

TO: DEVELOPMENT REVIEW BOARD      DATE: 6/21/90  
FROM: PLANNING & ZONING MANAGER  
SUBJECT: CASE 99-DR-89#2

REQUEST: Approve Site Plan & Elevations for a Golf Clubhouse  
PROJECT NAME: Four Seasons Clubhouse  
LOCATION: 100th Street & Dynamite Boulevard  
  
DEVELOPER/OWNER: IDG Development, Inc./Pinnacle Peak Resort Group Limited Partnership  
ARCHITECT: CYP  
ENGINEER: Gilbertson Associates  
APPLICANT/COORDINATOR: Neal T. Pascoe/Pinnacle Peak Resort Group Limited Partnership

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

DISCUSSION: The proposal is for the golf clubhouse for the Four Seasons/Troon North Golf Course. This is the third design concept for the site. The new proposal is a take off from the most recent proposal except that the building is now smaller. The building and adjacent pool area are located on a small ridge extending eastward from a large boulder ridge.

Cuts and fills exceeding 4 feet will occur in the building, parking and tennis areas. The larger fills occur in swales under the parking areas and in the pool area. The bulk of these fills will be contained under constructed areas. Major cuts occur under the building, the tennis courts and at the west end of the pool area. Virtually all cuts are contained under construction areas.

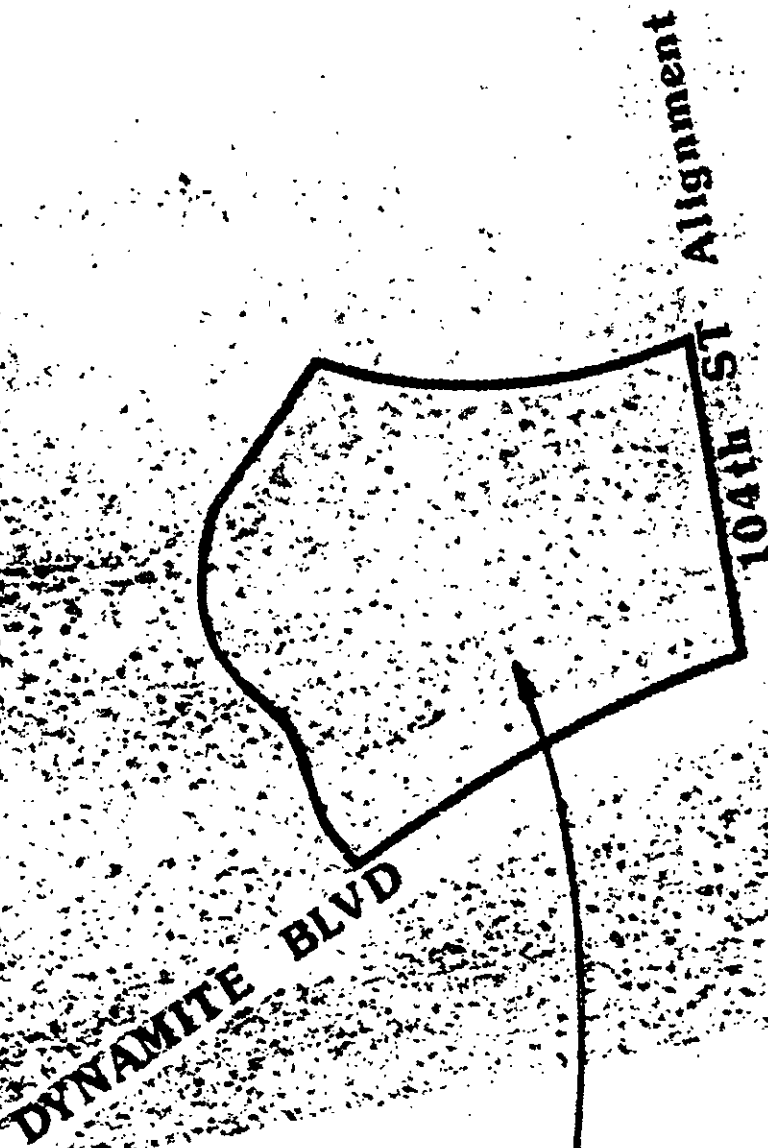
The parking area has been designed to flow with the natural form of the land. Boulders features and major vegetation will be protected. Lighting will be cut off fixtures no taller than 15 feet.

The landscape concept remains the same as in the last proposal.

The building design has been softened into a more generic Mediterranean character. Arizona sandstone will still be used as a foundation material. The walls will now be smooth, rounded stucco painted various shades of beiges and terra cottas. This use of different colors on different wall planes has been used in recent Mexican designs. Variegated tile on hip roofs tops towers and porches, and stained wood is used on porticos, balustrades and windows. The building form is broken into a multitude of planes, niches, patios, porches and towers. The result is an almost "village" look. The new character is less formidable than the prior design.

ATTACHMENTS: #1-Aerial  
                  #2-Site Plan  
                  #3-5 Elevations  
                  #6-Site Sections  
                  #7-Landscape/Materials List/Lighting  
                  #8-Cuts & Fills  
                  #9-Slope Analysis  
                  #10-N.A.O.S.  
                  #11-Project Narrative  
                  A-Stipulations  
                  B-Ordinance Requirements

