

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: September 6, 2007

ITEM NO. 3

**CASE NUMBER/PROJECT NAME** 113-DR-2005#2  
Sereno Canyon Community Center

**LOCATION** 24095 N. 124<sup>th</sup> Street

**REQUEST** Request for building elevations, guardhouse, site plan, landscape plan, and entry gate.

**OWNER** Crown Community Development  
630-851-5490

**ENGINEER** Wood-Patel Associates  
602-335-8506

**ARCHITECT/DESIGNER** Craig Wickersham Inc.  
480-609-6766

**APPLICANT/CONTACT** Tom Rief  
Land Development Services LLC  
480-946-5020

## BACKGROUND

### Zoning.

The site is zoned R1-130 (Single Family Residential) ESL (Environmentally Sensitive Lands overlay), which allows for residential neighborhood uses, while the ESL overlay provides processes and regulations that retain the general character of the desert setting and protect key environmental features.

### General Plan.

The General Plan Land Use Element designates the property as Rural Neighborhoods, which includes uses typical to residential areas. This property is also located within the area of the Dynamite Foothills Character Area Plan.

### Context.

The Sereno Canyon subdivision is located between the Happy Valley Road alignment on the north and the Pinnacle Peak Road alignment on the south, and between N. 122<sup>nd</sup> Street and N. 128<sup>th</sup> Street. This site is within the Upper Desert Landform and has rolling, rocky terrain interspersed with several rock knobs. During the Rio fire, over a decade ago this site was burned extensively and still shows signs of damage from that event.

Adjacent Uses or Zoning: This site is wholly contained within the Sereno Canyon development. The following notes describe the setting outside of the 330+ acre Sereno Canyon subdivision.

North: Vacant State Lands zoned R1-130 ESL

South: Vacant lands zoned R1-130 ESL, most of which are within the Desert Preserve  
East: Vacant lands zoned R1-130  
West: Existing subdivision zoned R1-70 ESL and R1-130 ESL as well as some vacant land zoned R1-130 ESL

**APPLICANT'S PROPOSAL**

**Purpose of Request.**

The purpose of this request is to permit a guard house, gate, and a relatively small community center that will serve the future residents within the Sereno Canyon subdivision.

**Development Information.**

Existing Use: Vacant land  
Proposed Use: Recreation Building/Guardhouse  
Parcel Size: 11.7 acres  
Retreat Building Area: 1,970 Square Feet  
Guard House Area: 519 Square Feet  
Building Height Allowed: 24 feet  
Building Height Proposed: 15 feet  
Open Space: 8.1 acres

**The materials and colors proposed for both buildings are:**

**Building wall:**

- The wall mass is integrally colored, troweled finish, elastometric stucco finish system. The color will be beige; Dunn Edwards, DE6201 "Rattan Basket," LRV 27.
- Along the base of the façade will be natural stone veneer, mud set, mortar washed with colored mud to match the building color.
- Natural site harvested boulders of various sizes will be integrated with the wall construction, mud set with colored mud.

**Roof:**

- The roof will be composed of Arizona flagstone natural buff color set in Polypro Polyset ICBO, IRC, ER 5595 over Polyglass Elastoflex three layer 20-year waterproof roofing system.

**Fascia:**

- The fascia and flashing will be constructed of 20 ounce copper. Finish to be "Old Penny" Dark Patina.

**Doors/Window:**

- The doors will be patch hardware Huriculite glass.
- The windows will be dual pane low "Solar E" insulated glass, grey tint, butt glazed, with reglets at walls and head, and reflectivity of 7%.

**Main entry gate:**

- Constructed of rusted steel and copper, in the style of two ornamental leaves, and operated by motor.

**Hardscape/Landscape:**

Decorative pavers will be used in the roadways/driveways entering the community center via guardhouse. The parking lot will consist of stabilized decomposed granite and pavers, which are consistent with the Dynamite Foothills Character Area.

Native plant material will be salvaged from areas of construction and reused to enhance the proposed landscape plan. All new plant material will be selected from the Master Landscape Plan approved with the Sereno Canyon subdivision.

**DISCUSSION**

The site is a commonly held tract at the center of the new development. It will be connected by an internal trail system to the residential areas within this large subdivision and will be a short distance from the main entry gate.

Included in the proposed community center will be workout and changing rooms, a lap pool and whirlpools, and associated patio areas. The conceptual building design and materials reflect the forms and colors of the adjacent rock knob. An adjacent parking area will not be paved with asphalt and at this time they are considering the use of pavers in an earth-tone color.

**OTHER BOARDS AND COMMISSIONS**

Zoning case 1-ZN-2005 for Sereno Canyon subdivision, 22-PP-2005 Sereno Canyon Subdivision, 21-UP-2005 Use Permit for a Community Center, 27-AB-2006 Abandonment of Goldie Brown roadway and public utility easements.

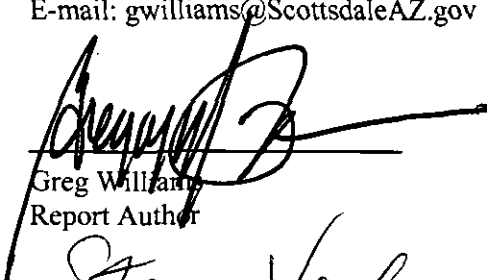
**STAFF RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.


