

For Reference

RESOLUTION NO. 7803

A RESOLUTION OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT FILED WITH THE CITY CLERK OF THE CITY OF SCOTTSDALE AND ENTITLED "STAFF RECOMMENDED ORDINANCE TEXT - OPTION B" FOR CASE NO. 6-TA-2008.

WHEREAS, State law permits cities to declare documents public records for the purpose of incorporation into city ordinances; and

WHEREAS, the City of Scottsdale wishes to incorporate by reference the staff recommended ordinance text for case 6-TA-2008, by first declaring said amendments to be a public record.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. The certain document entitled "Staff Recommended Ordinance Text - Option B" three copies of which are on file in the office of the City Clerk, is hereby declared to be a public record. Said copies are ordered to remain on file with the City Clerk.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this 9th day of December, 2008.

ATTEST:

CITY OF SCOTTSDALE, an Arizona
Municipal Corporation

By: *Carolyn Jagger*
Carolyn Jagger
City Clerk

By: *Mary Manross*
Mary Manross
Mayor

APPROVED AS TO FORM:

By: *Deborah Robberson*
Deborah Robberson
City Attorney

Staff Recommended Ordinance Text (Option B)

Section 8.200

Sec. 8.200. DEFINITIONS.

(Note: Graphics in definition section added with 7-TA-2002)

Abandoned sign. A sign located on a property or premises which is vacant and unoccupied for a period of three (3) months, or a sign which is damaged, in disrepair, or vandalized and not repaired within thirty (30) days of the date of the damaging event.

Airport. Those areas included within the perimeter fence of the Scottsdale Municipal Airport property.

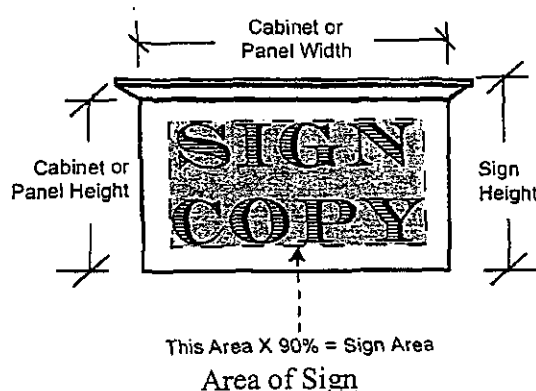
Animation. The movement or the optical illusion of movement of any part of the sign structure, design or pictorial segment, including the movement of any illumination or the flashing or varying of light intensity; the automatic changing of all or any part of the facing of a sign; the movement of a sign set in motion by the atmosphere. Time and temperature devices shall be considered animated signs. Banners and flags shall be exempted from this definition.

Applicant. A person or entity who applies for a sign permit in accordance with the provisions of this ordinance.

Architectural sign. A sign incorporated into an architectural element such as an archway, fountain, or sculptured garden which is integrated with, but subordinate to, the overall architectural element.

Area of sign. In the case of individual letters used as a sign, the area is ninety (90) percent of the area enclosed within the smallest regular geometric figure needed to completely encompass all letters, insignias or symbols of the sign, including horizontal spacing between letters, insignias or symbols, except as otherwise provided herein.

For signs other than individual letters, words, insignias or symbols, the area is the total area of the facing or the total area within the outer edge of any existing border of the sign.



Arterial (street). Those lengths of streets so classified on the City of Scottsdale's General Plan.

Automated teller machine directional sign. A traffic directional sign which is used to direct pedestrian or vehicular traffic on a parcel to the location of an automated teller machine.

Automated teller machine sign. Any sign located on or architecturally associated with the exterior face of an automated teller machine.

Awning sign. Signs which are placed on or integrated into fabric or other material canopies which are mounted on the exterior of a building.

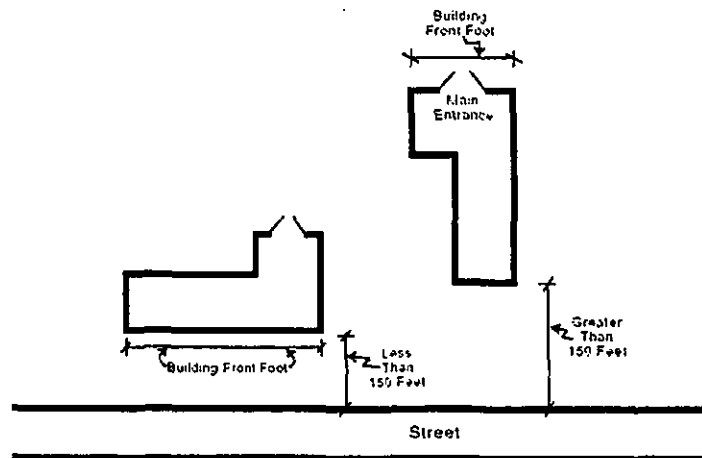
Banner. A rectangular shape of fabric or other suitable material which is attached or suspended at two (2) ends or continuously across the long side. Attachment or suspension may be from buildings and/or poles.

Banner, decorative. A banner which contains no text.

~~*Banner, public information.* A banner which displays graphics and limited text regarding a special event.~~

BANNER, SEASONAL AND SPECIAL EVENT. A BANNER WHICH DISPLAYS GRAPHICS AND LIMITED TEXT REGARDING A HOLIDAY, A SEASON, OR A SPECIAL EVENT.

Building front foot. The maximum width of the projected building elevation measured on a straight line parallel to the street if the building is within one hundred and fifty (150) feet of the street and visible from the street or a straight line parallel to the face of the building which has the primary entrance. In the event that a building fronts on two (2) or more streets, the property owner shall be given the option of selecting one (1) street frontage for the purpose of computing allowable sign area.



