

SILVERSTONE

A T P I N N A C L E P E A K

Community Sign District/Master Sign Program - September 15, 2008

4634 N. 44th Street
Phoenix, AZ 85018
602.224.5100 (P)
602.224.5102 (F)
art-is-all@jrcdesign.com



JRC DESIGN

ENVIRONMENTAL GRAPHICS
CORPORATE COMMUNICATIONS

2-MP-2006#3
2nd: 9/17/2008

Introduction

Silverstone at Pinnacle Peak is a mixed use 160 acre project, PCD, located on the southeast corner of Scottsdale Road and Pinnacle Peak Road. It is bordered to the east by Miller Road, and to the south by Williams Drive. Commercial projects are to both the north and south and to the east is both commercial and undeveloped space. To the west is City of Phoenix open land. The Scottsdale Road frontage is in the Scenic Corridor, but not in the ESLO district.

This package is a request for consideration of approval for a Community Sign District and a comprehensive Master Sign Program (MSP) for Silverstone at Pinnacle Peak.

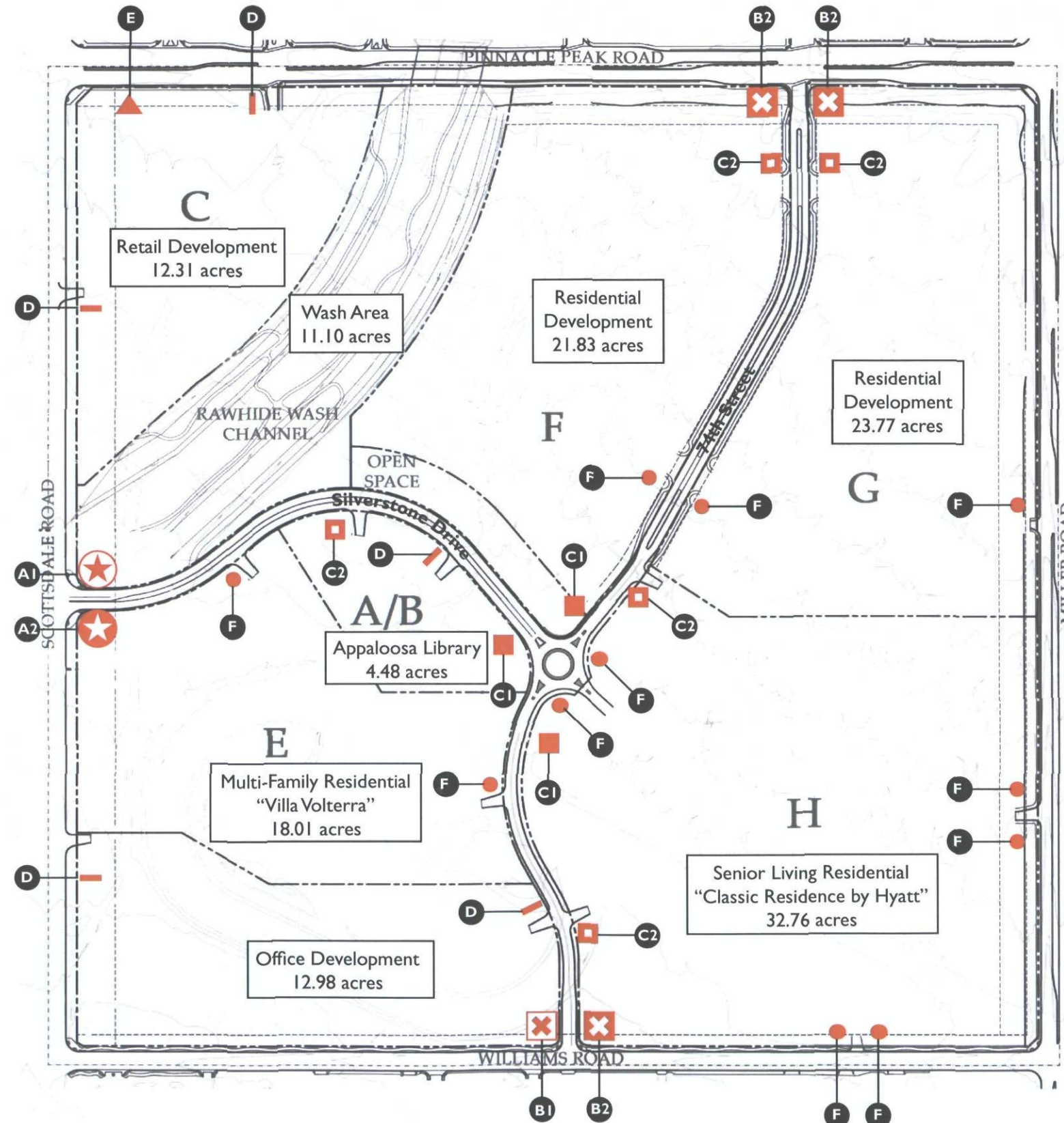
The project includes Primary Project Monuments that define the major entry locations; and standards and design guidelines for freestanding and wall mounted tenant identification; building identification and directional signs.

As each parcel is developed, a sign package specific to that site will be submitted for approval by both the Silverstone at Pinnacle Peak Design Review Board (SPPDRB) and the city of Scottsdale. The packages will be unique for each parcel, while maintaining consistency with the overall Silverstone theme.

Signs are shown at their approximate locations within each parcel. As the parcels are developed, additional entry points may be needed, requiring additional signs. Those signs will be included in each parcel's individual submittal.

As a Community Sign District, some signs are being requested to have up to an additional 20% in dimension and area.

Colors and Materials



NOTE: Final sign locations to be delineated at permitting.

Context Aerial Site



SIGN HIERARCHY

- A** - Primary Entry ID
- A2** - Primary Entry ID w/Off-Site Directional
- B** - Secondary Entry ID
- B2** - Secondary Entry ID w/Off-Site Directional
- C1** - Primary Vehicular Directional
- C2** - Secondary Vehicular Directional
- D** - Proposed Retail/Commercial/Office Monument
- E** - Proposed Retail Tower Sign
- F** - Proposed Residential Monument (Master Planned Community Entries)
- G** - Driveway Designation Marker (not shown -locations TBD)

Freestanding Signage Matrix

Sign Type	Function	Responsible Party	Location	Quantity	Max Height	Illumination	Materials
Sign Type A1 Silverstone primary Master Development Entry Sign (Sec. 8.541.1)	Overall project identification at primary project entry.	Master Developer	At North side of primary entry on Scottsdale Road and Silverstone Drive	One (1)	6'-0"	Halo/External	CMU wall and columns; stucco; aluminum reverse pan channel/flat cut-out letters; applied stone veneer.
Sign Type A2 Silverstone primary Master Development Entry Sign (Sec. 8.541.1)			At South side of primary entry on Scottsdale Road and Silverstone Drive	One (1)			
Sign Type A2 (cont) Development Ground Sign (Sec. 8.504.1.B)				One (1)	3'-6"		
Sign Type B1 Silverstone secondary Master Development Entry Sign (Sec. 8.541.1)	Overall project identification at perimeters and secondary project entries.	Master Developer/Project Specific Developer	At South side of primary entry on Scottsdale Road and Silverstone Drive	One (1)	6'-6"		CMU wall, base and column; stucco; aluminum reverse pan channel/flat cut-out letters; applied stone veneer.
Sign Type B2 Silverstone secondary Master Development Entry Sign (Sec. 8.541.1)	Identification of project within Silverstone.		At South side of primary entry on Scottsdale Road and Silverstone Drive	Three (3)			
Sign Type B2 (cont) Development Ground Sign (Sec. 8.504.1.B)	Project identification at perimeters and secondary project entries.			Three (3)	3'-6"		
Sign Type C1 Vehicular Directory Sign (Sec. 8.503.1.D)	To guide vehicular traffic to specific destinations within the site.	Master Developer	Along the major roadways through the site, near the round-a-bout intersection.	Four (4)	7'-0"	External/None	CMU base with applied stone veneer; painted aluminum structure with applied vinyl graphics
Sign Type C2 Vehicular Directory Monument Sign (Sec. 8.501.C.2)	To guide vehicular traffic to specialized or rear entrances of a specific project within the site.	Project Specific Developer	Along the major roadways through the site, near specialized/rear entrances to projects.	Four (4)	5'-0"		Materials may vary as they can be pulled from the specific projects architectural palette.
Sign Type D Retail/Commercial/Office Mid-Size Monument Sign (Sec. 8.532.II.E + 20%)	To identify commercial/office projects within the site, and also identify their tenants.	Project Specific Developer	Along the major roadways along the perimeter and through the site, near entrances to individual projects.	Five (5)	9'-0"	Internal/Halo/External	
Sign Type E Retail Tower Sign (Sec. 8.532.II.D + 20%)	To identify retail project within the site, and also identify tenants	Project Specific Developer	Near the corner of Scottsdale and Pinnacle Peak Roads	One (1)	20'-0"		
Sign Type F Residential Monument Identification Sign (Sec. 8.501.C.2 + 20%)	To identify residential projects within the site.	Project Specific Developer	Along the major roadways along the perimeter and through the site, near entrances to individual projects.	Eleven (11)	6'-0"	External	
Sign Type G Driveway Designation Marker	To identify specific uses for designated driveways such as deliveries and employee parking.	Project Specific Developer	Along roadways interior to the site.	TBD	3'-0"	None	

Wall Mounted Signage Matrix

Sign Type	Function	Location	Quantity	Max Height	Sign Area	Materials / Illumination
Office Development Wall Signage	Identify building tenants	In designated sign bands on the building, dependent on the architectural allowance.	One (1) per tenant	36" maximum letter height	1.2 s.f. for each lineal foot of building frontage	Reverse pan channel, flat cut-out letters and custom cabinets. Neon or LED halo illumination.
Retail Development Wall Signage Anchor Tenant	Identify Anchor tenant within the development	In designated sign bands on the building, dependent on the architectural allowance.	One (1)	60" maximum letter height	1.5 s.f. for each lineal foot of building frontage	Reverse pan channel, flat cut-out letters and custom cabinets. Neon or LED halo illumination.
Retail Development Wall Signage In-Line Tenant	Identify tenant within the development	In designated sign bands on the building, dependent on the architectural allowance.	One (1)	36" maximum letter height	1.5 s.f. for each lineal foot of building frontage	Reverse pan channel, flat cut-out letters and custom cabinets. Neon or LED halo illumination.
Retail Development Wall Signage Pad Tenant	Identify tenant within the development	In designated sign bands on the building, dependent on the architectural allowance.	One (1) per elevation	36" maximum letter height	1.2 s.f. for each lineal foot of building frontage	Reverse pan channel, flat cut-out letters and custom cabinets. Neon or LED halo illumination.

Sign Type A1/A2 - Primary Master Development Entryway Signage

The Primary Entry Signage is designed to be clean and efficient, but also tasteful and stylish. They embrace the natural beauty of the site and surrounding areas, and integrate with the man-made aspects that will be developed in the future.

This sign will be located at the main entrance to the project, on Scottsdale Road and Silverstone Drive. It is diagonal to the road and will be placed on both sides of the entry.

It is combined with an additional Off-Premise Directional Ground Sign for the identification of a significant project within the site.

