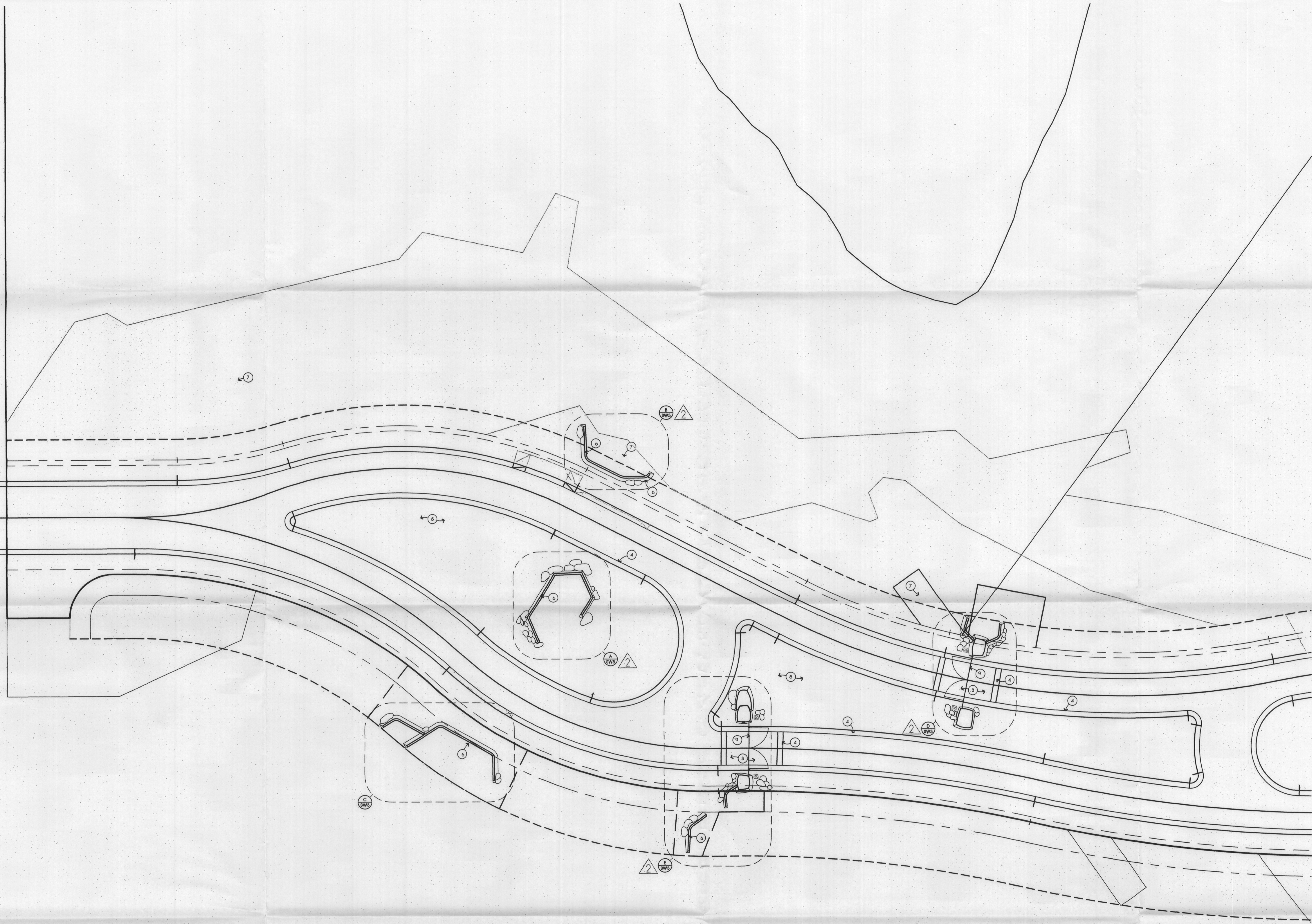


- KEYNOTE:**
- ① 6' WIDE INTEGRALLY COLORED CONCRETE SIDEWALK.
  - ② SEE SHEET A1 & A2 FOR DIMENSIONS & CALLOUTS NOT SHOWN THIS SHEET.
  - ③ DECORATIVE BRICK PAVERS.
  - ④ INTEGRALLY COLORED CONCRETE BANDING.
  - ⑤ PLANTING AREA SEE LANDSCAPE PLANS.
  - ⑥ MASONRY SITE WALLS W/ STUCCO FINISH - SEE CIVIL PLANS FOR TOP OF WALL ELEVATIONS.
  - ⑦ UNDERGROUND DRAINAGE PIPE(S) - SEE CIVIL FOR GRADING AND DRAINAGE INFORMATION.
  - ⑧ TYPICAL 9x18 CAR PARKING SPACE.
  - ⑨ DECORATIVE CUSTOM WROUGHT IRON AUTOMATIC OPENING & CLOSING ENTRY & EXIT GATES. SEE SHEET SCL

