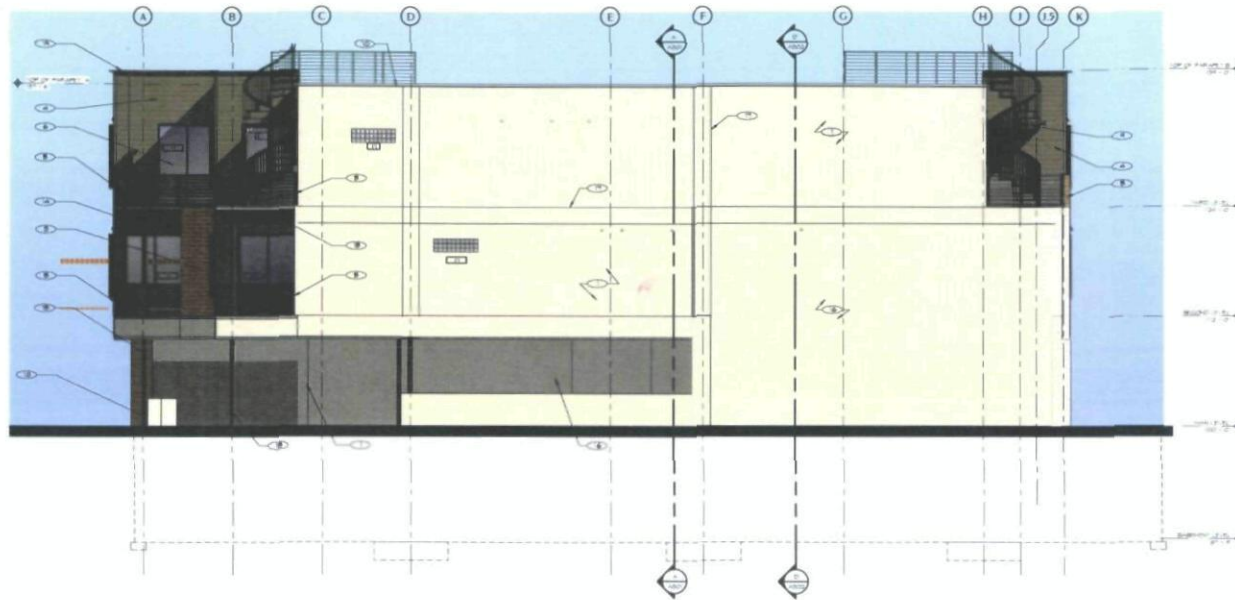
RED MOUNTAIN Retail Group

LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ 85251

DATE: 10/10/07  
BY: J. RICHARDSON  
CHECKED BY: J. RICHARDSON  
APPROVED BY: J. RICHARDSON

EXTERIOR ELEVATIONS  
A201





① WEST ELEVATION  
SCALE: 3/16" = 1'-0"



② SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
2	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
3	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
4	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
5	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
6	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
7	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
8	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
9	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
10	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
11	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
12	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
13	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP
14	FOUNDATION - CONCRETE, 12" THICK, 4' DEEP



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

80 South 400 East  
Salt Lake City, Utah 84143  
P: 801.261.8880  
F: 801.261.8880



RED MOUNTAIN  
Retail Group



LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD  
SCOTTSDALE, AZ

DATE: 11/10/07  
CITY: SCOTTSDALE  
ARCHITECT: RED MOUNTAIN  
11/10/07

REVISION: 1  
11/10/07

REVISION: 2  
11/10/07

REVISION: 3  
11/10/07

REVISION: 4  
11/10/07

REVISION: 5  
11/10/07

REVISION: 6  
11/10/07

110-DR-2005#2  
1ST: 5/23/07



① PERSPECTIVE LOOKING NORTHWEST  
SCALE: N.T.S.



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

90 South 8300 East  
540 West, Suite 100  
P.O. Box 8880  
Salt Lake City, Utah 84143  
Tel: 313.391.8880  
Fax: 313.391.8880