Coordinator: Don Hadder 994-2352  
DRB#39



↑  
N  
1"=400'  
1988

99-DR-89 #2

ATTACHME





West elevation



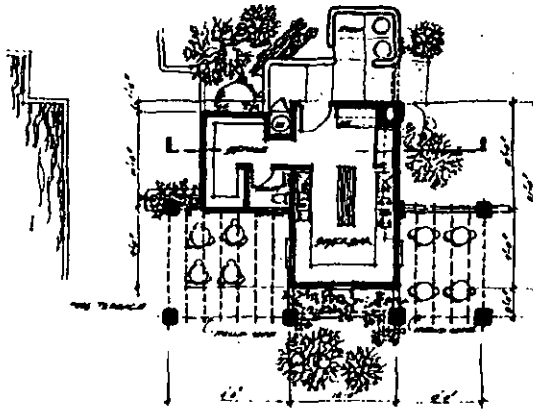
South Elevation



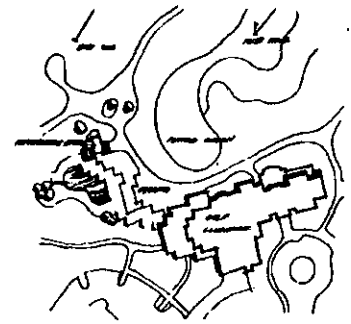
Section



East Elevation



Floor Plan



Site Plan



North Elevation

Refreshment Stand



• CLUBHOUSE •

• FOUR SEASONS AT TROON NORTH •

SCOTTSDALE, ARIZONA • IDG DEVELOPMENT CORPORATION  
CYP, INC. ARCHITECTURE & PLANNING



99-DR-89 #2



Front Elevation



Rear Elevation



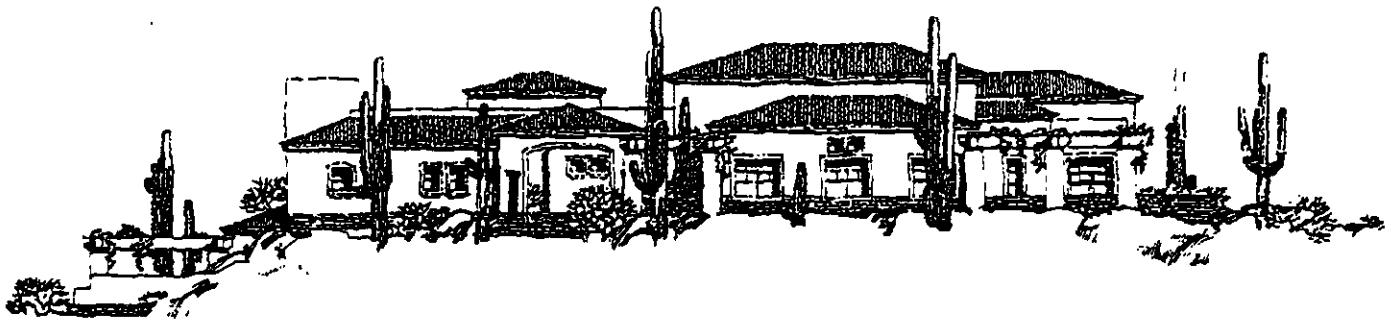
• CLUBHOUSE •

• FOUR SEASONS AT TROON NORTH •

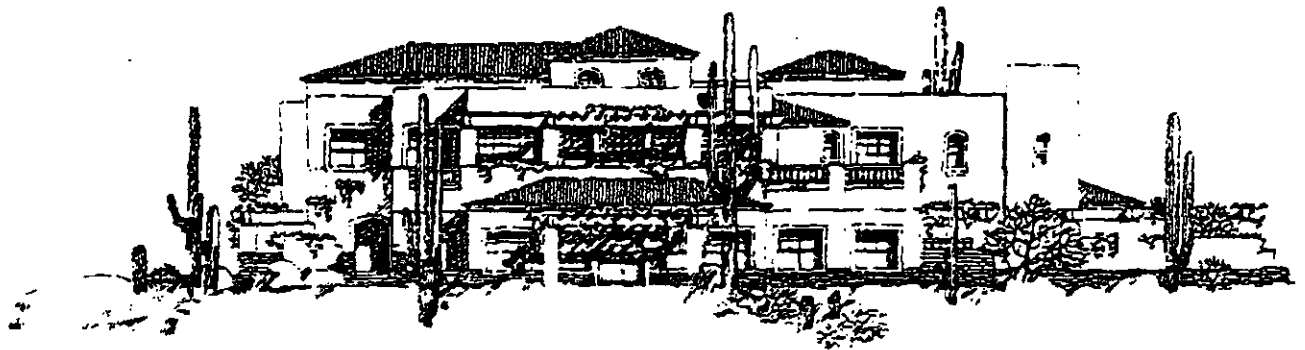
SCOTTSDALE, ARIZONA • IDG DEVELOPMENT CORPORATION  
CYP, INC. ARCHITECTURE & PLANNING



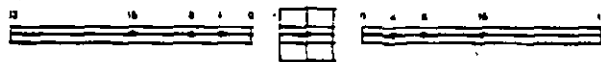
00-DR-88 #2



Right Elevation



Left Elevation

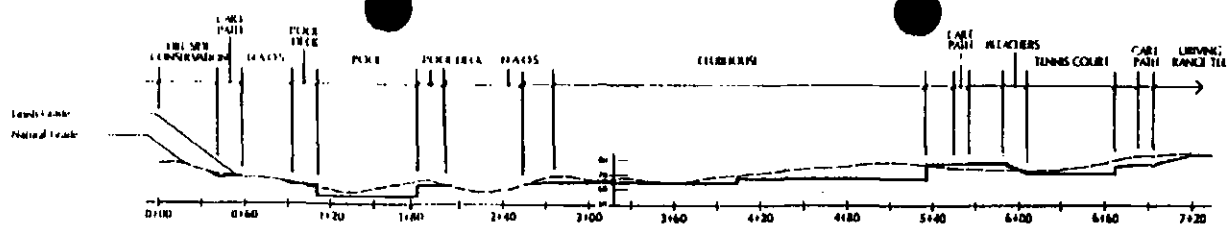


• CLUBHOUSE •  
 • FOUR SEASONS AT TROON NORTH •  
 SCOTTSDALE, ARIZONA • PINNACLE PEAK PARTNERS  
 CYP, INC. ARCHITECTURE & PLANNING

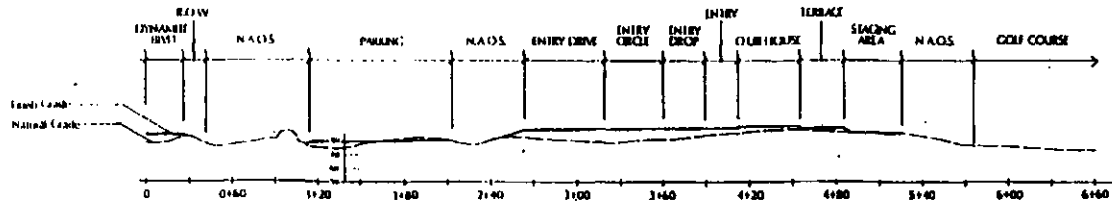


99-DR-89 #2

ATTACHMENT #5



SECTION B-B



SECTION A-A

#### Site Sections



## • CLUBHOUSE •

### • FOUR SEASONS AT TROON NORTH •

SCOTTSDALE, ARIZONA • PINNACLE PEAK PARTNERS  
CYP, INC. ARCHITECTURE & PLANNING

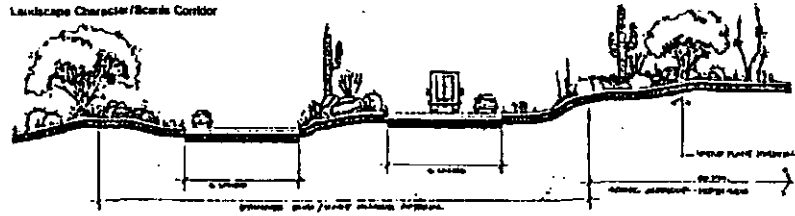


99-DR-89 #2

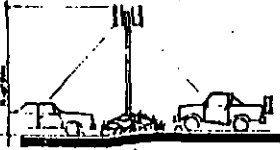
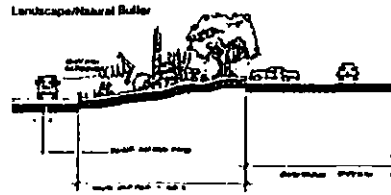


