

PLANNING COMMISSION REPORT



Meeting Date: August 11, 2010
General Plan Element: *Land Use*
General Plan Goal: *Create a sense of community through land uses*

ACTION

Notre Dame Preparatory High School 12-ZN-2009 and 30-UP-2009

Request to consider the following:

1. Recommend that City Council approve to amend the zoning development plan in the Horseman's Park Planned Community (PCD) District, zoning case 33-ZN-2000, to approve modified development standards allowing for additional height and to amend the site plan for the Single-Family Residential District, Planned Community District, Environmentally Sensitive Lands (R1-5/PCD/ESL) and Single-Family Residential, Planned Community District, Environmentally Sensitive Lands (R1-35/PCD/ESL) zoning on a 40 +/- acre parcel located at 9701 E. Bell Rd.
2. Find that the Planned Community Development District (PCD) findings have been met and find that the proposed zoning map amendment is consistent and conforms to the adopted General Plan.
3. Recommend that City Council approve to amend and modify two (2) existing Conditional Use Permits, cases 62-UP-1997#2 and 23-UP-2001, to amend and modify a previously approved Conditional Use permit site plan for a private school and for community buildings and recreational facilities not publicly owned on a 40 +/- acre parcel located at 9701 E. Bell Rd. with Single-Family Residential District, Planned Community District, Environmentally Sensitive Lands (R1-5/PCD/ESL) and Single-Family Residential, Planned Community District, Environmentally Sensitive Lands (R1-35/PCD/ESL) zoning.
4. Find that the Conditional Use Permit criteria have been met.

Related Policies, References:

22-Z-1972, 55-ZN-1990, 62-UP 1997, 35-ZN-1999, 15-GP-1999, 33-ZN-2000, 16-ZN-2001, 62-UP-1997#2, and 23-UP-2001, 11-TA-2000#3

OWNER

Notre Dame Preparatory School
480-634-8201

Action Taken _____

City of Scottsdale
480-312-6825

APPLICANT CONTACT

JOHN BERRY
BERRY & DAMORE LLC
480-385-2727

LOCATION

9701 E. Bell Road

BACKGROUND

Zoning and Use Permit History

The subject site was annexed into the City of Scottsdale in February of 1963. The annexed parcels were then rezoned from the county designation to the City's zoning designation of Single-Family Residential District (R1-35) through case 22-Z-1972. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted as an amendment to the Hillside District overlay, and included the subject site into the ESL overlay boundary.

The site's northern area (approximately 22.4 acres) is zoned Single-Family Residential, Planned Community District, Environmentally Sensitive Lands (R1-35/PCD/ESL). The site's southern area (approximately 11.5 acres), approximately thirty percent (30%) of the total site acreage, is zoned Single-Family Residential District, Planned Community District, Environmentally Sensitive Lands (R1-5/PCD/ESL). Approximately 7.28 acres of City land is being considered for acquisition by the applicant to incorporate into the project along the western boundary of the site plan, which is also zoned R1-35/PCD/ESL.

The R1-35/PCD/ESL and the R1-5/PCD/ESL zoning districts allow for single-family residential uses, with the PCD providing the opportunity to arrange a variety of uses in accordance with a master land use plan. These districts also allow private schools and community buildings and recreational facilities not publicly owned subject to Conditional Use Permit (CUP) approval. The case history is as follows:

- 1998: Approval of the CUP for a private school on the northernmost 23.9 +/- acres of the site, allowing 1200 students attending the three schools. (62-UP-1997)
- 2000: Approval of general plan amendment and rezoning for inclusion in the Horseman's Park East specific area plan (35-ZN-1999 and 15-GP-1999). These cases rezoned the southern 10 acres to a Medium Density Residential District (R-3 ESL) to allow for a townhome residential project to be constructed on the southern portion.
- 2001: Approval of the Planned Community District (PCD) zoning and amended development

standards for the entire Horseman's Park area. The development standards addressed heights, setbacks, and floor area ratio (Case 33-ZN-2000)

- 2002: Approval to rezone the southern 10 acres from the R-3 PCD ESL District to the R1-5 PCD ESL, add an additional 1.5 +/- acres to the R1-5 PCD ESL District, update the previous CUP, and approval of another CUP for community buildings and recreational facilities not publicly owned. (16-ZN-2001, 62-UP-1997#2, and 23-UP-2001).

General Plan

The General Plan Land Use Element designates the property as Cultural/Institutional or Public Use, and Suburban Neighborhoods. This category designation includes a variety of public and private facilities including government buildings, schools, private and public utilities, and airports.

Character Area Plan

The property is located within the Horseman's Park Specific Area Plan. The Horseman's Park specific area plan is designed to preserve the natural and visual qualities of the Sonoran Desert. The plan more specifically looks at the compatibility of surrounding land uses for those areas adjacent to N. Pima Road and E. Bell Road.

Context

The subject property is located at the southwest corner of E. Bell Road and N. 98th Street. The surrounding land uses include: vacant City owned land and the Westworld property to the west, the continued Westworld property to the south, single-family residential to the north, and office and single-family residential to the east. The vacant City owned property is currently used as a drainage system for the area. The Trails North at Horseman's Park subdivision is located to the east of this site.

Adjacent Uses and Zoning

- North: Multi-Family Residential, Planned Community District, Environmentally Sensitive Lands, zoned R1-5/PCD/ESL; Windgate Ranch Phase I Plat C subdivision.
- South: Western Theme Park District, Environmentally Sensitive Lands, zoned W-P/ESL; City of Scottsdale - Westworld.
- East: Multi-Family Residential, Planned Community District, Environmentally Sensitive Lands, zoned R1-5/PCD/ESL; Trails North at Horseman's Park subdivision.
- West: Single-Family Residential, Planned Community District, Environmentally Sensitive Lands, zoned R1-35/ESL/FO; vacant property.

Key Items for Consideration

- Owner proposes a phased project site plan for completion of expanded school facilities.
- The proposed rezoning will amend the Horseman's Park Specific Area Plan by amending the previously approved site plan and Planned Community District development standards.
- The proposed CUP will modify the approved site plan for two CUPs: a private school and for community buildings and recreational facilities not publicly owned.

- Owner is pursuing acquisition of City owned property to meet the requirements for this proposed project’s development standards.
- Staff has not received any opposition.

APPLICANTS PROPOSAL

Goal/Purpose of Request

The applicant’s request is to modify the Horseman’s Park Planned Community District (PCD) zoning district and to amend two existing CUPs. The amendment to the PCD zoning district includes amending the site plan and development standard for height. The current CUPs have been previously approved for the uses of a private school and for community buildings and recreational facilities not publicly owned.

The applicant, in their narrative, states that the intent of the new campus master plan proposal is to add buildings to accommodate higher enrollment projections of 1,200 students (an increase from 1,000 students) and expand curriculum needs, as well as to accommodate additional fine arts and athletic programs. This will be achieved through the construction of a performing arts center, a gymnasium expansion, new/additional classrooms, and a multipurpose athletic facility including football.

Because the current land area within the Notre Dame High School campus boundary is not large enough to accommodate the proposed development plan and other requirements, approximately 7.28 acres of City land is being considered for acquisition by the applicant to incorporate into the project. A companion agreement between the school and the City will be considered concurrently to acquire City land to the west to meet the requirements for this proposed project’s development standards.

Development Information

- Existing Use: Notre Dame Preparatory High School (1200 maximum students allowed) and Ancillary Uses
- Proposed Use: Notre Dame Preparatory High School (Approximately 1200 Students) and Expand Ancillary Uses (performing arts center, gymnasium expansion, additional classrooms, multi-purpose athletic facility, football stadium)
- Parcel Size: 40 +/- acres
- Building Height Allowed: 36 feet (through PCD zoning)
- Building Height Proposed: 46 feet, with 10 % of performing arts building at 65 feet
- Parking Required: 683 spaces
- Parking Provided: 840 spaces
- Open Space Required: 617,073 square feet
- Open Space Provided: 626,523 square feet

- Parking Landscaping Req: 39, 158 square feet
- Parking Landscaping Prov: 39, 200 square feet
- NAOS Required: 8.29 acres
- NAOS Provided: 8.29 acres
- Floor Area Ratio Allowed: 358,764 Square Feet
- Floor Area Ratio Proposed: 357,335 Square Feet

IMPACT ANALYSIS

Land Use

The subject Notre Dame School site currently has a series of classrooms buildings, parking lot areas, auditorium/cafeteria building, and athletic facilities located on the property. Currently there are approximately 1000 students attending the private high school. The project proposes increasing the number of students the maximum allowable 1200 students. If the proposed PCD amendment and Conditional Use permits are approved, the school will eventually expand to provide the addition of a performing arts center, a gymnasium expansion, new/additional classrooms, and a multipurpose athletic facility including a new football stadium.

The additional height requested under this rezoning application (12-ZN-2009) is for the classroom buildings, located near the center of campus, and the performing arts center located just south of the proposed football stadium on the western side of the campus. The proposed classrooms will have a maximum height of forty-six (46) feet; and the performing arts building will have a maximum height of forty-five (45) feet for the main building, and sixty-five (65) for the ten percent (10%) building housing the fly-space. The performing arts center on the western side of the campus minimizes impacts to the residential neighborhood to the east.

The acquisition of the City owned property is an option to allow the school to locate required parking and Natural Area Open Space on the proposed acquired property area. By utilizing the portion of acquired land on the west side of the campus, the new campus buildings will be positioned further away from the single-family neighborhood to the east and will allow for access changes that will benefit the area and the neighbors. The proposed development plan will provide better vehicular circulation and a more functional and neighborhood sensitive student drop-off.

The proposed development site plan will be phased in accordance with the ability of the owner to be able to construct each proposed building. The development site plan provides the allowable development standard data in conjunction with each proposed building's development standards requirements. There are a series of building construction combinations that would allow construction on the existing site without requiring the acquisition of additional lands. In order to complete the entire development plan as proposed, additional land will need to be acquired.

Conditional Use Permit

Conditional use permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and City Council has found as follows:

- A. That the granting of such conditional use permits (private school and for community buildings and recreational facilities not publicly owned) will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
 - **No excessive or significant smoke, odor, dust, or vibration is anticipated to be generated from Notre Dame Preparatory High School. The athletic fields will be used for sporting events that will create some level of noise and illumination. Through careful site planning efforts, the location of the athletic fields were positioned in a manner to provide an ample buffer to the adjacent single-family homes. Additionally, Notre Dame proposes only 4 additional light poles from what exists on campus today. These lights will utilize state of the art lighting design and standards to minimize impact and foot-candle trespass to the residential neighborhood, similar to the existing ballfield lights on the south side of the site. In terms of context, the Westworld multi-purpose facility, which is located to the south of Notre Dame Preparatory has lighted arenas, major events, and day and night use throughout the year.**
 2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
 - **The new campus master plan for Notre Dame Preparatory will not result in unusual volume or character of traffic. The existing street system is more than adequate for the anticipated increase in enrollment. Additionally, the new campus master plan will provide a more functional and neighborhood sensitive student drop-off and parking plan. Vehicular access to the campus is provided from 98th Street which runs along the eastern edge of the property and intersects with Bell Road to the north and McDowell Mountain Ranch Road to the south, which then connects to Thompson Peak Parkway.**
- B. The characteristics of the proposed conditional uses (private school and for community buildings and recreational facilities not publicly owned) are reasonably compatible with the types of uses permitted in the surrounding areas.
- **Notre Dame Preparatory High School is compatible with the surround land uses which include vacant municipal land to the west; single-family residential to the north; office and single-family residential to the east; and the Westworld multi-use**

facility to the south. The site is located adjacent to significant roadway corridors to allow for appropriate access to and from the campus. Additionally, the new campus master plan will improve vehicular and pedestrian circulation. Careful thought and consideration has been given to the site planning with respect to the single-family residential neighborhood to the east. Utilizing a portion of the adjacent City parcel to the west for parking will allow the new campus buildings and athletic facilities to be positioned away from the single-family neighborhood and provide additional benefits to community.

- C. The additional conditions for private school in Section 5.102.B(8) have been satisfied:
- a) **Lot size must be greater than 86,000 square feet:** The school site is greater than 86,000 square feet. The original Notre Dame Predatory site is 33.9 +/- acres and the additionally purchased City owned land will bring the size to approximately 41,18 acres.
 - b) **Floor area ratio shall be no greater than 20% of the net lot area:** Floor area ratio under the new master plan is 20%.
 - c) **There will be no outdoor speaker systems or bells:** No outdoor speaker systems or bells are being proposed subject to appropriate security measures and internal communication measures.
 - d) **Open space:** Open space required is 617,073 square feet; open space provided is 626,523 square feet
 - e) **Parking:** All parking meets the setback and parking lot landscaping requirements.
 - f) **Lighting:** All parking lot and campus lighting is 16' or lower, shielded, and directed downward. Non-security lighting is turned off by 10:00 p.m. Athletic field lighting will be consistent with the existing recreational field lighting on the south side of the site.
 - g) **Screening:** The developed portions of the site are screened from the single-family residential neighborhoods by utilizing a combination of screen walls, view fences, and open space (including Natural Area Open Space).
 - h) **Access:** 98th Street is classified as a major collector and provides direct access to the Notre Dame Preparatory campus. Additionally, the new master plan will provide a more functional vehicular circulation and student drop-off plan.
 - i) **Operations:** The outdoor fields will be significantly setback from the surrounding single-family districts.
 - j) **Building design:** All buildings are subject to review and approval by the Development Review Board.
 - k) **Circulation plan:** A circulation plan is being provided with the new master plan for Notre Dame Preparatory identifying all of the access points, drop-off locations, pedestrian connections and vehicular movement.