Because of its placement within the Scenic Corridor, this sign is designed to meet the standards to which that designation applies, with an added 20% in height and length due to its being within a Community Sign District.

Overall (length x height): 21'-4"x6'-0"
Logo Area (square footage): 31 SF

Materials: ID wall is masonry with applied stucco (painted to match Frazee 8356N). Identification is a horizontal brushed finish aluminum pan channel letters with 3" returns, with halo and/or indirect illumination. Large side column elements are masonry with applied stone veneer (Coronado Stone - Dakota Brown).

Illumination to be halo and/or ground up-lighting.

As this is a community sign district, sizes described are allowed under code section 8.541.I.

NOTE: THE MONUMENTS LOCATED AT THE MAIN ENTRANCE ON SCOTTSDALE ROAD WILL BE BUILT ONCE THE BRIDGE ACROSS RAWHIDE WASH CHANNEL IS BUILT. UNTIL THAT TIME, A TEMPORARY MONUMENT WILL BE LOCATED AT THAT SITE. PLEASE REFER TO TEMPORARY SIGNAGE SECTION FOR THAT INFORMATION.

Off-Premise Directional Ground Sign

This sign will inform and direct vehicular traffic to a property within Silverstone at Pinnacle Peak.

Overall (length x height): 4'-10"x3'-6"
Logo Area (square footage): 7.5 SF

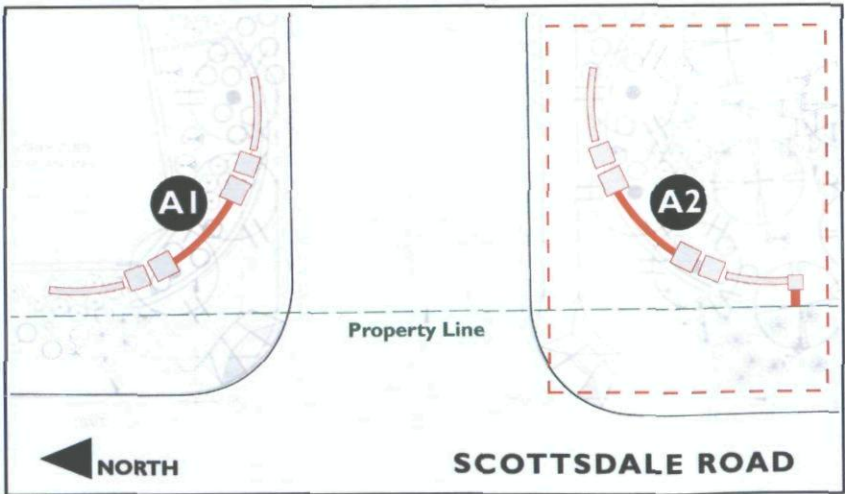
Materials: To match that as described above. Flat cut out 1/2" aluminum letters pin mounted to background.

Illumination to be ground up-lighting.

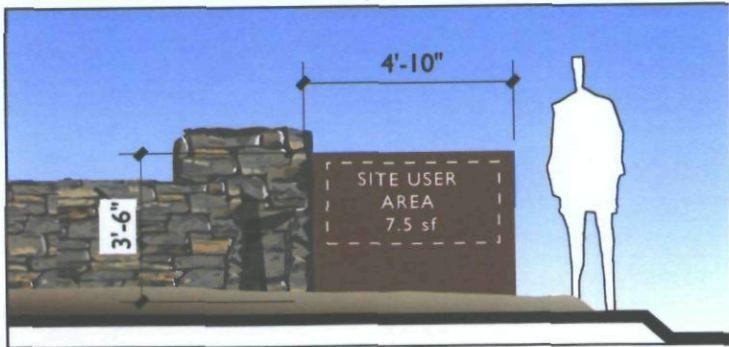
As this is a community sign district, sizes described are allowed under code section 8.504.I.B.



MAIN ID SECTION



LOCATION DETAIL



DEVELOPMENT GROUND SIGN (A2 only)

Sign Type B1/B2 - Secondary Master Development Entryway Signage

The Secondary Entry Signage is designed to be clean and efficient, but also tasteful and stylish. They embrace the natural beauty of the site and surrounding areas, and integrate with the man-made aspects that will be developed in the future.

This sign will be located at the secondary entrances to the project, on 74th Street at Pinnacle Peak and Williams Roads. It is parallel to the road and will be placed on both sides of the entry, with the option of an additional Development Ground Sign.

Overall (length x height): 19'-2"x6'-6"

Logo Area (square footage): 25 SF

Materials: ID wall is masonry with applied stucco (painted to match Frazee 8356N). Identification is a horizontal brushed finish aluminum pan channel letters with 2" returns, with halo and/or indirect illumination. Lower ID wall to be masonry with applied stucco (painted to match DE6144). Base and side column elements are to be masonry with applied stone veneer (Coronado Stone - Dakota Brown).

Illumination to be halo and/or ground up-lighting.

As this is a community sign district, sizes described are allowed under code section 8.541.I.

Development Ground Sign

This sign will inform vehicular traffic to a property within Silverstone at Pinnacle Peak.

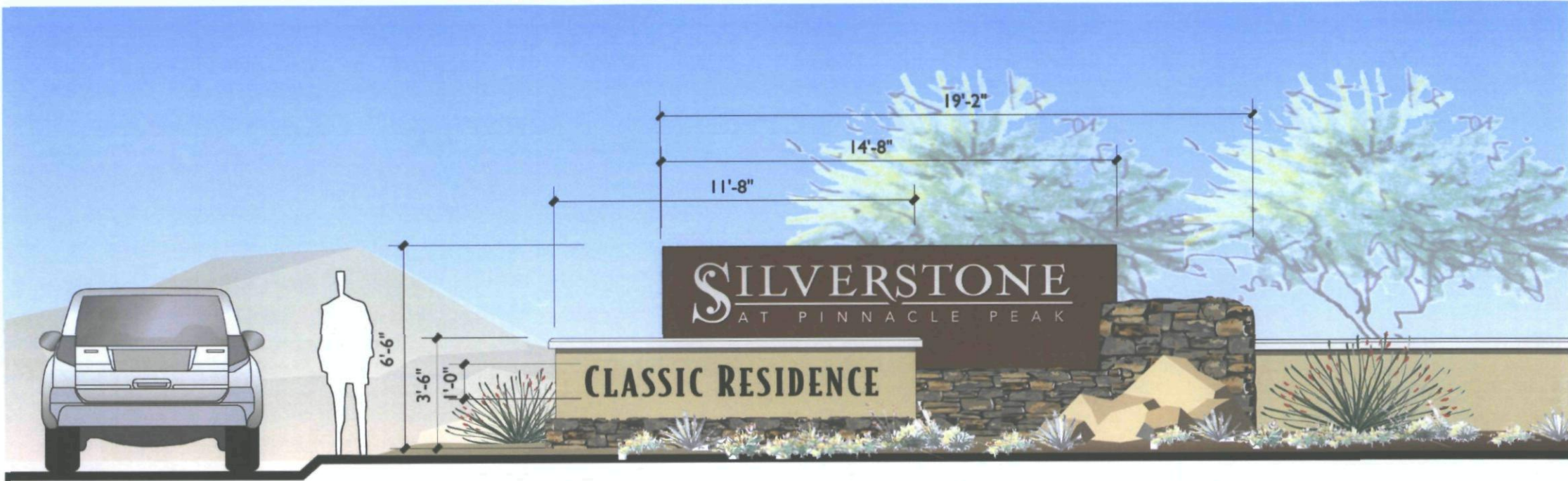
Overall (length x height): 11'-8"x3'-6"

Logo Area (square footage): 9.6 SF

Materials: Flat cut out 1/2" aluminum letters pin mounted to background. Base is masonry with applied stone veneer.

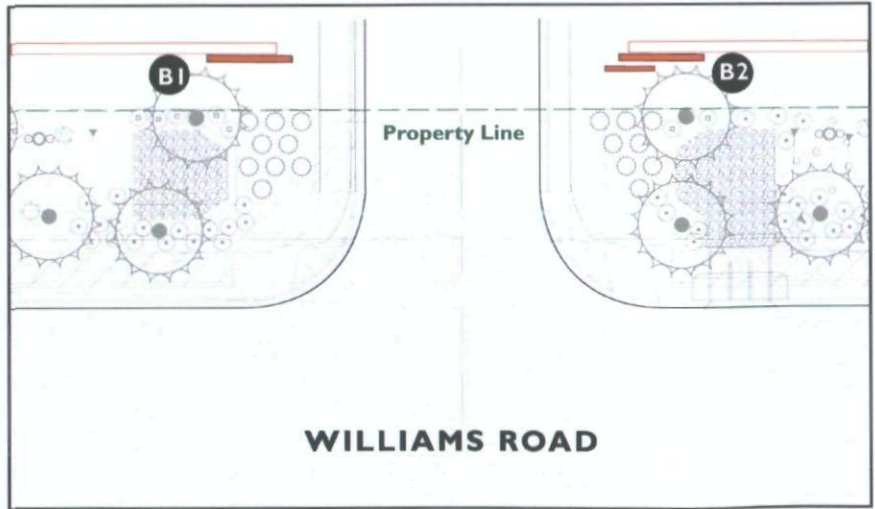
Illumination to be halo and/or ground up-lighting.

As this is a community sign district, sizes described are allowed under code section 8.504.I.B.



MAIN ID SECTION

Note: The name "Classic Residence" is used for example purposes only - final identification names to be determined at a later time.