Conceptual Landscape Plan

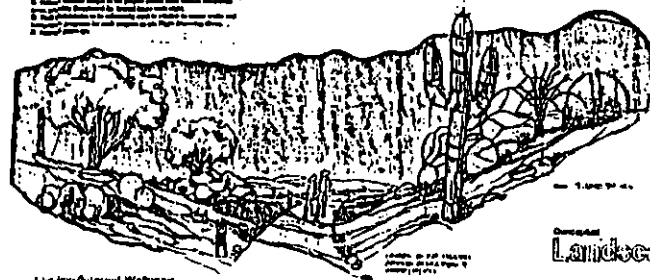
Landscape Character/Screening Corridor



Landscape/Natural Buffer



Typical Parking Light



Lighting/Natural Walkway



Conceptual Lighting Plan

CYP, Inc.  
Architecture/Planning  
10000 1st Avenue, Suite 100  
San Diego, CA 92123  
Tel: 619/594-1111  
Fax: 619/594-1112

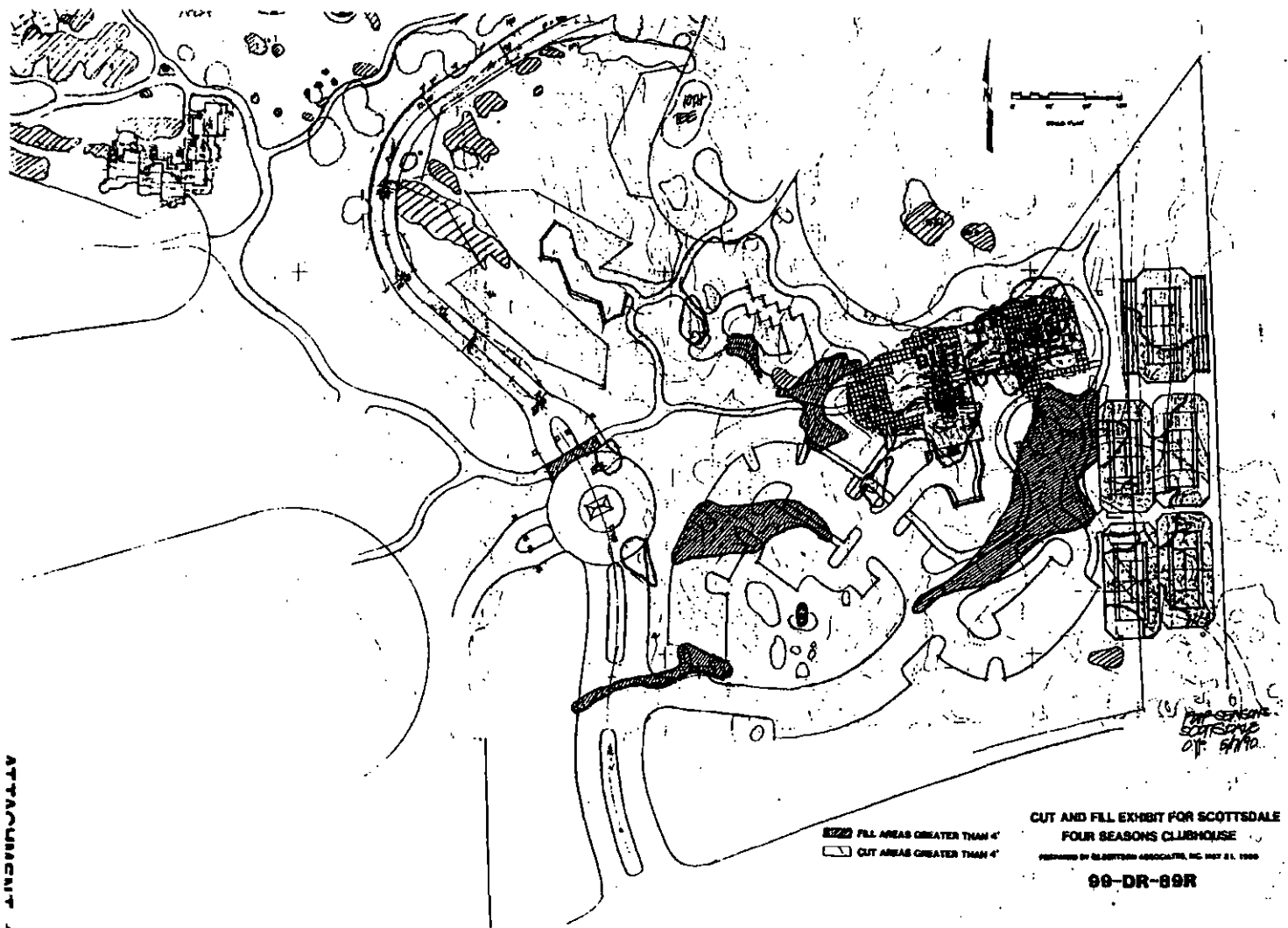
# Landscape/Materials List/ Lighting

## Four Seasons at Troon North

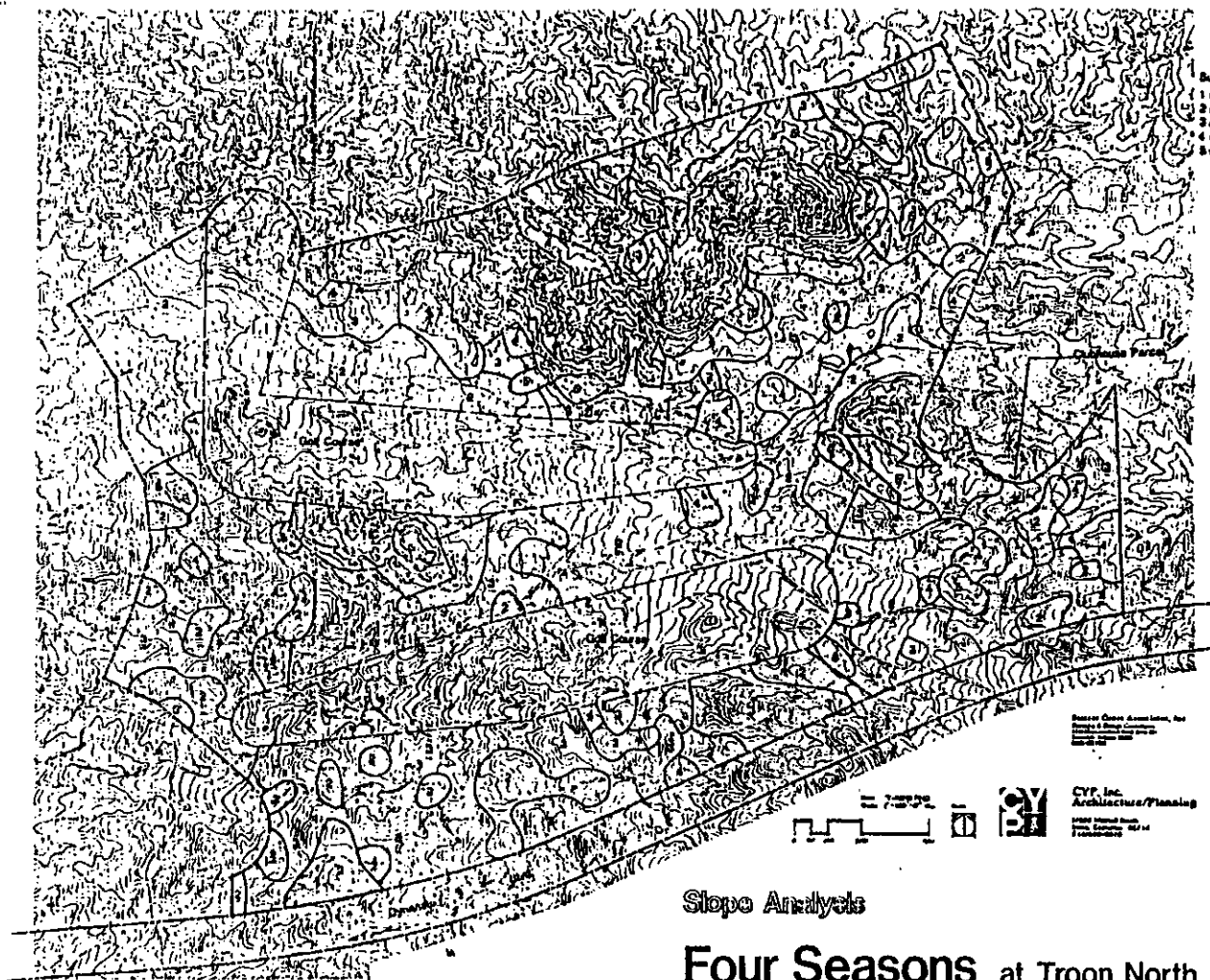
99-02-20 #2

ATTACHMENT A-1





99-DR-89 #2



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## Four Seasons at Troon Nor

99-27-89 #2



# City of Scottsdale PROJECT NARRATIVE

1  
STOP SHOP

<input type="checkbox"/> Rezoning	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Use Permit	<input type="checkbox"/> Lot Split
<input type="checkbox"/> Variance	<input type="checkbox"/> Abandonment
<input checked="" type="checkbox"/> Development Review	<input type="checkbox"/> Other
<input type="checkbox"/> Signs	

Project # 99-DR-89 159 M- 90  
 Project Name Four Seasons Clubhouse  
 Location 100th and Dynamite  
 Applicant Pinnacle Peak Resort Partners I

## SITE DETAILS

PROPOSED EXISTING ZONING: R-4R HD  
 USE: clubhouse  
 PARCEL SIZE: 10.25 acres  
☒ GROSS FLOOR AREA ☐ TOTAL UNITS: 32,350 sq. ft.  
☒ FLOOR AREA RATIO ☐ DENSITY: \_\_\_\_\_

PARKING REQUIRED 182  
 PARKING PROVIDED 157  
 # OF BUILDINGS 2  
 HEIGHT 30  
 SETBACKS N- n/a S- 350'  
 E- 150' W- n/a

## In the following space, please describe the project or the request.

The proposal is to develop the clubhouse for the golf course in Troon North that will serve the coming Four Seasons hotel. The building will have two levels; a lower level consisting of golf cart storage and locker rooms, with an upper level for pro shop, restaurant, lounge, and administration. There will also be a swimming pool and outdoor gathering/barbecue area. Required parking for the golf and clubhouse will also be provided on this site.

Site landscaping will be primarily native materials with a scenic corridor along Dynamite Blvd. with the main entry and immediate proximity of the building enhanced by additional materials that are indigenous or appropriate with indigenous material.

Building architecture has a southwestern look that will respect the desert. The exterior will be clad in earth tones of stucco and Arizona flagstone. The roof is predominantly flat, with multi-colored tile restricted to the tower elements that give vertical delineation to the building.

The use of Vegas and Arizona sandstone and flagstone add to the southwestern feeling of the building and site. Deeply recessed windows and covered patios provide sun protection.

ATTACHMENT #11

STIPULATIONS

BUILDING ELEVATIONS AND SITE PLANS APPROVED BY THE DEVELOPMENT REVIEW BOARD MUST BE BUILT PER THE APPROVED PLANS WITH THE MODIFICATIONS PER THE FOLLOWING STIPULATIONS TO OBTAIN BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY.

SITE AND BUILDING DESIGN:

1. Refuse enclosure shall be screened by material compatible with the building materials. Colors and texture to match the building, both sides.
