



ENLARGED CONCEPTUAL WEST ELEVATION

NOTES:

1. All Exterior Utilities and Equipment to be painted DE5367 "Deserted Path"
2. Mechanical Units will be screened by a stucco screen wall
3. Patch stucco to match existing texture and paint DE5367 "Deserted Path"

**CLEAR ANODIZED
METAL FRAME W/SPANDREL GLASS
STOREFRONT**

4. Remove vigas from 2nd story parapet and patch stucco to match existing texture. Stucco over wood lintels, paint to match adjacent wall. PAint window frame DE 6350 "Dark Engine."

project #: 28006

SCALE: NTS

CONCEPTUAL DESIGN

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project #: 28006
11 AUGUST 2008

**ELLERMANN,
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ARCHITECTURE PLANNING
1000 E. BROADWAY SUITE 200 PHOENIX, AZ 85004
TEL 602 258 0000 FAX 602 258 0001

41-DR-2008
2nd: 8/13/2008

4235 N. MARSHALL WAY
Scottsdale, Arizona

OWNER

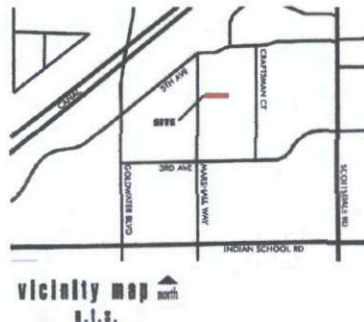
GIDDYUP PROPERTIES, LLC

P.O. BOX 2055
EUGENE, OREGON 97402
TEL. 503.784.1805
FAX. 503.222.5916
CONTACT: PHILLIP MARVIN
ERIC MARVIN

ARCHITECT

ELLERMANN, SCHICK & BRUNO

1555 E. ORANGEWOOD AVE.
PHOENIX, AZ 85020
TEL. 602.266.6202
FAX. 602.265.6212
CONTACT: LARRY ELLERMANN
TANYA SANCHEZ



vicinity map
N.T.S.

SITE PLAN WORKSHEET

PROJECT DATA:

Zoning: D/RS-1

Net Lot Area: 4,504 SF

Building Height: 28'

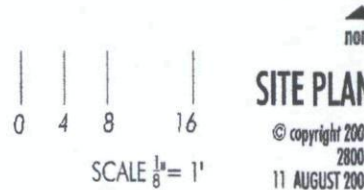
Open Space Calculations Not Required

Parking Lot & Landscaping Not Required

LEGAL DESCRIPTION

PARCEL NO.1

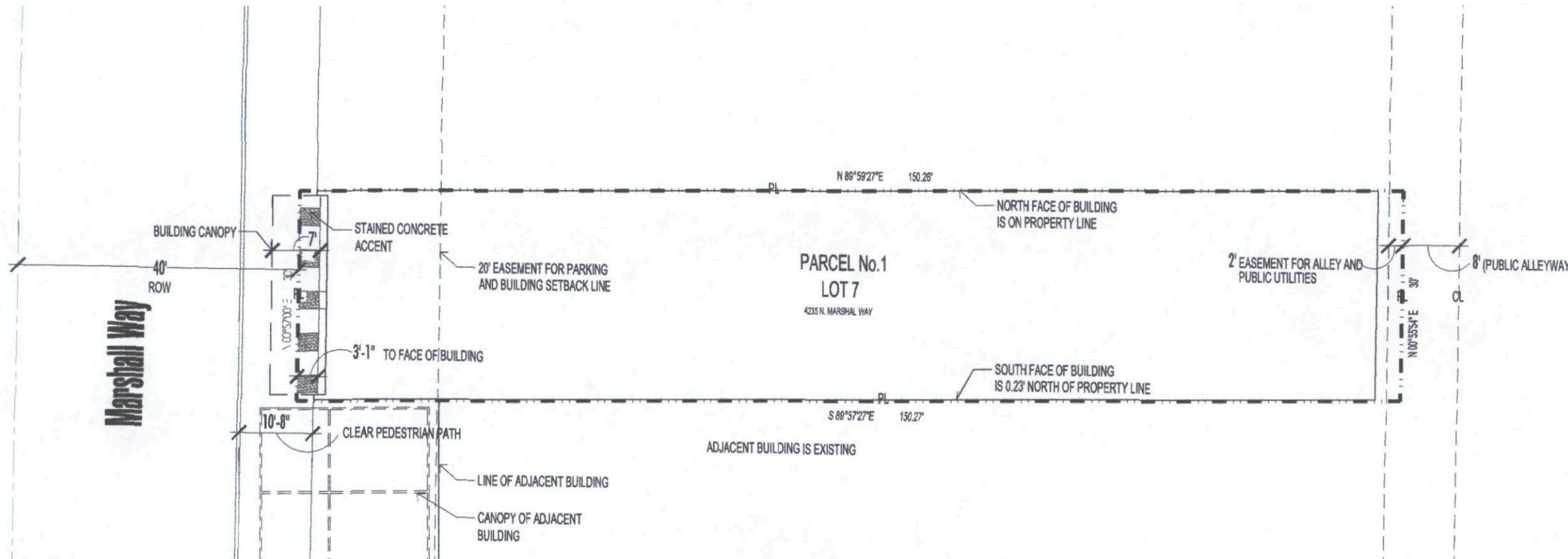
Lot 7, HURLEY TRACT, according to Book 62 of Maps,
page 35, records of Maricopa County, Arizona.