Traffic

East Bell Road is classified as a minor arterial street. North 98th Street is classified as a major collector street. Both streets are improved to four (4) lanes with a center median. Currently a portion of 98th Street is designated for on-street parking adjacent to the high school property. The intersection of E. Bell Road and N. 98th Street is currently signalized.

A traffic impact study was prepared to analyze the traffic conditions with the proposed increase in student enrollment. Under the 2015 conditions, all study intersections were found to operate at acceptable levels of service. The study intersections included the following intersections along N. 98th Street: E. Bell Road, E. Paradise Lane, E. Rosemary Lane, E. McDowell Mountain Ranch Road, and the site driveways. The ultimate enrollment of 1,200 students, from today's 1,000 students, is estimated to generate 614 additional daily trips; with 163 trips during the a.m. peak hour and 115 trips during the p.m. peak hour.

Because the Notre Dame Preparatory High School is a private educational facility, there is no bussing of student to the site. Students either drive or are dropped off at the school. This leads to a high number of vehicles entering and leaving the site during the school opening and dismissal times. This in turn, leads to some congestion at the site driveways for short periods of time. The current school configuration is lacking in the student drop off area and student parking area. The proposed development plan improves these conditions by providing additional on-site parking for students and faculty, and by adding an extended site driveway along the rear of the site that can be used for student drop-off and pick up activity.

The City will likely also be granting the Notre Dame School development an easement, on City property located in the southeast corner of the Notre Dame School site, to allow the proposed development to complete the proposed loop drive. The proposed loop drive will alleviate the congestion and queuing that currently exists on this site, as explained above. This easement and any acquisition of City owned lands will be finalized in an agreement that will be running concurrently with these subject cases.

Parking

The Ordinance requires 683 parking spaces for the proposed development site plan, and 840 parking spaces are being provided. The site plan shows 334 parking spaces being located on the City owned lands proposed for acquisition. The parking spaces are divided up into two parking lots. The southern parking lot area, located adjacent to the baseball and soccer fields, contains 165 parking spaces; and the northern parking lot area, located adjacent to the performing arts building and football/multi-use field, contains 169 parking spaces. The remaining required spaces are located throughout the school campus. There will be no parking provided on 98th Street.

Water/Sewer

The public water line loop will serve for fire lines and domestic and irrigation metering. The applicant may be required to provide a private on-site lift station to eject the development's wastewater to N. 98th Street, across the wash. A complete and accurate analysis will be provided with the submittal of a Basis of Design Report at the time of Development Review Board Submittal.

Public Safety

A 24-foot Emergency and Service Vehicle Access easement over all proposed drive aisles for municipal uses will need to be provided. Site plan shall meet all Fire Ordinance requirements. All drive aisles must support 83,000 lb. fire trucks, and internal circulation must accommodate a 55-foot turning radius for fire truck access and maneuverability.

Open Space

The majority of the open space required for this project is mainly located in the southern and northern portions of the proposed project. The proposed school buildings are located in the center of the site. The proposed baseball and soccer fields (located in the southern portion of the site) and the football/multi-use field (located in the northern portion of the site) are responsible for the majority of the open space being dedicated by this project. There are areas of open space located intermittently throughout the Notre Dame School campus.

This site's requirements for open space and Natural Area Open Space have been calculated assuming the acquisition of the City owned lands by the school site. The proposed development is required to provide a total of 617,073 square feet of open space. The project proposes to provide 626,523 square feet of open space area. The project is also calculated to dedicate 7.28 acres of Natural Area Open Space. The proposed development site plan shows 8.29 acres of Natural Area Open Space being dedicated. Although the ordinance allows for there to be overlap for areas dedicated as open Space and Natural Area Open Space, depending whether or not there are proposed improvements within the proposed open space area; this project does not count any portion of open space also as Natural Area Open Space.

Additional credit for Natural Area Open Space requirement is available for revegetating an area along E. Bell Road that was scarred during the previous improvements to E. Bell Road. The remaining Natural Area Open Space requirements are proposed to be met by the Notre Dame School development purchasing 7.28 acres of land from the City. The proposed development site plan cannot meet the open space requirement without acquisition of additional land.

Policy Implications

The proposed development site plan is in conformance with the General Plan for the area. The proposed height increases help maximize opportunities for school functions, and the site plan demonstrates selective locations for these additional heights toward the center of the campus.

Planned Community Development District Findings

Before approval or modified approval of an application for a proposed PCD district, the Planning Commission and City Council must find:

- A. That the development proposed is in substantial harmony with the General Plan of the City of Scottsdale, and can be coordinated with existing and planned development of surrounding areas.
 - **Expansion of the existing campus to accommodate the needs of the school is consistent with the General Plan.**
- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.
 - **Vehicular access to the campus is provided from 98th Street which runs along the eastern edge of the property and intersects with Bell Road to the north and**

McDowell Mountain Ranch Road to the south, which then connects to Thompson Peak Parkway. The existing street system is adequate for full enrollment. Additionally, the new campus master plan will provide a more functional and neighborhood sensitive student drop-off and parking plan.

- C. The Planning Commission and City Council shall further find that the facts submitted with the application and presented at the hearing establish beyond reasonable doubt that.
1. In the case of proposed commercial, institutional, recreational and other non-residential uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.
 - **Expansion of the existing campus includes a master plan to ensure harmony with the character of the surrounding areas.**
- D. The Planning Commission and City Council shall further find that the additional standards for private school in Section 5.2105.D have been met.
1. **School is located a minimum of 1,000 feet from any adult use, bar, cocktail lounge, liquor store, Turkish bath, and pool hall.**
 2. **Lot area is greater than 43,000 square feet.**
 3. **There will be no outdoor speaker systems or bells.**
 4. **Open space requirements have been met.**
 5. **Parking meets the setback and parking lot landscaping requirements.**
 6. **All recreation areas are enclosed and located more than 50 feet from any residential district.**
 7. **The new master plan will provide a more functional vehicular circulation and student drop-off plan.**
 8. **Pedestrian connections have been incorporated into the site.**

Community Involvement

The applicant has stated in their Citizen Review Report that there were several forms of communication with the community that were performed in conjunction with this proposed project. The applicant attended the Horseman's Park and Trails North Homeowner's Association meetings. The applicants met with representatives from the Windgate Ranch and Toll Brothers Company. The Toll Brothers Company owns about half of the residential lots located to the north of the school site. A door-to-door personal contact was performed with the Trails North neighbors located immediately adjacent to the site.

On December 16, 2009, the applicant held an Open House meeting at the Notre Dame High School campus location. The applicant states in their Citizen Review Report that no one attended the Open House. The applicant conducted a mailing to property owners within 750 feet of the proposed roadway easement abandonment. City staff has not received any comments on this case.

Community Impact

The proposed development site plan is designed to keep the proposed buildings, over thirty-six feet (36 ft) in height, further away from the adjacent neighborhood. The taller buildings are located along vacant City owned property. The school development has stated that the buildings will be constructed in phases, with the football/multi-use field and the performing arts building being the preferred buildings planned for the first phases.

The proposed football/multi-use field will introduce new activity to the neighborhood. The design and development standards for the field and lighting will be reviewed by the Development Review Board to ensure the field does not negatively impact the neighborhood.

The proposed development site plan helps alleviate the student drop-off congestion and queuing that exist in the neighborhood. The proposed loop drive will alleviate the congestion and queuing that currently exists on this site.

OPTIONS & STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Planning Commission make a recommendation to City Council for approval of the modified development standards, amended development plan, and amended Conditional Use Permits per the attached stipulations, finding that the Conditional Use Permit and Planned Community Development District finding criteria have been met, and determining that the proposed zoning map amendment conforms with the adopted General Plan.

RESPONSIBLE DEPARTMENT(S)

Planning, Neighborhood and Transportation
Current Planning Services

STAFF CONTACTS (S)

Jesus Murillo
Planner
480-312-7849

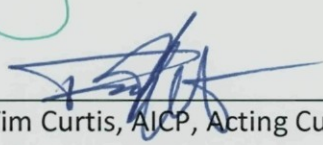
E-mail: jmurillo@scottsdaleAZ.gov

APPROVED BY



Jesus Murillo, Report Author

_____ 8/5/2010
Date



Tim Curtis, AICP, Acting Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

_____ 8/5/2010
Date



Connie Padian, Acting Executive Director
Planning, Neighborhood and Transportation
480-312-2664, cpadian@scottsdaleaz.gov

_____ 8/5/10
Date

ATTACHMENTS

1. Zoning Stipulations
 - Exhibit A to Attachment 1: Planned Community District Development Plan
 - Exhibit B to Attachment 1: Amended Development Standards
2. Conditional Use Permit Stipulations
 - Exhibit A to Attachment 2: Planned Community District Development Plan
3. Applicant's Narrative
4. Context Aerial
- 4A. Aerial Close-Up
5. Site Plan on Aerial Close-Up
6. General Plan Map
7. Zoning Map
8. Citizen Involvement Report
9. City Notification Map

**Stipulations for the Zoning Application:
Notre Dame Preparatory High School
Case Number: 12-ZN-2009**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale. Unless otherwise stated, the owner's completion of all requirements below is subject to the satisfaction of the Project Coordinator and the Final Plans staff.

SITE DESIGN

1. **CONFORMANCE TO CONCEPTUAL PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN.** Development shall conform with the conceptual Planned Community District Development Plan submitted by Todd and Associate Inc., and with the city staff date of July 22, 2010, attached as Exhibit 1 to Exhibit A. The Planned Community District Development Plan consists of: Site Plan, Proposed and Existing Buildings Plan, Proposed Building Heights and Setbacks Analysis Plan, Circulation Plan, City Lands Proposed to be Purchased Plan, NAOS Plan, Open Space Plan, Landscape Plan, Lighting Plan, and Performing Arts Building Section Elevation. Any proposed significant change to the conceptual subdivision plat as determined by the Zoning Administrator prior to the preliminary plat approval shall be subject to additional public hearings before the Planning Commission and City Council. Once the final plat is approved, the development must conform to the final plat.
2. **CONFORMANCE TO AMENDED DEVELOPMENT STANDARDS.** Development shall conform to the amended development standards with the city staff date of July 22, 2010, attached as Exhibit 2 to Exhibit A, and Proposed Building Heights Plan within Exhibit 1 to Exhibit A. Any change to the development standards shall be subject to additional public hearings before the Planning Commission and City Council.
3. **BUILDING HEIGHT LIMITATIONS.** Proposed classrooms on the site shall be limited to forty-six (46) feet in height, measured as provided in the applicable section of the Zoning Ordinance. The majority of the performing arts building shall be limited to forty-six (46) feet in height, with portions of the performing arts building (not to exceed ten percent (10%) of roof area) allowed to a height of sixty-five (65) feet. All proposed heights shall be limited to Proposed Building Heights Plan found within the Planned Community District Development Plan.

INFRASTRUCTURE AND DEDICATIONS

4. **CIRCULATION IMPROVEMENTS.** Before any certificate of occupancy is issued for the site, the owner shall make the required dedications and provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.
 - a. **STREETS.** Dedicate the following easements:
 - a.1. Owner shall dedicate traffic control easements at the main site driveway (E. Paradise Lane) and the northern site driveway. The easements shall be a thirty (30) foot by thirty (30) foot triangle located along the N. 98th Street right-of-way line and each side of the driveway.

- a.2. The owner shall dedicate a non-motorized public access easement along the E. Bell Road frontage to provide for planned east/west regional trails connections.
 - a.3. The owner shall also dedicate a non-motorized public access easement within the projects new western boundary to complete the regional trail proposed within the Reatta Pass wash area. The non-motorized public access easement shall be for the north/south regional trail connection within the wash area, and shall not be required to connect to the Notre Dame School internal pedestrian system. All trail easements and trail locations shall be subject to review and approval by City staff.
 - b. **PARKING IMPROVEMENTS.** Owner shall remove the existing on-street parking on N. 98th Street with the construction of the new parking areas along the west side of the site, as determined by City staff. The owner shall restripe the N. 98th Street to return it to a four-lane roadway (two southbound lanes) adjacent to the site. Signage shall be placed along the N. 98th Street to notify the public of parking not being allowed.
 - c. **PEDESTRIAN CROSSING IMPROVEMENTS.** Prior to Development Review Board submittal, the owner shall work with City staff to determine location for construction of an enhanced pedestrian crossing of N. 98th Street along the site frontage.
 - d. With the Development Review Board submittal, the owner shall submit a parking and internal circulation plan for review and approval by City staff. The plan shall identify the designated parking areas and the student drop-off location.
 - e. With the Development Review Board submittal, the owner shall submit a pedestrian circulation plan that identifies sidewalk and path locations and widths
5. **DRAINAGE REPORT.** In the required drainage report, the owner shall address:
- a. Prior to being scheduled for a Design Review Board Hearing date, the owner shall submit a Master Drainage Report (MDR) and obtain approval from the Stormwater Management Staff.
 - b. In the MDR, provide a hydraulic model of the Reatta Pass Wash and determine the water surface elevation in the wash for both pre and post development conditions. The modeling shall include the Olde Verde Canal embankment, and other structures or topographic features, and mitigate any adverse effects resulting from the backwater conditions caused by the Olde Verde Canal as created by this project.
 - c. Provide full stormwater storage for any new development on the existing Notre Dame Campus or on any other contiguous property. Alternatively, the owner may apply for a stormwater storage waiver, and pay stormwater storage waiver in-lieu fees for any amount of storage volume waived.
 - d. Any new development shall mitigate any increase in the water surface elevation of Reatta Pass Wash or create any adverse effects to any nearby structures. These conditions shall be analyzed in the preliminary Master Drainage Report.
 - e. The new parking facilities must be above the high water level in Reatta Pass Wash for the 100 year storm event.
6. **BASIS OF DESIGN REPORT (WATER).** With the Development Review Board submittal, the owner shall submit basis of design report, the owner shall address future concerns by Water and Wastewater Management Department.