**DISCLAIMER:**  
These drawings are instruments of service prepared by the undersigned for the project and site described herein. They are not to be construed as a contract. The contractor shall be responsible for obtaining all necessary permits and for verifying the accuracy of all information provided to the architect. The architect shall not be responsible for the construction of the project or for any damage to the property or persons resulting from the construction of the project.

**REVISIONS:**

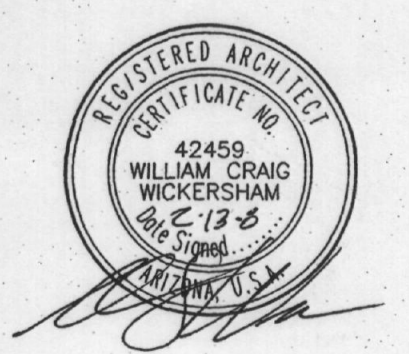
NO.	DATE	BY	DESCRIPTION
1	DEC 18 2007	OWNER	
2	JAN 2008		
3			
4			
5			
6			
7			
8			
9			



**Sereno Canyon**  
Crown Community Development  
Scottsdale, Arizona

113-02-2005 A2 30-5A-2008  
SITE PLAN  
**APPROVED**  
BY THE CITY OF SCOTTSDALE PROJECT REVIEW  
CASE NUMBER 1655-07-3 APPROVED BY [Signature] DATE 1-16-08  
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

- GENERAL NOTES**
- A) SEE SHEET SW1 FOR LARGE SCALE PLANS OF SITE WALLS & GATES.
  - B) SEE OVERALL SITE PLAN SHEET SP1 FOR PROJECT DATA NOT SHOWN THIS SHEET.
  - C) LOCATION(S) OF SITE BOULDERS SHOWN ARE SCHEMATIC AND DEPICTED FOR GENERAL INTENT ONLY. ACTUAL SIZE AND TYPE SHALL BE DETERMINED AND APPROVED BY THE ARCHITECT PRIOR TO PLACEMENT. PLACEMENT SHALL BE DETERMINED IN THE FIELD.
  - D) SEE CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION NOT SHOWN THIS PLAN.



**ALAMEDA ENTRY  
SITE PLAN**

SCALE: 1/16" = 1'-0"

JOB NO. 0702 SHEET NO. SP3  
DATE DEC 18 07  
SCALE AS SHOWN  
DRAWN SJR  
CHECKED WCW  
PLAN CHECK NO. 1655-07-02



**PROJECT DATA**

LEGAL DESCRIPTION: A PORTION OF PARCELS 6 7 10 AND 11 OF THE COLDE BROWN PINNACLE PEAK RANCH UNIT ONE, RECORDED IN BOOK 191, PAGE 26, MARICOPA COUNTY RECORDS (MCLR) LYING WITHIN SECTION 18, TOWNSHIP 4 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

QUARTER SECTION: 45-57 & 45-58 & 40-58  
 SITE ADDRESS: 24095 N. 124TH STREET, SCOTTSDALE, ARIZONA

TAX ASSESSOR'S PARCEL #: R1-50 ESL  
 LOT AREA: 117 ACRES  
 SLOPE CATEGORY: UPPER DESERT LANDFORM  
 NAOS REGD: 14699 SF.  
 NAOS PROVIDED: 8.1 ACRES  
 LOT COVERAGE: .8%

BUILDING AREAS:	RETREAT	GUARD STATION
TOTAL LIVABLE MECHANICAL COVERED AREAS	1842 SF.	537 SQFT.
TOTAL AREA UNDER ROOF	2699 SF.	1163 SQFT.