**STAFF CONTACT(S)**

Greg Williams  
Senior Planner  
Phone: 480-312-4205  
E-mail: gwilliams@ScottsdaleAZ.gov

**APPROVED BY**



Greg Williams  
Report Author



Steve Venker  
Development Review Board Liaison  
Phone: 480-312-2831  
E-mail: svenker@ScottsdaleAZ.gov

**ATTACHMENTS**

- A. Stipulations/Zoning Ordinance Requirements
- 1. Applicant's Narrative
- 2. Context Aerial
- 2A. Aerial Close-Up
- 3. Zoning Map
- 4. Site Plan
- 5. Landscape Plan
- 6. Building Elevations

**Stipulations for Case:  
Sereno Canyon Community Center  
113-DR-2005#2**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale. Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

**PLANNING**

**APPLICABLE DOCUMENTS AND PLANS:**

**DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Land Development Services with a date provided on the plans by City Staff of May 15, 2007.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Land Development Services with a date provided on the plans by City Staff of May 15, 2007.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by LVA Studio with a date provided on the plans by City Staff of May 15, 2007.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1-foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Chain link fencing for recreational courts shall be vinyl coated. The color shall be green.
9. Dooley wall fencing shall not be allowed.
10. All walls shall match the architectural color, materials and finish of the building(s).

**SITE DESIGN:**

**DRB Stipulations**

11. Walls shall not cross any dedicated public utility easement (P.U.E.) or other utility easement on the site.

**Ordinance**

- A. Solid walls shall not exceed eight (8) feet in height. The height of a wall shall be measured from natural grade outside of the enclosure.

**N.A.O.S.:**

**DRB Stipulations**

12. All fences/walls located adjacent to NAOS shall be constructed as view fences with a maximum of three (3) feet of solid, opaque wall above the natural grade.

**Ordinance**

- B. NAOS shall be dedicated on site, to the satisfaction of City staff, in general conformance with the City's NAOS Priority Areas map and the Natural Area Open Space (N.A.O.S.) Analysis Plan submitted by LVA Urban Design Studio, LLC dated 12/21/05 by City staff.

**LANDSCAPE DESIGN:**

**DRB Stipulations**

13. Upon removal of the salvageable native plants, the salvage contractor shall submit completed Native Plant Tracking Form, as well as a list identifying the tag numbers of the plants surviving salvage operations, to the City's Inspection Services Unit within three (3) months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
14. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.
15. Provide the following note: Area within a sight distance triangle shall be clear of landscaping, signs, or other visibility obstructions with a height greater than two (2) feet. Trees within a sight distance triangle shall have a canopy that begins at seven (7) feet in height upon installation. All heights are measured from nearest street line.

**Ordinance**

- C. Landscaping for the site shall include only species listed on the City of Scottsdale Indigenous Plants for Environmentally Sensitive Lands plant list.

**EXTERIOR LIGHTING DESIGN:**

**DRB Stipulations**

16. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
17. The individual luminaire lamp shall not exceed 250 watts.
18. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed sixteen (16) feet.
19. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.
20. Incorporate into the project's design, the following:

**Parking Lot and Site Lighting:**

- a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 1.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 4.0 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1-foot outside of any block wall exceeding 5-foot in height) shall not exceed 0.1 foot-candles. All exterior luminaires shall be included in this calculation.

**Landscape Lighting**

- d. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- e. Landscaping lighting shall only be utilized to accent plant material.
- f. All landscape lighting directed upward, shall be aimed away from property line.
- g. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- h. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed fifty (50) watts.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

- 21. Bike rack design shall be in conformance with City of Scottsdale Standard Detail No. 2285, unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

- 22. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 23. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**Ordinance**

- D. No exterior vending or display shall be allowed.

**RELEVANT CASES:**

**Ordinance**

- E. At the time of review, the applicable zoning, DRB, Use Permit, and cases for the subject site were: 1-ZN-2005, 113-DR-2005, 22-PP-2005, 27-AB-2006

## ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### DRAINAGE AND FLOOD CONTROL:

#### **DRB Stipulations**

24. The developer shall comply with the approved stipulations for DRB case no. 113-DR-2005.

### ROADWAY, INTERSECTION, AND ACCESS DESIGN:

#### **Streets and other related improvements:**

#### **DRB Stipulations**

25. The developer shall comply with the approved stipulation for DRB case no. 113-DR-2005, in addition to the following stips.
26. The minimum driveway widths at the guard house and the community center shall be twenty (20) feet of pavement.
27. Provide dedicated pedestrian connections from trail along roadway to the community center. Revise the site plan to show the trail location at roadway and the connections to the community center.
28. Provide bike racks near the building entrance.
29. Provide separate pedestrian access through the gated vehicular entrance. Remove the kink in the trail alignment near the gate. It needs to be able to accommodate bikes and horses.
30. At the Community Center, the construction documents need to differentiate areas of concrete and decomposed granite.
31. Provide a separate pedestrian path on the north side of the gate house so there is no conflicting movements with bikes and horses to get in and out of the gates.

### INTERNAL CIRCULATION:

#### **DRB Stipulations**

32. The developer shall provide a minimum parking-aisle width of twenty-four (24) feet.
33. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of forty-five (45) feet and inside turning radius of twenty-five (25) feet.

#### **Ordinance**

- F. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base, unless otherwise approved by staff in Current Planning.

### REFUSE:

#### **DRB Stipulations**

34. Provide one refuse enclosure. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1.
35. Enclosures must:
  - a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
  - b. Be positioned to facilitate collection without "backtracking."



- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

G. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

H. Underground vault-type containers are not allowed.

I. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

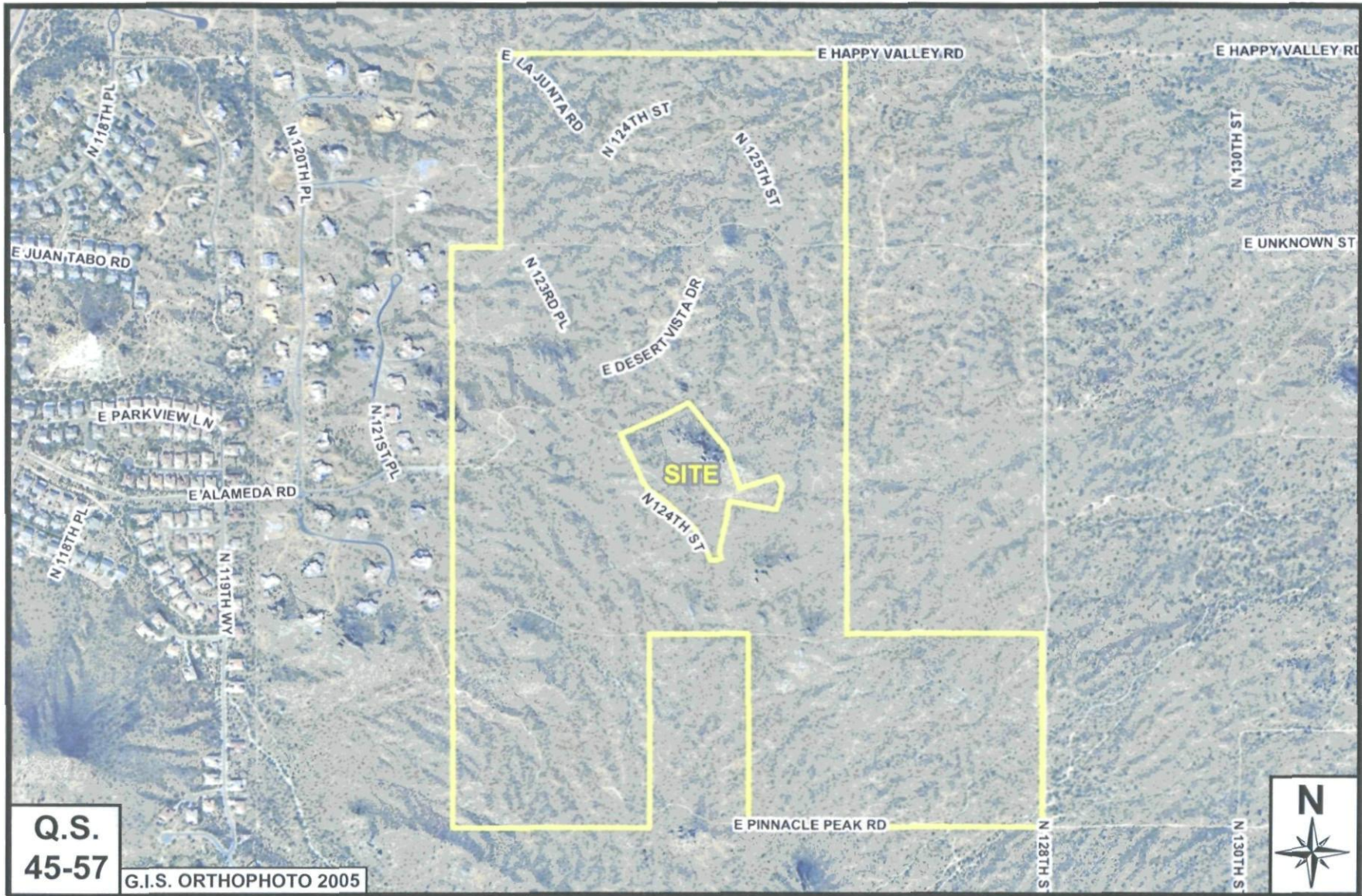
J. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

## **PROJECT NARRATIVE for Sereno Canyon Community Center**

### **Project Overview:**

This request is for Development Review Board approval of the Community Center @ Sereno Canyon, a 330 ac. planned community located east of 122<sup>nd</sup> Street between Pinnacle Peak Road and Happy Valley Road, zoned R1-130 ESL (1-ZN-05). The 11+ ac. Community Center site is designed as the centerpiece of the community providing recreational and social amenities for residents of the neighborhood:

- The Community Center is internally located and surrounded by open space. The facility is private, serving only residents of Sereno Canyon providing passive indoor & outdoor activities.
- The facility has been designed to compliment the character of the overall Sereno Canyon community and architecturally respond to the unique environmental characteristics of the property.
- Building walls are integrally colored desert brown with a troweled finish stucco. Dark patina copper fascia & flashing add detail along with natural stone veneer & site harvested boulders. The roof material is a natural buff flagstone system.
- Decorative pavers will be used in the roadways/driveways entering Community Center & Guardhouse. Additionally, stabilized decomposed granite and pavers will be incorporated into the parking lot; **consistent with the Dynamite Foothills Character Area.**
- Low-level lighting will be incorporated into the landscape areas around the Community Center & Guardhouse.
- The Guardhouse follows the same architectural character with stucco walls, stone veneer & boulder accents with a flagstone roof & canopy .
- Entry gates are rusted steel & copper.
- Community trails have been established and provide non-vehicular access to the Center.
- Boulder easements have been established and dedicated on the final plat.