RED MOUNTAIN  
Retail Group

LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ

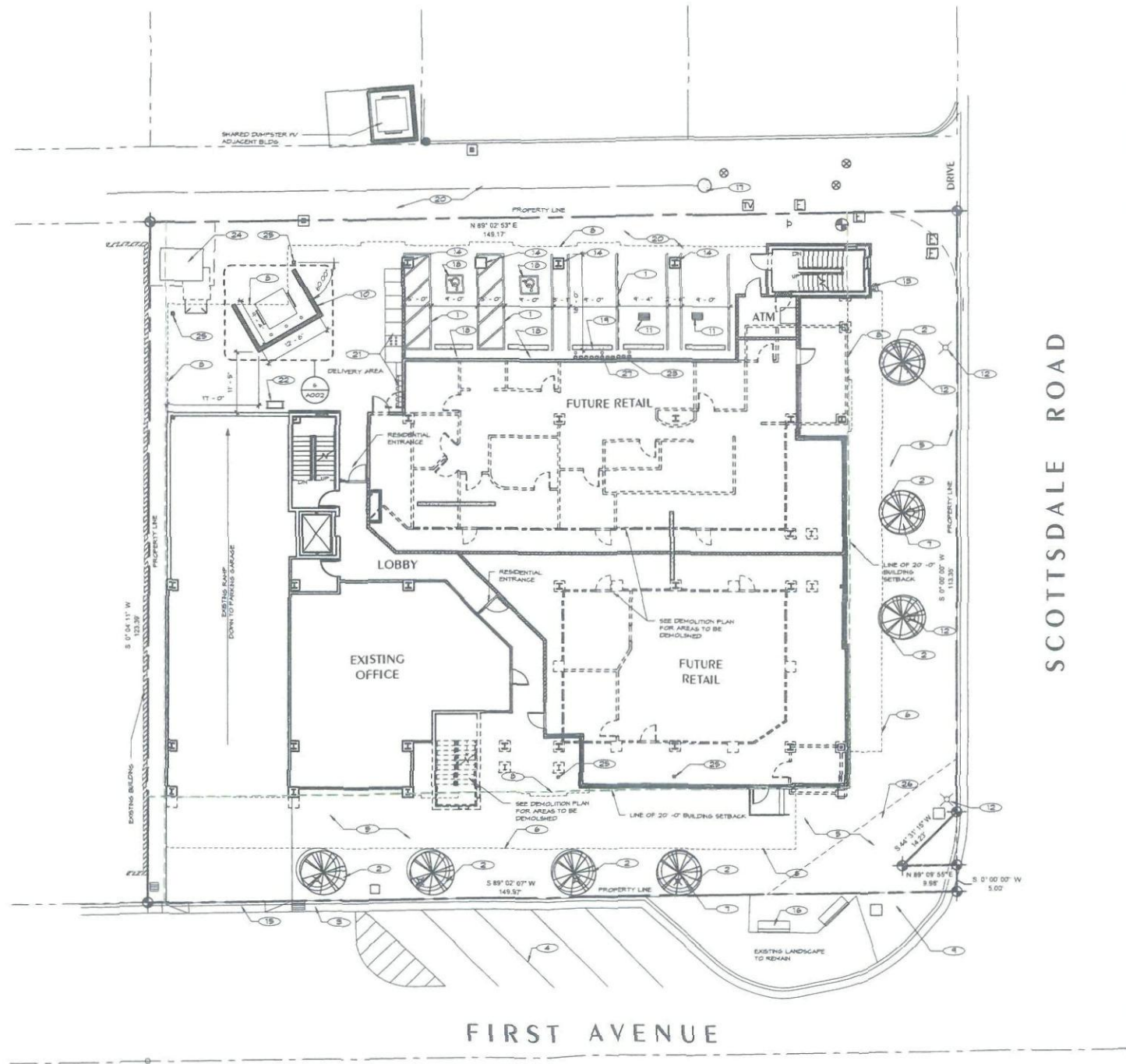
DATE: 3/25/07  
DESCRIPTION:

PROJECT: 110-DR-2005#2  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS

PERSPECTIVE  
A003

110-DR-2005#2  
1ST: 5/23/07





1 SITE PLAN  
SCALE: 1" = 10'-0"

NO.	DESCRIPTION
1	NEW PARKING STALL STRIPS - SEE DETAIL 1/A002
2	EXISTING CONCRETE PLANTER TO REMAIN - PAINTED
3	EXISTING CURB AND GUTTER TO REMAIN
4	EXISTING PARKING STALL STRIPS TO REMAIN
5	REMOVE GLAZED TILE PAVEMENT AND REPLACE WITH NEW TILE PAVEMENT AT EXTERIOR LOCATIONS ONLY
6	LINE OF BASEMENT PARKING GARAGE BELOW
7	EXISTING TREES TO REMAIN
8	LINE OF NEW STRUCTURE ABOVE
9	EXISTING COLORED CONCRETE TO REMAIN
10	NEW REUSE CONTAINER
11	EXISTING PARKING GARAGE EXHAUST VENTS TO REMAIN
12	EXISTING LIGHT FIXTURE TO REMAIN
13	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN
14	EXISTING STEEL COLUMN TO REMAIN (TYP)
15	EXISTING CURB CUT TO REMAIN
16	EXISTING BENCH AND ACCESSORIES TO REMAIN
17	EXISTING SEWER MANHOLE TO REMAIN
18	NEW ADA PARKING SPACES - SEE DETAILS 24B/A002
19	RELOCATED CONCRETE PAVEMENT SEE DETAIL 4/A002
20	EXISTING ASPHALT TO REMAIN
21	NEW ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
22	NEW BIKE RACK - SEE DETAIL 4/A002
23	NEW GAS METERS - SEE MECHANICAL PLAN
24	NEW TRANSFORMER
25	NEW STRUCTURAL COLUMN (PAINTED) - SEE STRUCTURAL DRAWINGS
26	SAFETY TRIANGLE
27	NEW BOLLARD - SEE DETAIL 5/A002



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

90 South 600 East  
Salt Lake City, Utah 84142  
P: 801.355.4444  
F: 801.355.4400



RED MOUNTAIN  
Retail Group



OWNER:

LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

PROJECT:

DATE: 07.07

DESCRIPTION: CITY SUBMITTAL

PROJECT # 04-08-07

DRAWN BY: MRM

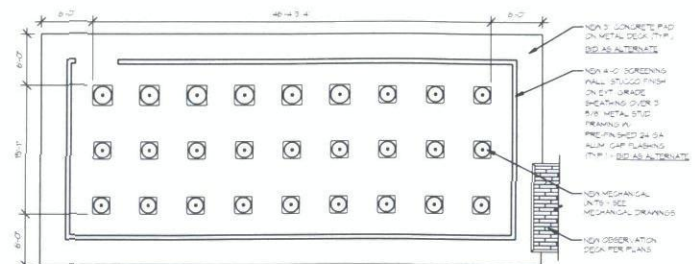
CHECKED BY: GAN

SITE PLAN

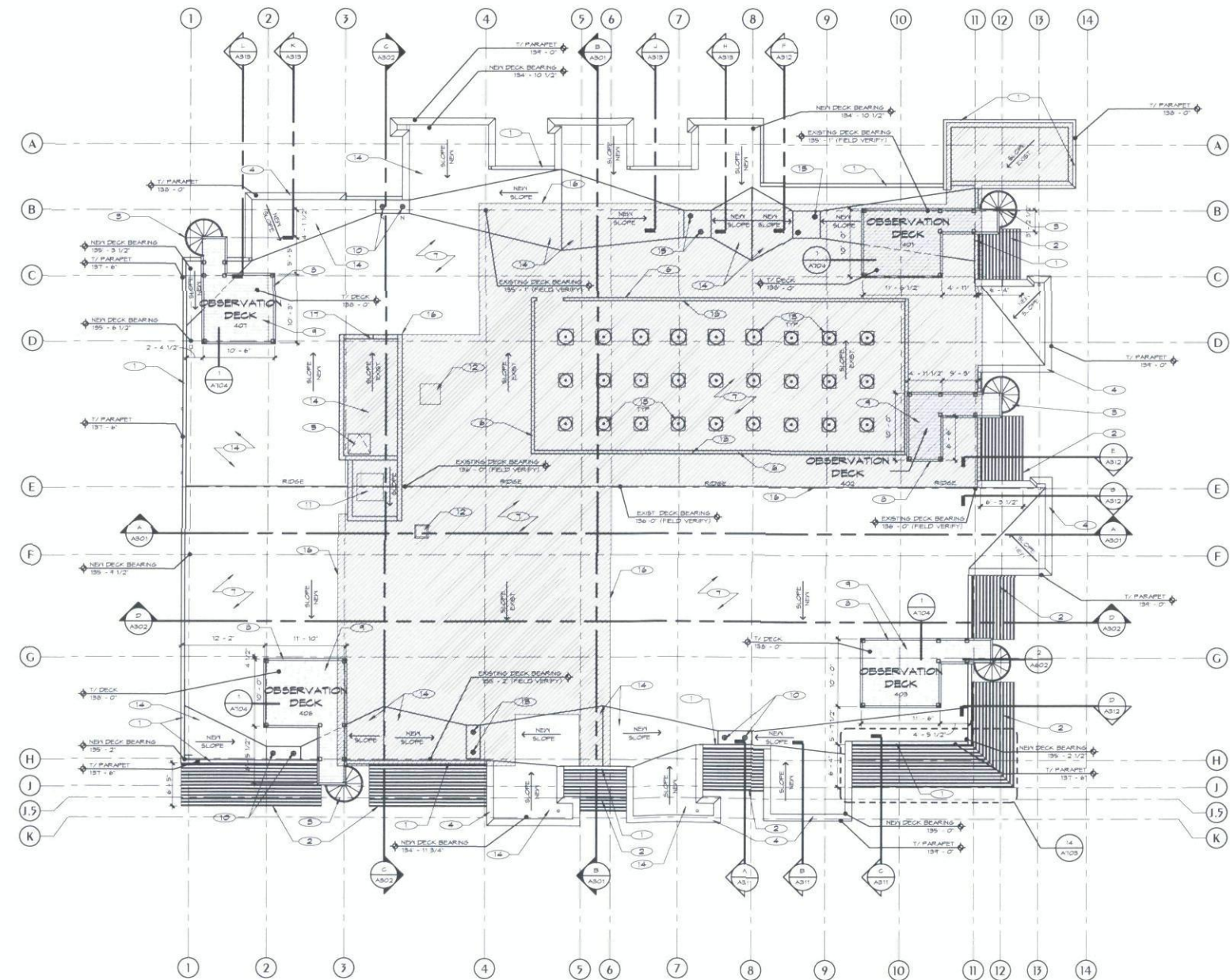
A001

110-DR-2005#2  
2ND: 05/23/07





2 MECHANICAL UNIT PAD - BID AS ALTERNATE  
SCALE: 1/8" = 1'-0"



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"

SHEET NOTES	
NO.	DESCRIPTION
1	NEW PRE-FINISHED 24 GAUGE ALUM. GAP FLASHING - COLOR TO MATCH ADJACENT SURFACE
2	NEW TREX CANOPY BELOW
3	NEW GALVANIZED STEEL CIRCULAR STAIR - SEE DETAIL 2/A002
4	NEW ALUMINUM BRACE SHAPE - COLOR TO MATCH PPG 320-1
5	NEW GALVANIZED STEEL ROOF SCUTTLE WITH LADDER EXTENSION BAR SEE DETAIL 8/A102
6	EXISTING SCREENING WALL TO REMAIN - STUCCO FINISH (COLOR PPG 310-3)
7	NEW 60 MIL. BARRIER (OR EQUAL) PVC REINFORCED SHALE/SLATE ROOFING MEMBRANE OVER EXISTING NEW 3" RIGID INSULATION
8	NEW TREX GUARDRAIL, HOCKLAND BROWN - SEE DETAIL 16/A102
9	NEW TREX DECK - SEE DETAIL 11/A04
10	NEW PRIMARY AND SECONDARY ROOF DRAINS - SEE DETAIL 8/A102 SEE PLUMBING DRAWINGS
11	EXISTING ELEVATOR ROOF VENT
12	EXISTING ROOF INTAKE TO REMAIN
13	NEW MECHANICAL UNITS - SEE MECHANICAL DRAWINGS
14	NEW RIGID INSULATION CRICKET FOR DRAINAGE
15	EXISTING PRIMARY AND SECONDARY ROOF DRAINS - REPAIR AS REQUIRED
16	OUTLINE OF EXISTING ROOF
17	BREAK CHS FOR NEW DRAINAGE SCUPPERS
18	MAINTAIN AND FLASH AS NEEDED EXISTING DRAINAGE SCUPPERS IN EXISTING SCREEN WALL

GENERAL NOTES:  
A. ROOF SLOPES SHALL BE 1/4" VERTICAL TO 1' HORIZONTAL. MINIMUM ARROWS INDICATE DIRECTION OF SLOPE.  
B. CRICKET AREAS AS REQUIRED FOR PROPER DRAINAGE.



THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.

900 South 600 East  
Salt Lake City, Utah 84102  
P: 801.355.6666  
F: 801.355.6600

RED MOUNTAIN  
Retail Group



LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

DATE	DESCRIPTION
2.7.07	CITY SUBMITTAL
2.20.07	ADDENDUM #1

ROOF PLAN

PROJECT # 08-001  
DRAWN BY: CBE  
CHECKED BY: EAK

A111





1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	1. EXPOSURE HARDWARE, COLOR PPG 525-1
2	2. WINDOW DOOR SYSTEM, SEE SCHEDULE
3	3. MODULAR BRICK - VENEER, HANDED BRICK TO BE EQUAL MIX OF PHOENIX BRICK AS FIG. 8 AND DETAIL 18-A1002
4	4. NEW TREX GUARDRAIL, WOODLAND BROWN - SEE DETAIL 18-A1002
5	5. WINDOW - SEE SCHEDULE
6	6. HANDED STUCCO, COLOR PPG 510-3
7	7. EXISTING WINDOW TO REMAIN
8	8. NEW PRE-FINISHED 24 GAUGE ALUM. CAP FLASHING - COLOR TO MATCH ADJACENT SURFACE
9	9. EXISTING STUCCO TO REMAIN - COLOR TO MATCH PPG 510-3
10	10. STRUCTURAL STEEL COLUMN - COLOR PPG 525-1
11	11. STRUCTURAL STEEL BEAM - COLOR PPG 525-1
12	12. BRICK SOLDIER COURSE
13	13. BRICK PORN-UP COURSE
14	14. NEW TREX ANKING - WOODLAND BROWN
15	15. NEW MECHANICAL VENT - SEE MECHANICAL DRAWINGS
16	16. NEW ALUMINUM BRACE SHAPE - COLOR TO MATCH PPG 525-1
17	17. EXISTING SCREENING WALL TO REMAIN - STUCCO FINISH (COLOR PPG 510-3)
18	18. EXISTING TRANSFORMER TO REMAIN (PAINTED PTH 510-3)
19	19. RELOCATED ATM EQUIPMENT - COORDINATE WITH OWNER
20	20. NEW BRICK VENEER OVER EXISTING CONCRETE COLUMN

THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.  
907 South 600 East  
Salt Lake City, Utah 84102  
P. 801.955.6666  
F. 801.955.6680

NEIL WILLIAM RICHARDSON  
REGISTERED PROFESSIONAL ARCHITECT  
44453  
UTAH

RED MOUNTAIN  
Retail Group

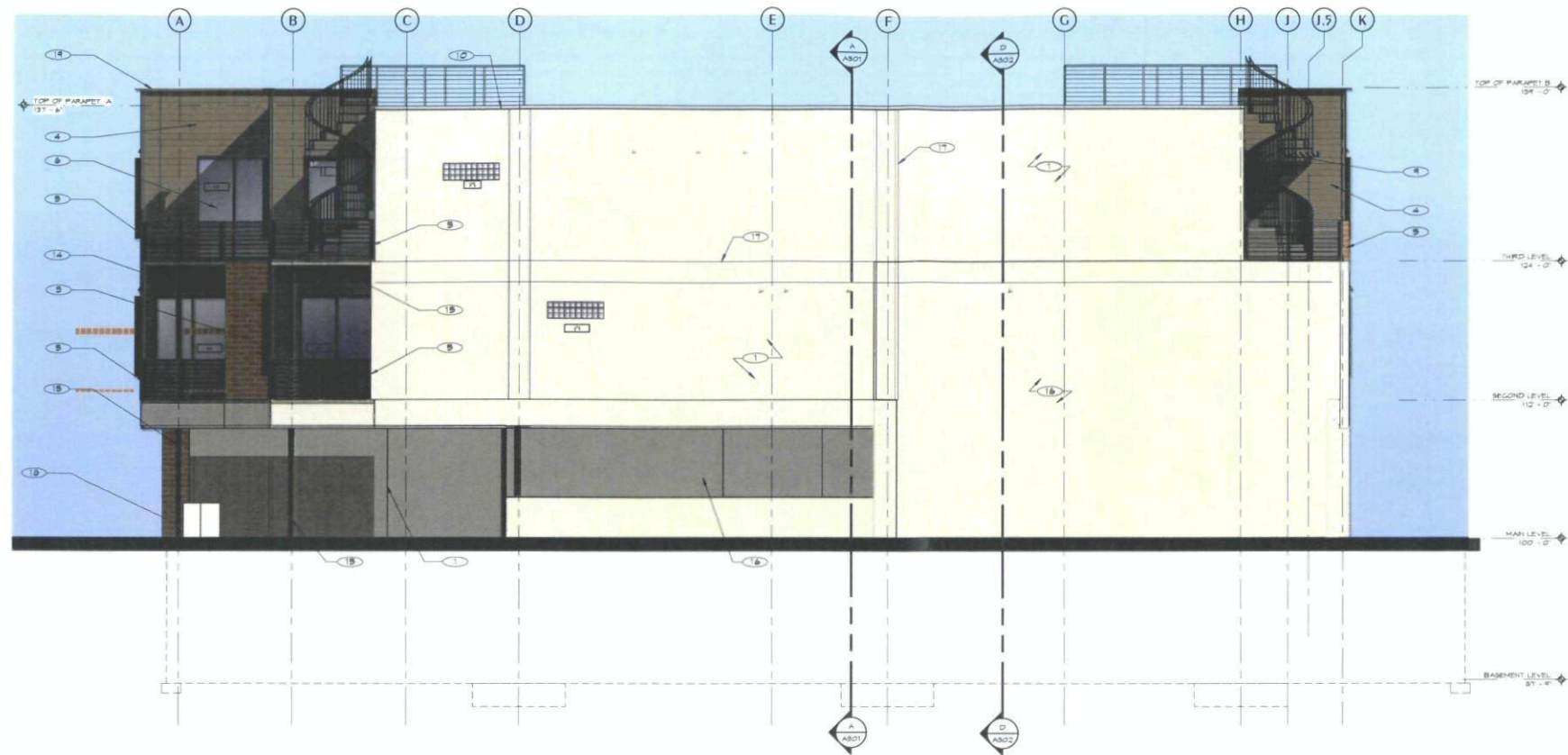
LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