2. Tennis court fencing shall be vinyl coated in either a black or dark brown color.
3. Tennis court lighting to be staff approved.
4. Flagpoles to be one piece conical tapered.
5. No exterior public address system shall be allowed.
6. Provide 4% of required spaces as handicap parking spaces.
7. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.
8. Submit plans detailing the treatment of the pedestrian paths.
9. Boulders that exceed 4 feet in height shall be protected from construction by 1:1 setback for each foot over 4 feet.
10. Submit a site plan indicating the preservation of the boulder feature to the south of the clubhouse for staff approval 15 days prior to final plans submittal.
11. All cuts and fills adjacent to the tennis courts, buildings and pool/patio areas shall be contained by retaining walls. The construction envelope shall be no more than 8 feet from the edge of a court or patio or the face of the building.
12. The construction envelope along parking and cart path pavements shall be limited to 5 feet from the pavement edge except as approved on-site by Project Coordination staff.

BUILDING ELEVATIONS:

1. All rooftop mechanical shall be completely screened by parapet walls or within roof structure.
2. All ground mounted mechanical shall be completely screened by screen walls with color and texture to match the building.
3. Exterior building colors shall be muted earth tones and shall be reviewed in the field for Development Review Board approval.

ROOF DRAINAGE:

1. Provide interior roof drainage system (overflow scuppers are permitted).

ON-SITE LIGHTING:

1. Provide plans indicating all on-site lighting and lighting fixtures (re: diffusing, standards, glare, height, etc.).
2. All pole mounted lighting shall be a maximum of 15 feet in height.

SIGNS:

1. Provide Note: Signs require separate approvals and permits.

BICYCLE/EQUESTRIAN:

1. Bike path(s) location shall be approved by Project Review, and are to be shown on the engineering paving, grading and drainage plans.
2. Equestrian trail location shall be approved by Project Review and are to be shown on the final plat or site plan.

WALL DESIGN:

1. All screen walls shall be 8 inch masonry block and shall match building texture and color, both sides.
2. No chain link fencing shall be allowed, except at tennis courts.
3. Dooley wall fencing shall not be allowed.
4. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall return to Project Review for approval, prior to any submittals of final plans.

LANDSCAPING:

1. Incorporate existing vegetation into the landscape design.
2. Provide only plant material indigenous to this site within the scenic corridor.
3. Non-indigenous plant materials which exceed 20 feet in height are not to be introduced on site.
4. Landscape plans for enhancement of the scenic corridor shall be submitted 15 days prior to final plans submittal to Project Review technical staff for review and approval.
5. In order to reduce water wastage, setback all areas using spray or stream irrigation heads 4 feet from the back of curb or sidewalk.