7. **BASIS OF DESIGN REPORT (WASTEWATER).** With the Development Review Board submittal, the owner shall submit basis of design report, the owner shall address future concerns by Water and Wastewater Management Department.

EASEMENTS.

- a. **EASEMENTS DEDICATED BY PLAT.** The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - b. **EASEMENTS CONVEYED BY SEPARATE INSTRUMENT.** Before any building permit is issued for the site, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the city, in conformance with the Design Standards and Policies Manual.
8. **BUFFERED SETBACK.** The owner shall provide a buffered setback width along E. Bell Road having a minimum depth of fifty (50) feet, measured from the existing right-of-way. Unless otherwise approved by the Development Review Board, the buffered setback shall be left or revegetated in a natural condition. The final plat shall show all buffered setback easements or dimensions dedicated to the city.
 9. **MULTI-USE PATH.** Before any building permit is issued for development dependant on lands proposed to be acquired from the City, the owner shall dedicate to the city, a minimum twenty-five (25) foot wide public non-vehicle access easement, and construct a minimum ten (10) foot wide multi-use path within the site's new western boundary before any certificate of occupancy is issued for the site, as shown on the subdivision plat. The path shall be designed in conformance with the Design Standards and Policies Manual. Final trail location and trail easement requirement shall be determined by the Trail Director (or equivalent).
 10. **MULTI-USE TRAIL.** Before any certificate of occupancy is issued for development dependant on lands proposed to be acquired from the City, the owner shall construct a minimum twenty-five (25) foot wide public non-vehicle access easement, and construct a minimum ten (10) foot wide multi-use path within the site's new western boundary, before any certificate of occupancy is issued for the site, as shown on the subdivision plat shown on the site plan with the city staff date of July 22, 2010. The final alignment of the trail shall be subject to approval by the city's Trails Coordinator or designee prior to dedication. The trail shall be designed in conformance with the Design Standards and Policies Manual.
 11. **CONSTRUCTION COMPLETED.** Before any **CERTIFICATE OF OCCUPANCY** is issued for the site for development dependant on lands proposed to be acquired from the City, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.

MASTER PLANS

12. **MASTER INFRASTRUCTURE PLANS.** The owner shall have each Master Infrastructure Plan specified below prepared by a registered engineer licensed to practice in Arizona. Each Master Plan shall be subject to city staff approval before any further Development Review

Board submittal. Each Master Plan shall include a complete description of project phasing, identifying the timing and parties responsible for construction.

- a. Circulation Master Plan
- b. Drainage Master Plan
- c. Water Master Plan
- d. Wastewater Master Plan

13. MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN. Before any other submittal to the Development Review Board, the owner shall submit its Master Environmental Design Concept Plan for Development Review Board review. The Master Environmental Design Concept Plan shall address the following:

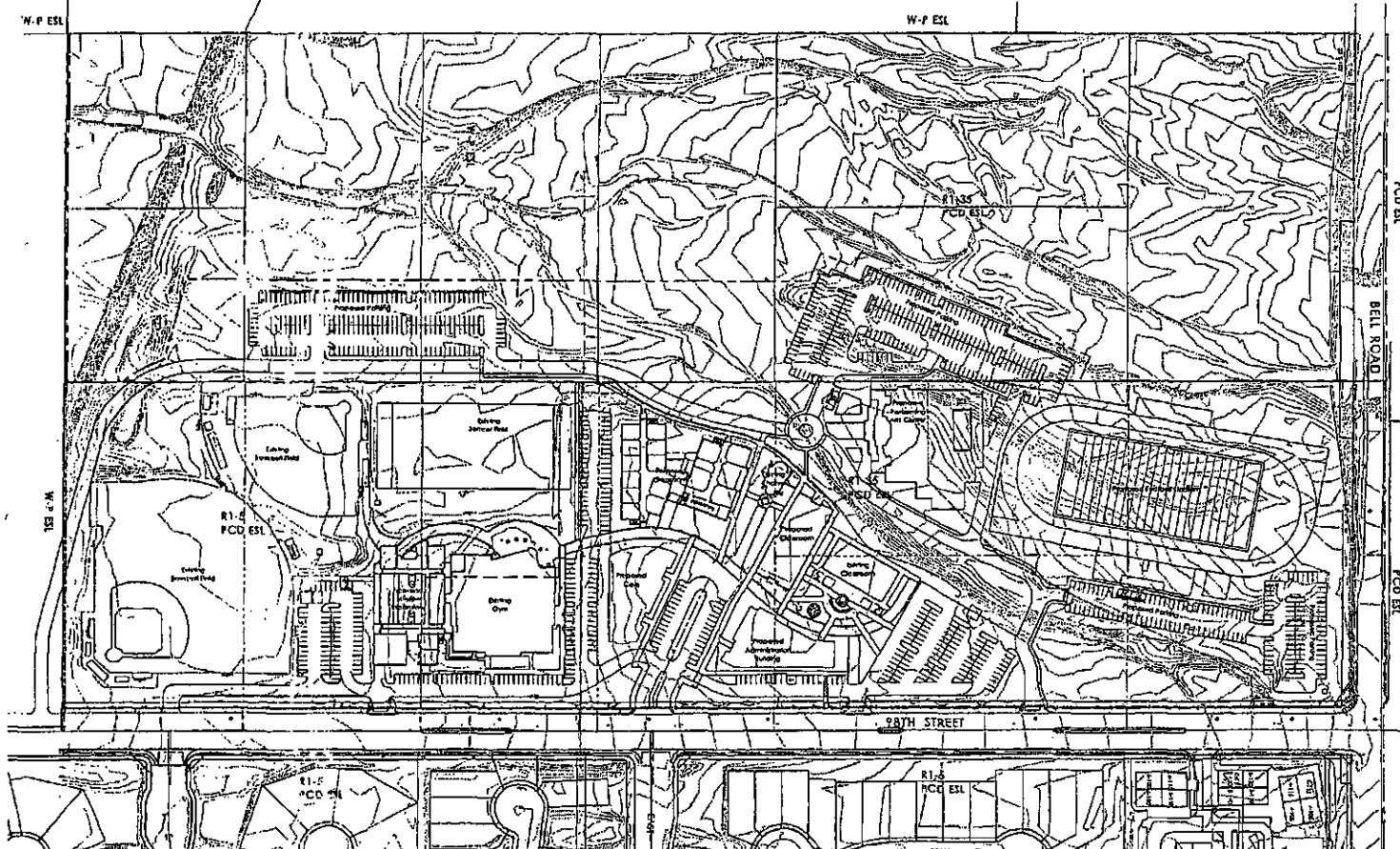
- a. Open space design concepts for open space areas, including location, plant and landscape character, open space corridors, trails, path and bikeways, and integration of drainage plans.
- b. Native plant relocation program and revegetation guidelines for each parcel.
- c. Overall streetscape concepts which incorporate street-side and median landscape design concepts, plant and landscape materials, perimeter, head and screen wall designs and locations.
- d. Typical outdoor lighting plan for streetlights and design concepts and general specifications for parking lots, paths, trails, and landscaping.
- e. General design and architectural themes assuring overall design compatibility of all buildings and structures on the site.
- f. General signage/graphic concepts for development signs, including locations and typical design concepts.
- g. Construction phasing plan.
- h. Multi-use trail design and use, including trail design standards and alignment, design and location of trail amenities, management and controls on trail use and implementation of plan recommendations through city ordinances and policies.
- i. Other applicable elements, as determined by city staff.

14. PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN. Before any other submittal to the Development Review Board, the owner shall submit its Planned Community District Development Plan for Development Review Board review. The Planned Community District Development Plan shall address the following:

- a. Open space design concepts for open space areas, including location, plant and landscape character, open space corridors, trails, paths and bikeways, and integration of drainage plans.
- b. Native plant relocation program and revegetation guidelines for each parcel.
- c. Overall streetscape concepts which incorporate street-side and median landscape design concepts, plant and landscape materials, and perimeter and screen wall designs and locations.

- d. Typical outdoor lighting and design concepts and general specifications for parking lots, paths, trails, sidewalks and landscaping.
- e. Design and architectural themes assuring overall design compatibility of all buildings and structures on the site.
- f. Pedestrian amenities and courtyards.
- g. General signage/graphic concepts for development signs, including locations and typical design concepts.
- h. Construction phasing plan.
- i. Public art location plan.
- j. Multi-use trail design and use, including trail design standards and alignment, design and location of trail amenities, management and controls on trail use and implementation of plan recommendations through city ordinances and policies.
- k. Other applicable elements, as determined by city staff.

EXHIBIT A to ATTACHMENT 1: PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN



PROJECT DATA

PROJECT NAME & ADDRESS:
 NOTRE DAME PREPARATORY HIGH SCHOOL
 1901 EAST 88TH ROAD
 SCOTTSDALE, AZ 85260

SITE AREA OF PROPOSED ACQUISITION:
 GROSS: 41.18 AC (1,775,818 SF)
 NET: 41.18 AC (1,775,818 SF)

ZONING:
 EXISTING: R1-5 FCD ES & R1-5 FCD ES1
 PROPOSED: R1-5 FCD ES1

EXPOSURE HEIGHT:
 ALLOWED: FCD
 PROVIDED: FCD
 EXCEPT FOR PLY SPACE ON THE PERFORMANCE ARTS BUILDING WHICH EXTENDS UP TO 65' HEIGHT

STREETS:
 CITY OF SCOTTSDALE: PROVIDED
 EAST (INR ST, PAVEN): 30'
 NORTH: 30'
 WEST: 30'

OPEN SPACE:
 REQUIRED: 47,075 SF
 PROVIDED (INCLUDING FRONTAGE OPEN SPACE): 43,523 SF

PARKING (OR LANDSCAPE AREA):
 REQUIRED: 41.18 AC x 40,340 = 1,775,818 SF
 PROVIDED: 36,200 SF

CODE REQUIRED PARKING FOR STANDARD SCHOOL DATE:
 REQUIRED: 14,072
 ACCESSIBLE: 317 SF
 TOTAL REQUIRED: 14,389

ADDITIONAL PARKING:
 TOTAL: 307 SF
 PERFORMANCE ARTS: 250 SF
 TOTAL PROVIDED: 307 SF

TOTAL PROPOSED PARKING SPACES:
 PARKING PROVIDED: 307 SF

F.A.R. CALCULATIONS

EXISTING ZONE: 33.9 ACRES PER
PROPOSED ACQUISITION FROM CITY: 2.28 ACRES PER
TOTAL ACRES: 41.18 ACRES

F.A.R. CALCULATION: 41.18 ACRES x 40,340 = 1,775,818 SF
 1,775,818 SF / 4.2 = 338,766 SF

ALLOWABLE F.A.R.: 358,764 SF
PROPOSED F.A.R.: 337,335 SF

NOTE: THIS IS FINANCIAL ESTIMATE OF BUILDING SQUARE FOOTAGE BASED UPON EXISTING PLANNING DEPARTMENT DATA. THE BUILDING PROPOSED HEREIN MAY NOT EXACTLY CORRESPOND.

CODE-REQUIRED PARKING

Parking rates established in the Scottsdale Zoning Code, "Parking and Loading Requirements," were used to calculate the number of spaces required by the development. The minimum parking requirement and total spaces required, per Code, are summarized in Table 3.

Table 3: Required Parking Per City Code

Land Use	Vehicle Parking Minimum per Code	Site	Total Parking Required (spaces)
High School	1 space for each employee 1 space for every 8 students	147 employees 1,300 students	147 263
Total Parking Required			410

*Based on proposed maximum enrollment.

The parking required with the proposed expansion is 347 spaces, per City Code. The number of Code-required parking spaces is less than what is currently provided and utilized for the existing school site, which has a maximum enrollment of 1,000 students. Therefore, an alternative calculation was completed using the actual rates established in the Notre Dame Preparatory High School site.

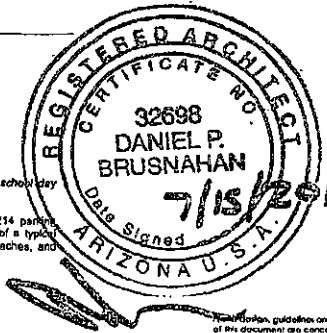
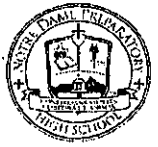
If site: Parking calculations provided by CH2M

Table 4: Future Parking Required for a Typical School Day

User	Parking Spaces Required
Faculty/Staff	147
Coaches	10
Visitors	35
ADA	13
Students	478
Total	883

A total of 683 parking spaces are required to accommodate the typical school day parking demand of the Notre Dame Preparatory High School.