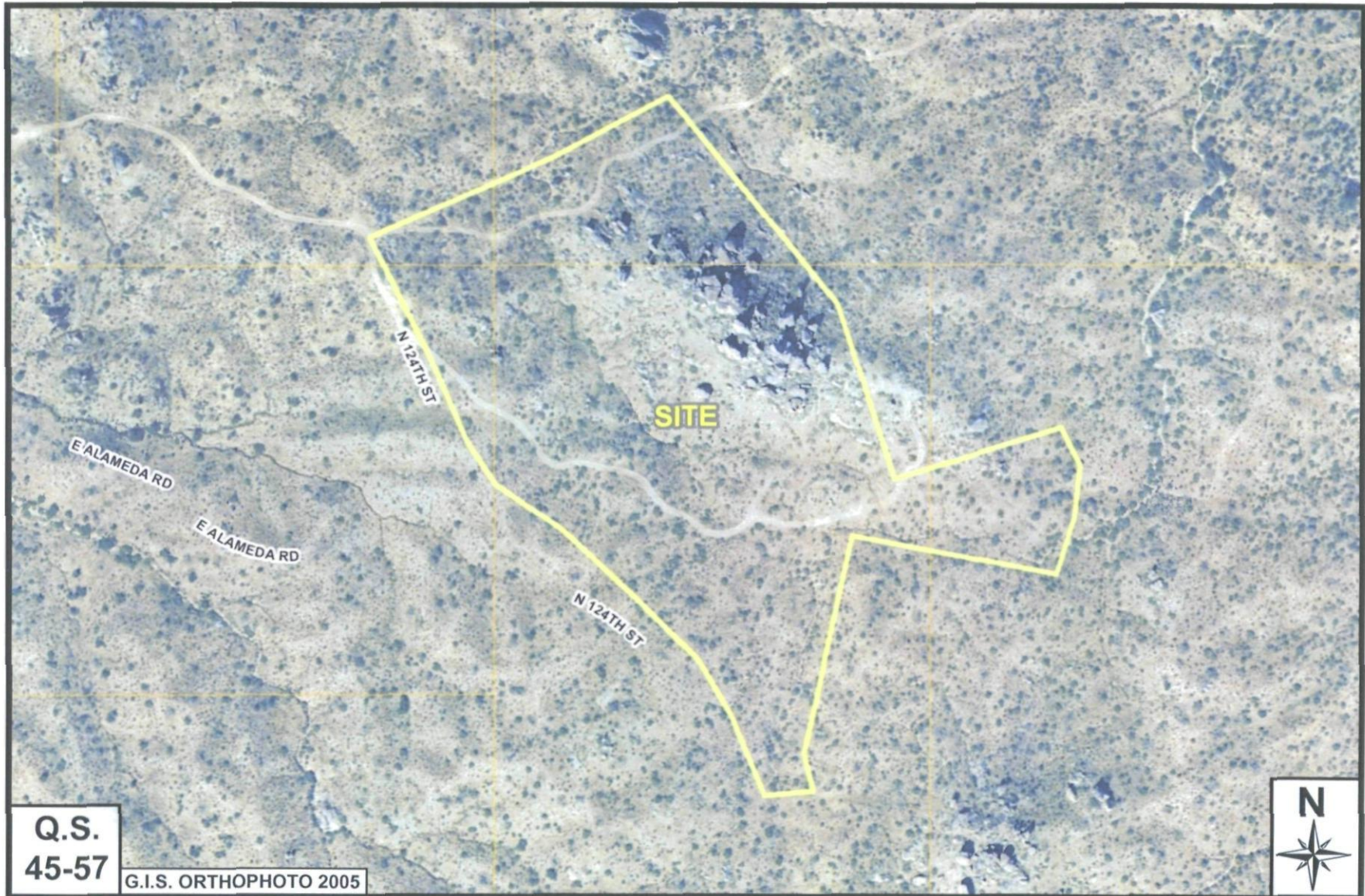


Sereno Caynon

**113-DR-2005#2**

ATTACHMENT #2



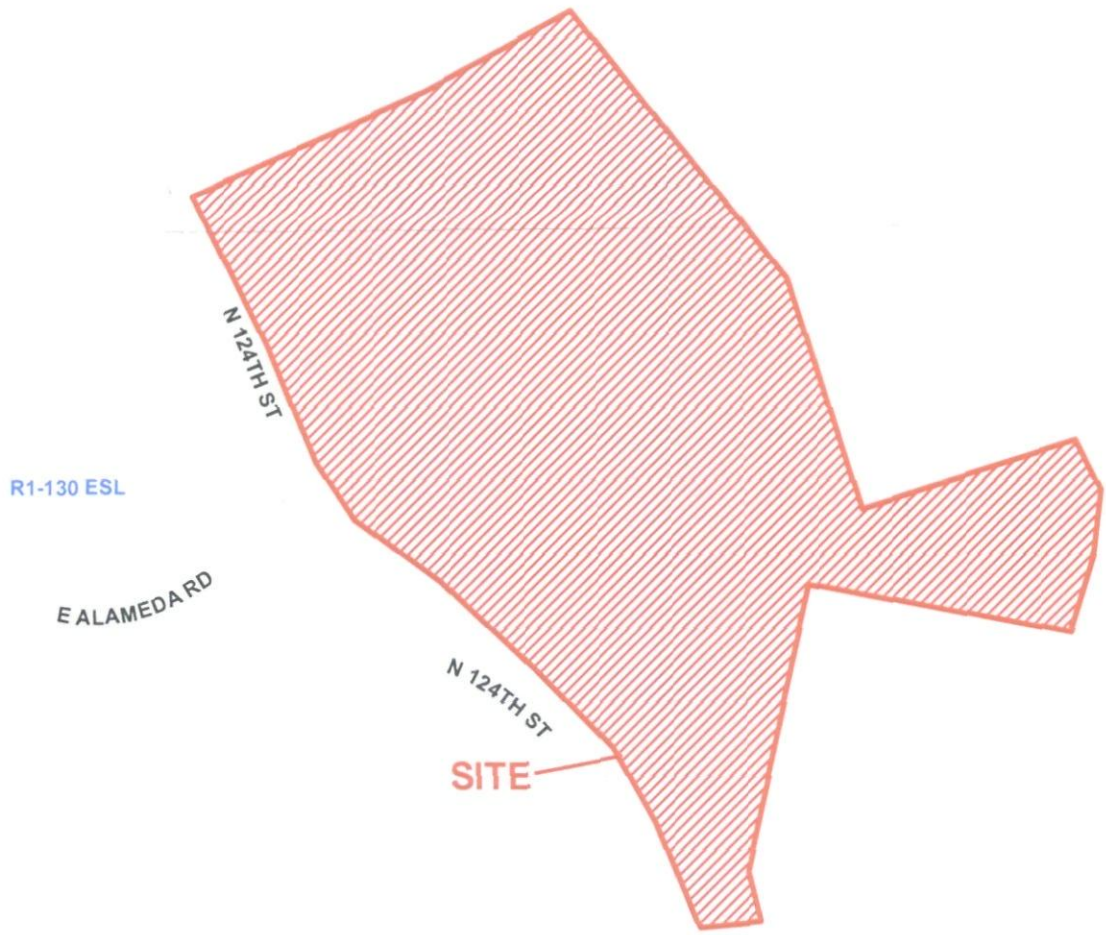


Sereno Caynon

**113-DR-2005#2**

ATTACHMENT #2A

E DESERT VISTA DR



113-DR-2005#2

ATTACHMENT #3













- KEYNOTES:**
- ① MICA - BERBERIC PAVEMENT COLOR
  - ② MICA BOND
  - ③ GROUND MOUNTED MECH. EQUIP. YARD
  - ④ PLANTER AREA
  - ⑤ MASONRY PLANTER/STONE WALLS W/STUCCO FINISH & STONE VENEER & FIRE HARVESTED BOLDER BASE
  - ⑥ PROPERTY LINE
  - ⑦ CONCRETE BBQ CHUR
  - ⑧ NEGATIVE EDGE POOL RETAINING WALL
  - ⑨ POOL EQUIPMENT ROOM UNDER
  - ⑩ RETAINING WALL/ POOL BARBER
  - ⑪ STABILIZED D.G. PAVING AREA