CONSTRUCTION TYPE: ~~V-B W/AUTOMATIC FIRE SPRINKLER~~ V-B W/AUTOMATIC FIRE SPRINKLER

OCCUPANCY: ~~B (\*)~~ B  
 OCCUPANT LOAD: ~~1/50 SF OR 1842/50 = 37~~ 1/100 SF OR 537/100 = 5

MAX. ALLOWABLE AREA: ~~9000 SF.~~ 9000 SF.  
 MAX. ALLOWABLE BLD'G HEIGHT: ~~24'-0"~~ 24'-0"  
 MAX. BLD'G HEIGHT PROVIDED: ~~18'-0"~~ 18'-0"

(\*) PER BC 100410 EXERCISE ROOM 1/50 OR 1842 SF/50 = 36.84. PER BC SECTION 90311 CONSIDERED NON-ASSEMBLY ACCESSORY USE. CLASSIFY AS A 'B' OCCUPANCY.

PARKING REQUIRED:	RETREAT	GUARD STATION
	1/200 OR 1462/200 = 7.31 SPACES	1/300 OR 537/300 = 1.8 SPACES

PARKING PROVIDED: 10 SPACES (INCLUDING ACCESSIBLE SPACES) 2 SPACES

ACCESSIBLE PARKING REQD: 4% OF TOTAL REQUIRED (21) OR 84 SPACES PROVIDED: 1 ACCESSIBLE CAR SPACE 1 ACCESSIBLE VAN SPACE

PROJECT BENCHMARK: CITY OF SCOTTSDALE BRASSCAP FLUSH AT THE INTERSECTION OF HAPPY VALLEY DRIVE AND 120TH STREET FENCE RUNS S & W, UP 1' NORTHEAST CORNER LOT 18.