If all 469 of the available on-site parking spaces are utilized, a total of 214 parking spaces would be utilized in Parking Lots 1 and 2. The parking demand of a typical school day, as well as the assumed location of reserved faculty/staff, coaches, and visitor parking, is illustrated in Figure 6.



Case Numbers: 12-ZN-2009
 and 30-UP-2009
 3rd City submittal

SITE PLAN

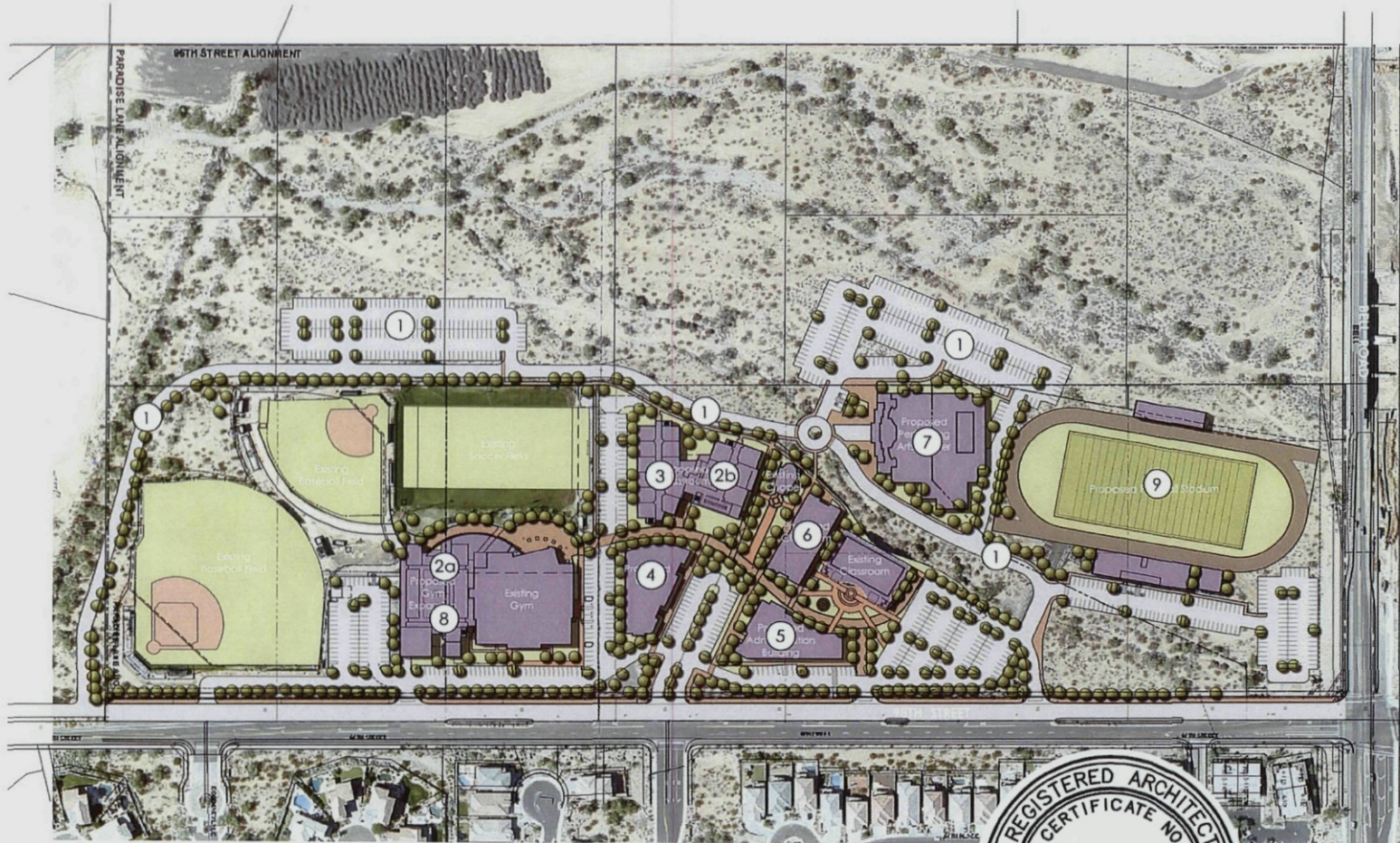
Notre Dame Preparatory High School
 Scottsdale, AZ

TODD & ASSOCIATES, INC.
 Critical Thinking - Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
 480-252-8585 480-252-8585 www.toddsai.com

Project No. 07-1993-03
 Date: 07-15-10
 Preliminary Not for Construction

EXPIRES: 6/30/2013



- LEGEND**
- ① Phase 1: Parking and Drop-Off Loop Road
 - ②a Phase 2a: Gym Expansion - Shell for Temporary Classrooms
 - ②b Phase 2b: Science Classrooms
 - ③ Phase 3: 32 Classrooms at Science Classroom Building
 - ④ Phase 4: Cafeteria
 - ⑤ Phase 5: Administration & Student Services Building
 - ⑥ Phase 6: Classroom Building & Library/Media Center
 - ⑦ Phase 7: New Performing Arts Center
 - ⑧ Phase 8: Gym Addition
 - ⑨ Phase 9: Football/Multipurpose Field

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

CONCEPTUAL PHASING PLAN

Notre Dame Preparatory High School
Scottsdale, AZ.



5
PLAN NO.

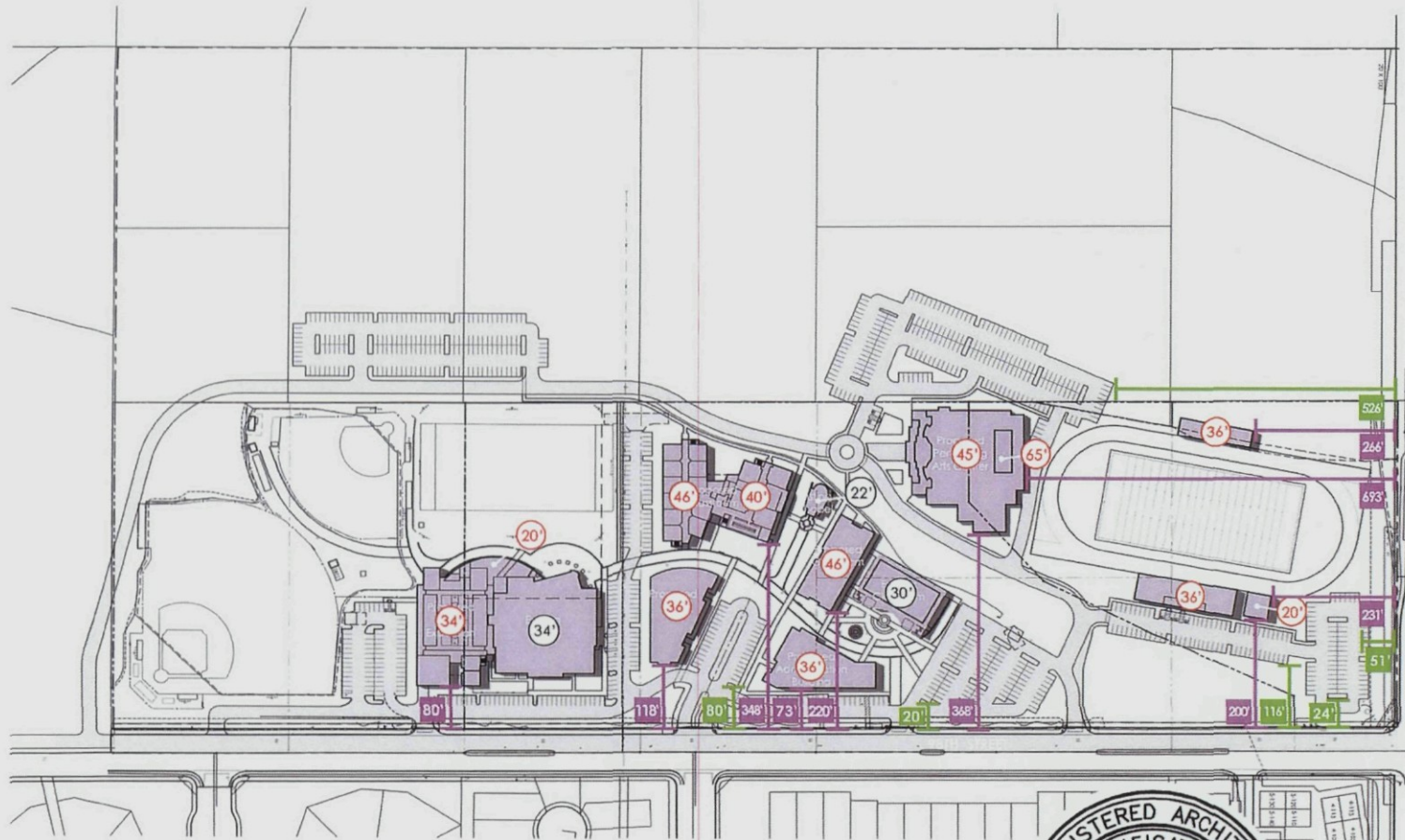
TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
402-422-8200 402-422-8193 www.toddinc.com

Project No: 07-9003-03
Date: 07-09-10
Preliminary Not For Construction

Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.





LEGEND

- #' Existing Building Height
- #' Proposed Building Height
- #' Proposed Parking Setback
- #' Proposed Building Setback

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

PROPOSED BUILDING HEIGHTS

Notre Dame Preparatory
High School
Scottsdale, AZ.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

7
PLAN NO.

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
402-933-6200 402-933-6191 www.toddassoc.com

Project No: 07-1003-03
Date: 07-09-10

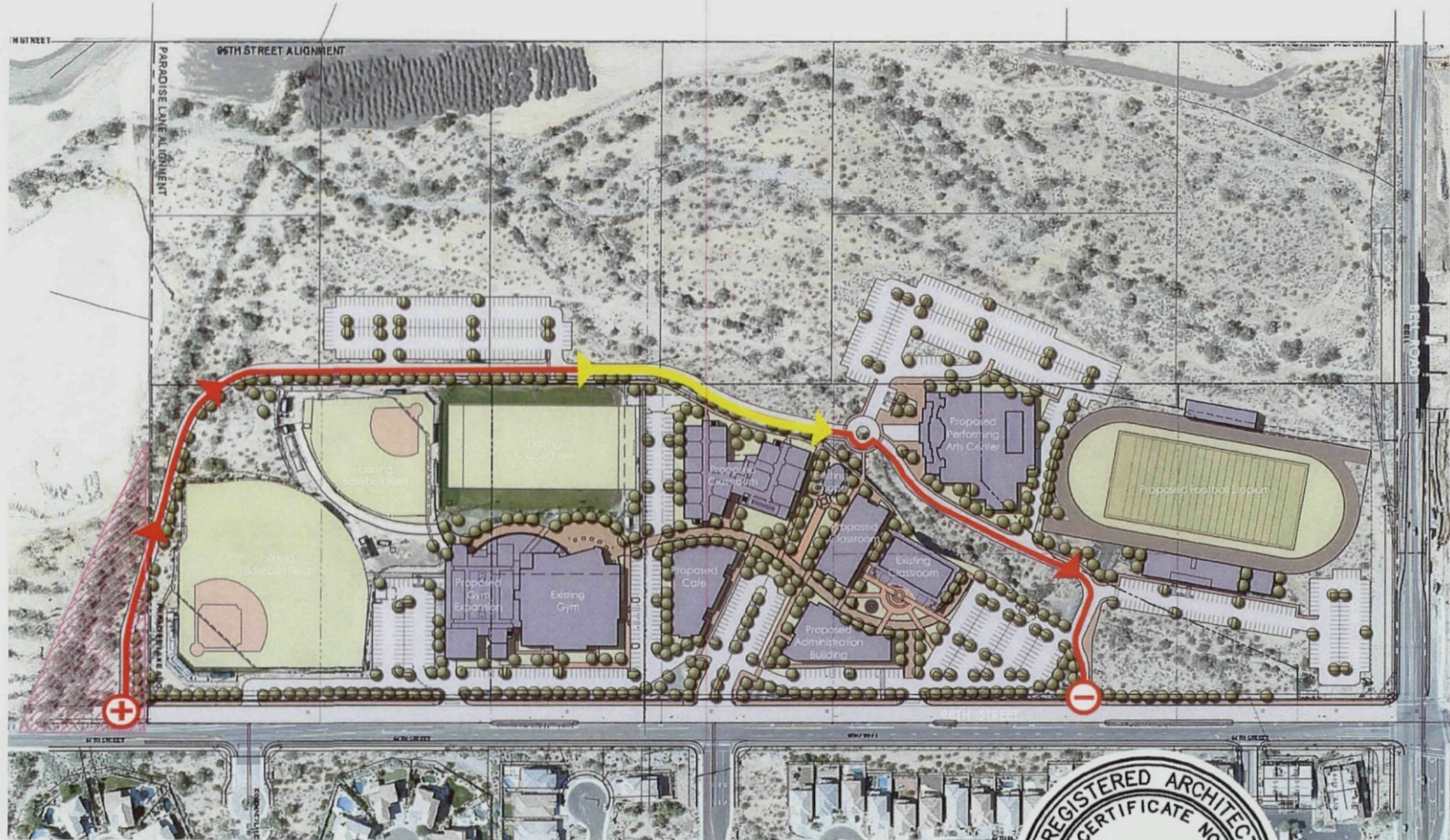
Preliminary Not For Construction



Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.