LOCATION DETAIL - NTS

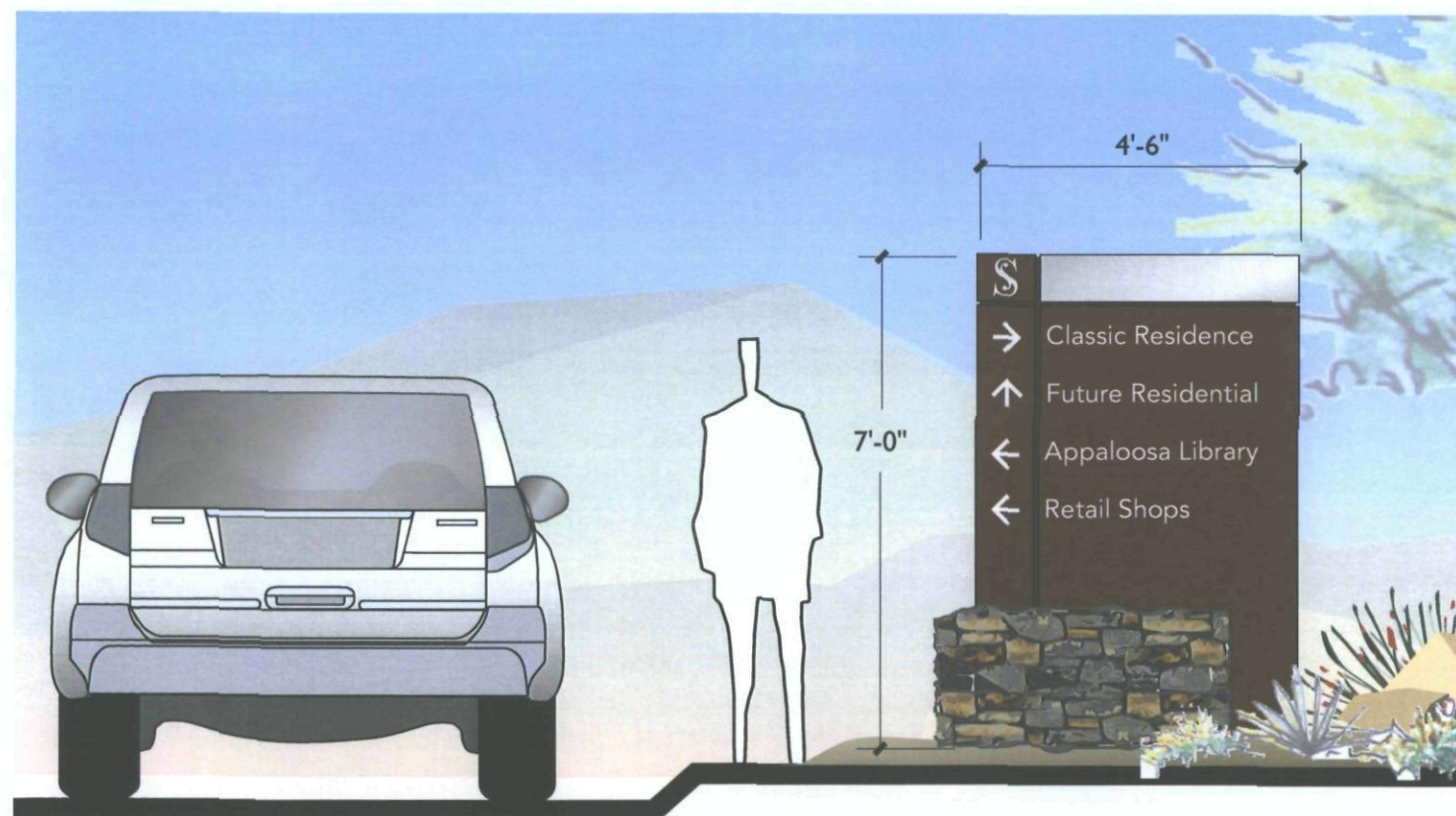
Sign Type C1 - Vehicular Directory

Primary vehicular directory signage will be placed along the interior roadways of the site, near the roundabout intersection. These signs will guide traffic to the various users that occupy the site.

Overall (length x height): 4'-5"x7'-0"

Materials: Painted aluminum structure (painted to match Frazee 8356N) with silver reflective vinyl copy. Logo element and upper panel to be horizontal brushed aluminum finish. Base to be masonry with applied stone veneer (Coronado Stone - Dakota Brown).

As this is a community sign district, sizes described are allowed under code section 8.503.I.D.



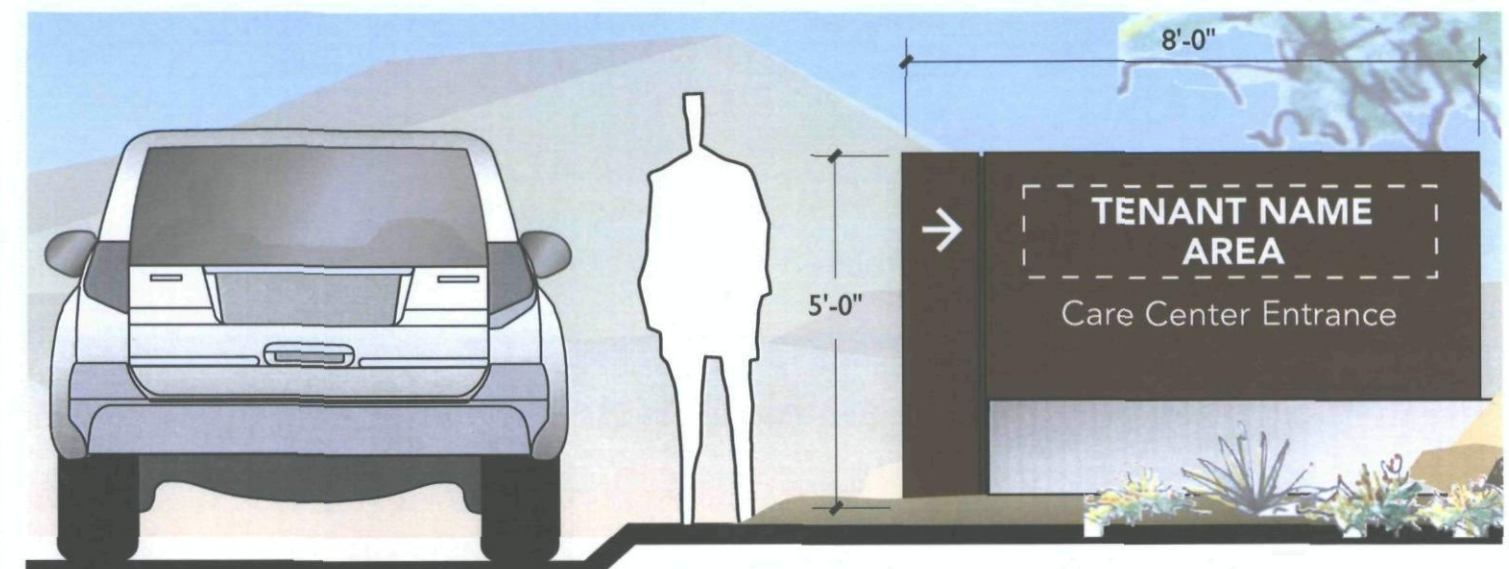
Sign Type C2 - Vehicular Directory Monument

Vehicular directory monument signs will be placed adjacent to specific project entry points (delivery entrances, care center entrances, etc) along the major roadways running through the site. These signs should either match the overall theme of the Silverstone signage, or match that of the project to which it is a part of.

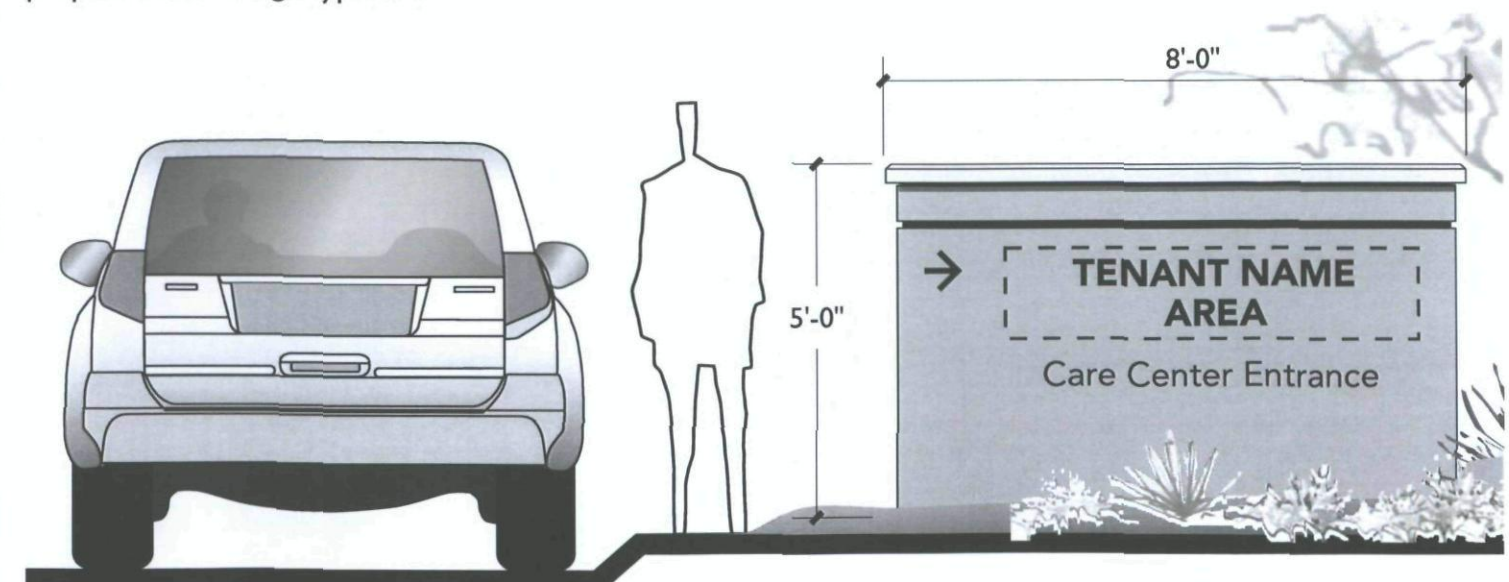
Overall (length x height): 8'-0"x5'-0"

Materials: Painted aluminum structure with flat cut-out copy. If designed to match a specific development, materials and finishes shall match those used on that development.

As this is a community sign district, sizes described are allowed under code section 8.501.C.2.



Note: This image is merely an example of the proposed size of Sign Type C2.



Note: This image is merely an example of the proposed size of Sign Type C2.

Sign Type D - Retail/Commercial/Office Mid-Size Monument Sign

Mid-size monuments will be used to identify both retail and office developments throughout the Silverstone project. These signs will identify the project itself, as well as up to three tenants.

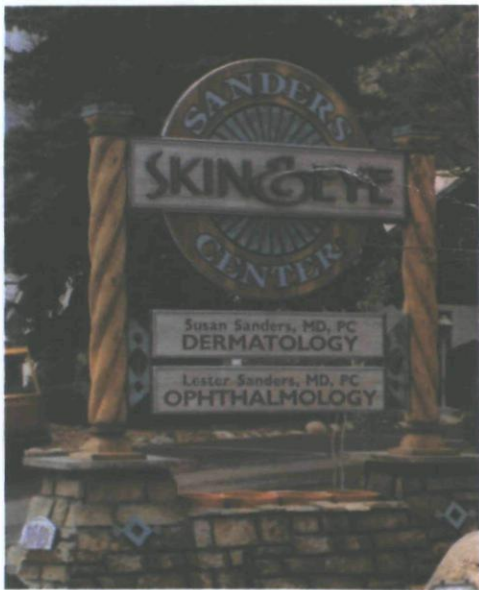
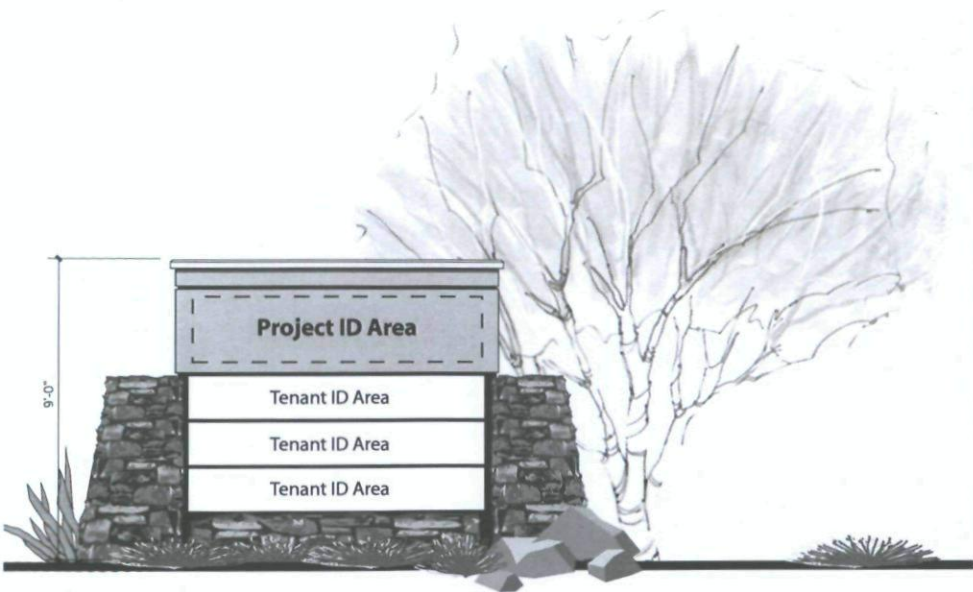
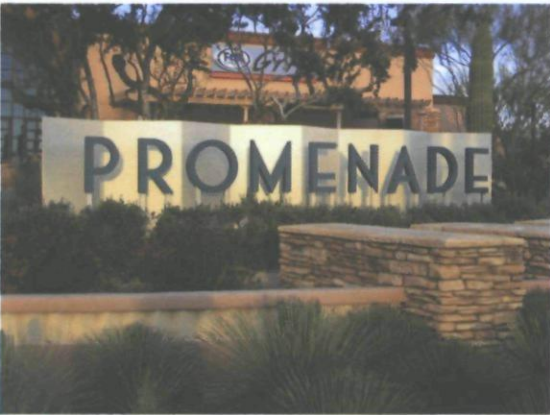
Materials used on these monuments shall be pulled from the architectural palette specific to the development which it identifies.