  - ⑫ HANDICAP PAVING
  - ⑬ ARCHAEOLOGICAL BOUNDARY
  - ⑭ BOLDER EMBLEM

**Craig Wickersham Inc. Architects**  
 15821 N. 79th Street  
 Suite 3  
 Scottsdale, AZ 85260  
 480 609-4766

REVISIONS	DATE	BY	DESCRIPTION
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**SERENO CANYON**  
 DRB SUBMITTAL  
 Scottsdale, Az

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

Community Center  
**THE RETREAT**  
 Site Plan  
 1/20" = 1-0

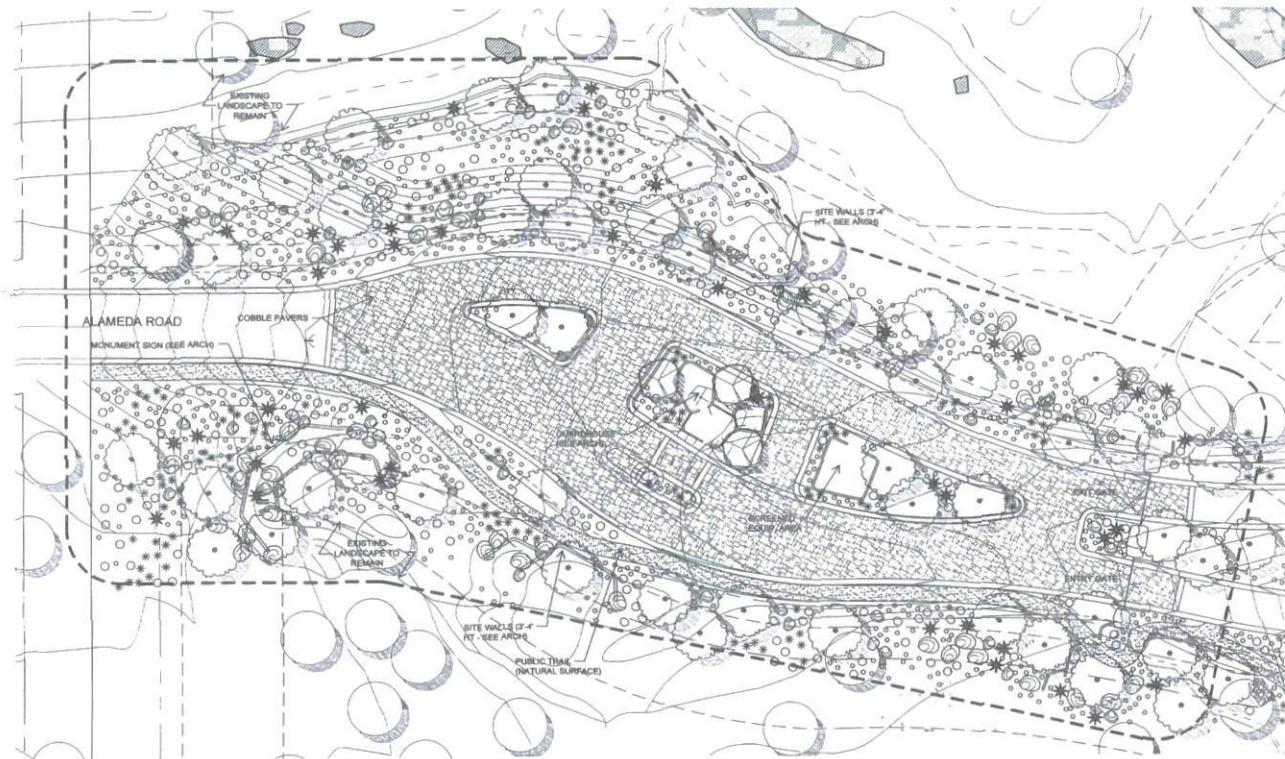
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DESIGNER	WCV	DRB	RT
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DESIGNER	WCV	DRB	RT
DATE	07/02	DATE	08/02