LEGEND

- Drop-Off Entrance/Exit
- Drop-Off/Pick up; One-Way Circulation (30' width; can accommodate two-way traffic if required)
- Drop-Off Zone
- City Owned - Requires Access Easement

Notes

1. Performing Arts Setback from 98th Street:
 - Old Plan = 20' from Property Line
 - Revised Plan = 350' from Property Line
2. Linear Foot Frontage of Buildings Along 98th Street:
 - Old plan = 990 L.F. of Building Frontage
 - *Revised Plan = 590 L.F. of Building Frontage (reduced by 57%)
 - *Parking structure is deleted; performing arts moves west across wash.

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

Site Circulation Plan

Notre Dame Preparatory
High School
Scottsdale, AZ.

REGISTERED ARCHITECT
CERTIFICATE NO.
32698
DANIEL P.
BRUSNAHAN
Date Signed 7/15/2010
ARIZONA, USA.



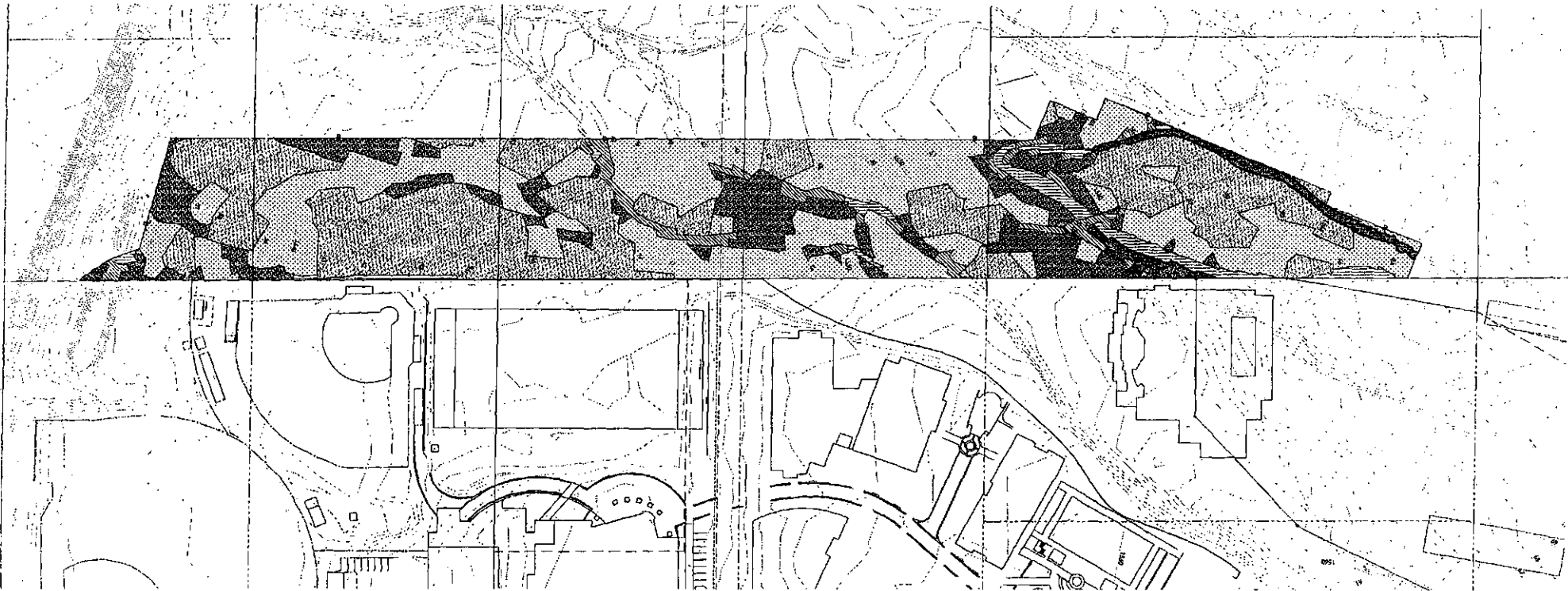
6
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
420-932-8280 420-932-8995 www.toddsai.com

Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.

Project No. 07-1053-03
Date: 07-09-10
Preliminary Not For Construction



PROJECT DATA

ZONING Notre Dame Prep. (NDP)	R1-35 PCD/RES. & R1-5 PCD/RES.
NET LOT AREA Notre Dame Prep. (NDP) City of Scottsdale Parcel	1,474,698 sq. ft. = 33.80 AC Net 312,120 sq. ft. = 7.28 AC Net
TOTAL LOT AREA	1,786,818 sq. ft. = 41.08 AC Net

SLOPE CATEGORIES

SLOPE CATEGORY	SLOPE CATEGORY AREA	NAOS REQ'D RATE	NAOS AREA REQ'D
0-2%	113,754 SF	20%	22,751 SF / .52 AC
2-5%	150,672 SF	25%	30,168 SF / .69 AC
5-10%	60,252 SF	30%	15,076 SF / .35 AC
10-15%	11,345 SF	30%	3,409 SF / .08 AC
15%-25%	11,454 SF	30%	3,436 SF / .08 AC
>25%	9,369 SF 314,867 SF (7.28 AC)	30%	2,810 SF / .04 AC 77,660 SF / 1.78 AC*

*AGGREGATE NAOS RATE FOR SITE:
1.78 AC NAOS REQ'D + 7.28 AC SITE = 24.5%

Case Numbers: 12-ZN-2009
and 30-UP 2009



**SITE PLAN
SLOPE ANALYSIS**

Notre Dame Preparatory
High School
Scottsdale, AZ.

[Handwritten Signature]

REGISTERED PROFESSIONAL ARCHITECT
CERTIFICATE NO. 20662
H. DUANE BLOSSOM
 Date Signed _____
 ARIZONA, U.S.A.
 Expires 05/21/2011

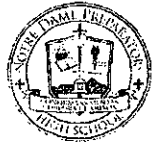
9 **TODD & ASSOCIATES, INC.**
 Critical Thinking - Creative Design

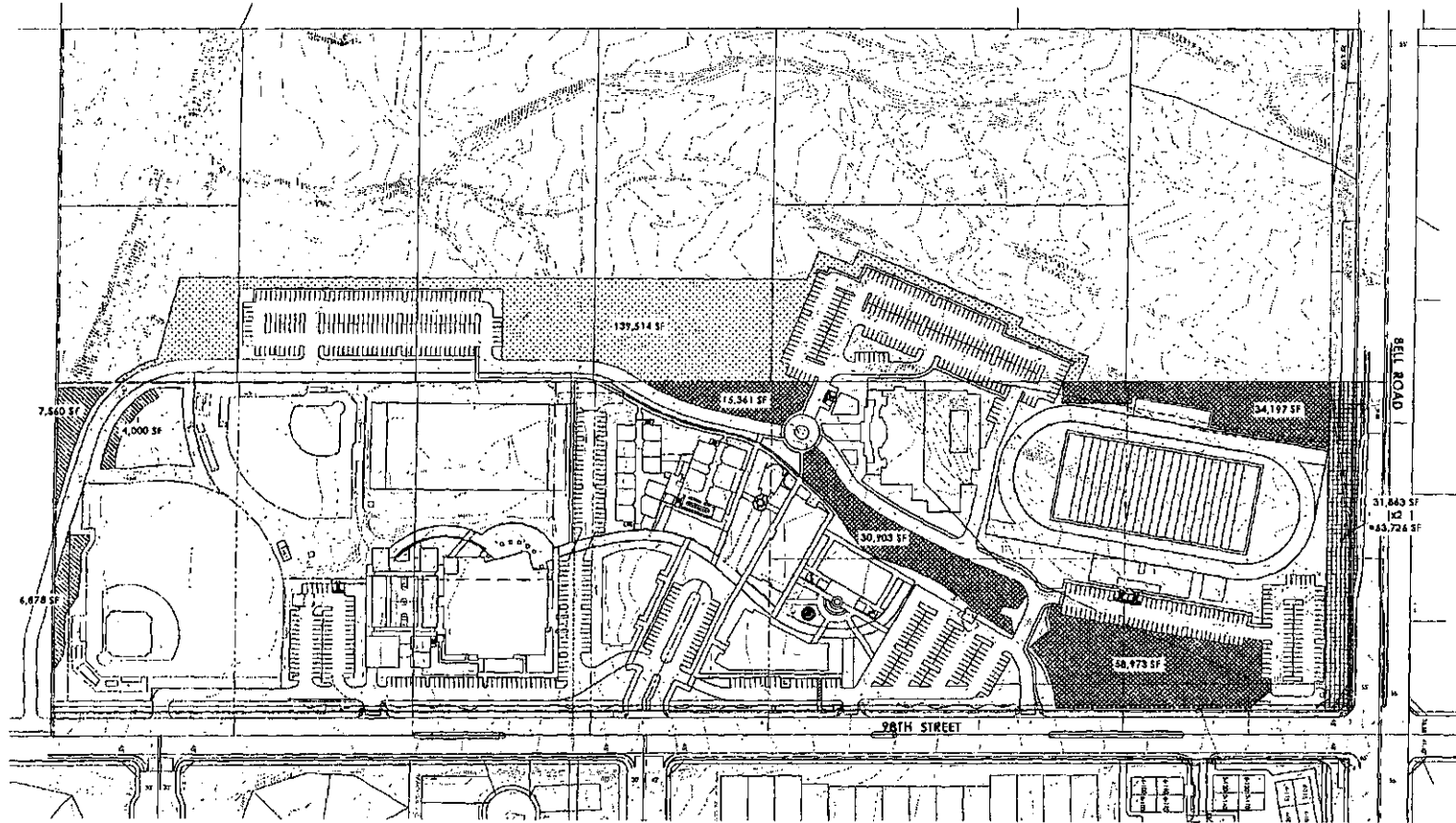
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
 403 132 8200 403 222 8932 www.toddandco.com

Plans, design, guidelines and other elements
of the document are copyright and may not
be subject to future modification.

Project No. 07-0002.03
 Date: 07-15-08
 Preliminary Not for Construction

P:\07-0002-001\9-rc-11y-2e-ohing - use Permit\A-UP Slope Analysis.dwg, 11/15/2010, 10:59 AM, dshp-1007





17:17:07:STUDY COVER: City Rezoning: 108 N.A.O.S. WORKSHEET: 15/2010 1:32:55: No. 35:00000000



PROJECT DATA

ZONING	R1-35 PCDRESL & R1-3 PCDRES
NET LOT AREA	1,476,698 sf + 33,90 AC Net
City of Scottsdale Parcel	317,190 sf + 7.28 AC Net
COMBINED LOT AREA	1,793,888 sf + 41.18 AC Net

NAOS CALCULATIONS

PARCEL	NAOS REQ'D	NAOS PROVIDED
City of Scottsdale Parcel (COS)	1.78 AC. (Per State Approval)	3.20 AC. (136,514 sf)
Notre Dame Prep. (NDP)	6.31 AC. (Per approved zoning)	5.07 AC. (223,476 sf)
Total	8.09 AC.	8.27 AC. (361,112 sf)

NAOS LEGEND

SYMBOL	DESCRIPTION	QUANTITY
[Cross-hatch pattern]	NAOS Onsite Undisturbed (NDP)	3.20 AC. (136,514 sf)
[Diagonal lines]	NAOS Onsite Revog (NDP)	.423 AC. (18,438 sf)
[Horizontal lines]	NAOS Onsite Scenic Corridor (NDP)	1.465 AC. (63,726 sf)
[Stippled pattern]	NAOS Onsite (COS)	3.20 AC. (136,514 sf)
TOTAL		8.27 AC. (361,112 sf)

Case Numbers: 12-ZN-2009 and 30-UP-2009

**SITE PLAN
N.A.O.S. WORKSHEET**

Notre Dame Preparatory High School
Scottsdale, AZ.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
485 223 4200 485 455 0415 www.toddandassociates.com