Also, materials that reflect the overall quality of Silverstone should be considered such as masonry, stone, and finished aluminum.

Max Height of: 9'-0";Area: 60 SF

As this is a community sign district, sizes described are allowed under code section 8.532.II.E, with the exercised option of 20% increase in height and area.

Note: These images are merely examples, and do not depict actual designs of Sign Type D.



Sign Type E - Retail Tower Signage

A tower sign shall be allowed for the retail development within the Silverstone Project. These signs will identify the project itself, as well as up to two major tenants.

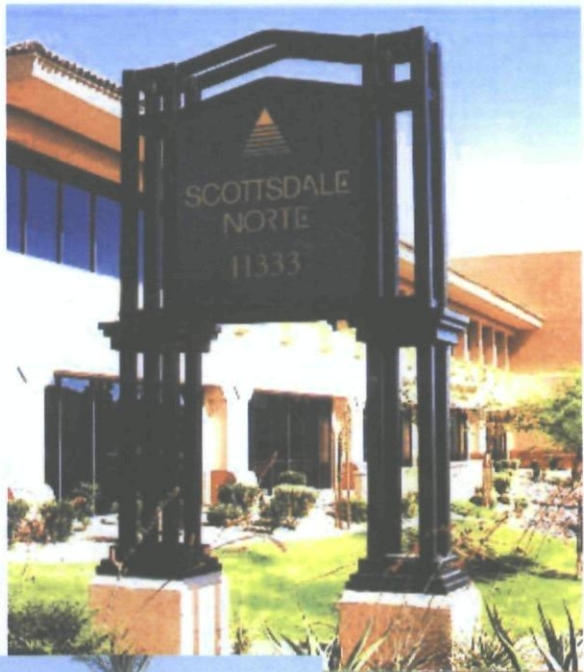
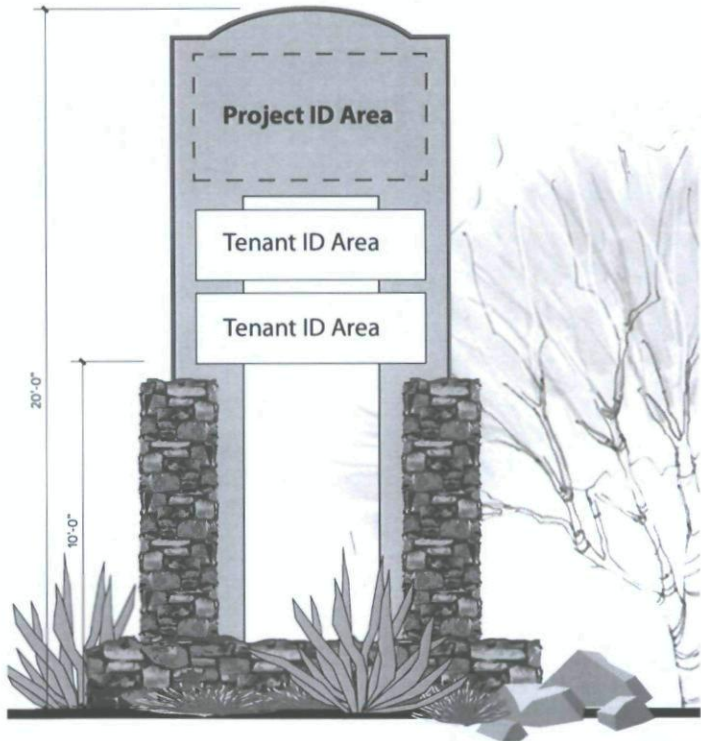
Materials used on this monument shall be pulled from the architectural palette used for the retail development.

Also, materials that reflect the overall quality of Silverstone should be considered such as masonry, stone, and finished aluminum.

Max Height of: 20'-0";Area: 60 SF

As this is a community sign district, sizes described are allowed under code section 8.532.II.D, with the exercised option of 20% increase in height and area.

Note: These images are merely examples, and do not depict actual designs of Sign Type E.



Sign Type F - Residential Monument Identification Sign

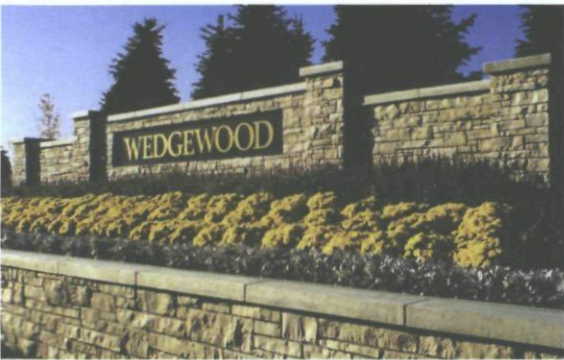
Monuments will be used to identify individual residential developments throughout the Silverstone site. These signs will identify the development only.

Materials used on these monuments shall be pulled from the architectural palette specific to the development which it identifies. Also, materials that reflect the overall quality of Silverstone should be considered such as masonry, stone, and finished aluminum.

Max Height of: 6'-0"; Area: 28 SF

As this is a community sign district, sizes described are allowed under code section 8.501.C.2, with the exercised option of 20% increase in height and area.

Note: These images are merely examples, and do not depict actual designs of Sign Type F.

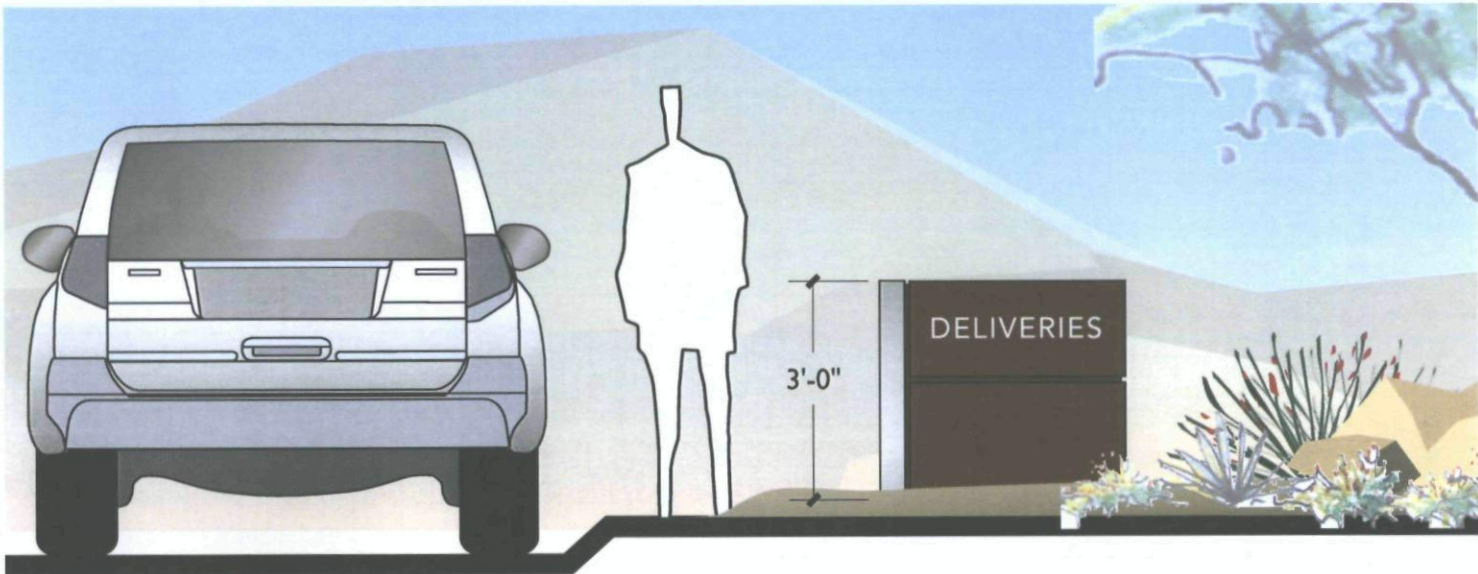


Sign Type G - Driveway Designation Marker

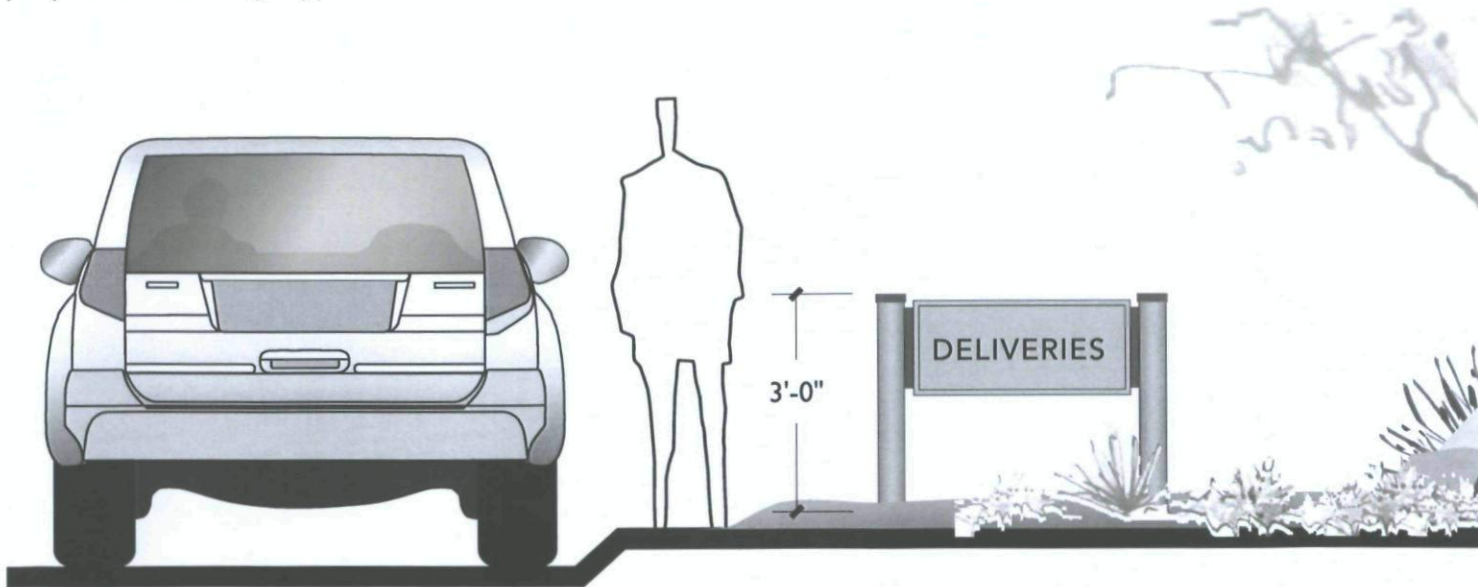
Markers may be placed at designated driveways for specific uses such as deliveries and employee parking. Low profile, there shall be only one marker sign per driveway. These signs should either match the overall theme of the Silverstone signage, or match that of the project to which it is a part of.