LANDSCAPING cont'd.

6. Turf areas are to be a minimum of 10 feet in width.
7. No additional turf areas are to be provided.
8. Retention/detention basin depth shall be measured to top of existing grade. Maximum 3 feet depth allowed.
9. Maximum 10:1 width to depth ratio with a 4:1 maximum slope for retention/detention basins.
10. Only 50% of front open space can be used for retention/detention basin.
11. Provide 8% slope away from walk or curb for 5' 0" along all streets.
12. All roadway medians required of this project shall be landscaped and maintained by project's owner for a period of three years from final acceptance by Field Engineering.
13. All right-of-ways adjacent to this property shall be landscaped and maintained by the property owner.

NATURAL AREA OPEN SPACE (N.A.O.S.):

1. Submit a plan indicating the required amounts of N.A.O.S. based on the total square footage of slope category as defined in Section 5.806, A.1 of the Zoning Ordinance 15 days prior to final plan submittal.
2. All areas calculated as N.A.O.S. shall be a minimum of 40 feet in width. Any alterations to this shall be approved by Project Coordination staff.
3. All areas calculated as N.A.O.S. shall be left untouched, except that additional plant materials, indigenous to the site only, may be introduced to N.A.O.S. as approved by Project Review Staff.
4. Submit a plan indicating construction boundaries to insure that N.A.O.S. is not disturbed to Project Review staff for review and field approval 15 days prior to final plans submittal.
5. All areas within the construction zone shall be fenced to assure no disturbance to the N.A.O.S. for Project Review technical staff field review and approval.

TRAFFIC STIPULATION REQUIREMENTS  
CIRCULATION AND REFUSE

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

1. Cart, bike and equestrian paths shall cross collector street at intersections.
2. Provide minor collector cross-section from Dynamite Boulevard to 100 feet north of main intersection with clubhouse on east leg and residential on west leg.

STRIPING AND SIGNAGE PLAN:

1. A detailed striping and signage plan shall be submitted with Final Plans that includes the following:
  - a. All existing improvements and striping within 200 feet of limits of construction.
  - b. All signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 3.5 feet and 6 feet in height.

REFUSE COLLECTION:

1. Trash enclosure shall be constructed to City of Scottsdale Standards.
2. An area 9' x 30' long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
3. Refuse enclosures are required as follows:
  - \* One per 20,000 S.F. commercial building space.
4. Enclosures must:
  - \* Be positioned to facilitate collection without "backtracking."
  - \* Be easily accessible by a simple route.
  - \* Not require backing more than 35 feet.
5. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.
6. Underground vault-type containers are not allowed.



DRAINAGE AND FLOOD CONTROL STIPULATIONS

OFF-SITE RUNOFF:

1. All developments must be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
2. Comparison analysis of pre-development and post-development hydrographs shall be required.

BRIDGES:

1. All drainage crossings, including any configuration of box culverts or pipes which spans 20' or more, (as measured along the roadway centerline), shall submit the following:
  - a. Two separate copy of the construction plans.
  - b. Vicinity map and precise description of location.
  - c. Names and addresses of developer, contractor, and engineer.
  - d. Associated "DR" or "PP" number.

DRAINAGE STRUCTURES/CHANNELS:

1. The new buildings should be at or above the FEMA flood zone A water elevation.
2. The existing flows shall be routed through or around parking and amenity areas to existing outfall points.

WATER AND WASTEWATER STIPULATIONS

WATER:

1. All water improvements shall conform to Water Master Plan for Troon North.

WASTEWATER:

1. All wastewater improvements shall conform to Wastewater Master Plan for Troon North.

THE DEVELOPMENT REVIEW BOARD

Some Things You Should Know About the Development Review Board:

- \* Review of development proposal by the Development Review Board is the first step toward obtaining a Building Permit.
- \* Development Review Board approval expires ONE YEAR from the date of approval if a Building Permit has not been issued - unless a different expiration date is made a condition of the approval.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- \* Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- \* There may be some Ordinance requirements which apply to your project that aren't included here.
- \* City staff and the Development Review Board do not have the authority to "waive" Ordinance requirements.
- \* Any appeals must be made in writing to the CITY CLERK'S OFFICE.

STIPULATIONS

Stipulations are staff recommendations which, after ratification by the Development Review Board, become development requirements.

ENGINEERING ORDINANCE REQUIREMENTS

ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.

DRAINAGE AND FLOOD CONTROL:

1. Stormwater storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm.
2. Off-site runoff must enter and exit the site as it did historically.
3. Stormwater storage basins should be designed to meter flow to historic outfall point. Where no outfall exists (or metering is not possible), other methods of discharge may be considered.
4. Storage basins must drain completely within 36 hours.
5. Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way. (Exceptions may be granted with written approval from appropriate utility company.)
6. Approval from ARMY CORPS OF ENGINEERS under the conditions of SECTION 404 PERMIT is required where proposed construction is adjacent to major washes.

REFUSE REQUIREMENTS:

1. Refuse collection methods and arrangements must be approved by Sanitation Division prior to final plans approval.

PARKING LOTS:

1. Parking areas shall be improved with a minimum of 2 inches of asphalt over 4 inches of aggregate base.

TRAFFIC ORDINANCE REQUIREMENTS

1. Streets and other related improvements:

<u>STREET NAME</u>	<u>STREET TYPE</u>	<u>R.O.W. DEDICATION</u>	<u>ROADWAY IMPROVEMENTS</u>	<u>CURB TYPE</u>	<u>BIKEPATH/ SIDEWALKS</u>
a) North/south Collector	Fig.5-9(H)	Private	41' (BC-BC)	Roll	
b) North/South	Fig.5-11(H)	Private	26' (BC-BC)	Ribbon	
c) Dynamite Blvd.					8' Bike Path
2. Other dedications: Easements: a) 25' equestrian easement along Dynamite Boulevard.					
b) 50' average, 40' minimum scenic easement along Dynamite Boulevard.					

3. Other improvements: Clearing for rural equestrian trails along Dynamite Boulevard according to city of Scottsdale design guidelines, Section 8.