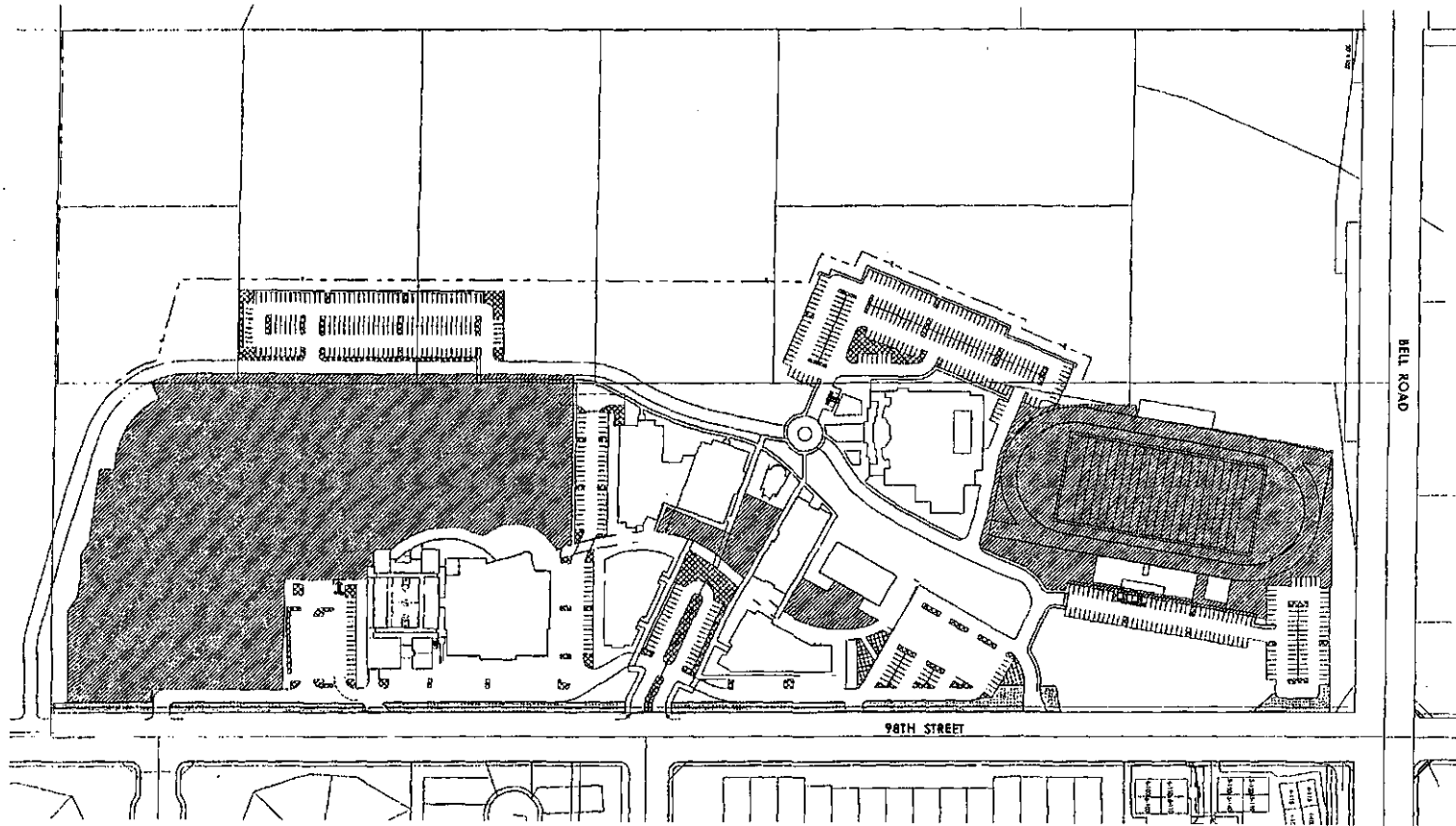
Project No. 07-1093-DJ
Date: 07-13-10
Preliminary Not For Construction

[Signature]

REGISTERED LANDSCAPE ARCHITECT
20862
H. DUANE BLOSSOM
Date Signed
ARIZONA U.S.A.
Expires 09/30/2011

Plans, design, guidelines and other elements of this document are copyright of Todd & Associates, Inc. and subject to future modification.

A:\P\107\17-9000-03\PR-3rd City Reasoning - Use Permi\A-02 Open Space Site Plan.dwg, 7/15/2010 1:35:25 PM, dslimmons

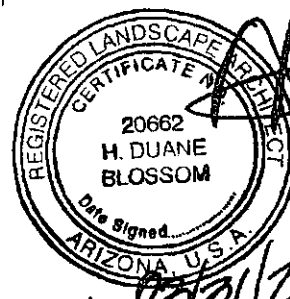


PROJECT DATA

ZONING	R1-35 PCDD/ES R1-3 PCDD/ES
NET LOT AREA NOTRE DAME PREP. - EXISTING AND PROPERTY ACQUISITION	1,793,818 SF. (41.18 ACRES)
BUILDING HEIGHT PROVIDED	45' 0"
OPEN SPACE CALCULATION NOTRE DAME PREP PARCEL NET LOT AREA	1,793,818 SF. (41.18 ACRES) X 24% (BASE O.S. REQUIRED) = 430,516 SF.
BUILDING HEIGHT (OVER 20')	45' - 20' = 25' 26' X .004 = .104 OR 10.4%
(ADDITIONAL O.S. REQUIRED) REQUIRED TOTAL OPEN SPACE	1,793,818 SF. X .104 = 184,557 SF. 430,516 + 184,557 = 615,073 SF.
PROVIDED OPEN SPACE	434,628 SF. (14% PARKING LOT LANDSCAPE)
PARKING LOT LANDSCAPE CALCULATION: PARKING LOT LANDSCAPE REQUIRED	261,053 SF. PARKING AREA X 15% = 39,158 SF.
PARKING LOT LANDSCAPE PROVIDED	99,200 SF.

SYMBOL	DESCRIPTION	NOTRE DAME PREP. & PROPERTY ACQUISITION
	FRONTAGE OPEN SPACE (FRONT ST)	39,543 SF.
	OPEN SPACE (OTHER THAN FRONTAGE)	586,976 SF.
	PARKING LOT LANDSCAPE AREA	39,200 SF.

LEGEND



Expires 03/31/2011

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal



**SITE PLAN - OPEN
SPACE WORKSHEET**

Notre Dame Preparatory
High School
Scottsdale, AZ.

2
PLAN 60

TODD & ASSOCIATES, INC.
Critical Thinking - Creative Design

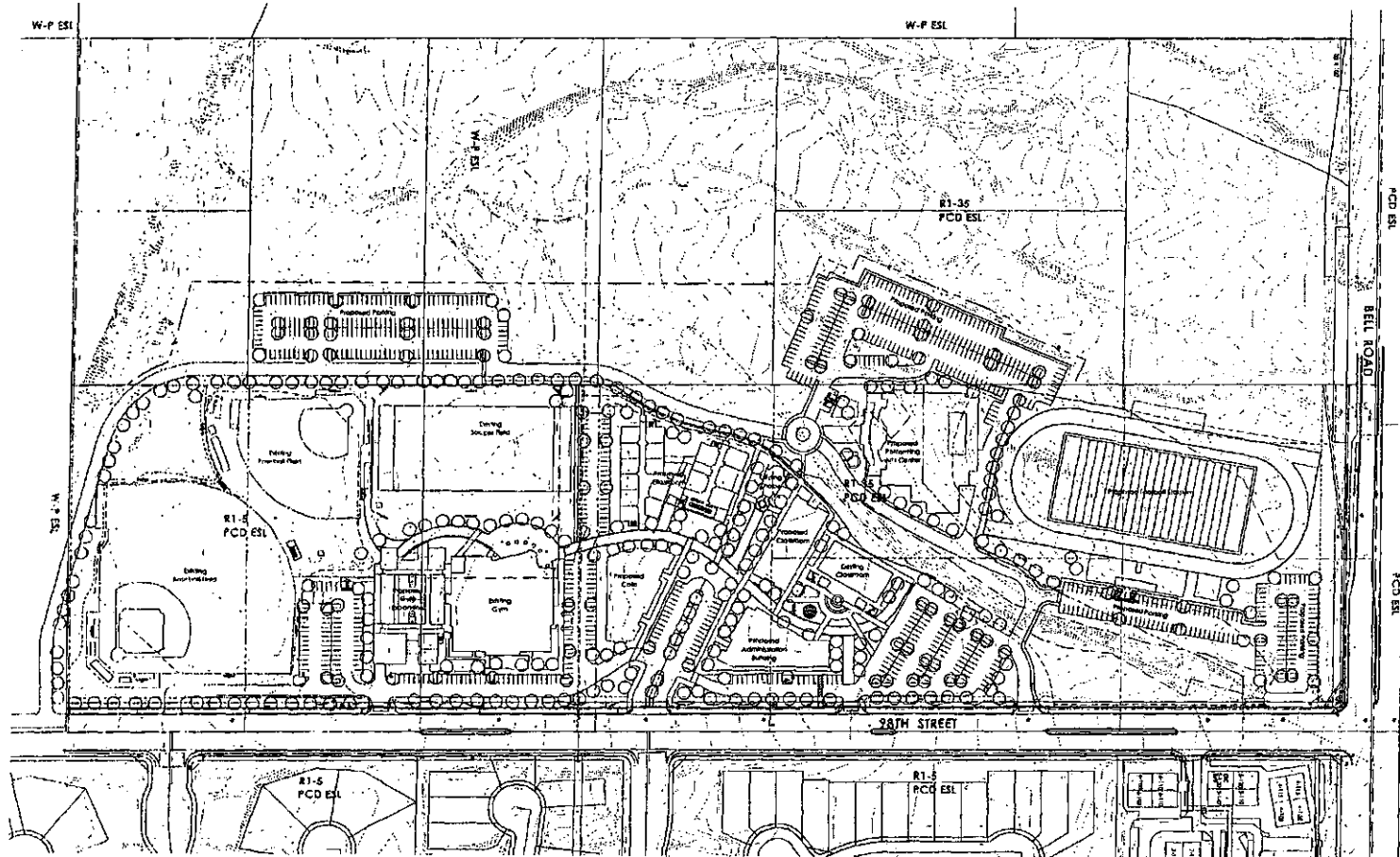
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
487 152 8244 487 152 8244 www.toddandassociates.com

Project No. 07-1682-83
Date: 07-15-10

Prepared by: Hui Fei Chen/Juanita

Plans, drawings, portions and other contents
of this document are conceptual only and
subject to future modification.





PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES	ACACIA SALICINA	SWEET ACACIA
	ACALYA FARNESIANA	CURTAINERA WEEBIL
	CRATAEGUS STRAHLERII	PAID BREA
	PHOSOPUS CLAUDIUSIA	IRON Y WOOD
	PHOSOPUS VILLOSA	KADLE WOODS
WILDS	PHOSOPUS PUDICUS	WILDWOOD
	CALLISTEMO CALIFORNICA	WAIN EARLY WOODS
	CORDIA ALLIODORATA	WHITE LEAF GARDIA
	ENCELM. FARNESIA	ROSEWOOD
	JUSTICIA BAIANENSIS	DRUMSTICK
	LEUCOSPERMUM	DRUMSTICK
	WIKSTRANDIA	DRUMSTICK
	MULLEA FLORIBUNDA	DRUMSTICK

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

LANDSCAPE PLAN

Notre Dame Preparatory
High School
Scottsdale, AZ.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

3
T.A. No. 10

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
407-430-0887 407-977-8954 www.toddtandassociates.com

PROJECT NO. 07-1962-03
DATE: 02-12-10
PRELIMINARY PLAN FOR CONSTRUCTION

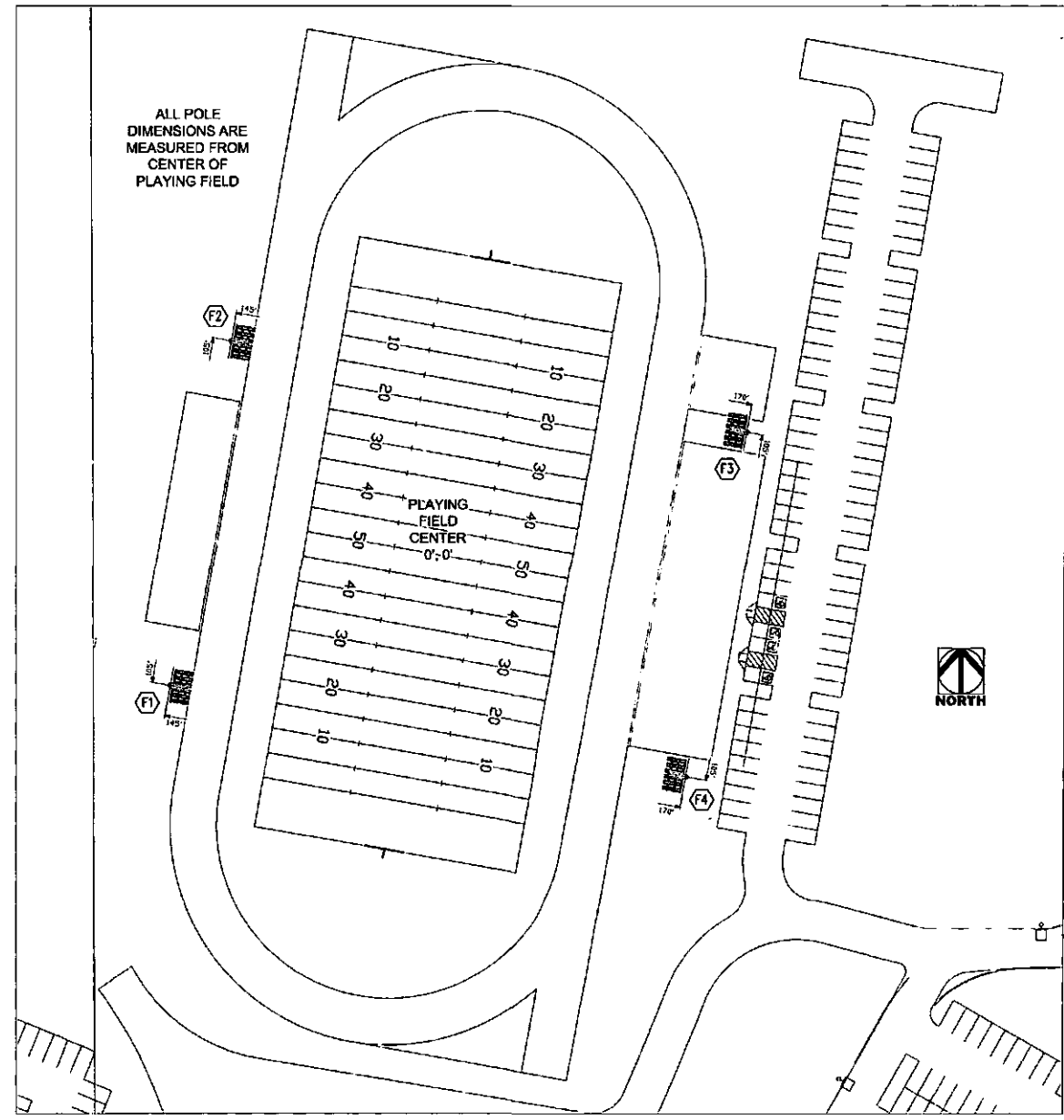


REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
20662
H. DUANE
BLOSSOM
Date Signed
ARIZONA, U.S.A.