Max Height: 3'-0"
Max Square Footage: 4 sq.ft.

Materials: Painted aluminum structure with applied vinyl copy.



Note: This image is merely an example of the proposed size of Sign Type G.



Note: This image is merely an example of the proposed size of Sign Type G.

All Tenants shall have building mounted signs fabricated for halo or indirect illuminated, reverse pan-channel letters and logos, flat cut-out metal, and/or "custom" cabinets with halo illumination.

Construction

Individual letters and logos must be constructed with sheet aluminum returns and retainers. Minimum material thicknesses to be .090 for faces and .050 for letter and graphic returns. Flat cut out metal letters shall be a minimum 1" thick.

No "Channelume," "Letteredge," or similar material will be allowed.

Individual letters and logos shall not project from the face of the building more than 8" for those utilizing a concealed raceway, and 12" for self contained letters or cabinets. Depth of letters and logos for any one project should be consistent throughout to maintain design continuity and higher level of quality.

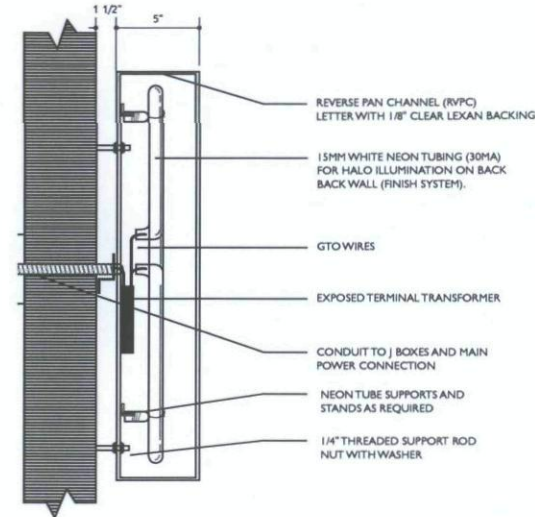
Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from the building face. Angle clips attached to letter sides will not be permitted. All mounting attachments shall be sleeved and painted.

Illumination

Lighting for wall mounted individual letters can either be internally halo illuminated, indirect or a combination thereof. Indirect lighting when integrated into the architecture is also a recommended solution for unique individual letter applications.

Lighting used for all the various applications can be neon, low voltage LED, halogen pin mounted or fluorescent when full spectrum lamps are used.

Tenants to be allowed to use their nationally recognized standard color for both the illumination and sign itself, with approval from the SPPDRB. When using white, all whites will be 6200-6500K.



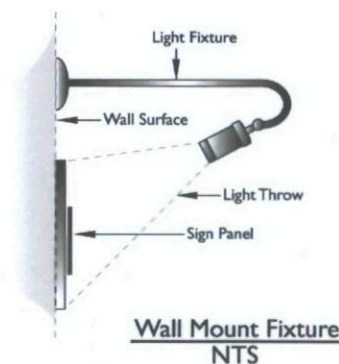
Typical Reverse Pan-Channel Letter - Halo Illuminated (Section)



External/indirect illuminated reverse pan-channel letter.



Halo and indirectly illuminated reverse pan-channel letters and flat cut out examples.



Integrated Panels & Awnings

These signs are mounted parallel with the building frontage and are generally a panel that can be painted, cut out, incorporate three-dimensional elements and lettering. To provide interest and identity, silhouettes can be used. Multiple layering either with dimension or through illusion is encouraged.

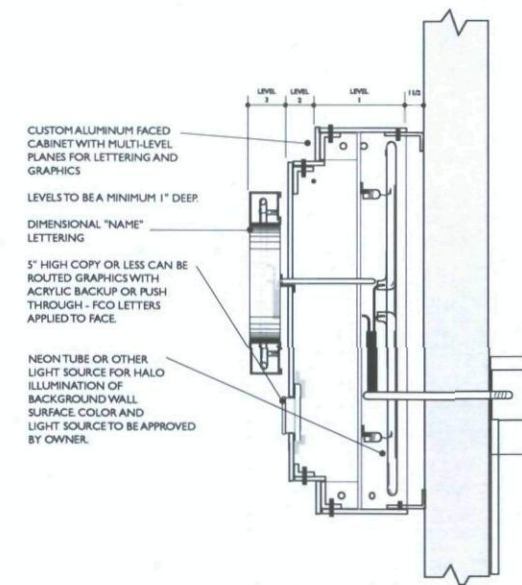
Custom 3-D Signs

These elements are multiple layered in design, with various types of lettering built around a single unit. This type of design and fabrication method provides easier installation by connecting to one single J-box for electrical on the fascia and protects the building by eliminating the drilling and wiring for multiple, individual letter installations.

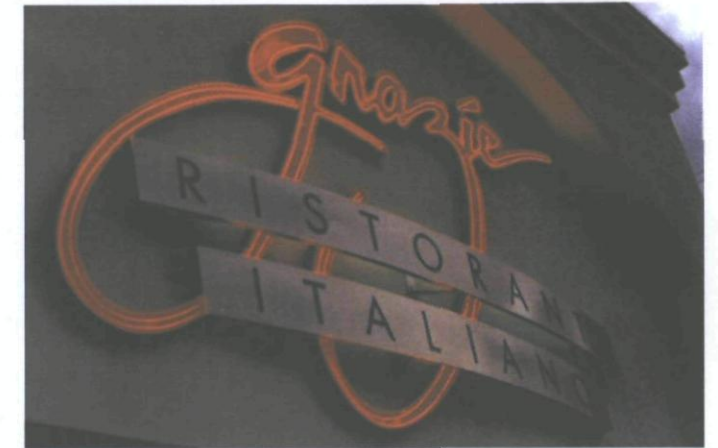
They are typically installed parallel to the fascia or facade of the building.

Construction

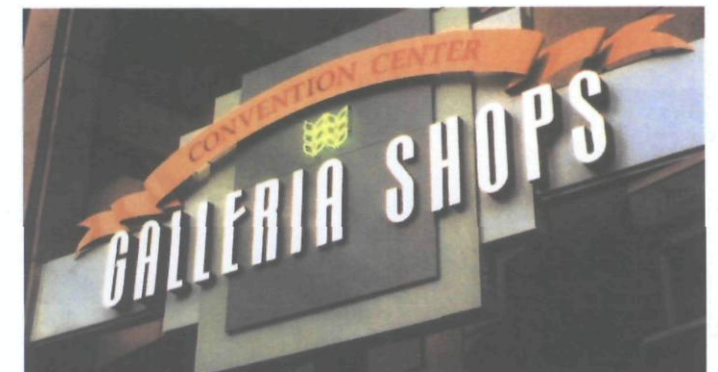
Custom 3-D Signs, Integrated Panels and Awnings and Marquees must be designed and fabricated with a minimum of three (3) signage/graphic planes, each at least one inch (1") deep. These can recess and extrude to create the three planes. Planes must be a minimum of 80% opaque and/or contrasting in color, texture, or material from one another to create depth and dimension. The depth shall be proportional to the signage and the architecture. Maximum depth for marquees shall be in good proportion to the building and will be reviewed by the committee for design compliance.



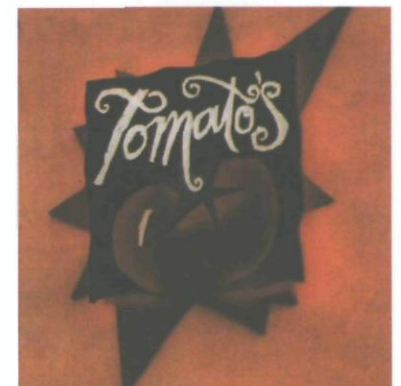
Typical Reverse Pan-Channel Custom Cabinet - Halo Illuminated (Section)



Grazia - Individual letters with cut out aluminum panels with routed/backup copy.



Individual flat cut out planes of distressed metal, halo backlit.



Individual pan channel letters over layers of custom shapes and banner with routed copy.

Construction

All office/non-retail sign designs will be approved on an individual basis through the Landlord's discretion.

All non-retail tenants shall have individual reverse pan channel letters and logos constructed of minimum .080 faces and .050 aluminum returns.

No "Channelume," "Letteredge," or similar material will be allowed.

Letters shall be 5" maximum depth.

Exposed conduits, fasteners, tubing or transformers will not be permitted. All raceways, inductors, transformers or other equipment will be concealed in a water-tight condition and behind tenant fascia.

Colors

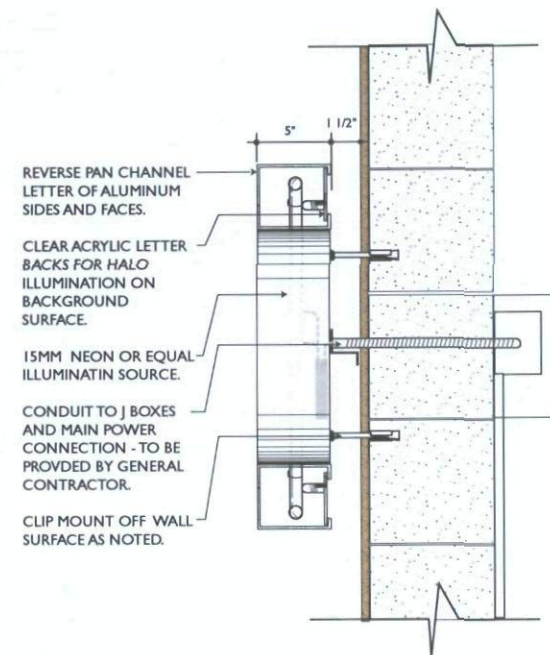
Colors shall be one consistent color for all wall signs in each development, to be determined in the individual signage package.

Illumination

Lighting for wall mounted individual letters shall be internally halo illuminated. Indirect lighting when integrated into the architecture is also a recommended solution for unique individual letter applications.

Lighting used for all the various applications can be neon or low voltage LED.