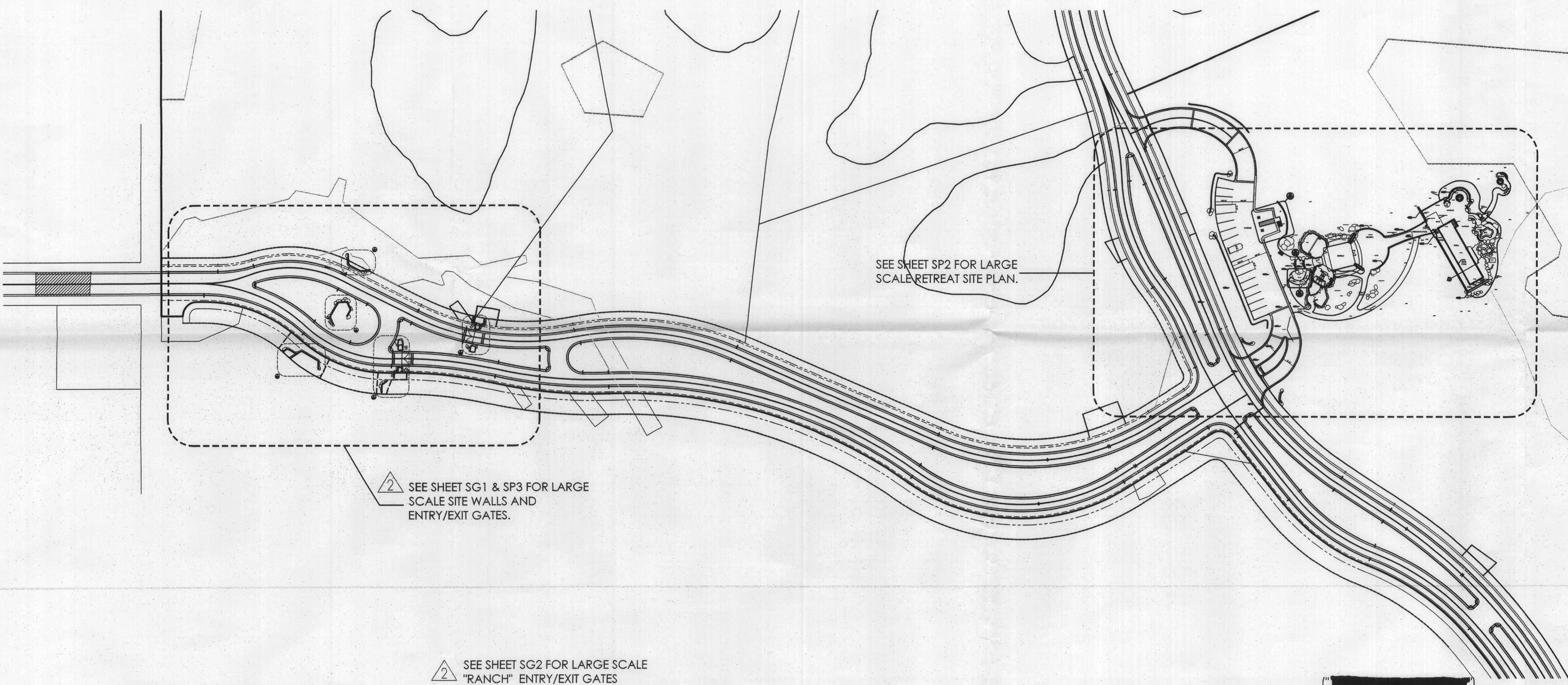
ELEVATION = 26913' NAVD'88 DATUM

**Craig Wickersham I Architects**  
 15821 N. 79th Street  
 Suite 2  
 Scottsdale, AZ 85260  
 480 609-6766

**DISCLAIMER:**  
 I, the undersigned, certify that I am a duly licensed professional architect in the State of Arizona and that I am the author of the architectural drawings herein. I am not responsible for any errors