Expires 07/31/2011

Printed Design, guidelines and other elements of this document are conceptual only and subject to future modification.

ALL POLE
DIMENSIONS ARE
MEASURED FROM
CENTER OF
PLAYING FIELD



POLE	NUMBER OF FIXTURES	MOUNTING HEIGHT	WATTAGE
F1	18	90 FT	1500W
F2	18	90 FT	1500W
F3	18	90 FT	1500W
F4	18	90 FT	1500W

4 NEW POLES 72 FIXTURES



FOOTBALL AND TRACK
SPORTS LIGHTING
LOCATIONS
AND QUANTITIES



This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of the instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, D.H. Lighting Solutions, Inc.

Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260

Date : 8/25/2009

Scale : 1" = 30'

Sheet No.

SL 1



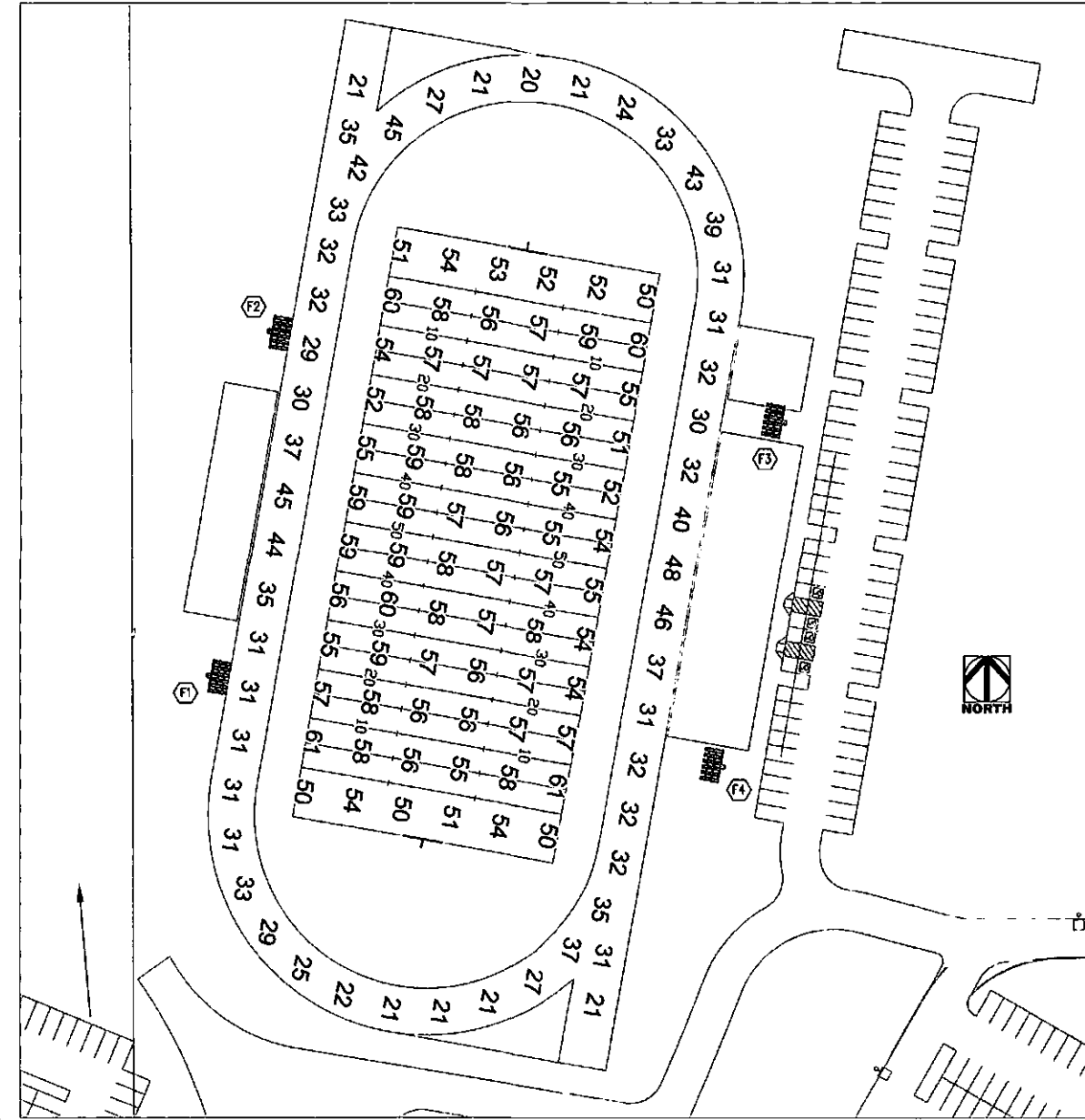
This drawing is an instrument of service and property of DL Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from DL Lighting Solutions, Inc. is prohibited. Copyright 2009, DL Lighting Solutions, Inc.

**Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260**

Date : 8/25/2009

Scale : 1" = 30'

Sheet No.
SL 2



FOOTBALL FIELD - 360' X 160'
30' X 30' CALCULATION GRID AT 3' AFG
MAINTAINED/CONSTANT FOOTCANDLES

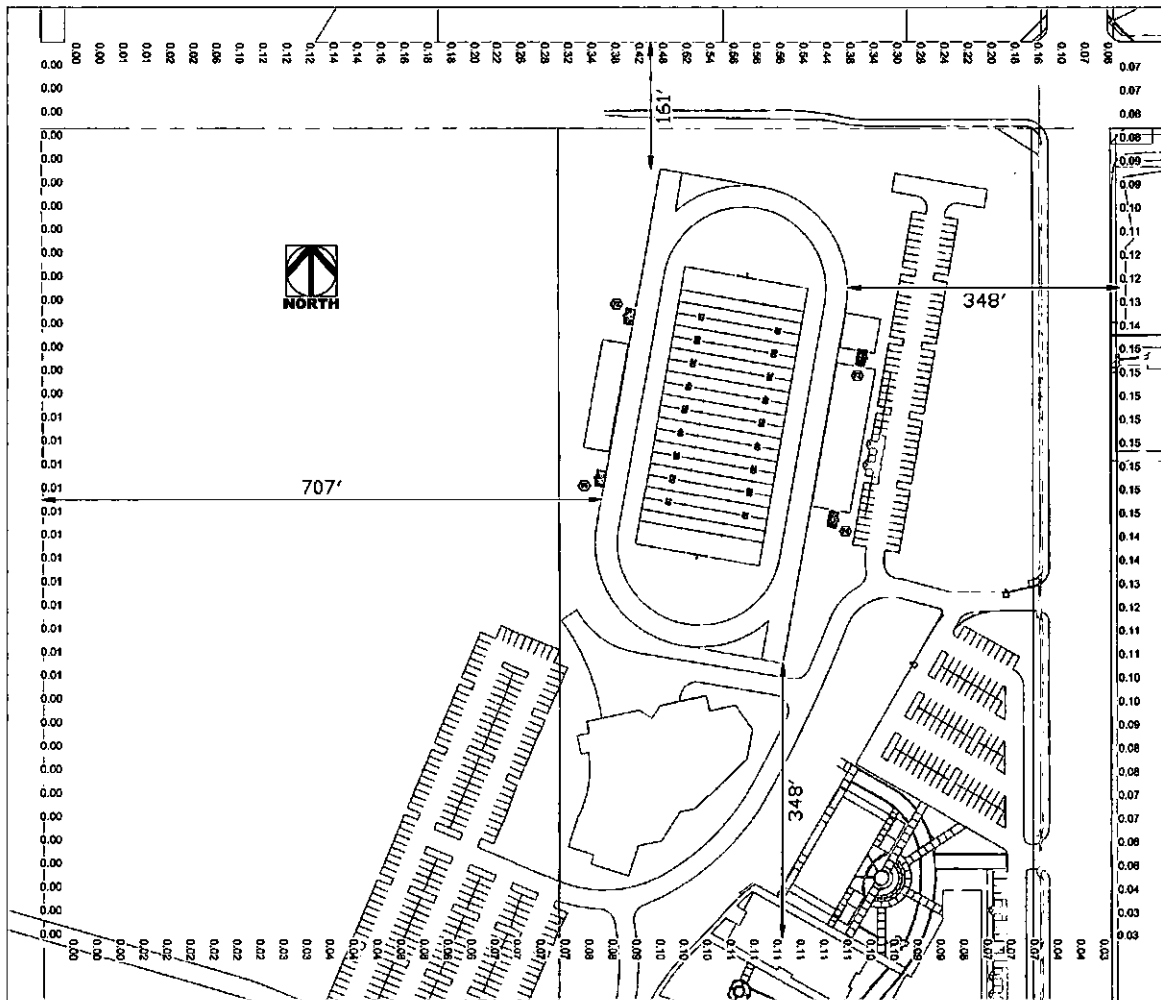
AVERAGE	56.1
MAXIMUM	61
MINIMUM	49
MAX-TO-MIN UNIFORMITY	1.25
UNIFORMITY GRADIENT	1.24
COEFFICIENT OF VARIATION	0.05

TRACK - 28' WIDTH
10' CALCULATION SPACING
MAINTAINED/CONSTANT FOOTCANDLES

AVERAGE	31.7
MAXIMUM	48
MINIMUM	20
MAX-TO-MIN UNIFORMITY	2.46

**FOOTBALL AND TRACK
ILLUMINANCE LEVELS**

Spill Light - behind sidewalk on east side of future 96th street
 ≤ 0.80 FC



Spill Light - across street at residential property line
 ≤ 0.80 FC

Spill Light - within school / city property
 ≤ 0.80 FC

PERIMETER SPILL LIGHT	
30' CALCULATION SPACING	
INITIAL VERTICAL FOOTCANDLES @ 6' A.F.G.	
AVERAGE OF ALL BOUNDARIES	0.14
MAXIMUM ON EAST BOUNDARY	0.15
MAXIMUM ON NORTH, WEST & SOUTH BOUNDARIES	0.56

Spill Light - at residential property lines on east side of 98th street
 ≤ 0.30 FC

PERIMETER SPILL LIGHT ILLUMINANCE LEVELS



This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, D.H. Lighting Solutions, Inc.

Notre Dame Preparatory
Outdoor Lighting Improvements
 9701 E. Bell Road Phoenix, AZ 85260

Date : 8/25/2009

Scale : 1" = 70'

Sheet No.
SL 3

PROPOSED SPORTSLIGHTING SYSTEM

Light-Structure GREEN.

Light-Structure Green System — and Fan Fan Pieces plus:



- 1. Improved Luminance Efficiency:** Musco's system: More than 2000 photometric points provide optimal energy utilization and minimal spill light for each project.
- 2. Wind System:** Special steel chassis provides energy efficient light on the field and minimal spill light. The construction reduces wind load on the pole.
- 3. Side Beam Control:** Fans can be adjusted within the luminaire to maximize spill or minimize. The fan can rotate for the light to the corners.



- Smart Lamp Operating System:**
 - 1. Lamp:** 10 years of lamp experience has taught Musco to operate the lamp with less energy and cost and life with a system of smart power adjustment.
 - 2. Covered tilt equipment:** To do a good lighting job means the lamp to tilt operate at the energy advantage in forward position.



- Increased Durability, Assured Results:**
- 1. One-Cast aluminum reflector housing:** Provides a rugged foundation for fan blades, and insures long life in adverse conditions.
 - 2. Gasketing:** Improved material and gasket design virtually eliminate gasketing and other construction of the reflector and fan.
 - 3. Factory Assembled Luminaire:** The luminaire design is fully assembled and tested to ensure long life and improved energy efficiency.
 - 4. Attaching Mechanism:** The factory assembled luminaire connects electrically and mechanically to the concrete with one simple attachment.
 - 5. Factory Aiming:** Musco will establish service of factory aiming of each luminaire with Light Structure Green. Field changes can still be done.



- Control and monitoring:** This system, as an integral option, is included in the base price and energy and gives you a solid, flexible management tool.
- 1. Control Link Control:** Real people at Musco, 24/7, support your operation of your lights. From office, field or home. You're in full control.



- Ultimate guarantee... all in one unit**
with **Green Generation Lighting.** Musco's Club Service warranty for all 10 years, plus the advantage of the end of the lamp used too. All of this is made to be done in a field service department and done by Musco.



PROPOSED PARKING LOT LUMINAIRE

GREENERBAR™ FLAT LENS

DESIGN: The advanced housing is unique in design. Best housing on the entire aluminum luminaire. Features the 2000 lumens per sq. ft. lens. The lens is made of acrylic, clear, and is designed to provide uniform light distribution. The acrylic lens is made of a high quality acrylic material.