SITE PLAN

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280006
11 AUGUST 2008

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SITE PLAN

SCALE 1/8" = 1'

NOTES

1. Development and use of this site will conform with all applicable codes and ordinances
2. All new and or relocated utilities will be placed underground

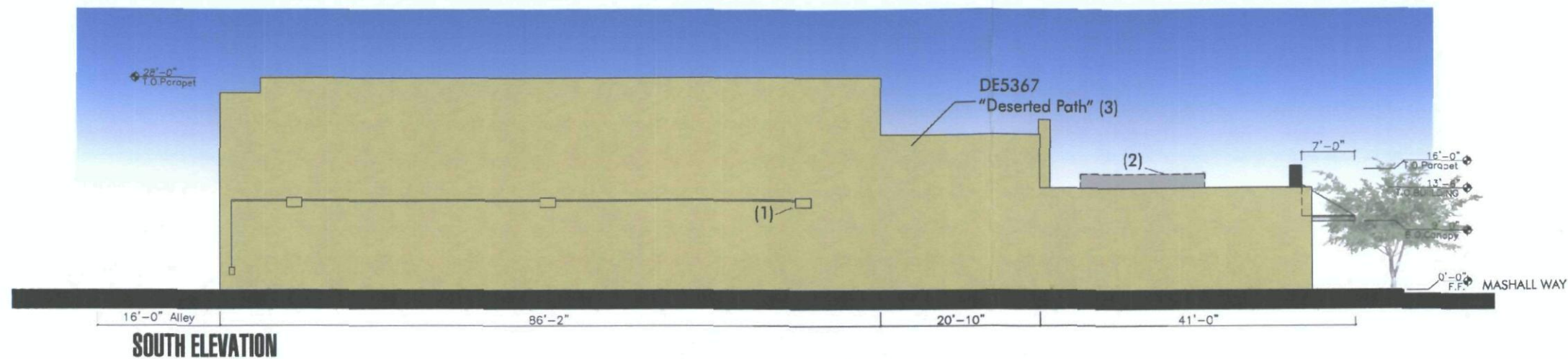
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4235 N. MARSHALL WAY