DATE	DESCRIPTION
2.7.07	CITY SUBMITTAL
2.20.07	ADDENDUM #1
5.4.07	CITY REVIEW #1

PROJECT # 06-06-03  
DRAWN BY: RDN  
CHECKED BY: RDN

EXTERIOR ELEVATIONS  
A201





1 WEST ELEVATION  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
1	HARDCOAT STUCCO - COLOR PPS 310-B
2	FINISH - SEE SCHEDULE
3	HODGKIN BRICK - VENEER RUNNING BOND BRICK TO BE EQUAL MIX OF "HODGKIN BRICK" 4 1/2" x 8 1/2"
4	EXPOSURE HARDPLANK SENG - COLOR PPS 225-T
5	NEW TREX GUARDRAIL - HODGKIN BROWN - SEE DETAIL 18-A102
6	FINISH DOOR SYSTEM - SEE SCHEDULE
7	EXISTING GRS WALL TO REMAIN - REPAIR AND REPAINT AS REQUIRED - SEE SPECIFICATIONS
8	NEW TREX CANOPY BELOW
9	NOT USED
10	NEW PRE-FINISHED 24 GAUGE ALUM CAP FLASHING - COLOR TO MATCH ADJACENT SURFACE
11	BRICK SOLDER COURSE
12	BRICK ROWLOCK COURSE
13	EXISTING ALUMINUM STOREFRONT TO REMAIN
14	STRUCTURAL STEEL COLUMN - COLOR PPS 525-T
15	STRUCTURAL STEEL BEAM - COLOR PPS 525-T
16	EXISTING STUCCO TO REMAIN - COLOR TO MATCH PPS 310-B
17	STUCCO REVEAL - SEE DETAIL 2-A103
18	EXISTING TRANSFORMER TO REMAIN - PAINTED PPS 310-B
19	NEW ALUMINUM BRACE SHAPE - COLOR TO MATCH PPS 310-B
20	NEW GALVANIZED STEEL CIRCULAR STAIR - SEE DETAIL 2-A102
21	EXISTING SCREENING WALL TO REMAIN - STUCCO FINISH (COLOR PPS 310-B)



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

3825 South 600 East  
Salt Lake City, Utah 84122

P: 801.555.6666  
F: 801.555.6660



RED MOUNTAIN  
Retail Group



OWNER REP.