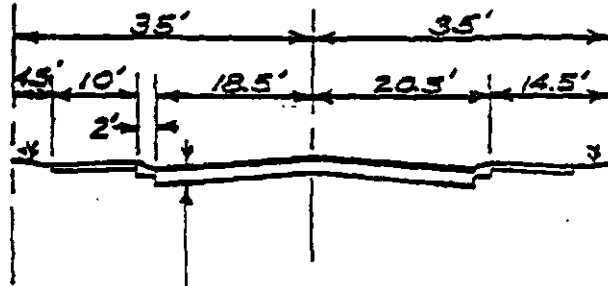
ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTS

WATER DEVELOPMENT ORDINANCE (#1318 AND #1409)

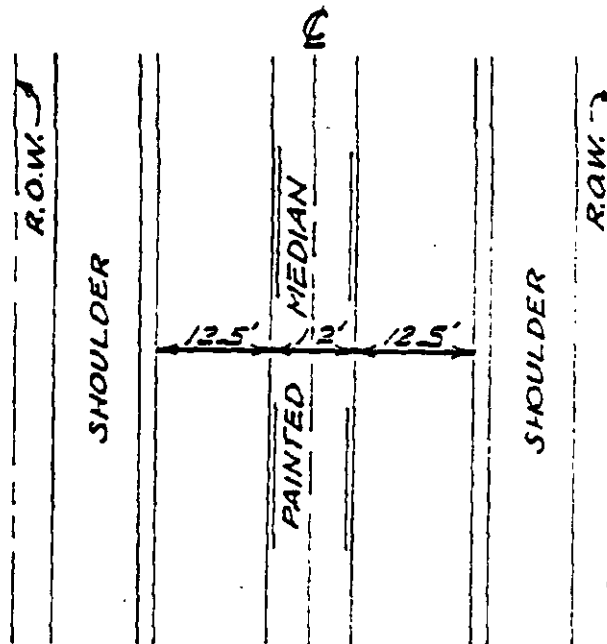
1. The water system for this project shall meet required health standards and be in sufficient volume and pressure for domestic use and fire protection. City of Scottsdale is responsible for supplying the water to this project.
2. Applicable water meter fees shall be paid prior to the issuance of any Building Permit.
3. The developer shall pay a Development Fee for city water supply in accordance with city Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a Building Permit, or if the development does not require a Building Permit, prior to connection to the city water system. The Fee Schedule is included in these Ordinance requirements.

SEWER DEVELOPMENT ORDINANCE (#1318)

1. Structures in this development shall be connected to the city sanitary sewer system. A connection fee shall be required by Ordinance. This fee shall be paid at the time, and as a condition of issuance of a Building Permit, or if the development does not require a Building Permit, prior to connection to the city sewer system. The Fee Schedule is included in these Ordinance requirements.
2. Connection to the sanitary sewer system may be made without payment of a connection fee. Please provide sanitary sewer tap location on Engineering Plans.

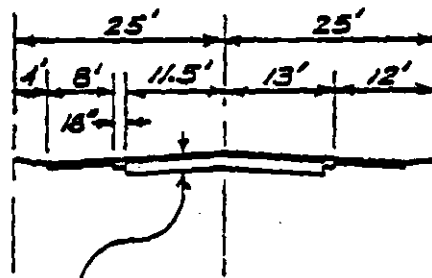


FOR PAVEMENT THICKNESS REQUIREMENT,  
SEE SECTION 4 - FLEXIBLE PAVEMENT DESIGN

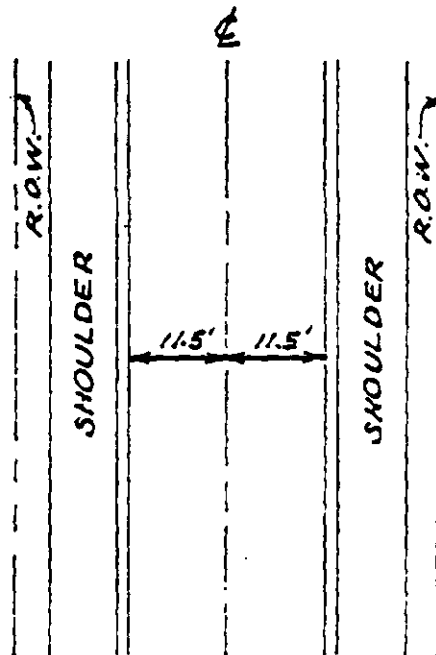


MINOR COLLECTOR STREET IN  
HILLSIDE AREAS

FIGURE 5-9 (H)



FOR PAVEMENT THICKNESS  
REQUIREMENT, SEE SECTION 4,  
FLEXIBLE PAVEMENT DESIGN



LOCAL COLLECTOR STREET IN  
HILLSIDE AREAS

FIGURE 5-11 (H)

WATER AND SEWER DEVELOPMENT FEES

<u>Meter Size</u>	<u>Meter Only</u>	<u>Meter And Service</u>	<u>Water Development Fee</u>	<u>Sewer Development Fee</u>
3/4"	\$95	\$305	\$1,110	\$1,450
1"	\$140	\$390	\$1,665	\$2,170
1 1/2"	\$255	\$620	\$3,330	\$4,335
2"	\$320	\$750	\$5,335	\$6,925
3"	\$1,480	.	\$9,995	\$13,000
4"	\$2,350	.	\$16,660	\$21,660
6"	\$4,440	.	\$33,320	\$43,315
8"	\$6,275	.	\$53,310	\$69,265
over 8"				

Water development for single family - \$670

Sewer development for single family - \$865

Multi-family - \$610

Hydrant Meters

Deposit \$600.00

Installation/Removal 15.00

Relocation 10.00

Service Availability 65.02

per month

First 82,500 @ .77/1000

Over 82,000 @ 1.20/1000

Water Resource Fee - Effective 10/5/87

SFR \$1,000/DU

Multi-Family 600/DU

All Other 2,000/acre foot  
of projected annual use.Miscellaneous Services & Charges

1. Move service &amp; meter or meter only \$250.00

2. Raise or lower service &amp; meter to grade 80.00

3. Bench test of meter - mal-functioning: 0.00

normal-functioning: 30.00

4. Water main shut-down - \$45.00 - 12" or smaller  
\$90.00 - over 12"Sewer Certificate

Requiring test \$35.00

No test 5.00

Revised 9/27/88

PLANNING PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
  - \* Architectural Plans: 30" x 42"
  - \* Landscaping Plans: 24" x 36" mylars for signature
  - \* 30" x 42" acceptable for preliminary reviews
  - \* Civil Plans: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscape provided or required (a copy of the deed restrictions, etc.). Provide note on the working drawings.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide the necessary design documents and plans as established for the "Scenic District".
5. Provide the necessary design documents and plans as established for the "Hillside District".
6. Provide a schedule indicating the timing on installation of all improvements required by planning.
7. Provide a contour map of the existing topography.
8. Provide a site plan with the following information:
  - a. Zoning of property.
  - b. Vicinity map.
  - c. Property lines and dimensions, street names, centerline of street.
  - d. Setback of structures - front, side, rear.
  - e. Parking lot dimensions - stall width and length, driveway width, parking angle.
  - f. Location and details of refuse enclosure.
  - g. Parking calculations required/provided.
  - h. Location of handicap parking spaces (18'0" x 12'0").



PLANNING PLAN SUBMITTAL REQUIREMENTS cont'd.

9. Provide building elevations with the following information:
  - a. Height of building above natural grade prior to construction.
  - b. Colors of all exterior materials (matching those approved at Development Review Board).
10. Provide catalog cut sheets of all on-site lighting fixtures.