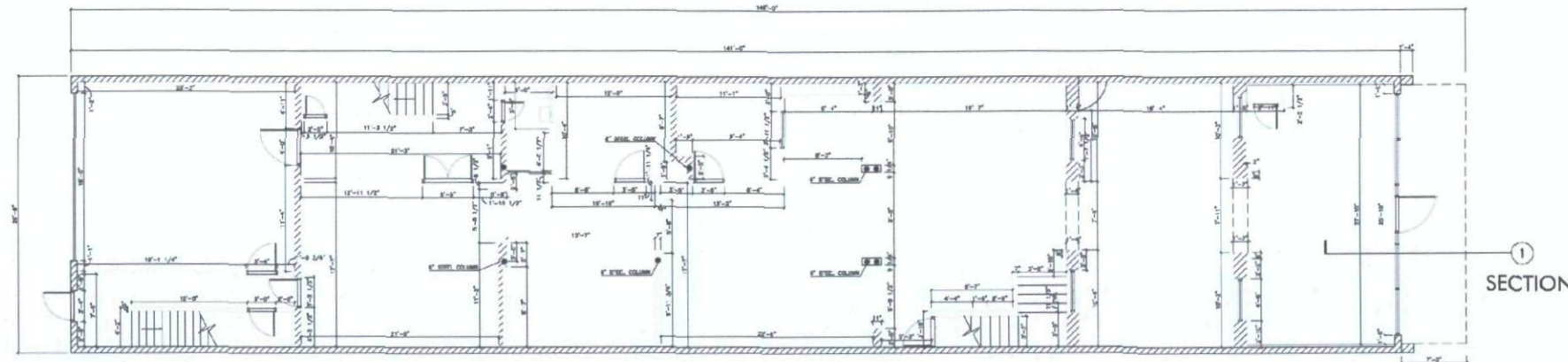
SCOTTSDALE, ARIZONA

NOTES:

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2. Mechanical units will be screened by a stucco screen wall
3. Patch stucco to match existing texture and paint DE5367 "Deserted Path"
4. Remove vigas from 2nd story parapet and patch stucco to match existing texture. Stucco over wood lintels, paint to match adjacent wall. Paint window frame DE 6350 "Dark Engine".