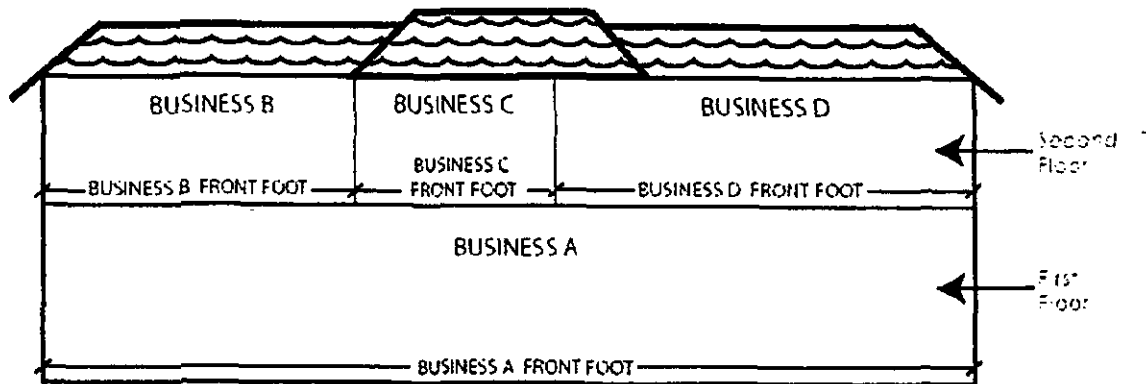
Building Front Foot

Building identification. The name of a building or of a tenant or occupants occupying at least thirty (30) percent of the building or sixty (60) percent of the first floor, which is placed on the building, or on a freestanding sign.

Building wall. The individual sides of a building.

Business entrance identification. A sign adjacent to, or on the entrance door of, a business containing the business name and such other appropriate information as store hours and telephone numbers.

Business front foot. The lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business.



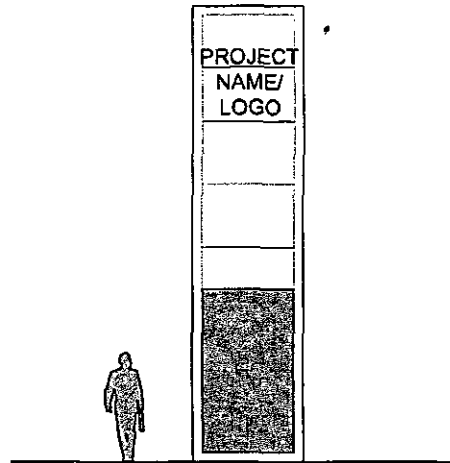
Business Front Foot

Business name. The name by which a business is commonly recognized and used by the applicant. The applicant shall provide stationery or other supporting documents illustrating the use of the business name or verification of the official business license or tax name. Slogans or product information shall not be considered as the business names.

Cabinet. A three-dimensional structure which includes a frame, borders and sign panel face and may include internal lighting upon which the sign letters and logos are placed or etched, and is architecturally integrated with the building.

Change panel. A sign designed to permit immediate change of copy with language other than the name of the business.

COLUMN SIGN. A MONOLITHIC PROJECT IDENTIFICATION SIGN WITH A HEIGHT NOT LESS THAN THREE (3) TIMES ITS WIDTH.



COLUMN SIGN EXAMPLE

Commercial district. A group or cluster of retail shops, offices or industrial buildings which share common parking, landscaping, and/or frontage, have a property owners association and have a name which is generally understood by the public to refer to the group or cluster.

Commercial sign. A sign erected for a business transaction or advertising purpose.

Common building entrance. In a multitenant building, an entrance leading to a common lobby, atrium, patio and/or elevator foyer.

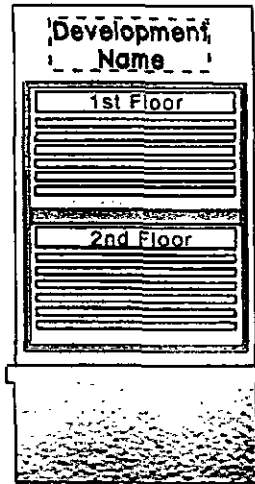
Community sign district. A group of businesses in a specified area in the city which have been organized into a coordinated group for the purpose of common signage and signage control.

Comprehensive sign program. A sign program submitted under the guidelines of a community sign district intended to encourage flexible signage opportunities which is greater than that allowed in underlying zoning district.

Contractor or subcontractor signs. The temporary signs which identify the contractor or subcontractor engaged in the construction, reconstruction or repair of a building or buildings on a lot or parcel of property.

Development sign. A sign used to identify an approved future development.

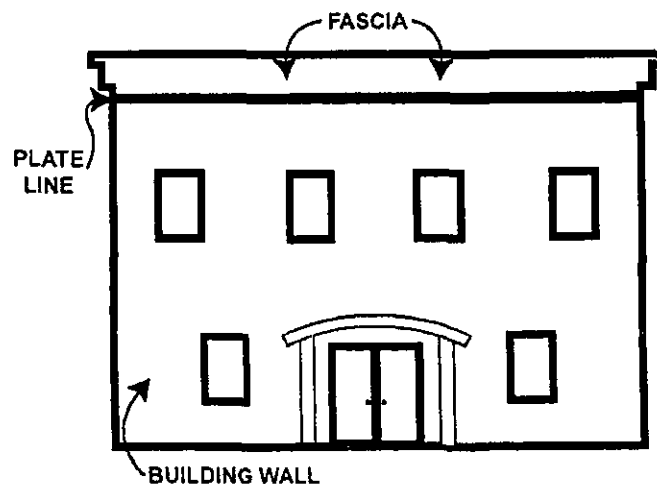
Directory sign. A sign which provides a listing of the names of businesses, activities, addresses, locations, uses or places within a building or complex of buildings for the purpose of identification only.