113-DR-2005#2  
 5/15/2007









The following plant palette has been adopted from the City of Scottsdale's E.S.L.O. plant list. (All species shown below are in conformance with E.S.L.O. standards)

**TREES**

- Whitebark Acacia
- Catalaw Acacia
- Crocodrina Thorn
- Hickory
- Blue Palo Verde
- Football Palo Verde
- Desert Willow
- One-seed Juniper
- Ironwood
- Cottonwood
- Arizona Mesquite
- Scrub Oak
- Sage Iron
- Arizona Rosewood

**SUCCULENTS / CACTI**

- Saguaro
- Hedgehog Cactus
- Compass Barrel
- Barrel
- Fishhook Barrel
- Ocotillo
- Fishhook Cactus
- Cactus
- Saguaro Cholla
- Cholla
- Teddy Bear Cholla
- Engelmann's Prickly-pear
- Chainlink Cholla
- Desert Christmas Cholla
- Night-Blooming Cereus
- Banana Yucca
- Southern Yucca

**SHRUBS / BUSHES**

- Giant Burrage
- Triangle-leaf Burrage
- White Burrage
- Desert Honeyuckle
- Fourwing Saltbush
- Quailbush
- Desert Saltbush
- Red Barbary
- Fairy Duster
- Desert Sesua
- Desert Hackberry
- Hedgehog
- Sacred Datura
- Brittlebush
- Green Brittlebush
- Mormon Tea
- Tupeniar Bush
- Flat-top Buckwheat
- Sagebrush
- Desert Lavender
- Chaparral
- Crescent Bush
- Deer Vetch
- Walberry
- Arrow Weed
- Jojoba Bush
- Trill
- Oakleaved
- Greythorn

**ANNUALS / PERENNIALS / VINES**

- Sand Verbena
- Fiddleneck
- Desert Marigold
- Coyote Clover
- Desert Hyacinth
- Dogwood
- Woolly Daisy
- Mexican Gold Poppy
- Gaillardia
- Starflower
- Slender Janania Vine
- Goldfuchsia
- Black-eyed Mustard
- Purple Aster
- Black-eyed Daisy
- Owl's Clover
- Purry's Fountain
- Arizona Penstemon
- Desert Bluebell
- Scorpionweed
- Cream Caps
- Devil's Claw
- Paper Flower
- Black-eyed Daisy
- Desert Cholly
- Desert Chia
- Desert Chloanthus
- Desert Straw

- Artemisia tridentata*
- Anacardium occidentale*
- Baileya multiradiata*
- Cercaria elyptea*
- Dichelostemma pulchellum*
- Dyanthus pensilvanicus*
- Eriophorum lanosum*
- Echinocystis mesquiti*
- Gaillardia aristata*
- Gilia scariola*
- Janania gracilis*
- Larrea tridentata*
- Lesquerella goldoni*
- Spinus sparganiflorus*
- Machrosiphon asteroides*
- Melospiza leucantha*
- Orthocarpus purpurascens*
- Penstemon purryi*
- Penstemon pseudogambelii*
- Phacelia campanularia*
- Phacelia crenata*
- Platanus californicus*
- Proboscidea purpuriflora*
- Ptilostrophe cooperi*
- Plumbago auriculata*
- Rafinesquina monosticta*
- Salvia columbiana*
- Stephanomeria ambigua*
- Stephanomeria pacifica*

The following plant palette is in addition to the above referenced list. The following species will be used in and around the development walkways and connected common areas. (These areas will not be counted as revegetated NAOs)

**TREES**

- Casahuate
- Desert Willow
- Cring Ash
- Texas Shony

**SUCCULENTS / CACTI**

- Asclepias subulata
- Agave Specios
- Echinocystis graminifolia
- Hesperaloe parviflora
- Lophoceros schottii
- Senecioerus thurberi

**SHRUBS / BUSHES**

- Black Dale
- Sage
- Baja Rutella
- Desert Rutella
- Autumn Sage

**ANNUALS / PERENNIALS / VINES**

- By name
- Hymenocallis acialis
- Mertensia aurea

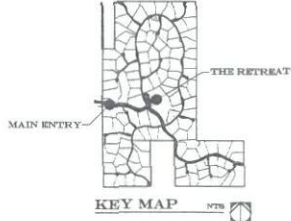
**GRASSES**

- Notula crumpeus
- (Tilley 419 or equal)Cynodon dactylon

This list is intended as a guide and is subject to change. All changes shall be approved by City staff as required.