or omissions in these drawings or for any consequences that may result from their use. I warrant that the drawings were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Arizona.

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	DEC 18 2007	ISSUED FOR PERMIT
2	JAN 2008	REVISED PER CITY COMMENTS
3		
4		
5		



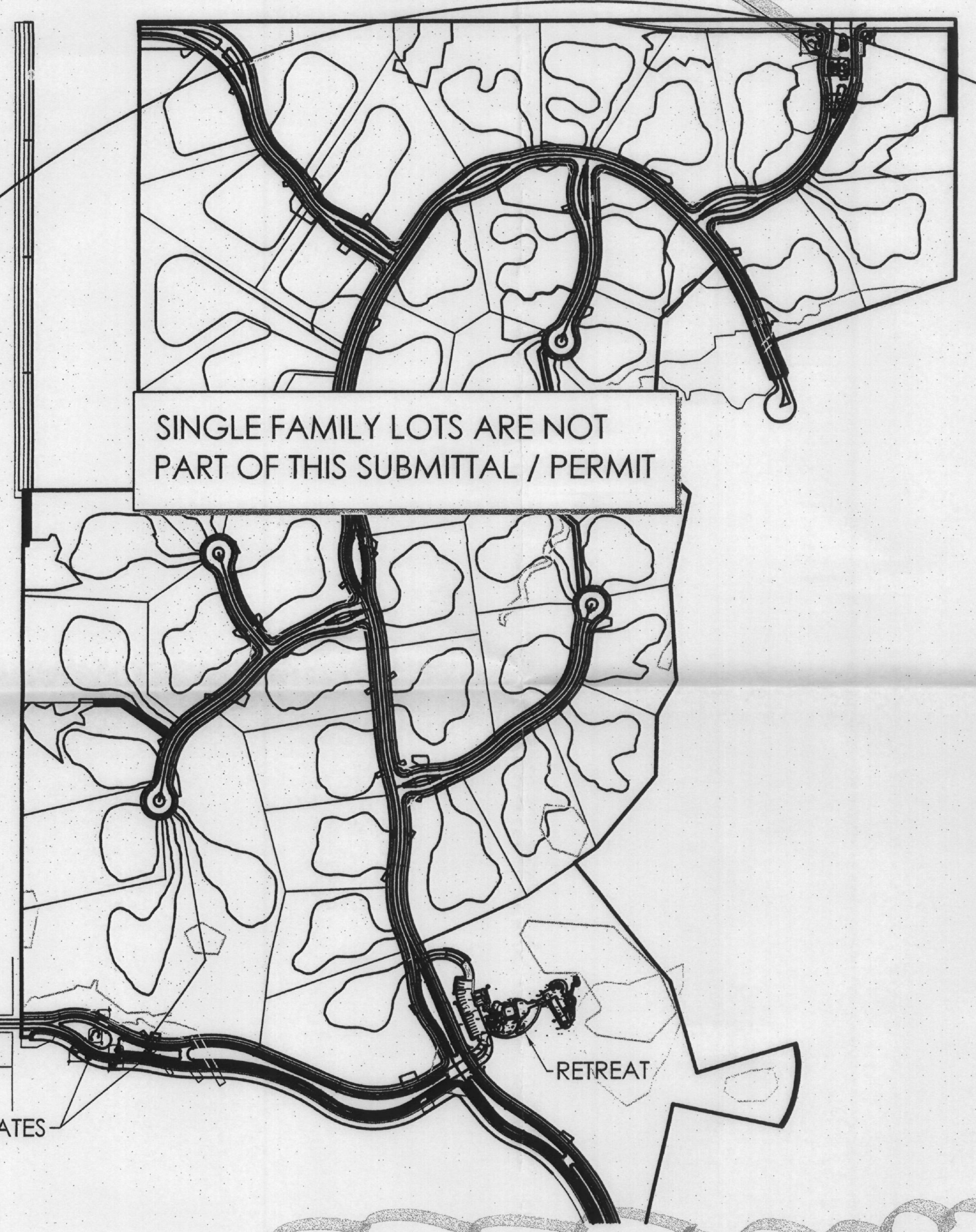
**OVERALL SITE PLAN**  
 SCALE: 1" = 60'-0"