SOUTH ELEVATION



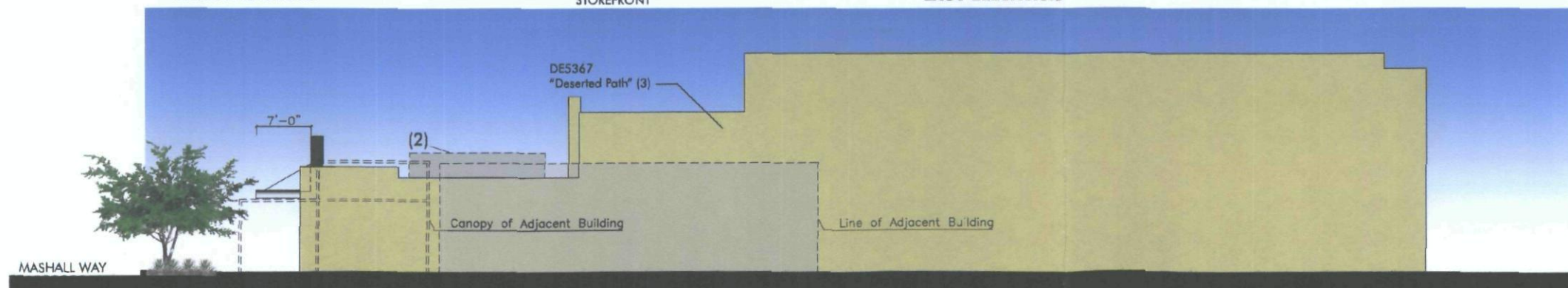
FLOOR PLAN



WEST ELEVATION

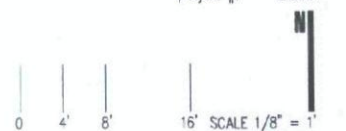


EAST ELEVATION



NORTH ELEVATION

project #: 28006



CONCEPTUAL DESIGN

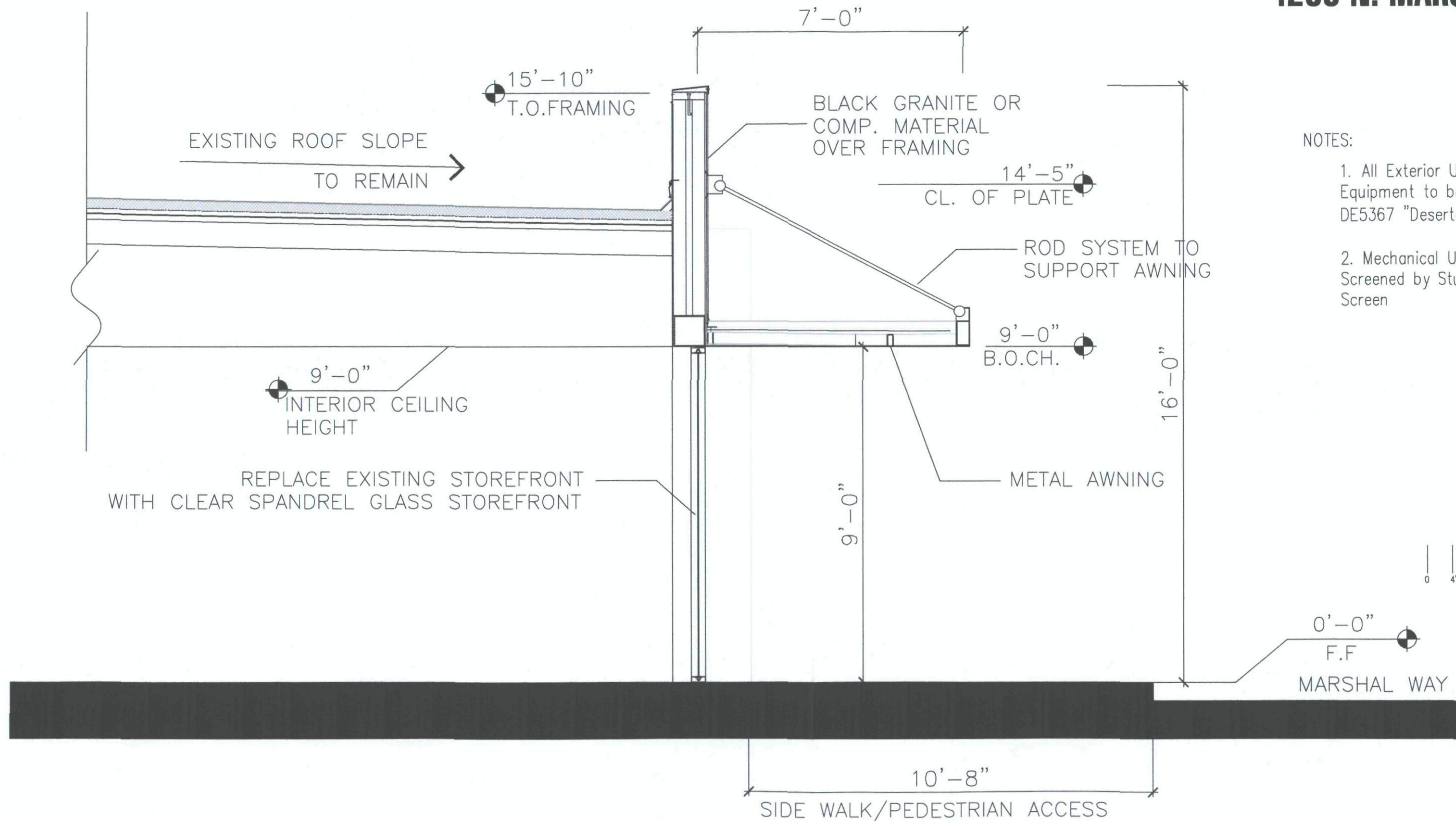
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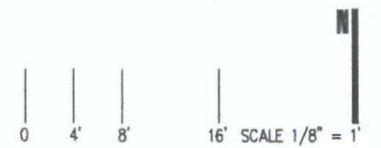
4235 N. MARSHALL WAY

SCOTTSDALE, ARIZONA



NOTES:

1. All Exterior Utilities and Equipment to be painted DE5367 "Deserted Path"
2. Mechanical Units will be Screened by Stucco Finished Screen



PROPOSED SECTION

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