**LANDSCAPE LEGEND**

- Existing Tree / Veg. to remain
- New Understory Vegetation (shrubs / cacti / grasses / etc.)
- New Landscape / Enhanced Veg.
- Existing Boulders



1000 East Main Street  
Scottsdale, AZ 85261  
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Fax: 480.344.1112  
www.lva.com

# SERENO CANYON

## MAIN ENTRY

Date:  
4.18.07  
Job No:  
0425  
Drawn by:  
JMY

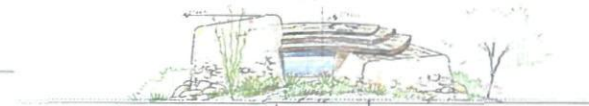
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5/15/2007



South



West



North



East

KEYNOTES:

1. INTEGRALLY COLORED, TROWE ED FINISH ELASTOMERIC STUCCO. COLOR TO BE SIMILAR TO DAVID EDWARDS DE 4201 Rafter's Basket LRV 27
2. 20 OUNCE COPPER FASCIA FINISH TO BE "OLD PENNY"
3. "NATURAL" TIE HANVESTED BOULDERS INTEGRATED WITH THE WALL CONSTRUCTION. MUD SET VARIOUS SIZE
4. DUAL PANE LOW E INSULATED GLASS BUTT GLAZED W/ RECESSED REGLET
5. ARIZONA FLAGSTONE NATURAL, BUFF COLOR SET IN POLYPRO POLYSET ICBO. WIC BR SERS OVER POLYGLASS 3 LAYER WATER PROOF ROOFING SYSTEM
6. "NATURAL" STONE VINGER SIMILAR TO APACHE STONE'S DC COBBLE. MUD SET MORTAR WASHED WITH COLORED MORTAR TO MATCH BUILDING COLOR
7. PATCH HARDWARE HURCLUTE GLASS DOORS
8. BATTERED WALLS. MIN. 1" PER FOOT BATTER
9. FINISH GRADE BERMING
10. 20 OUNCE COPPER CLAD STRUCTURAL STEEL COLUMN

Craig Wickersham Inc. Architects

15421 N. 79th Street  
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 480 999-6766

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REVISIONS:

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Sereno Canyon  
 Crown Community Development

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

Guardhouse  
 Elevations

1/8" = 1-0

NO.	DATE	DESCRIPTION
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Guardhouse

3.23.07

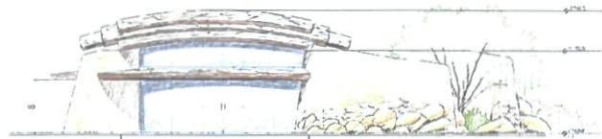
Guardhouse

Craig Wickersham Inc.  
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15821 N. 79th Street, #2  
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(480) 609-6766

113-DR-2005#2  
5/15/2007



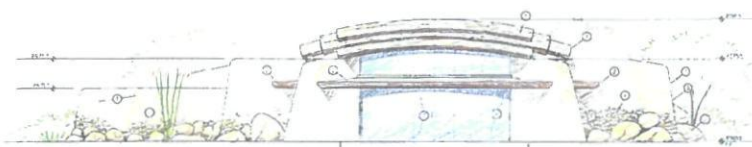
West



North



South



East

KEYNOTES:

1. INTEGRALLY COLORED POWELLED FINISH ELASTOMERIC STUCCO. COLOR TO BE SIMILAR TO CURRY EDWARDS DR 4391. Rotation Basket LRV 27
2. 30 GAUGE COPPER / ALUMINUM FINISH TO BE "OLD PENNY"
3. NATURAL SITE I HARVESTED Boulders INTEGRATED WITH THE WALL CONSTRUCTION. MUD SET VARIOUS SIZE
4. DUAL PANE LOW E INSULATED GLASS. BU 1 GLAZED W/ RECESSED REGLETS
5. ARIZONA FLAGSTONE NATURAL BUFF COLOR SET IN POLYPRO POLYSET (CBO) IRC. ER SIPS OVER POLYGLASS 3 LAYER WATER PROOF ROOFING SYSTEM
6. NATURAL STONE VENEER SIMILAR TO APACHE STONE'S DC COMBLE. MUD SET MORTAR WASHED WITH COLORED MORTAR TO MATCH BUILDING COLOR
7. PATCH HARDWARE. H. POLYBT GLASS DOORS
8. WATERED WALLS MIN. 1 PER FOOT BATTER
9. FINISH GRADE BERMING
10. 30 GAUGE COPPER CLAD STRUCTURAL STEEL COLUMN

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FINISH SCHEDULE

1	Integrally Colored Powelld Finish Elastomeric Stucco
2	30 Gauge Copper / Aluminum Finish
3	Natural Site I Harvested Boulders
4	Dual Pane Low E Insulated Glass
5	Arizona Flagstone
6	Natural Stone Veneer
7	Patch Hardware
8	Watered Walls
9	Finish Grade Berming
10	30 Gauge Copper Clad Structural Steel Column