**Directory
Sign
Example**

Entryway sign. A sign which is placed on the perimeter of a recorded subdivision, townhouse project, commercial district, master planned community, hotel, motel or guest ranch at a major street or driveway entrance to identify the name of the interior project. Such signs may flank both sides of the entrance and may include ground or landscape wall sign types.

Fascia. A parapet-type wall used as part of the face of a flat roofed building and projecting not more than six (6) feet from the building face immediately thereto. Such a wall shall enclose at least three (3) sides of the projecting flat roof and return to a parapet wall or the building.



Flag. A fabric sheet of square, rectangular or triangular shape which is mounted on a pole, cable or rope at one (1) end.

Flag, decorative. A flat which contains no text or graphics.

Freestanding sign. A sign that is not attached to any building.

Fuel change panel price sign. A sign used to identify the current price(s) of fuel as required by state law.

General manager. The city's planning and zoning general manager or designee.

Grand opening. The introduction, promotion of announcement of a new business, store, shopping center or office, or the announcement, introduction or promotion of an established business changing ownership. A business qualifies for a grand opening sign when it has been closed to the public for a period of thirty (30) days (as indicated on a new Scottsdale Business License).

Grand opening sign. A temporary banner sign which calls attention to the opening of a new business.

Ground level. The finished grade of the adjacent street curb or where there is no street curb, six (6) inches above, street grade. In areas within the hillside district, ground level shall be the existing natural grade.

Ground sign. A freestanding sign that is architecturally integrated with the building with individually mounted letters and logos only. This sign shall be built with continuous background surface built from the ground up.

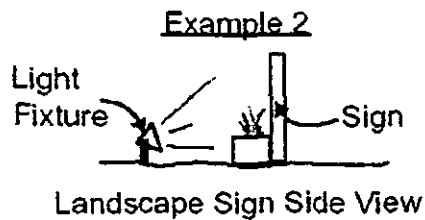
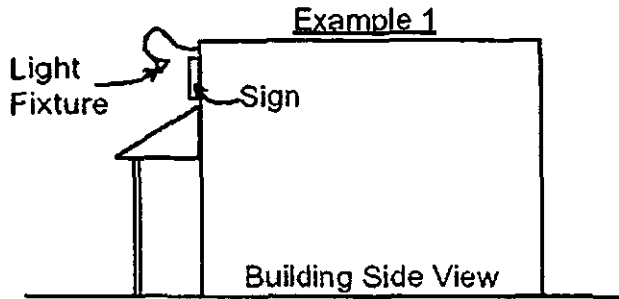
Height. The distance from ground level to the top of the sign structure.

Identification sign. A building wall, landscape wall, ground sign or temporary sign used to present the name of a major residential project, master planned community or master planned community information center.

Illegal sign. Any sign erected without first obtaining an approved sign permit, other than nonconforming signs.

Indirect lighting. A source of external illumination located away from the sign, which lights the sign, but which is itself not visible to persons viewing the sign from any street sidewalk or adjacent property.

Indirect Lighting



Individual letters. A cut-out or etched letter or logo which is individually placed on a landscape, screen wall, building wall or ground sign.

Information center. A facility in a master planned community which provides information, displays and guides for visitors in order to direct, to promote and sell projects within the master planned community.

Internal lighting. A source of illumination entirely within the sign which makes the contents of the sign visible at night by means of the light being transmitted through a translucent material but wherein the source of illumination is not visible.

Internal/indirect lighting. A source of illumination entirely within an individual letter, cabinet or structure which makes the sign visible at night by means of lighting the background upon which the individual letter is mounted. The letters are opaque, and thus are silhouetted against the background. The source of illumination is not visible.

Landscape wall sign. A freestanding sign architecturally integrated with the building, mounted on a screen or perimeter wall and having individual letters. The sign is mounted on, or to, a wall, pole or base which may or may not be an attachment or extension of a building wall.

Logo. A graphic symbol representing an activity, use or business. Permitted logos shall be registered trademarks or symbols commonly used by the applicant, and may include graphic designs in addition to lettering. Applicant shall provide stationery or other supporting documents illustrating use of logo.

Maintenance. The replacing or repairing of a part or portion of a sign necessitated by ordinary wear, tear or damage beyond the control of the owner or the reprinting of existing copy without changing the wording, composition or color of said copy.

Master planned community. A project of at least one hundred sixty (160) acres which is planned, developed or closely coordinated with a unified character and land use scheme, and having a master property owners association which includes all lands within the master planned community.

Master sign program. A specific set of design standards established for the purpose of unifying a variety of signs associated with a multi-tenant or multi-use building or complex of buildings.

Medical facilities. Major campuses or buildings which include public, private or research hospitals, nonprofit or research clinics, or emergency care centers.

Menu sign. A temporary sign used to inform the public of the list of dishes, foods or entrees available in a restaurant and may include the corresponding prices.

Mid-size monument sign. A free-standing cabinet or panel sign architecturally integrated with the project or building design mounted on, or within a base which is detached from any building which has a greater area and height than a monument sign and has less height than a tower sign.

Modifiers. A word describing uses and activities other than the business name.

Monument sign. A freestanding cabinet or panel sign mounted on, or within a base (above grade), which is detached from any building.

Multiple tenant commercial building. A commercial development in which there exists two or more separate commercial activities, in which there are appurtenant shared facilities (such as parking or pedestrian mall), and which is designed to provide a single area in which the public can obtain varied products and services. Distinguishing characteristics of a multiple tenant commercial building may, but need not, include common ownership of the real property upon which the center is located, common-wall construction, and multiple occupant commercial use of a single structure.