PLANNING ORDINANCE REQUIREMENTS

SCREENING:

1. The height of the parapet or other screening device shall be minimum 1 foot higher than the height of the air conditioning unit or other mechanical appurtenances.
2. All equipment, utilities, appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.

CURBS:

1. Provide 6 inch vertical concrete curb between any driveways or parking areas and landscape areas.

BUILDING HEIGHT:

1. Shall be in accordance with Sec. 6.806 the Hillside Development area of the Zoning Ordinance.

LANDSCAPING:

1. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).
2. A native plant program shall be submitted to Project Review technical staff in compliance with Sec. 7.500 of the city Zoning Ordinance, 15 days prior to final plans submittal.

OTHER

1. Comply with conditions of Case No. 87-Z-85 (28-Z-89).

6/13/90

8/28/89

FIRE ORDINANCE REQUIREMENTSFOUR SEASONS CLUBHOUSE

- ☒ 1. THE DEVELOPER SHALL HAVE THE REQUIRED NUMBER OF FIRE HYDRANTS INSTALLED AND OPERABLE PRIOR TO THE FOOTING INSPECTION. REFLECTIVE FIRE HYDRANT STREET MARKERS SHALL BE INSTALLED WITH PAVEMENT.
- ☒ 2. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH THE FOLLOWING N.F.P.A. CRITERIA AND CITY ORDINANCE. PER CODE, SPRINKLER SYSTEMS WITH 100 OR MORE HEADS ARE REQUIRED TO HAVE OFF-SITE CONSTANT SUPERVISION.
  - ☒ A. N.F.P.A. 13 COMMERCIAL SYSTEM.
  - ☐ B. MODIFIED LIGHT HAZARD COMMERCIAL SYSTEM WITH FAST RESPONSE SPRINKLER HEADS.
  - ☐ C. MODIFIED 13-D SPRINKLER SYSTEM WITH FAST RESPONSE SPRINKLER HEADS.
- ☒ 3. STANDPIPE SYSTEM SHALL BE INSTALLED TO COMPLY WITH N.F.P.A. 14 AND CITY ORDINANCE.
- ☒ 4. SPRINKLER SYSTEM AND STANDPIPE SYSTEM SHALL BE PRESSURE TESTED, FLUSHED AND A LETTER SENT TO THE FIRE DEPARTMENT CONFIRMING THE COMPLIANCE WITH N.F.P.A. 13 AND NFPA 14.
- ☒ 5. FIRE LANES AND EMERGENCY ACCESS SHALL BE INSTALLED AND MARKED IN COMPLIANCE WITH CITY ORDINANCE AND U.F.C. AT THE FOLLOWING LOCATIONS: as designated by D.P. Board site plan
- ☒ 6. THREADS ON SPRINKLER CONNECTIONS AND STANDPIPE CONNECTIONS MUST BE NATIONAL STANDARD THREAD.
- ☒ 7. SIAMESE CONNECTIONS FOR SPRINKLERS OR STANDPIPES WILL BE LOCATED AT AN APPROVED DISTANCE FROM A FIRE HYDRANT LOCATED AT CURB LINE.
- ☒ 8. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ☒ 9. EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH THE CITY ORDINANCE AND U.F.C. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ☒ 10. PROVIDE AN ALL WEATHER ACCESS ROAD (MINIMUM 20 FEET WIDE) TO ALL BUILDINGS AND HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 11. THE FOLLOWING NUMBER OF FIRE HYDRANTS ARE REQUIRED 1 NEW. ARCHITECT/CIVIL ENGINEER TO PROVIDE COPY(S) OF CURRENT CITY APPROVED CIVIL WATER PLANS TO FIRE SPRINKLER SUB-CONTRACTOR(S) (FOR LOCATING NEW AND/OR EXISTING HYDRANTS, WATER MAIN SUPPLY, BUILDING SITE ORIENTATION, ETC.).

6/13/908/28/89FIRE ORDINANCE REQUIREMENTS

12. PREMISES IDENTIFICATION MUST BE LEDGIBLE FROM THE STREET OR DRIVEWAY.
13. PROVIDE A FIRE ALARM SYSTEM CONSISTING OF AUDIO-VISUAL DEVICES, ACTIVATED BY THE SPRINKLER SYSTEM'S FLOW SWITCHES, ZONED THROUGH A FIRE ALARM PANEL, AND TRANSMITTED OFF SITE TO A 24 HOUR MONITORING FACILITY.
14. SUBMIT PLANS AND SPECIFICATION BOOKLETS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM(S) FOR ALL COOKING APPLIANCES, HOOD PLENUMS AND EXHAUST DUCTS TO THE FIRE PROTECTION ENGINEER.
15. SUBMIT M.S.D.S SHEETS AND AGGREGATE QUANTITIES FOR ALL HAZARDOUS MATERIALS, INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. FOR ANALYSIS, STORAGE SEPARATION AND 704 EMERGENCY PLACARDING. *Submit GMP & HMB in accordance with Chapter 9-UBC & Art. 20-UBC*
16. OTHER: *Submit plans and specifications for cast battery - 12 volt charging cross - bonded / gaseous, hydrogen, detection system interconnected with adequate pipe exhaust fans for cross flow air ventilation.*  
*All electrical equipment and wiring to comply with Article 500 of NEC for hazardous locations.*
17. *Maintain minimum 13'-6" vertical clearance for emergency vehicle access at port location.*
18. *Install Knox box at main entry to Club house, on roadway gates install Medical electric sign, Knox keyway for fire department emergency access.*

FINAL PLANS REQUIREMENTS

NOTICE:

PLEASE .....

1. DOUBLE CHECK TO MAKE SURE EACH ITEM LISTED HAS BEEN INCLUDED IN YOUR PLANS - INCOMPLETE SUBMITTALS CANNOT BE ACCEPTED!!!
2. INCLUDE SHOPPING LIST AND FEE SCHEDULE WHEN YOU FIRST SUBMIT YOUR FINAL PLANS.
3. THE "FIVE-DAY PLAN REVIEW" BEGINS ON THE DAY AFTER PLANS ARE SUBMITTED.
4. ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

ALL PLANS MUST CONTAIN THE FOLLOWING:

1. Lettering, numbers, and drawings must be LARGE enough and CLEAR to allow microfilming.
2. Plans shall be submitted on the following paper sizes:
  - \* Architectural Plans: 30" x 42"
  - \* Landscaping Plans: 24" x 36" mylars for signature
  - \* 30" x 42" acceptable for preliminary reviews
  - \* Civil Plans: 24" x 36"
3. Stamp of Registered Professional Architect or Engineer of the State of Arizona.
4. Book, map and parcel number must be included.
5. Site address needs to be printed on all final plans (see enclosed letter regarding addressing).
6. DR number in 1/2 inch letters must be included on each sheet.