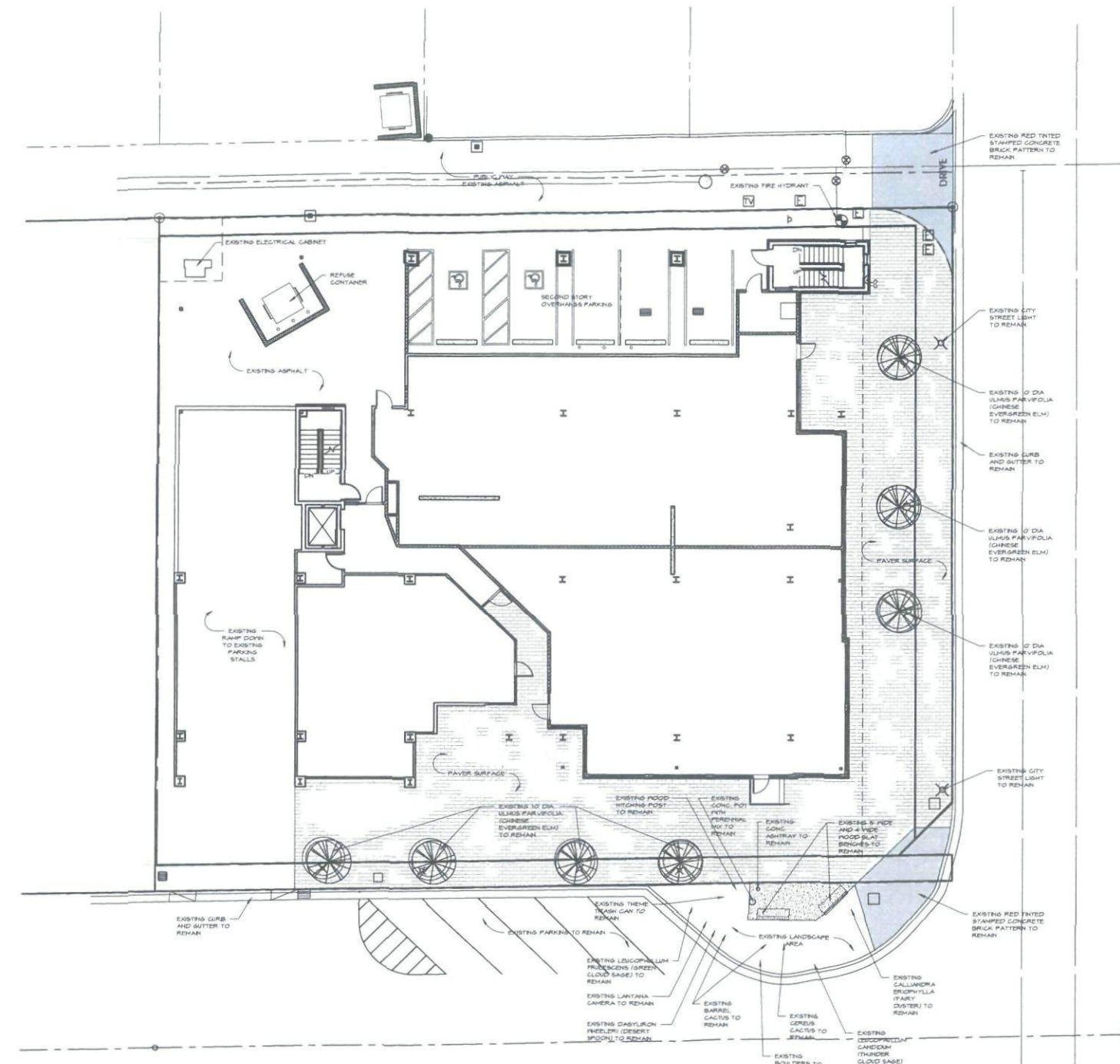
LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

DATE	DESCRIPTION
2.7.07	CITY SUBMITTAL
2.20.07	ADDENDUM #1
5.4.07	CITY REVIEW #1

PROJECT # 06-068  
DRAWN BY NEN  
CHECKED BY RAN

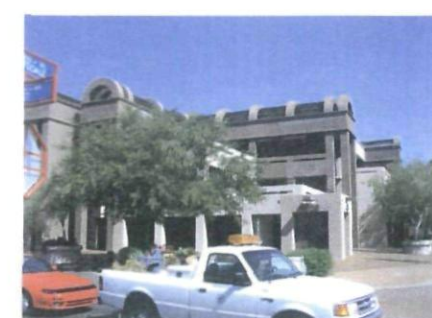
EXTERIOR  
ELEVATIONS  
A202





1 CONCEPTUAL LANDSCAPE PLAN  
SCALE: 1"=10'-0"

LANDSCAPE NOTES:  
THE EXISTING BUILDING ON THIS SITE WILL BE RENOVATED. CURRENT CURBS, DRIVES, AND OTHER FEATURES ARE PROPOSED TO REMAIN UNALTERED, EXCEPT AS NOTED OR LISTED BELOW.  
THE EXISTING TREES AND LANDSCAPING ALONG SCOTTSDALE ROAD AND 18TH AVENUE WILL BE PRESERVED.  
EXISTING 32" HIGH ROUND CAST IN PLACE PAINTED CONCRETE TREE PLANTERS WILL BE REPAINTED. PLANTERS EACH CONTAIN A TREE PLANT AND A MIX OF BOPHORA SECURIFLORA AND ASPARAGUS DENSIFLORUS 'SPRINGBROOK'.  
DECOMPOSED GRANITE IN LANDSCAPE AREA AT 18TH AVE AND SCOTTSDALE ROAD IS 1/2" MADISON GOLD, TO REMAIN.  
WITH THE EXCEPTION OF THE LANDSCAPE AREA INDICATED AT THE CORNER OF SCOTTSDALE RD. AND 18TH AVE, THE REMAINDER OF THE SITE IS PAVED.