SEE SHEET SG2 FOR LARGE SCALE "RANCH" ENTRY/EXIT GATES WHERE INDICATED ON OVERALL SITE PLAN.

GUARD STATION & "RANCH" ENTRY/EXIT GATES

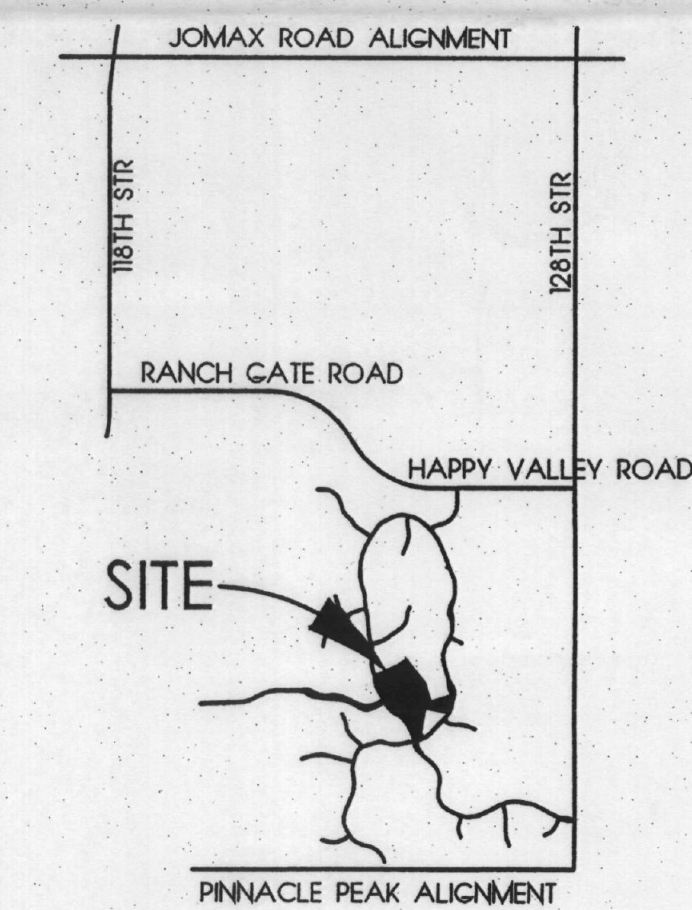
**ESLO NOTES:**

1. THIS SITE PLAN IS NOT A BOUNDARY SURVEY. REFER TO THE CIVIL PLANS FOR GRADING & DRAINAGE INFO NOT SHOWN HERE.
2. ALL BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.
3. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION.
4. THIS PLAN IS DESIGNED TO SHOW ARCHITECTURAL INFO SUCH AS BUILDING SETBACKS, ARCHITECTURAL SITE APPURTENANCES AND FEATURES. REFER TO THE CIVIL PLANS FOR OFFICIAL BOUNDARY & CAD INFO.
5. SLOPE AWAY FROM STRUCTURES AT 5% FOR A MINIMUM OF 10' EXCEPT AS NOTED.
6. MAXIMUM CUT & FILL SLOPES ARE 4:1 EXCEPT AS NOTED.
7. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY OWNER.
8. SEE INDICATED DETAILS FOR RETAINING WALL DETAILS & CALCULATIONS. TOP OF FOOTING TO BE A MINIMUM OF 8' BELOW GRADE.
9. HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUESTAKE (602) 263-1100.
10. SEE CIVIL PLANS FOR ON-SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES ONLY. ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/OR RELOCATION OF ON-SITE PLANT MATERIALS. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.
11. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE APPROVAL & PERMIT.
12. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, OR ON TO AN ADJACENT LOT OR TRACT OF LAND.
13. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQ, ETC) SHALL BE SCREENED A MINIMUM OF 1' ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
14. THERE SHALL BE NO GUESTHOUSE OR ACCESSORY STRUCTURES OFFERED FOR RENT OR SALE AS PART OF THIS PERMIT.
15. EXTERIOR MATERIAL AND PAINT COLORS SHALL NOT EXCEED A VALUE OF SIX(6) AND/OR A CHROMA OF SIX (6) AS INDICATED IN THE MUNSSELL BOOK OF COLOR ON FILE IN THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT. (THE CITY MAY REQUIRE COLOR SAMPLES).
16. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, H.F. AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
17. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
18. PLANT MATERIALS THAT ARE NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE FROM LOWER ELEVATIONS.
19. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
20. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNFINISHED COPPER, ALUMINUM GALVANIZED STEEL OR OTHER METALLIC SURFACES SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
21. MIRRORING SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORING SURFACE ARE PROHIBITED.
22. THE OWNER AND OR CONTRACTOR SHALL INCORPORATE TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LANDFORM AND MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
23. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
24. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICES SPECIFIED IN CHAPTER 37 (DRAINAGE & FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.
25. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
26. A REGISTERED SURVEYOR SHALL STAKE AND ROPE OR FENCE THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT IN ACCORDANCE WITH THE SITE PLAN. THE CONSTRUCTION ENVELOPE AND NAOS AREA STAKED MUST BE THE MOST RESTRICTIVE IN ACCORDANCE WITH THE ZONING ORDINANCE.
27. NO PAINT COLOR SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%.



**OVERALL PROJECT SITE PLAN**  
 SCALE: 1" = 300'-0"

**VICINITY MAP** NOT TO SCALE

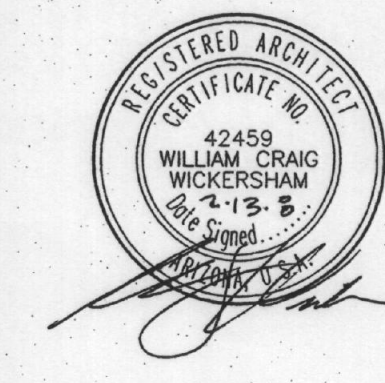


113-02-2025 #2 30-9A-2008  
**SITE PLAN**  
**APPROVED**  
 BY THE CITY OF SCOTTSDALE PROJECT REVIEW  
 1655-07-3 CASE NUMBER APPROVED BY 4-16-08 DATE  
 CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

CALL TWO WORKING DAYS BEFORE YOU DO  
 602-263-1100 OR 1-800-STAKE-IT

**ARCHITECTURAL SITE PLAN**  
 SCALE: AS SHOWN

**Sereno Canyon**  
 Crown Community Development  
 Scottsdale, Arizona



JOB NO. 0702 SHEET NO.  
 DATE DEC 18 07  
 SCALE AS SHOWN  
 DRAWN S.R.  
 CHECKED W.C.W.  
 PLAN CHECK NO.  
**1655-07-02**