Nameplate. A small sign which identifies a resident's or home's name and address or the name of a farm, ranch or commercial stable. Such signs may be shingle, building wall, or archway mounted signs.

Noncommercial sign. Any sign that is not a commercial sign, including, but not limited to, any traffic management or street sign erected by any governmental entity; any flag or badge or insignia of the United

States, State of Arizona, Maricopa County, City of Scottsdale, or official historic plaque of any governmental jurisdiction or agency; any sign erected for a governmental use (including the posting of notices required by law), or any sign pertaining to a candidate for public office, a

governmental issue, political party, or relating to views about social, economic, or governmental relationships.

Nonconforming sign. Any sign which is not allowed under this ordinance, but which, when first constructed, was legally allowed by the City of Scottsdale or the political subdivision then having the control and regulation over construction of signs.

Occupancy. A purpose for which a building, or part thereof, is used or intended to be used.

Off-premise sign. A sign which is located on property other than where a business is located, the product is sold, or the service is offered.

On-premise development sign. A development sign located on the property/parcel under development.

Outdoor type business. A business all or most of whose business is conducted, or items displayed, in an open area subject to the regulations of the Scottsdale zoning ordinance.

Panel. A two-dimensional visual background behind the sign letters and logos which is visually separated from the mounting upon which the sign letters and logos is placed by the presence of a border, different colors, different materials, or other technique of visual framing around the letters or logo.

Pan-formed letter. An individual letter which is three-dimensional and is constructed by means of a three-sided metal channel. The open side of the channel may face a wall or be faced with a translucent panel which is placed away from the wall.

Parapet wall. That portion of a building exterior wall projecting above the plate line of the building.

Permanent sign. Any sign which is intended to be lasting and is constructed from an enduring material such as masonry and metal which remains unchanged in position, character, and condition (beyond normal wear), and is permanently affixed to the ground, wall or building, provided the sign is listed as a permanent sign in the ordinance.

Plate line. The point at which any part of the main roof structure first touches or bears upon an external wall.

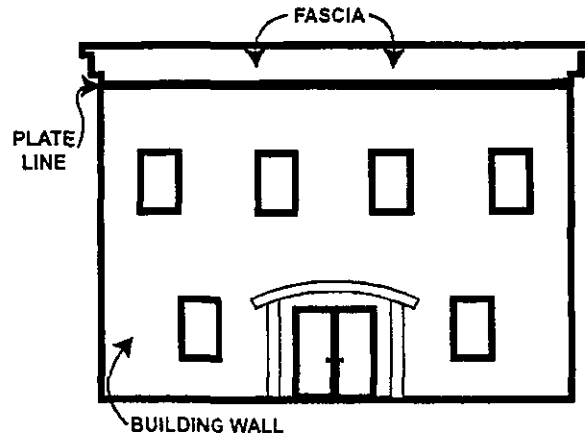
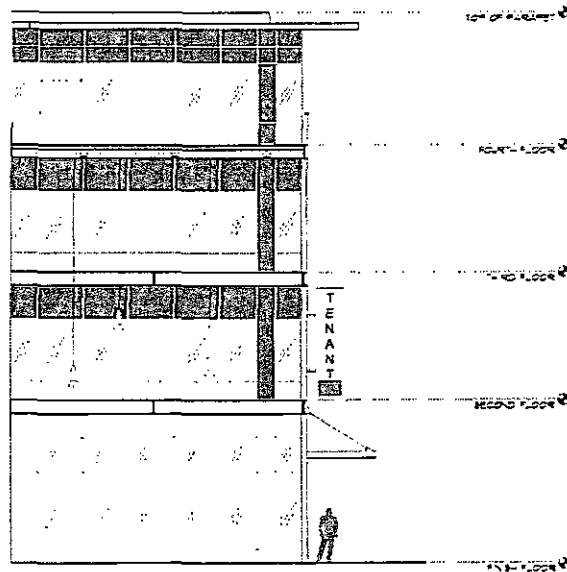


Plate Line

Projected building face. A calculation of the maximum lineal footage of the building front times the maximum height of the building.

Projected elevation area. The total are of the building face as projected to an imaginary plane parallel to the primary direction of the building face.

PROJECTING SIGN. A BUSINESS IDENTIFICATION SIGN THAT IS MOUNTED PERPENDICULAR TO THE FACE OR CORNER OF A BUILDING.



PROJECTING SIGN EXAMPLE

Public property. Unless otherwise expressly provided, public property means any and all real or personal property over which the city or other governmental entity has or ay exercise control,

whether or not the city owns the property in fee, and it includes, but is not limited to public buildings, public streets, alleys, sidewalks, rights-of-way and improved or unimproved land of any kind and all property appurtenant to it.

Required landscaping. The specific area (on site) to be landscaped at the base of the freestanding sign.

Residential entry sign. A sign that is placed at the entrance to multifamily and duplex development, manufactured home park, or single-family development only in order to identify the name of the development.

Roof line. The highest point of the main roof structure or the highest point on a parapet but shall not include cupolas, pylons, projections or minor raised portions of the roof.

Sales, lease and rent signs. Signs which indicate that a premises, building or vacant lot is currently for sale, lease or rent.

Scenic corridor. A specific, required landscape setback located along certain major streets, and identified in the city's General Plan.

Scenic corridor monument sign. A freestanding cabinet or panel sign located within a scenic corridor or on a non-scenic corridor roadway of a corner property that has scenic corridor frontage. Mounted on or within a base (above-grade) that is detached from any building, and when located on the street frontage of the site address, containing that address's numerals, and which, for multiple-tenant commercial complexes only, includes no more than two (2) tenant or occupant names.