REVISIONS

NO.	DATE	DESCRIPTION

Sereno Canyon  
 Crown Community Development

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

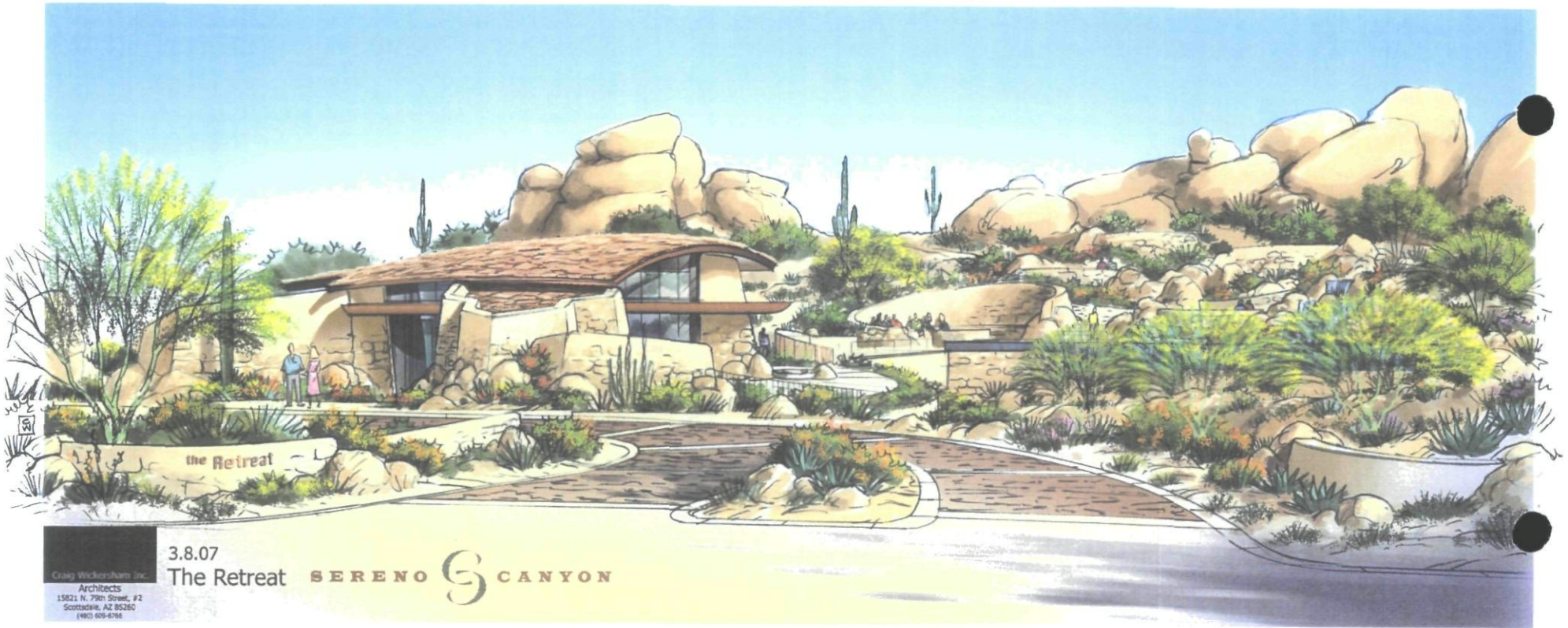
Community Center  
 Elevations

1/8" = 1'-0"

XXXX

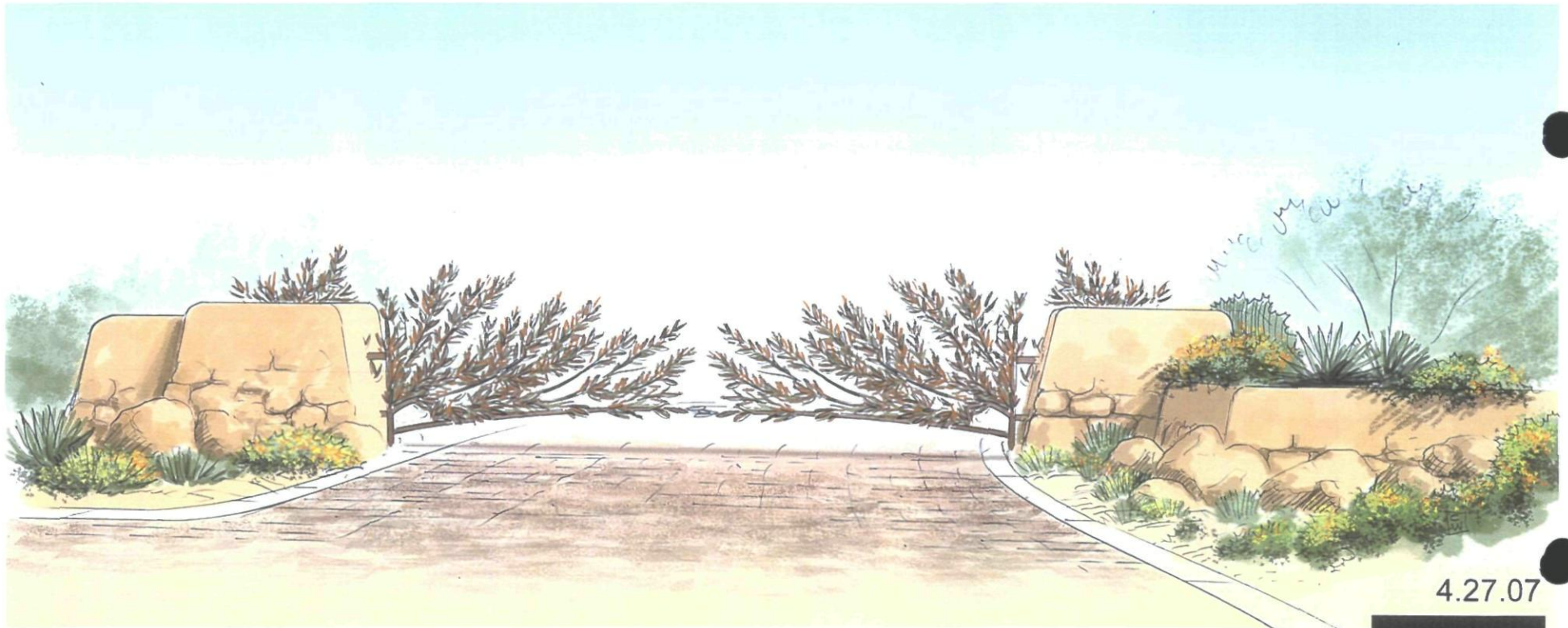
113-DR-2005#2  
 5/15/2007





Community Center

113-DR-2005#2  
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SERENO  CANYON  
CROWN COMMUNITY DEVELOPEMENT

Main Entry Gates  
Rusted steel & copper  
2 piece /leafs  
motor operated

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