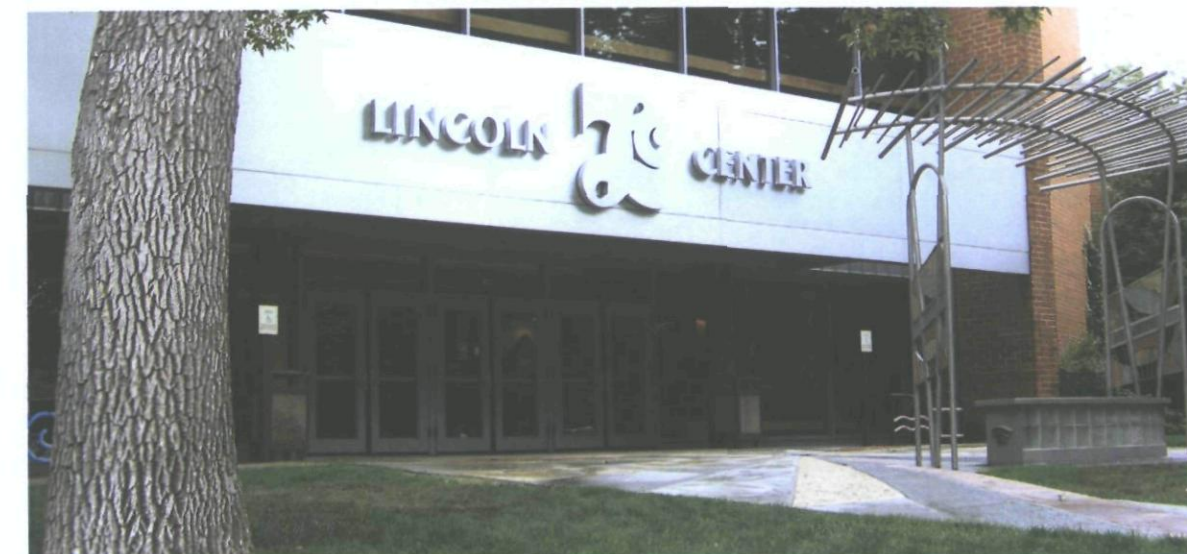
When using white, all whites will be 6200-6500K. If a color other than white is to be used, it must be approved through the SPPDRB and the City of Scottsdale.



Typical Reverse Pan-Channel Letter - Halo Illuminated (Section)



Halo illuminated reverse pan-channel letter examples.



All Tenants

Sign Area Calculation Options

Where a sign consists only of individual letters, numerals, symbols, or other similar components and is attached flat against the wall of a building and where such individual components are without an integrated background definition and are not within a circumscribed frame area, the total area of the sign shall be defined by a single rectangle which encompasses all described elements. (See examples below)



Design Standards

Tenant's may use their registered logotype. For tenants without a registered logotype, readable and graphic pleasing letters and logo styles are highly encouraged. Font styles used should be bold enough to utilize neon tubing illumination behind, but will not be allowed to be heavy, blocky san serif fonts. (See examples below for styles that will not be allowed.)

Signage layouts must include a name for the store and cannot be descriptive only. For example INSURANCE, NAILS, TANNING SALON, as the sole identifier for the store will not be allowed.

HAPPY DAZE GAMES

Blocky brush script with old, outdated feel

HAPPY DAZE GAMES

HAPPY DAZE GAMES

HAPPY DAZE GAMES

Bold block fonts with no character

NAIL SALON

Bold and blocky san serif as service ID only - not allowed

The Art of Nails NAIL SALON

San serif font used with a name and style - allowed

Letter Spacing/Kerning

To fit within layout standards, the lettering and/or identity may not be condensed more than 90% of horizontal letter width or vertical letter height of the original design.

Designs should be scaled down to original identity design proportions that fit allowable/designated area.



Sun Framing

ACCEPTABLE LAYOUT
REDUCED LETTERHEIGHT AND 90% HORIZONTAL SPACING OF TENANTS GRAPHIC STANDARDS

Sun Framing

UNACCEPTABLE LAYOUT
MAX LETTER HEIGHT -TOO TIGHT KERNING

Sun Framing

UNACCEPTABLE LAYOUT
MAX LETTER HEIGHT AND LESS THAN 90% HORIZONTAL SPACING

Building Address Numbers

Each individual building is required to include it's address numbers, located in a conspicuous location. The numbers shall be at least twelve (12) inches tall and either internally or externally illuminated. Address typefaces shall be specific to individual projects, and determined within each individual signage package.

Sign Envelopes are to be defined as “The area upon the architectural elevation that is available for sign placement.” The Architectural Frontage is the length of the part of the elevation defined by fenestrations or other elements that interrupt the continuous line of that elevation.

In no event shall any sign envelope exceed eighty percent (80%) of the width of the architectural frontage nor seventy percent (70%) of the available height. (See examples A & B)

Because of architectural details, the area of a Sign Envelope may provide less square footage than a tenant’s leased frontage may allow. In addition, because of a tenant’s corporate standards, the usable sign area may be less than the Sign Envelope allows.

Sign Placement

Tenant signs shall be centered horizontally and vertically within the architectural frontage and/or directly over the doorway if space permits. Signs must be located within Tenant’s leased frontage.

Anchor tenants may have secondary message sign envelopes located upon their architectural elevations, provided that their sign allowance is not exceeded.

Sign Area

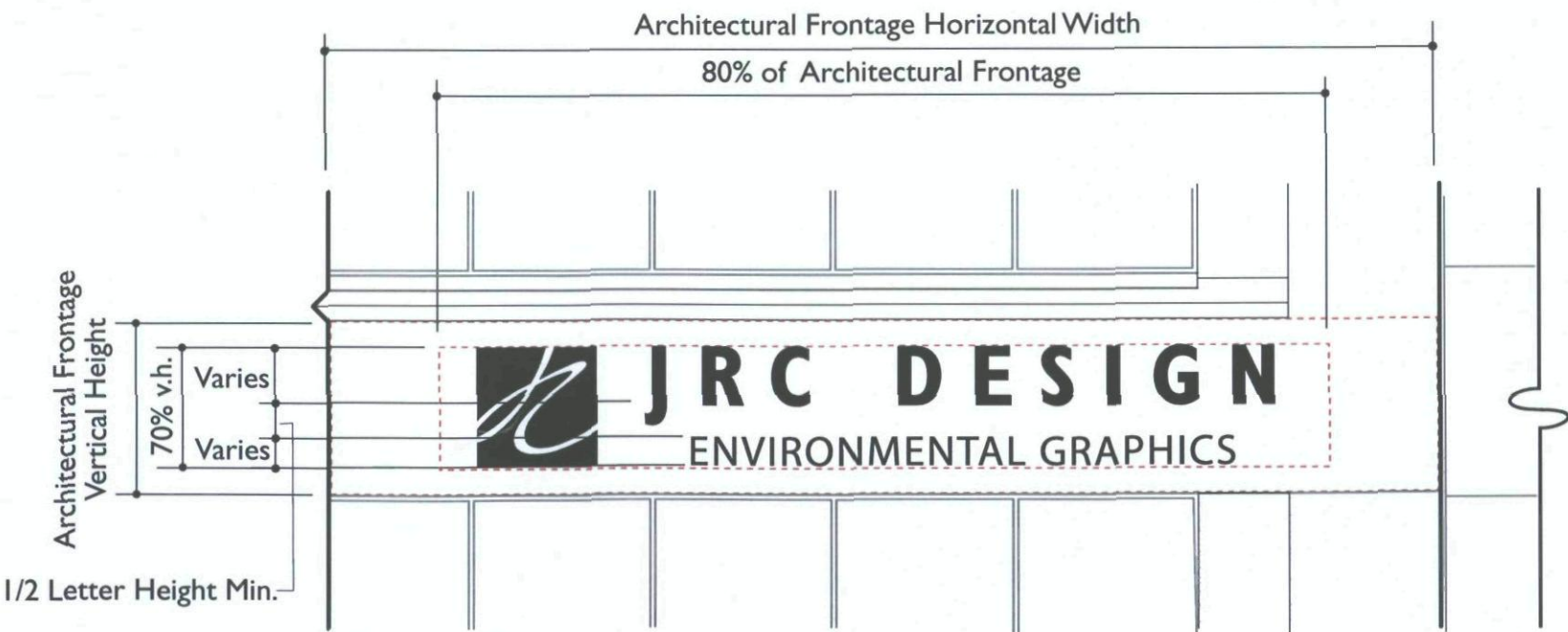
Sign Area is calculated based on the tenant’s leased frontage.

A sign mounted or painted on a background panel or area distinctively painted, textured or constructed as a background for the sign, shall be measured as the area contained within the outside dimensions of the background panel or surface.

A sign mounted as individual letters and/or graphics against a wall or fascia of a building, screen wall or other structure that has not been painted, textured or otherwise altered to provide a distinctive, customized to an individual tenant background for the sign, shall be measured as 90% of the sum of the smallest rectangle that will enclose the sign.



A Single-Line Layout w/Logo



B Double-Line Layout w/Logo

Window Graphics:

No more than 25% of front glass area may have signage/ graphics applied to, or within, three (3) feet behind the window area.
Recommended designs should be subtle and sophisticated. Cream, ivory or frosted vinyls are recommended. When color is used, it should be muted and have a transparency of a minimum of 50%. Window graphics may NOT be:

- prefabricated, "off the shelf" neon elements
- Painted seasonal or thematic in nature
- "Going-out-of-Business" in any medium
- Solid black-out films of any kind or color

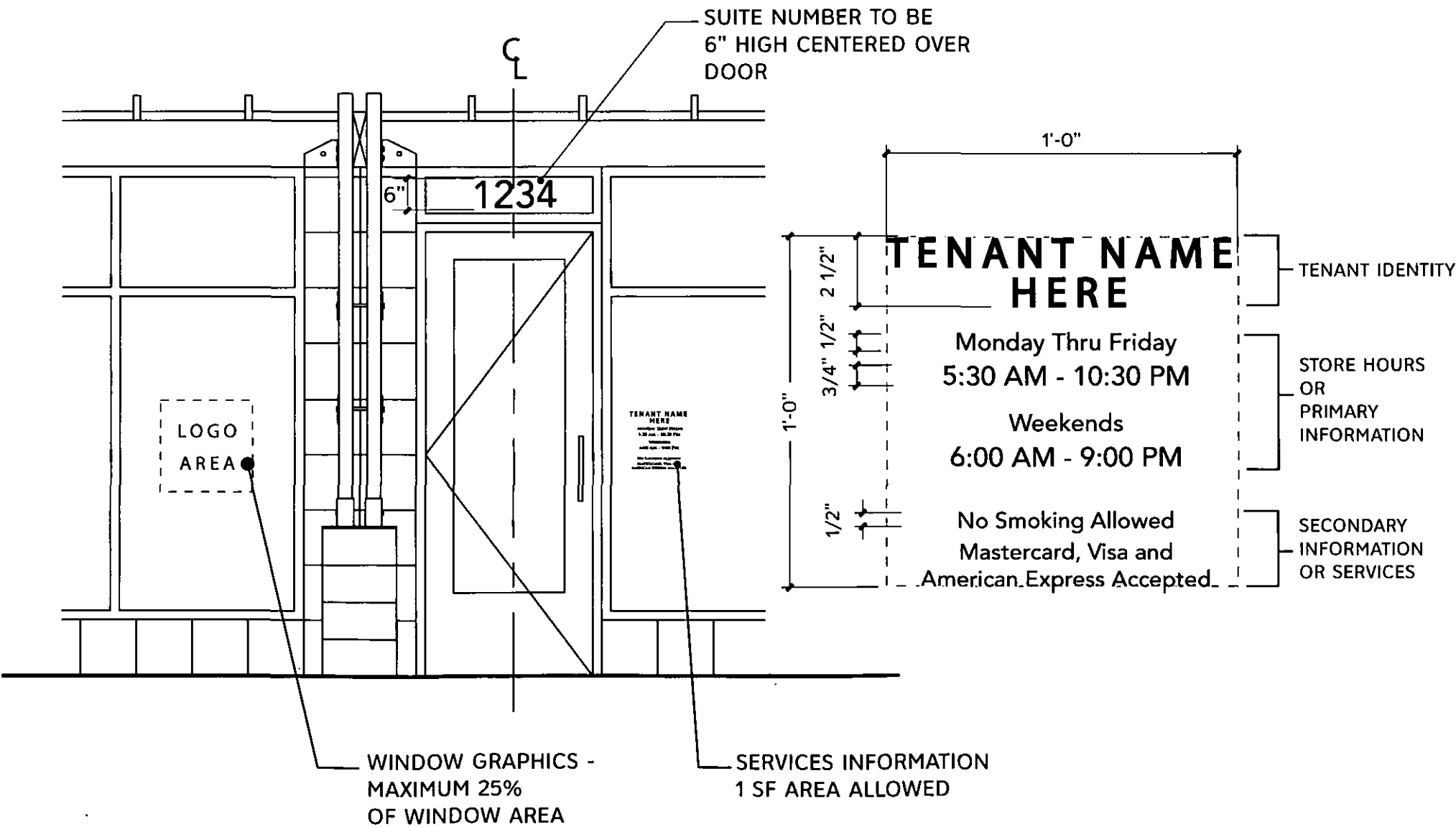
Suite Numbers:

Suite Numbers shall appear directly over each entry and be applied white vinyl on the exterior of the glass. 6" high suite numbers to be displayed in Avenir Medium.

Services Information:

Services Information may consist of the tenants identification typeface, hours of operation, services provided, payment options, prohibited elements, etc. Information shall appear adjacent to each entry, to be applied vinyl on the exterior of the glass.
Typeface for identity area shall be allowed as the tenant's graphic standards. Information areas shall be Avenir Medium, sizes and layout standard as shown below.

All graphic (window graphics, suite number and services information signage) layouts shall be approved in writing by the landlord for quality and consistency with the criteria package for Silverstone, prior to submittal to the City of Scottsdale for approval.



All signs at Silverstone at Pinnacle Peak must be compatible with the standards outlined in this Master Sign Program and in conformance with City of Scottsdale Sign Requirements. The purpose of the sign standards is to ensure an attractive shopping environment and to protect the interests of the surrounding neighborhood, Developer, and Owners/Occupants of all parcels within Silverstone at Pinnacle Peak. Conformance will be strictly enforced, and any installed nonconforming or unapproved signs will be brought into conformance at the sole expense of the Owner/Occupant.

Silverstone at Pinnacle Peak, herein referred to as "Master Developer", shall have a Silverstone at Pinnacle Peak Design Review Board (SPPDRB) to administer and interpret the criteria. The SPPDRB shall remain in place even if transfer of ownership occurs between the Master Developer and another entity.

Before designing signs, all Silverstone at Pinnacle Peak Owners/Occupants ("Owners/Occupant") will receive a copy of these signage standards. Sign plans submitted to the SPPDRB for approval must conform to these standards. The SPPDRB will administer and interpret the criteria. All signs must be approved in writing by the SPPDRB prior to seeking City approval, permit application and installation.

Any signs not specifically mentioned within this criteria must conform to the relevant requirements of the Scottsdale Municipal Sign Code.

1 Signage proposal

Each Owner/Occupant must submit to the SPPDRB two (2) sets of detailed shop drawings showing locations, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, methods of illumination and other mounting apparatus of all proposed freestanding, wall, window, and rear door and/or temporary marketing signs. This submittal must be made at least fifteen (15) days prior to submitting requests for permits or manufacturing.

2 Sign contractor's responsibilities

Prior to preparation of signage drawings and specifications, the Owner's/Occupant's sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and verify all dimensions.

3 SPPDRB review

After review of the signage proposal, the SPPDRB will return one of the two sets of drawings to the Owner/Occupant, marked either "Approved", "Approved as Noted," or "Revise and Resubmit."

"Approved"

If drawings are marked "Approved," the Owner/Occupant is allowed to proceed with sign construction and installation in accordance with the drawings.

"Approved as Noted"

If drawings are marked "Approved as Noted," the Owner/Occupant is allowed to proceed with sign construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.

"Revise and Resubmit"

If drawings are marked "Revise and Resubmit," the plans will be returned to the Owner/Occupant with comments. The drawings should be revised and resubmitted for SPPDRB approval.

4 Openings in building walls

Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings.

5 Owner/Occupant responsibilities for other regulations

The SPPDRB's approval of an Owner's/Occupant's signage plan does not constitute an implication, representation, or certification by the SPPDRB that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations. Compliance with other regulations is the sole responsibility of the Owner/Occupant for all work performed on the premises by or for the Owner/Occupant.

6 Prohibited signs

The following signs are prohibited from use within Silverstone at Pinnacle Peak.

- Pan Channel Letters with Illuminated faces.
- Cabinet (Typical) Acrylic, Plexiglas, or plastic-faced panels with surface or second-surface applied or painted graphics, injection molded panels with integral color - internally backlit cabinet construction.
- No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible from outside the premises, except as specifically approved by the SPPDRB.
- Rude, obscene, offensive, animated, flashing, blinking, rotating, moving, or audible signs.

- Placards; posters; playbills; postings; paintings; flags; signs in public right-of-way; and fixed balloons are not permitted in any location, whether or not visible from outside the premises.

- Change-panel signs are prohibited.

- "A" frames and portable signs.

- Signs that are installed without written approval from the SPPDRB, or that are inconsistent with approved drawings, may be subject to removal and reinstallation by the Developer at the Owner's/Occupant's expense.

- Painted or hand lettered signs on storefronts.

- Flashing, moving or audible signs.

- Luminous vacuum formed type plastic letters

- Inflatable signs or graphic devices.

- Freestanding attraction boards, posters or other permanent advertising devices.

- Paper, cardboard or Styrofoam signs.

- Signs with exposed neon tubing or raceways.

7 Illuminated signs

The City of Scottsdale requires permits for all signs and electrical permits for all signs that are illuminated. It is the Owner's/Occupant's sole responsibility to secure these and any other permits that may be required.

8 Size limitation

Each Owner/Occupant must limit the area of its sign in accordance with the area allocated for signage. Maximum letter height and length varies according to storefront, but it must not exceed the area allocated for signage. Each Owner/Occupant will be granted a minimum of one sign. Owner's/Occupant's with more than one elevation wall may have a sign on each elevation.

9 Labels

No labels are permitted on the exposed surface of signs, except those required by local ordinance. Sets of individual letters shall have one label on an end letter only. These are to be installed in an inconspicuous location.

10 Freestanding signs

All freestanding signs must meet applicable setbacks, and their installation must comply with all local building and electrical codes.

11 Upkeep and maintenance

Each Owner/Occupant is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and Owners/Occupants are to repair any sign defects within five (5) days of notification. If an Owner/Occupant does not repair said sign(s), the Developer, at the Owner/Occupant sole cost and expense, may repair and/or replace sign(s).

A penalty of 100% of the Developer's cost to repair said signage, in addition to the cost of the repair, may be assessed to the Owner/Occupant if the Developer is required to provide the necessary maintenance due to the Owner's/Occupant's noncompliance following notification.

12 Illumination timer

Power to illuminate the Owner's/Occupant's sign is to be from Owner's/Occupant's electricity meter, switched through a time clock, set in accordance with schedules determined by the Developer.

13 Sealing of building penetrations

All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion.

14 Damage caused by or during installation

The sign contractor and/or Owner/Occupant will pay for any damage to a building's fascia, canopy, structure, roof, or flashing caused by sign installation. Owner/Occupant shall be fully responsible for the operations of Owner's/Occupant's sign contractor and shall indemnify, defend, and hold SPPDRB/Developer harmless for, from, and against damages or liabilities of account thereof.

15 Required insurance for sign contractors

All sign contractors must carry workers' compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor's license in the State of Arizona. Developer must be named as additionally insured in the workers' compensation and commercial liability insurance.

16 Sign Permits

Owner/Occupant is responsible for obtaining all necessary sign permits prior to sign installation.

17 SPPDRB's right to modify requirements

The SPPDRB has the right to modify the sign standards and requirements for any Owner/Occupant.

SILVERSTONE

AT PINNACLE PEAK

Semi-Permanent Signage

Semi-Permanent Sign Locations & Matrix

As stated in the earlier section, Silverstone at Pinnacle Peak is a mixed use 160 acre project, PCD, located on the southeast corner of Scottsdale and Pinnacle Peak Roads in Scottsdale, Arizona. It is bordered to the east by Miller Road, and to the south by Williams Drive. Commercial projects are to both the north and south and to the east is both commercial and undeveloped space. To the west is City of Phoenix open land. The Scottsdale Road frontage is in the Scenic Corridor, but not in the ESLO district.

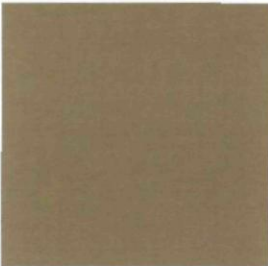
With there being several different uses within the site, it will be important to inform vehicular traffic what is being developed and where. This is especially true in the case of the residential areas, which occupy a substantial portion of the site. Potential residents will not only need to know where the development site is, but also other pertinent information such as the developer/builder name, contact information, and model location.

Our goal is to provide the community of Silverstone with a clear and effective system of temporary signage that conveys information essential to the elements of the site. Constructed mainly of aluminum, these signs will be durable, easily maintained, and re-usable.