Semi-permanent sign. A sign constructed of material more permanent than cloth, canvas, cardboard. Or other like materials, but which is not constructed of permanent materials such as masonry or metal. A semi-permanent sign is intended to be displayed for a period of time longer than that of a temporary sign and is displayed for a specified time.

Shingle sign. A sign suspended from a roof overhang of a covered porch or walkway which identifies the tenant of the adjoining space.

Sign. Any device for visual communication which is used or is intended to attract the attention of the public, when the display of this device is visible beyond the boundaries of the public or private property upon which the display is made.

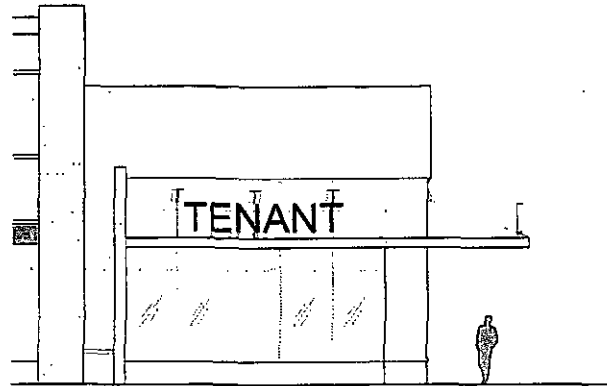
Sign budget. The total cumulative sign area for all types of signs allowed to a parcel or project.

Sign wall. Any surface (excluding windows) of a building within twenty-five (25) degrees vertical. Signs of a wall shall be limited to business identification and approved modifiers.

Special event. A promotional event such as, but is not limited to; bazaars, street fairs, shows, exhibitions, sporting events, runs, bicycling events, and block parties. This does not include

sidewalk sales occurring on private property where merchandise normally sold indoors, and is transferred from indoor to outdoor for sale.

STANDING CANOPY SIGN. A SIGN MOUNTED TO THE TOP OF THE LEADING EDGE OF A CANOPY LOCATED ABOVE A STOREFRONT PARALLEL TO THE BUILDING FAÇADE ON WHICH IT IS MOUNTED.

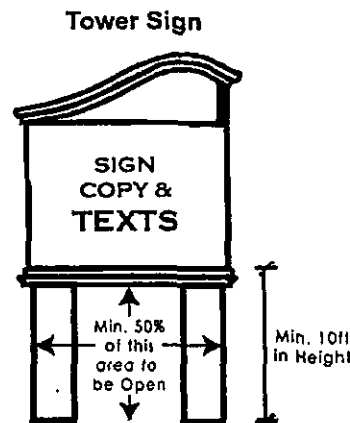


STANDING CANOPY SIGN EXAMPLE

Sum total sign area. Aggregate area of all signs for any individual use (excluding traffic directional signs). In every event, computation of allowable sign area includes all existing signs on the premises, whether such signs be conforming or nonconforming unless specifically excepted by the terms of this ordinance.

Temporary sign. Any sign, banner, pennant, or valance constructed of cloth, canvas, light fabric, cardboard, wallboard or other like materials. Any sign not permanently attached to the ground, wall or building, intended to be displayed for a short period of time only.

Tower sign. A freestanding cabinet or panel sign architecturally integrated with the building having a minimum height of ten (10) feet to the bottom of the sign. The sign base shall be constructed not to exceed fifty (50) percent of the open space beneath the cabinet or panel.



Traffic directional sign. Signs used at driveways to improve public safety and to enhance public access to the site from public streets. This sign provides information which will assist the operations of vehicles in the flow of traffic. Such signs may use names, logos, or symbols of buildings, businesses, activities, uses or places as a means of direction.

Type I district. That area classified in the downtown section of the City of Scottsdale's General Plan.

Window sign. Any poster, cut-out letters, painted text or graphics, or other text or visual presentation affixed to or placed behind a window pane which is placed to be read from the exterior of a building.

(Ord. No. 2260, § 2, 7-18-89; Ord. No. 2278, 2-20-90; Ord. No. 2401, § 1, 10-1-91; Ord. No. 2905, § 1, 8-5-96; Ord. No. 3515, § 1, 6-17-03; Ord. No. 3641, § 1(Exh. 1), 10-4-05; Ord. No. 3728, § 1(Exh. 1), 3-20-07)

Sec. 8.530 SPECIAL DEVELOPMENTS

8.531 No Change

8.532 No Change

8.533 No Change

8.534 No Change

8.534.1 MULTIPLE-TENANT COMMERCIAL BUILDINGS IN THE PRC DISTRICT.

MULTIPLE-TENANT COMMERCIAL BUILDINGS IN THE PRC DISTRICT ARE ALLOWED SIGNS AS FOLLOWS:

I. BUILDING OR COMPLEX IDENTIFICATION. A MULTIPLE-TENANT COMMERCIAL BUILDING MAY HAVE SIGNS IDENTIFYING THE BUILDING OR COMPLEX ON THE BUILDING AND ON A FREE-STANDING SIGN. SUCH SIGNS SHALL NOT CONTAIN THE NAME OF ANY TENANT(S) OR OCCUPANT(S) OF THE BUILDING EXCEPT FOR MID-SIZE MONUMENT AND TOWER SIGNS, WHICH MAY INCLUDE NO MORE THAN THREE (3) TENANT OR OCCUPANT NAMES. BUILDING IDENTIFICATION SIGNAGE SHALL BE ALLOWED AS FOLLOWS:

A. BUILDING WALL SIGNS. MULTIPLE-TENANT COMMERCIAL BUILDING OR COMPLEX IDENTIFICATION.

- 1. ON A ONE-STORY OR MULTIPLE-STORY BUILDING, THE MAXIMUM AREA OF SUCH SIGNS FOR EACH FIVE (5) LINEAL FEET OF BUILDING WALL SHALL BE ONE (1) SQUARE FOOT.**

2. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL NOT EXCEED THREE (3) STORIES.
3. NO PART OF SUCH SIGN SHALL EXTEND ABOVE A ROOF LINE.
4. SUCH SIGN SHALL BE INSTALLED WITH THE EXPOSED FACE OF THE SIGN IN A PLANE PARALLEL WITH THE EXPOSED FACE OF THE BUILDING WALL.
5. NO PART OF SUCH SIGN SHALL PROJECT FROM THE WALL OF THE BUILDING A DISTANCE GREATER THAN TWELVE (12) INCHES.