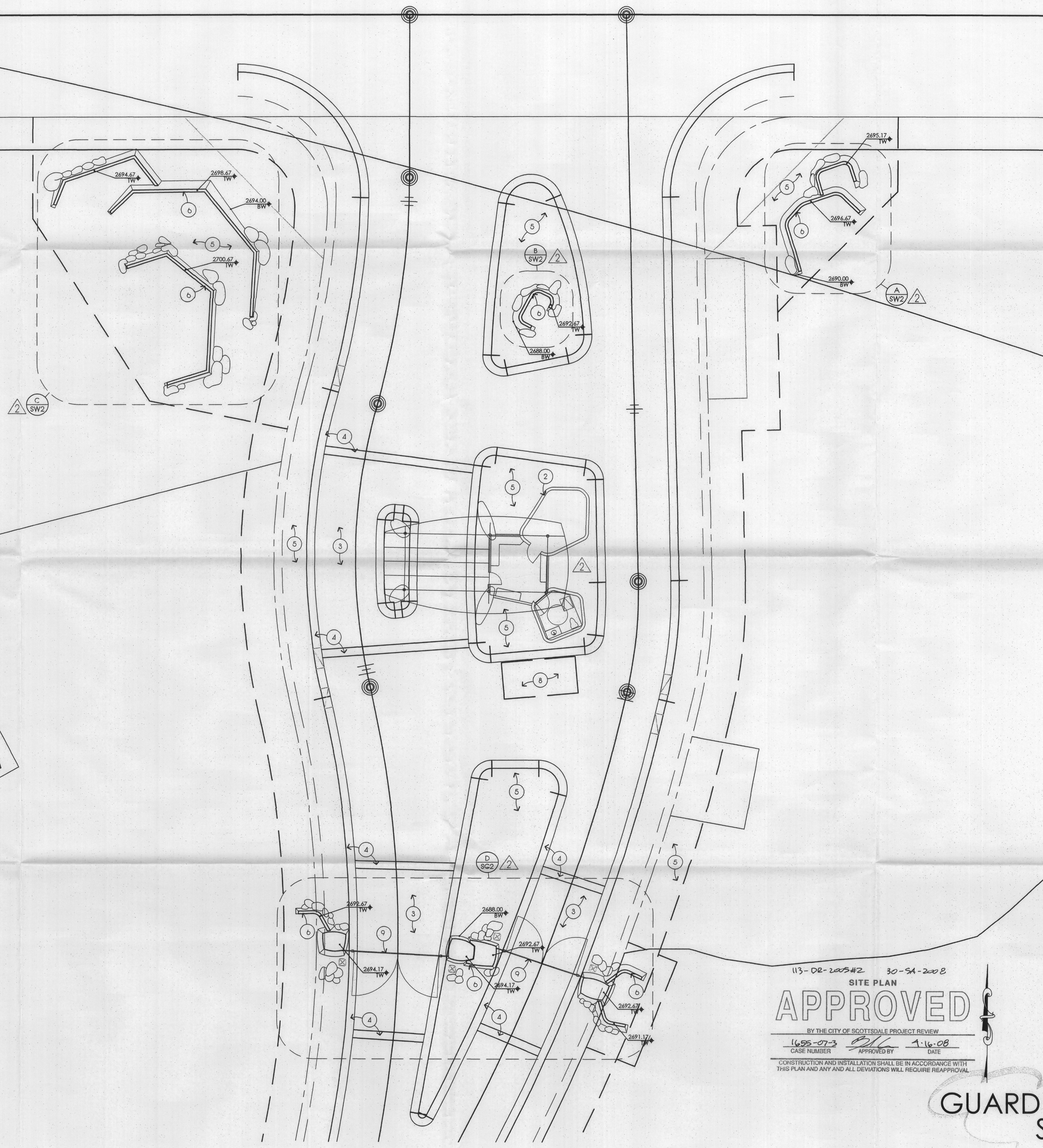


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 This drawing is the property of Craig Wickersham Inc. and is to be used only for the project and site shown. It is not to be used for any other project or site without the written consent of Craig Wickersham Inc. The user of this drawing shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall also be responsible for obtaining all necessary information from the appropriate authorities regarding the project and site. The user shall also be responsible for obtaining all necessary information from the appropriate authorities regarding the project and site. The user shall also be responsible for obtaining all necessary information from the appropriate authorities regarding the project and site.

**REVISIONS:**

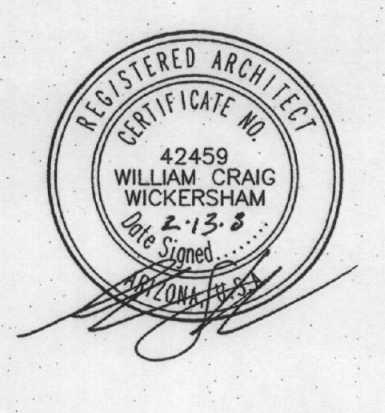
NO.	DATE	BY	DESCRIPTION
1	DEC 18 2007	OWNER	APPROVED
2	JAN 10 2008	OWNER	APPROVED

- KEYNOTE:**
- 1' WIDE INTEGRALLY COLORED CONCRETE SIDEWALK.
  - SEE SHEET A1 & A2 FOR DIMENSIONS & CALLOUTS NOT SHOWN THIS SHEET.
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113-02-2005#2 30-SA-200B  
 SITE PLAN  
**APPROVED**  
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 1655-07-3 APPROVED BY DATE  
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**GUARD STATION SITE PLAN**  
 SCALE: 1/10" = 1'-0"