CIVIL PLANS AND BUILDING/STRUCTURAL PLANS ARE TO BE SUBMITTED AT THE SAME TIME IN SEPARATE PACKAGES.

SHOPPING LIST FOR COMMERCIAL AND MULTI-FAMILY DEVELOPMENTS

BUILDING/STRUCTURAL ITEMS:

- ☒ Building Permits may be issued at the One-Stop Shop counter.
- ☒ One (1) each of the following:
- ☒ Four (4) sets of each of the following:
  - a. Site Plan
  - b. Elevations
  - c. Floor Plans
  - d. Foundation Plans
  - e. Building Sections
  - f. Wall Sections
  - g. Architectural Details
  - h. Schedules
  - i. Mechanical Plans and Details
  - j. Structural Plans and Details
  - k. Electrical Plans and Details
  - l. Fire Sprinkler Plan
- ☒ 2. Four (4) additional architectural site plans.
- ☒ 3. One (1) copy of the Architect's Statement of Responsibility (form attached).
- ☒ 4. Two (2) copies of structural calculations.
- ☒ 5. One (1) copy of the soils/geology report for building.
- ☒ 6. Cut sheets and specifications for outdoor lighting fixtures.

ENGINEERING (CIVIL ITEMS - BASIC MINIMUM REQUIREMENTS:

The following items are the BASIC MINIMUM requirements NECESSARY to begin Final Plan Review:

- ☒ 1. "DR" (Development Review), "UP" (Use Permit), "Z" (Zoning), or "PP" (Preliminary Plat) number must appear on plans. IF THE PLANS ARE FOR A SUBDIVISION, A COPY OF THE APPROVED PRELIMINARY PLAT MUST BE SUBMITTED WITH THE PLANS.
- ☒ 2. Grading and Drainage Plan
- ☒ 3. Water Plans
- ☒ 4. Sewer Plans
- ☒ 5. Paving Plans
- ☒ 6. Landscape Plans
- ☒ 7. Results of Survey

SHOPPING LIST FOR COMMERCIAL AND MULTI-FAMILY DEVELOPMENT cont'd.

ADDITIONAL REQUIREMENTS:

ONE (1) copy of the following ADDITIONAL items are required when applicable:

- ☒ 1. Hydrology/Hydraulics Report
- ☒ 2. Striping and Signage Plan
- ☐ 3. Traffic Signal Plans
- ☐ 4. Work Zone/Barricading Plans
- ☐ 5. Haul Route Plans
- ☒ 6. Soils Report for Paving Design
- ☒ 7. Bridge Plans (TWO COPIES, for drainage crossings 20' or wider)
- ☒ 8. Native plant Inventory Lists
- ☒ 9. Title Report (not more than 120 days old)
- ☐ 10. Declaration of Covenants, Conditions and Restrictions

GENERAL NOTE:

Sometimes, applicants will claim that through some "agreement" with a staff member, some requirement(s) have been waived. In these cases, the plans may be accepted ONLY WHEN written verification of the "agreement" is submitted as a substitute.

IMPORTANT NOTICE: BOOK, MAP AND PARCEL NUMBER MUST BE INCLUDED.

SITE ADDRESS NEEDS TO BE PRINTED ON ALL FINAL PLANS (SEE ENCLOSED LETTER REGARDING ADDRESSING).

FEE AND DEDICATION REQUIREMENTS

ENGINEERING FEES SCHEDULE:

	<u>REQUIRED AMOUNT</u>	<u>AMOUNT PAID</u>	<u>DATE PAID</u>
<b>PLAN REVIEW FEES:</b>			
<input checked="" type="checkbox"/> Paving	\$170.00	_____	_____
<input checked="" type="checkbox"/> Water	\$100.00	_____	_____
<input checked="" type="checkbox"/> Sewer	\$100.00	_____	_____
<input checked="" type="checkbox"/> Grading/Landscape	\$135.00	_____	_____
<input checked="" type="checkbox"/> Drainage Report	\$170.00	_____	_____
<input type="checkbox"/> Traffic Signal	\$100.00	_____	_____
<input checked="" type="checkbox"/> Building	_____	_____	_____
 <input type="checkbox"/> <b>STREET SIGNS FEE:</b>			
Number of poles (____) x \$77.00 = _____		_____	_____
 <input type="checkbox"/> <b>FINAL PLAT FEES:</b>			
Base Plan Review	\$505.00	_____	_____
PLUS: \$79.00 per lot	_____	_____	_____
 <input checked="" type="checkbox"/> <b>MONTHLY FIRE HYDRANT MAINTENANCE FEE:</b>			
\$4.00 per fire hydrant - ONE	\$4.00	_____	_____
 <input type="checkbox"/> <b>BUILDING PERMIT FEES:</b>			
 <b>FEES TO BE PAID PRIOR TO ISSUANCE OF BUILDING PERMITS:</b>			
<input type="checkbox"/> Refuse Container	_____	_____	_____
<input type="checkbox"/> Sewer Development	_____	_____	_____
<input type="checkbox"/> Water Meter	_____	_____	_____
<input type="checkbox"/> Water Resource	_____	_____	_____
<input type="checkbox"/> Water Development	_____	_____	_____
 <input type="checkbox"/> <b>PAYMENT FOR IMPROVEMENTS IN LIEU OF CONSTRUCTION:</b>			

<u>LOCATION</u>	<u>IMPROVEMENTS REQUIRED</u>	<u>* ESTIMATED COSTS</u>	<u>DATE PAID</u>	<u>AMOUNT PAID</u>
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

\* NOTE: Estimated cost is determined by cost estimates which have been prepared and submitted by the applicant, and approved by FINAL PLAN REVIEW staff.

FEE AND DEDICATION REQUIREMENTS cont'd.☒ RIGHT-OF-WAY & EASEMENT DEDICATIONS:

<u>STREET NAME</u>	<u>REQUIRED RIGHT-OF-WAY</u>	<u>REQUIRED EASEMENTS</u>	<u>DATE DEDICATED</u>
Dynamite Blvd.		25' Equestrian	
Dynamite Blvd		50' Average	
		40' Min. Scenic	

☐ OTHER DEDICATIONS: \_\_\_\_\_☐ STREET LIGHTS:☐ ENCROACHMENT PERMIT FEES:

	<u>REQUIRED AMOUNT</u>	<u>AMOUNT PAID</u>	<u>DATE PAID</u>
<input type="checkbox"/> Sewer			
<input type="checkbox"/> Drainage			
<input type="checkbox"/> Water			
<input type="checkbox"/> Concrete			
<input type="checkbox"/> Paving			
<input type="checkbox"/> Landscaping			
<input type="checkbox"/> Miscellaneous			





### STATEMENT OF RESPONSIBILITY

I, Architect do hereby attest that the plans

being submitted for building permits for \_\_\_\_\_  
Project Name

conform to the site plan and elevations approved by the City of Scottsdale

Development Review Board. I am aware that building permits and/or the

Certificate of Occupancy will be withheld if variations in the approved plans occur.

Signature

Date