II. *INDIVIDUAL BUSINESS IDENTIFICATION.*

A. *BUILDING WALL SIGNS.*

1. SUCH SIGN SHALL IDENTIFY THE BUSINESS.
2. FOR ANY ONE (1) SIDE OF A BUILDING THE MAXIMUM SIGN AREA FOR EACH ONE (1) LINEAL FOOT OF BUILDING WALL SHALL BE ONE (1) SQUARE FOOT.
3. WHEN THE WALL ON WHICH THE SIGN IS PLACED IS MORE THAN TWO HUNDRED (200) FEET FROM ANY PUBLIC RIGHT-OF-WAY THE MAXIMUM SIGN AREA FOR EACH ONE (1) LINEAL FOOT OF BUILDING WALL SHALL BE ONE AND ONE-HALF (1 ½) SQUARE FEET.
4. THE MAXIMUM SIZE OF ANY WALL SIGN SHALL BE (250) SQUARE FEET
5. THE MAXIMUM SIGN HEIGHT ON A BUILDING SHALL BE THREE (3) STORIES.
6. NO PART OF A BUILDING WALL SIGN SHALL EXTEND ABOVE A ROOF LINE.
7. SUCH SIGN SHALL BE INSTALLED WITH THE EXPOSED FACE OF THE SIGN IN A PLANE PARALLEL TO THE FACE OF THE BUILDING WALL.
8. NO PART OF SUCH SIGN SHALL PROJECT FROM A BUILDING WALL A DISTANCE GREATER THAN TWELVE (12) INCHES.

B. *PROJECTING SIGNS.*

1. SUCH SIGN IS PERMITTED ONLY AS APPROVED IN A MASTER SIGN PROGRAM.
2. THE MAXIMUM AREA OF SUCH SIGN SHALL BE THIRTY-SIX (36) SQUARE FEET.
3. SUCH SIGN MAY PROJECT A MAXIMUM OF FORTY-EIGHT (48) INCHES FROM THE WALL OF THE BUILDING TO THE OUTSIDE EDGE.
4. SUCH SIGN SHALL BE LOCATED A MINIMUM OF EIGHT (8) FEET ABOVE THE ADJACENT GRADE.
5. THERE SHALL BE A MAXIMUM OF ONE (1) SUCH SIGN FOR EACH FIFTY (50) LINEAL FEET OF BUILDING WALL.
6. SUCH SIGN SHALL NOT BE LOCATED WITHIN TWENTY (20) FEET IN ANY DIRECTION OF ANOTHER PROJECTING SIGN ON THE SAME BUILDING WALL.
7. SUCH SIGN MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED.
8. NO PART OF SUCH SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING TO WHICH IT IS ATTACHED.
9. SUCH SIGN SHALL BE ORIENTED INTERNALLY SO THAT IT IS NOT VISIBLE FROM ANY PUBLIC STREET OR HIGHWAY.

C. SHINGLE SIGNS.

1. SUCH SIGN SHALL BE SUSPENDED FROM A ROOF OVERHANG, COVERED WALKWAY, COVERED PORCH, OPEN LATTICE WALKWAY, OR ATTACHED TO A BUILDING WALL FASCIA.
2. SUCH SIGN SHALL IDENTIFY THE BUSINESS.
3. NO PART OF A SUSPENDED SIGN SHALL EXTEND BEYOND THE EDGE OF THE OVERHANG.
4. SUCH SIGN SHALL BE ON OR ADJACENT TO THE BUSINESS THE SIGN IDENTIFIES.
5. THE MAXIMUM NUMBER OF SUCH SIGNS PERPENDICULAR TO THE BUSINESS FRONT SHALL BE ONE (1) SIGN.

6. THE MAXIMUM NUMBER OF SUCH SIGNS PARALLEL TO THE BUSINESS FRONT SHALL BE ONE (1) SIGN.
7. SUSPENDED SIGNS SHALL MAINTAIN A MINIMUM CLEARANCE BETWEEN THE BOTTOM OF THE SIGN AND THE NEAREST GRADE OR SIDEWALK OF SEVEN (7) FEET, SIX (6) INCHES.
8. SUCH SIGNS MAY BE ATTACHED TO A FASCIA THAT MAINTAINS A MINIMUM CLEARANCE BETWEEN THE BOTTOM OF THE FASCIA AND THE NEAREST GRADE OR SIDEWALK OF SEVEN (7) FEET, SIX (6) INCHES.
9. NO PART OF AN ATTACHED SHINGLE SIGN SHALL EXTEND ABOVE OR BELOW THE FASCIA.