Semi-permanent signs are broken down as follows in the matrix below:

Sign Type	Function	Location	Qty.	Max Height	Illumination	Materials
Sign Type T1 Silverstone Interim Community ID Sign (82 SF) (Sec. 8.541.1)	To identify the overall development of Silverstone. This sign shall display the name of the overall development, along with website and phone number contact information.	At the south side of the Scottsdale Road entrance.	1	12'-6"	Indirect or none	Aluminum/MDF, stone veneer, wonderboard, paint, vinyl/silkscreen
Sign Type T2 On-Premise Semi-Permanent Signage - Scenic Corridor (32 SF) (Sec. 8.601)	To identify and provide information for specific developments within the Silverstone project.	In the scenic corridor along Scottsdale Road.	3	6'-0"	None	Aluminum/MDF, paint, vinyl/silkscreen,
Sign Type T3 On-Premise Semi-Permanent Signage (32 SF) (Sec. 8.601)	To identify and provide information for specific developments within the Silverstone project.	Along arterial roadways.	5	8'-6"		
Sign Type T4 On-Premise Semi-Permanent Signage (16 SF) (Sec. 8.601)	To identify and provide information for specific developments within the Silverstone project.	Placed along interior/exterior roadways of the site.	6	8'-0"		

Colors and Materials



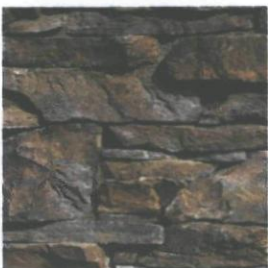
Dunn Edwards DE6144
Graham Cracker



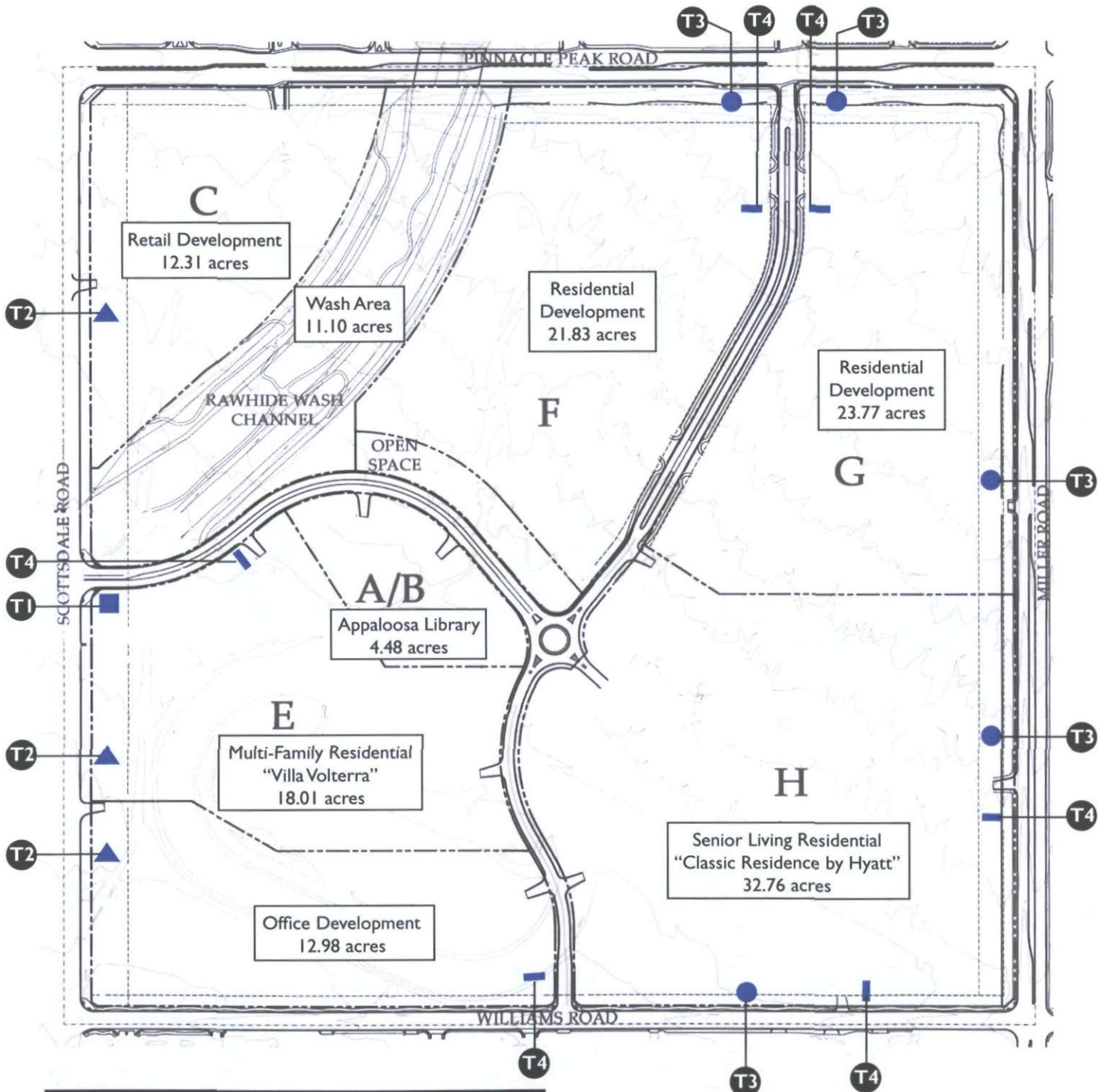
Frazee 8145D
Green Acre



Frazee 8356N
Mackay Cedar



Coronado Stone - Ledgestone
Dakota Brown



TEMPORARY SIGN HIERARCHY

- T1 - Interim Community ID Signage (sq.ft. TBD)
- T2 - On-Premise S Signage (32 sq.ft.) - Scenic Corridor (16 sq.ft. per street frontage, combined in one sign for a total of 32 sq.ft.)
- T3 - On-Premise Development Signage (32 sq.ft.)
- T4 - On-Premise Development Signage (16 sq.ft.)

Sign Type T1 - Interim Master Planned Community ID Signage

A bridge is planned to be built over the Rawhide Wash, scheduled for 2010. During construction, this will cause the demolition of the entrance. Because of this, an interim freestanding monument is being proposed for this site. It will be replaced by permanent entry signage once construction of the bridge is completed.

The monument is designed as an interim solution to identify the primary entry to the project, as well as provide some general information about the project.

This sign will be located at the main entrance to the project, on Scottsdale Road and Silverstone Drive. It is double-faced and is perpendicular to the road.

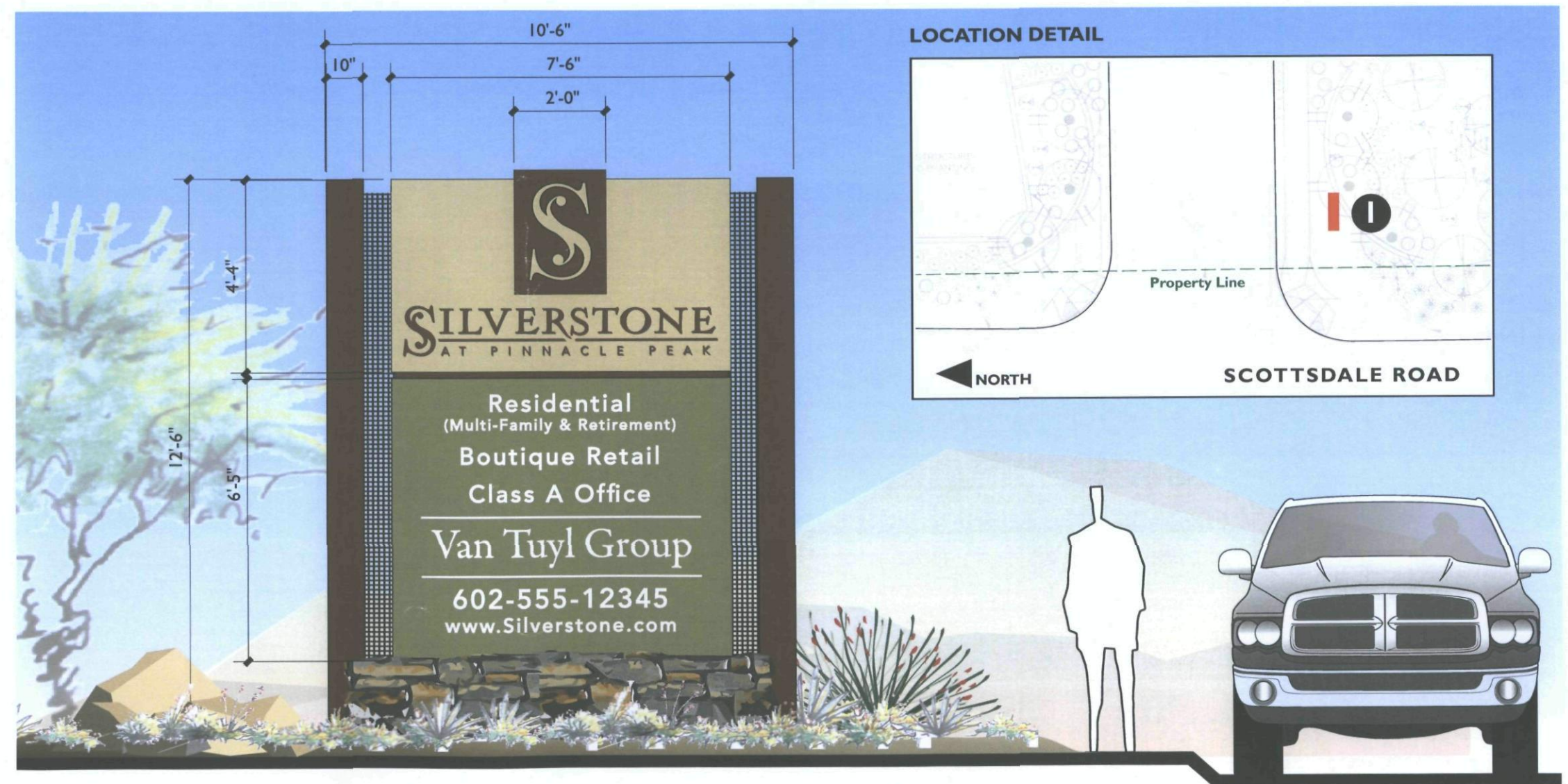
Overall (length x height): 10'-6"x12'-6"

Sign Area (square footage): 82 SF

Materials: Overall aluminum or MDF structure and panels, painted as specified. Wonderboard with stone veneer applied. Graphic element to be routed on aluminum panel, attached to larger ID panel. ID lettering to be flat cut out aluminum. Panel information to be silkscreened or applied vinyl.

Colors: Dunn Edwards DE6144 *Graham Cracker*, Frazee 8356N *Mackay Cedar*, Frazee 8145D *Green Acre*, Coronado Stone - *Ledgestone* - *Dakota Brown*

As this is a community sign district, sizes described are allowed under code section 8.541.I.



Sign Types T2, T3 and T4 - On-Premise Semi-Permanent Signage

On-Premise semi-permanent signage shall be used both on arterial roads and interior roads to the site. These signs are to provide various information specific to individual projects within the Silverstone project. Development information, information regarding sale/lease, builder/developer identification, and some minor directional information shall be allowed on these signs (Code section 8.601). These signs shall be either single or double sided, and shall be used to communicate all development information for all uses.

Sign Type T2 has been designed to work for projects with frontage along Scottsdale Road, located within the scenic corridor. This being the case, the design has a more horizontal orientation than the other signs. The overall intent of this sign type is to inform the public about the future project, give general project details, contact information, and involved party identification.

Overall (length x height): 7'-10"x6'-0"

Sign Area (square footage): 32 SF

Sign Type T3 has been designed with a more vertical orientation, and will be located along arterial roadways that do not have scenic corridor restrictions. The overall intent of this sign type is to inform the public about the future project, give general project details, contact information, and involved party identification.

Overall (length x height): 5'-2"x10'-0"

Sign Area (square footage): 32 SF

Sign Type T4 is primarily designed for the interior roadways within the site, but may also be used on the arterial streets if needed. They shall also provide identification of the project, general information, and possibly some directional information.

Overall (length x height): 3'-10"x8'-6"

Sign Area (square footage): 16 SF

Materials: Overall aluminum/MDF structure and panels, painted as specified. Graphic element to be routed on aluminum/MDF panel, attached to larger ID panel. Panel information to be silkscreened or applied vinyl.

Colors: Dunn Edwards DE6144 *Graham Cracker*, Frazee 8356N *Mackay Cedar*, Frazee 8145D *Green Acre*

Signs have been designed to meet code under section Sec. 8.601.