THE RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

30 South 400 East  
Salt Lake City, Utah 84102  
P: 801.335.6666  
F: 801.335.6800

RED MOUNTAIN  
Retail Group



LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

FIGURE 1

DATE	DESCRIPTION
5.15.07	

LANDSCAPE PLAN  
PROJECT # 04M-07  
DRAWN BY MRM  
CHECKED BY: MRM

LO01



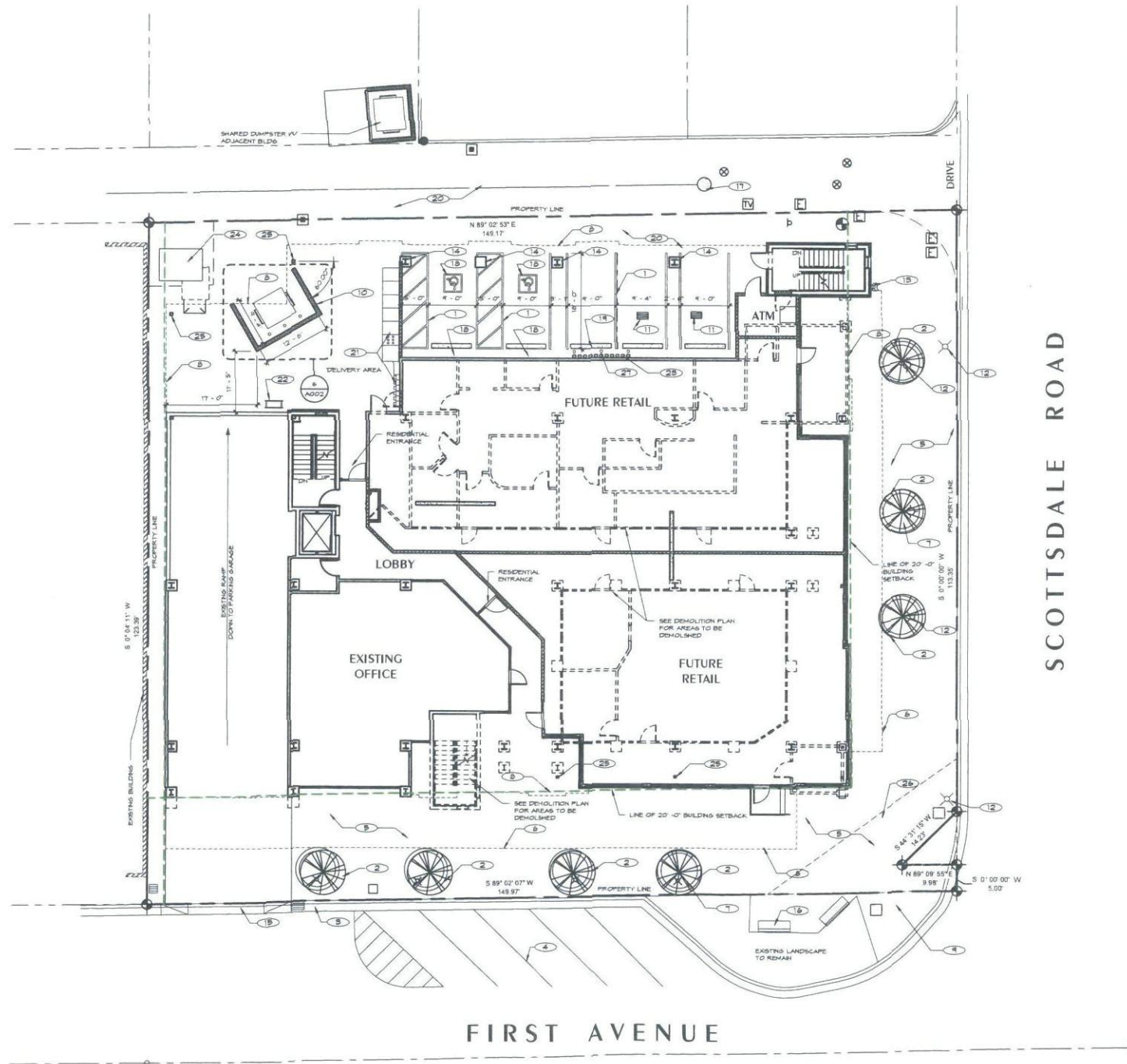






4020 N. Scottsdale Road





1 SITE PLAN  
SCALE: 1" = 10'-0"

NO.	DESCRIPTION
1	NEW PARKING STALL STRIPPS - SEE DETAIL S/A002
2	EXISTING CONCRETE PLANTER TO REMAIN - PAINTED
3	EXISTING CURB AND GUTTER TO REMAIN
4	EXISTING PARKING STALL STRIPPS TO REMAIN
5	REMOVE CLAY TILE PAVERS AND REPLACE WITH NEW TILE PAVERS AT EXTERIOR LOCATIONS ONLY
6	LIMIT OF BASEMENT PARKING GARAGE BELOW
7	EXISTING TREES TO REMAIN
8	LINE OF NEW STRUCTURE ABOVE
9	EXISTING COLORED CONCRETE TO REMAIN
10	NEW REUSE CONTAINERS
11	EXISTING PARKING GARAGE EXHAUST VENTS TO REMAIN
12	EXISTING LIGHT FIXTURE TO REMAIN
13	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN
14	EXISTING STEEL COLUMN TO REMAIN (TYP.)
15	EXISTING CURB CUT TO REMAIN
16	EXISTING BENCH AND ACCESSORIES TO REMAIN
17	EXISTING SEWER MANHOLE TO REMAIN
18	NEW ADA PARKING SIGNS - SEE DETAILS S/A002
19	NEW RELOCATED CONCRETE PAVEMENT STOP SEE DETAIL S/A002
20	EXISTING ASPHALT TO REMAIN
21	NEW ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
22	NEW BIKE RACK - SEE DETAIL S/A002
23	NEW GAS METER - SEE MECHANICAL PLAN
24	NEW TRANSFORMER
25	NEW STRUCTURAL COLUMN (PAINTED) - SEE STRUCTURAL DRAWINGS
26	SAFETY TRIANGLE
27	NEW SOLLARD - SEE DETAIL S/A002