D. *STANDING CANOPY SIGNS.*

1. SUCH SIGN IS PERMITTED ONLY AS APPROVED IN A MASTER SIGN PROGRAM.
2. SUCH SIGN SHALL IDENTIFY THE BUSINESS.
3. SUCH SIGN SHALL BE PARALLEL TO THE BUILDING FAÇADE AND MOUNTED AT THE LEADING EDGE OF THE CANOPY.
4. SUCH SIGNS SHALL BE INDIVIDUAL LETTERS ONLY.
5. THE HEIGHT OF THE LETTERS SHALL BE SUBJECT TO DEVELOPMENT REVIEW BOARD APPROVAL, UP TO A MAXIMUM OF FORTY (40) INCHES.
6. THE MAXIMUM AREA OF SUCH SIGN SHALL BE THIRTY-SIX (36) SQUARE FEET.
7. STANDING CANOPY SIGNS SHALL BE LIMITED TO INDIRECT ILLUMINATION.
8. CABINET SIGNS AND EXPOSED RACEWAYS ARE NOT PERMITTED.

III. *FREESTANDING BUILDING IDENTIFICATION.* THERE SHALL BE A MAXIMUM OF ONE (1) FREESTANDING BUILDING IDENTIFICATION SIGN PER STREET FRONTAGE EXCEPT AS NOTED IN SECTION 8.534.II.C.5.

A. *GROUND SIGNS.*

1. SUCH SIGN SHALL IDENTIFY THE BUILDING.
2. SUCH SIGNS SHALL BE PLACED WITHIN A LANDSCAPED SETTING CONTAINING NOT LESS THAN ONE HUNDRED TWENTY (120) SQUARE FEET.
3. THE MAXIMUM INDIVIDUAL LETTER AREA FOR SUCH SIGNS SHALL NOT EXCEED TWELVE (12) SQUARE FEET.
4. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE FIVE (5) FEET.
5. INDIVIDUAL LETTERS SHALL NOT COVER A PERCENTAGE OF WALL SURFACE AREA GREATER THAN FIFTY (50) PERCENT.

B. MONUMENT SIGNS.

1. SUCH SIGN SHALL IDENTIFY THE BUILDING.
2. THE MAXIMUM AREA OF SUCH SIGN SHALL BE TWENTY-FOUR (24) SQUARE FEET.
3. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE FIVE (5) FEET.
4. THE MAXIMUM VERTICAL DIMENSION OF THE CABINET OR PANEL SHALL BE FOUR (4) FEET.
5. THE MAXIMUM HORIZONTAL DIMENSION OF THE CABINET OR PANEL SHALL BE TEN (10) FEET.
6. SUCH SIGNS SHALL BE PLACED WITHIN A LANDSCAPED SETTING OF NOT LESS THAN TWO HUNDRED FORTY (240) SQUARE FEET.

C. MID-SIZE MONUMENT SIGNS.

1. SUCH SIGN SHALL IDENTIFY THE BUILDING.
2. THE MAXIMUM AREA OF SUCH SIGN SHALL BE SEVENTY-FIVE (75) SQUARE FEET.
3. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE TWELVE (12) FEET.
4. SUCH SIGN SHALL BE SETBACK TEN (10) FEET FROM THE PROPERTY LINE AND PLACED WITHIN A LANDSCAPE SETTING

CONTAINING NOT LESS THAN TWO HUNDRED FORTY (240) SQUARE FEET.

5. TWO (2) SUCH SIGNS SHALL BE ALLOWED TO BE SUBSTITUTED FOR ONE TOWER SIGN AS PROVIDED IN SECTION 8.534.II.E. PROVIDED THAT THE MAXIMUM AREA FOR EACH SIGN IS LIMITED TO SIXTY (60) SQUARE FEET.

D. LANDSCAPE WALL SIGNS.

1. SUCH SIGN SHALL IDENTIFY THE BUILDING.
2. THE MAXIMUM AREA OF SUCH SIGNS SHALL BE TWENTY (20) SQUARE FEET.
3. THE MAXIMUM HEIGHT OF SUCH SIGNS SHALL BE FIVE (5) FEET.
4. THE PERCENTAGE OF WALL SURFACE AREA COVERED BY INDIVIDUAL LETTERS SHALL NOT EXCEED FIFTY (50) PERCENT.
5. SUCH SIGN SHALL BE PLACED WITHIN A SETTING CONTAINING A LANDSCAPED AREA OF NOT LESS THAN ONE AND FIVE-TENTHS (1.5) SQUARE FEET PER EACH ONE (1) SQUARE FOOT OF SIGN AREA.

E. TOWER SIGNS.

1. SUCH SIGN SHALL IDENTIFY THE BUILDING.
2. THE MAXIMUM AREA OF SUCH SIGN SHALL BE ONE HUNDRED TWENTY (120) SQUARE FEET.
3. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE TWENTY-FIVE (25) FEET.
4. SUCH SIGN SHALL BE PLACED WITHIN A LANDSCAPED SETTING EQUAL TO FOUR (4) FEET FOR EACH ONE (1) FOOT OF SIGN AREA.

F. COLUMN SIGNS.

1. SUCH SIGN IS PERMITTED ONLY AS APPROVED IN A MASTER SIGN PROGRAM.
2. SUCH SIGN SHALL ONLY IDENTIFY THE PROJECT.

3. THERE SHALL BE A MAXIMUM OF ONE (1) COLUMN SIGN PER STREET FRONTAGE.
4. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE TWENTY-FIVE (25) FEET.
5. THE MAXIMUM AREA OF ANY ONE (1) FACE OF SUCH SIGN SHALL BE ONE HUNDRED FIFTY (150) SQUARE FEET. THE MAXIMUM DIAMETER SHALL BE SIX (6) FEET, IF SUCH SIGN IS ROUND.
6. SUCH SIGN MAY BE ILLUMINATED INTERNALLY OR EXTERNALLY, EXCEPT THAT WHEN LOCATED IN THE PRC ESL (PLANNED REGIONAL CENTER ENVIRONMENTALLY SENSITIVE LAND) DISTRICT SUCH SIGN SHALL BE LIMITED TO INDIRECT ILLUMINATION.