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

910 South 600 East  
Salt Lake City, Utah 84102  
P: 801.355.6884  
F: 801.355.6880



RED MOUNTAIN  
Retail Group



LOFT 4020 - MIXED USE  
OLD TOWN SCOTTSDALE  
4020 N. SCOTTSDALE ROAD - SCOTTSDALE, AZ

DATE: 2.7.07  
DESCRIPTION: CITY SUBMITTAL

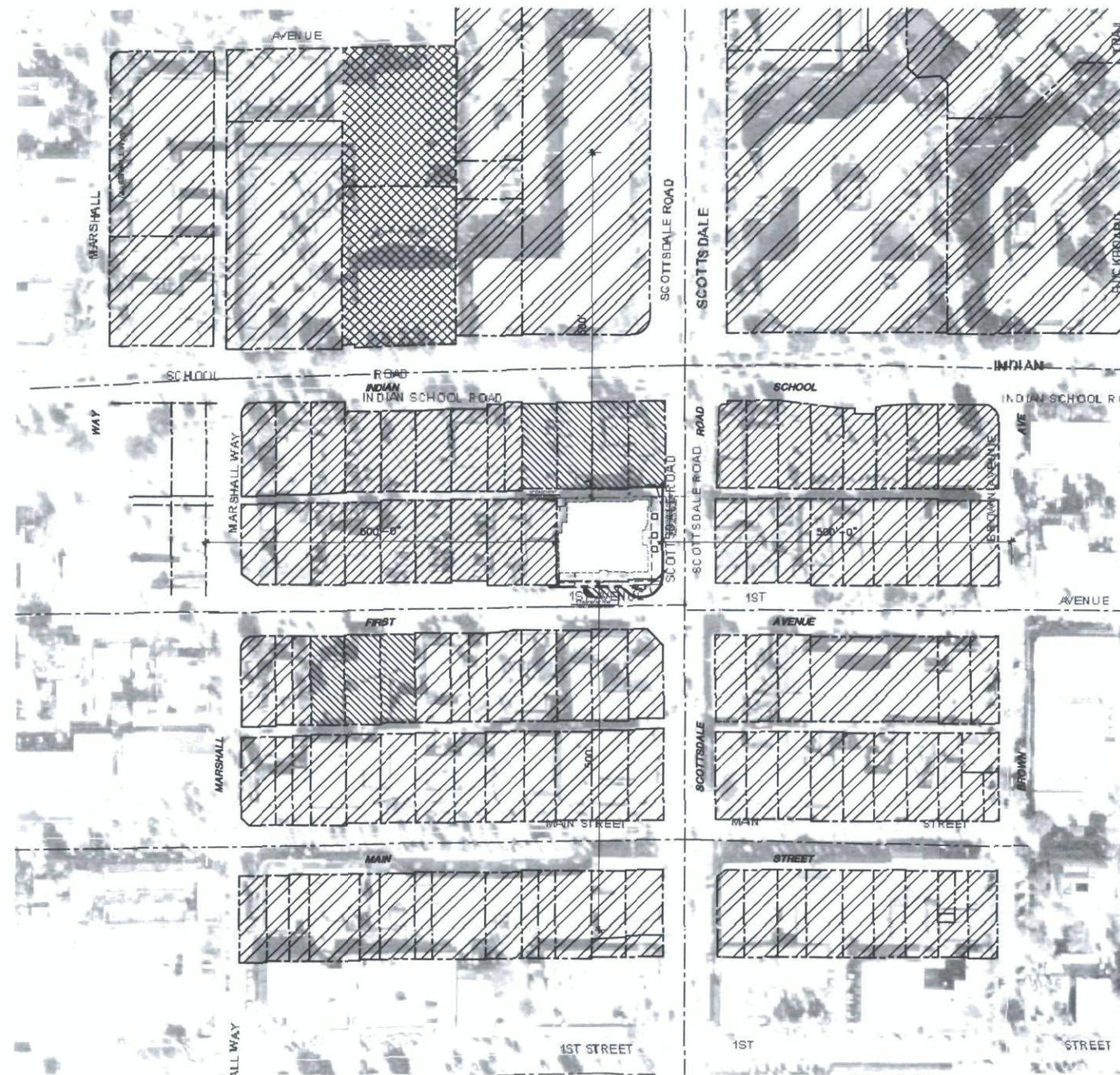
PROJECT: CITY SUBMITTAL

PROJECT # 04-06-01  
DRAWN BY: MRM  
CHECKED BY: BAW

SITE PLAN  
A001

110-DR-2005#2  
1ST: 5/23/07





# INFORMATION

SITE EXISTING ZONING D OC-2

SITE PROPOSED ZONING D OC-C

## ZONING:

DOWNTOWN OC-1



DOWNTOWN OC-2



RS-1



OR-2



RH-2



ARCHITECTON

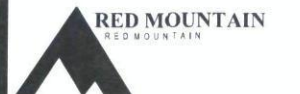
## PROJECT TEAM

ARCHITECTON  
Architecture  
454 S. Farmer Ave., Ste. 101, Tempe, AZ 85281  
T: 480.844.4637 F: 480.844.4638  
SOUTHGATE ASSOCIATES  
CIVIL ENGINEERING  
7411 E. 8th Ave # 100, Scottsdale, AZ 85251  
T: 480.370.8862 F: 480.370.3884  
APPLIED ENGINEERING  
M.E.P. Engineering  
2800 S. Rural Rd., Ste. 101, Tempe, AZ 85282  
T: 480.968.3070 F: 480.968.3387

## KEY PLAN



A MIXED USE  
DEVELOPMENT  
FOR:



The  
4020  
Building

4020 N. Scottsdale Rd.  
Scottsdale, Az.



PLOT DATE - 12.19.05

## CONTEXT AERIAL AND SITE PLAN

SITEPLAN

SCALE: 1" = 100'-0"

110-DR-2005#2  
1ST: 5/23/07

A1  
CONTEXT  
PLAN