IV. TRAFFIC DIRECTIONAL SIGNS.

- A. THE MAXIMUM NUMBER OF SIGNS FOR A SITE SHALL BE DETERMINED BY THE DEVELOPMENT REVIEW BOARD.
- B. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE THREE (3) FEET. HOWEVER, A MAXIMUM HEIGHT OF ELEVEN (11) FEET SHALL BE PERMITTED SUBJECT TO APPROVAL BY THE DEVELOPMENT REVIEW BOARD AS PART OF A MASTER SIGN PROGRAM.
- C. THE MAXIMUM AREA OF SUCH SIGN SHALL BE FIVE (5) SQUARE FEET.
- D. THE MAXIMUM AREA OF A BUILDING NAME OR LOGO ON SUCH SIGN SHALL BE ONE (1) SQUARE FOOT.
- E. WHERE A DRIVEWAY IS SHARED THE MAXIMUM AREA OF SUCH SIGN SHALL BE TEN (10) SQUARE FEET.
- F. WHERE A DRIVEWAY IS SHARED THE MAXIMUM AREA OF A BUILDING NAME OR LOGO SHALL BE TWO (2) SQUARE FEET.
- G. SUCH SIGN SHALL BE ORIENTED INTERNALLY TO THE PROJECT.

V. DIRECTORY SIGNS.

- A. THE MAXIMUM NUMBER OF SIGNS FOR A SITE SHALL BE DETERMINED BY THE DEVELOPMENT REVIEW BOARD.
- B. THE MAXIMUM HEIGHT OF SUCH SIGN SHALL BE TWELVE (12) FEET.

C. THE MAXIMUM AREA OF SUCH SIGN SHALL BE ONE (1) SQUARE FOOT FOR EACH BUSINESS LISTED ON THE SIGN, AND FOUR (4) SQUARE FEET FOR THE NAME OF THE BUILDING OR COMPLEX.

- 1. SUCH SIGN IS PERMITTED ONLY AS APPROVED IN A MASTER SIGN PROGRAM.**
- 2. SUCH SIGN MAY CONTAIN ADVERTISING.**
- 3. DIRECTORY SIGNS WITH ADVERTISING SHALL BE LOCATED SO THAT ANY ADVERTISING IS ORIENTED TO THE INTERIOR OF THE PROJECT AND IS NOT VISIBLE FROM ANY PUBLIC STREET OR HIGHWAY.**
- 4. DIRECTORY SIGNS WITH ADVERTISING SHALL BE SET BACK A MINIMUM OF ONE HUNDRED AND FIFTY (150) FEET FROM THE PERIMETER PROPERTY LINES OF THE PROJECT.**
- 5. THE AREA OF SUCH SIGN USED FOR THE PURPOSE OF ADVERTISING SHALL NOT EXCEED THE AREA USED FOR THE PURPOSE OF BUSINESS, BUILDING, OR PROJECT IDENTIFICATION.**

VII. *SUM TOTAL SIGN AREA.* THE SUM TOTAL SIGN AREA ALLOWED FOR EACH USE IN THIS DISTRICT IS ONE AND ONE-HALF (1 ½) SQUARE FEET FOR EACH ONE (1) LINEAL FOOT OF BUILDING FRONT FOOT. A USE WITH ONE (1) FRONT ELEVATION FACING A PUBLIC STREET AND A SECOND FRONT ELEVATION FACING INTERIOR TO THE DEVELOPMENT IS ALLOWED A SUM TOTAL SIGN AREA OF TWO (2) SQUARE FEET FOR EACH ONE (1) LINEAL FOOT OF BUILDING FRONT FOOT.

VIII. *TEMPORARY SIGNS ALLOWED.* IN ADDITION TO TEMPORARY SIGNS PERMITTED IN SECTION 8.600, SEASONAL AND SPECIAL EVENT BANNERS SHALL BE ALLOWED FOR MULTIPLE TENANT COMMERCIAL BUILDINGS AS FOLLOWS:

- A. THE DESIGN, LOCATION, AND MOUNTING METHOD FOR SUCH BANNERS SHALL BE AS APPROVED BY THE DEVELOPMENT REVIEW BOARD.**
- B. SUCH BANNER MAY CONTAIN BOTH GRAPHICS AND TEXT.**
- C. THE MAXIMUM AREA OF SUCH BANNER SHALL BE THIRTY-TWO (32) SQUARE FEET.**

- D. SUCH BANNER SHALL BE MOUNTED AT A MINIMUM HEIGHT OF EIGHT (8) FEET AS MEASURED FROM GRADE TO THE LOWEST PORTION OF THE BANNER.**
- E. BANNERS SHALL BE OF A NEW MATERIAL AND SHALL BE DISPLAYED A MAXIMUM OF NINETY (90) DAYS.**
- F. SUCH BANNER SHALL BE MOUNTED SECURELY AND SHALL NOT BE ALLOWED TO FLAP IN THE WIND.**
- G. NO ROPE, WIRE, OR SIMILAR MATERIAL SHALL BE USED TO SECURE SUCH SIGN.**
- H. SUCH BANNER SHALL BE ORIENTED TO THE INTERIOR OF THE PROJECT SO THAT IT IS NOT VISIBLE FROM ANY PUBLIC STREET OR HIGHWAY, AND SHALL BE SET BACK A MINIMUM OF FIFTY (50) FEET FROM THE PERIMETER PROPERTY LINES OF THE PROJECT.**
- I. SEASONAL AND SPECIAL EVENT BANNERS SHALL REQUIRE A SIGN PERMIT.**