LENS SAFETY: The flat lens is made of acrylic. It is made of acrylic material. It is made of acrylic material. It is made of acrylic material.

TOP COVER FINISHES: The top cover finishes are made of acrylic material. It is made of acrylic material. It is made of acrylic material.

CONCRETE: Concrete should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

LIGHT FIXTURES: Light fixtures should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

LOADS: Loads should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

REFLECTOR DISTRIBUTION PATTERNS: Reflector distribution patterns should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

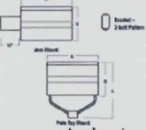
CONCRETE - Fan Mount: Concrete fan mount should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

POLE TOP: Pole top should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

FINISHES: Finishes should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

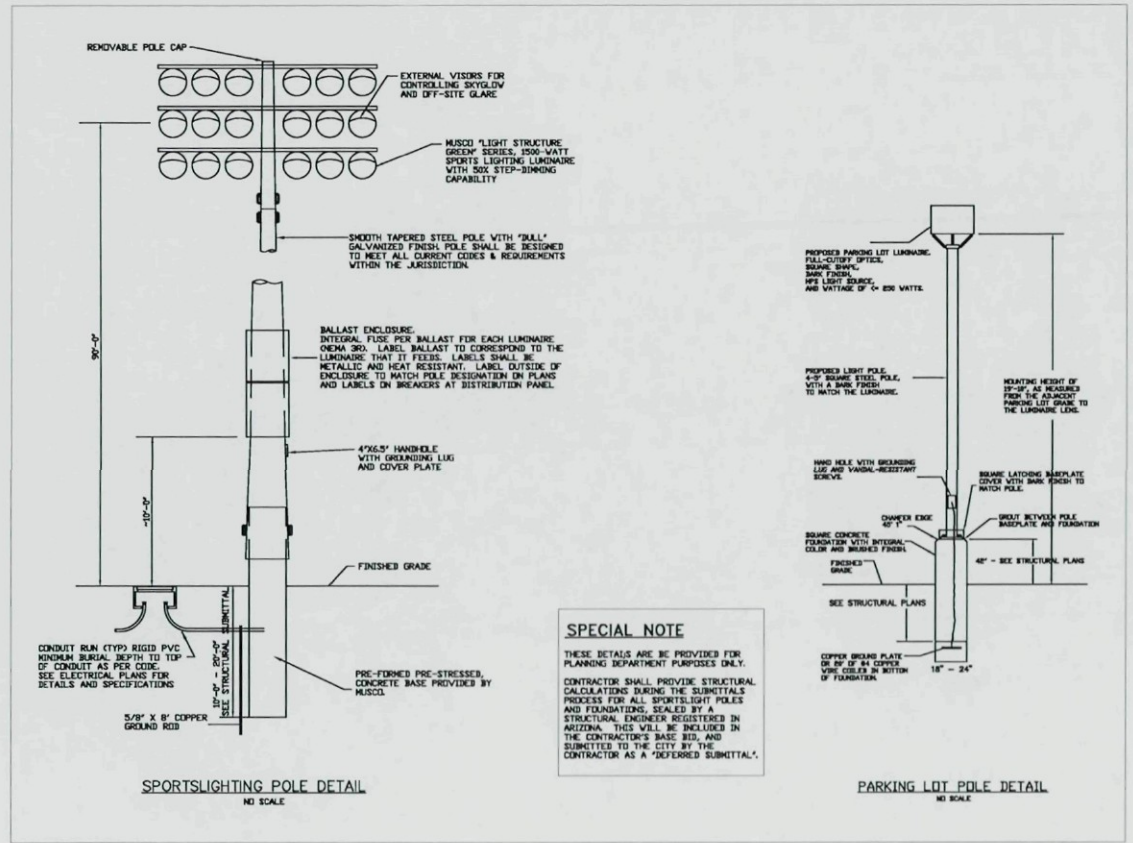
SCALE SYMBOLS: Scale symbols should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.

FACTORY FINISHES: Factory finishes should be made of acrylic material. It is made of acrylic material. It is made of acrylic material.



Model	Height	Width	Depth	Weight
GR-100	100"	100"	100"	100 lbs
GR-120	120"	120"	120"	120 lbs
GR-140	140"	140"	140"	140 lbs
GR-160	160"	160"	160"	160 lbs
GR-180	180"	180"	180"	180 lbs
GR-200	200"	200"	200"	200 lbs

Report Form: _____
 Date: _____
 City: _____
 State: _____



SPECIAL NOTE
 THESE DETAILS ARE BE PROVIDED FOR PLANNING DEPARTMENT PURPOSES ONLY. CONTRACTOR SHALL PROVIDE STRUCTURAL CALCULATIONS DURING THE SUBMITTALS PROCESS FOR ALL SPORTSLIGHT POLES AND FOUNDATIONS, SEALED BY A STRUCTURAL ENGINEER REGISTERED IN ARIZONA. THIS WILL BE INCLUDED IN THE CONTRACTOR'S BASE BID, AND SUBMITTED TO THE CITY BY THE CONTRACTOR AS A 'DEFERRED SUBMITTAL'.

DETAILS AND MANUFACTURER CUTSHEETS



This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, D.H. Lighting Solutions, Inc.

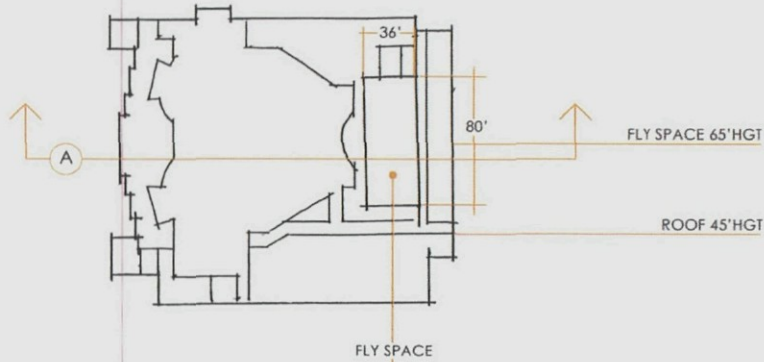
**Notre Dame Preparatory
 Outdoor Lighting Improvements
 9701 E. Bell Road Phoenix, AZ 85260**

Date : 8/25/2009

Scale : NO SCALE

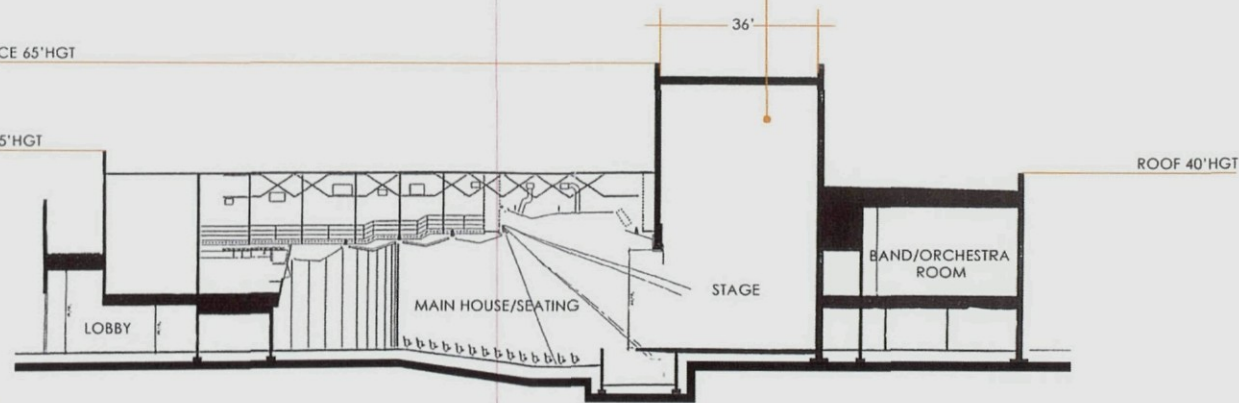
Sheet No.
SL 4

**ROOF PLAN:
PERFORMING ARTS CENTER**

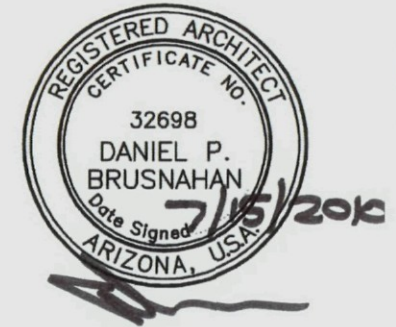


FLY SPACE 65'HGT

ROOF 45'HGT



**A SECTION:
PERFORMING ARTS CENTER**



Expires 06/30/2013

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

**PERFORMING
ARTS CENTER
BUILDING SECTION**

Notre Dame Preparatory
High School
Scottsdale, AZ.



8
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
402.933.8200 402.933.8950 www.toddsai.com

Project No. 07-1003-03
Date: 07-07-10
Preliminary Not For Construction

FIGS, design, guidelines and other elements
of this document are conceptual only and
subject to future modification.



CASE NUMBERS
 12-211-2009
 30-414-2009

Project Data Sheet

Residential/Commercial

- PA -

Coordinator: Jesus Murillo

Project Address: 9701 East Bell Road

Date: 7-15-10

Proposed Use: Notre Dame Preparatory High School

Zoning District: R1-5/R1-35 PCD ESL

TO BE COMPLETED BY APPLICANT		CALCULATIONS	TO BE COMPLETED BY CITY
COMMERCIAL	RESIDENTIAL		
41.18 AC		Net Lot Area	
		Gross Lot Area	
N/A		Gross Floor Area Allowed	
N/A		Gross Floor Area Provided	
N/A		Building Volume Allowed	
N/A		Building Volume Provided	
		Number Of Units Or Lots	
		Density Allowed	
		Density Provided	
		Minimum Lot Size Allowed	
		Minimum Lot Size Provided	
PCD		Building Height Allowed	
46'		Building Height Provided	
N/A		Net Floor Area	
361 PS/825 PS		Parking Spaces Required	
840		Parking Provided On-Site	
N/A		Parking Provided Off-Site	
840		Total Parking Provided	
617,073 SF		Open Space Required	
626,523 SF		Open Space Provided	
33,010 SF		Front Open Space Required	
39,545 SF		Front Open Space Provided	
39,158 SF		Parking Lot Landscaping Required	
39,200 SF		Parking Lot Landscaping Provided	

SET BACKS & PARKING REQUIREMENTS

REQUIRED	PROVIDED	CALCULATIONS	N, S, E, OR W	REQUIRED	PROVIDED
20'	20'	Front	E		
5'	5'	Rear	W		
25'	25'	Left Side	S		
50'	50'	Right Side	N		
361 PS/825 PS	840 PS	Parking			

Planning & Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

EXHIBIT B to ATTACHMENT 1: AMENDED DEVELOPMENT STANDARDS

**Stipulations for the Conditional Use Permit
For a Private School and for Community Buildings and
Recreational Facilities not Publicly Owned
Notre Dame Preparatory High School
Case Number: 30-UP-2009**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale. Unless otherwise stated, the owner's completion of all requirements below is subject to the satisfaction of the Project Coordinator and the Final Plans staff.

GOVERNANCE

1. **APPLICABILITY.** All stipulations of this case, 30-UP-2009, supersede all of the stipulations of cases 62-UP-1997#2 and 23-UP-2001.

SITE DESIGN

2. **CONFORMANCE TO CONCEPTUAL PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN.** Development shall conform with the conceptual Planned Community District Development Plan submitted by Todd and Associate Inc., and with the city staff date of July 22, 2010, attached as Exhibit 1 to Exhibit A. The Planned Community District Development Plan consists of: Site Plan, Proposed and Existing Buildings Plan, Proposed Building Heights and Setbacks Analysis Plan, Circulation Plan, City Lands Proposed to be Purchased Plan, NAOS Plan, Open Space Plan, Landscape Plan, Lighting Plan, and Performing Arts Building Section Elevation. Any proposed significant change to the conceptual subdivision plat as determined by the Zoning Administrator prior to the preliminary plat approval shall be subject to additional public hearings before the Planning Commission and City Council. Once the final plat is approved, the development must conform to the final plat.
3. **BUILDING HEIGHT LIMITATIONS.** Proposed classrooms on the site shall be limited to forty-six (46) feet in height, measured as provided in the applicable section of the Zoning Ordinance. The majority of the performing arts building shall be limited to forty-six (46) feet in height, with portions of the performing arts building (not to exceed ten percent (10%) of roof area) allowed to a height of sixty-five (65) feet. All proposed heights shall be limited to Proposed Building Heights Plan found within the Planned Community District Development Plan.
4. **OUTDOOR PARKING LOT LIGHTING.** The maximum height of any outdoor lighting source shall be sixteen (16) feet measured above the adjacent finished grade, and shall be shielded and directed downward. Non-security lighting shall be turned off by 10:00 p.m.
5. **RECREATIONAL FIELD LIGHTING.** With the Development Review Board submittal the developer shall provide the following photometric studies, at a minimum, and all photometric studies shall include a "summary" section with data on; minimum, maximum and average luminance; maximum to minimum uniformity ratio; and the maintenance

factor (M.F.) utilized:

- a. **HORIZONTAL LUMINANCE SHEET.** The horizontal luminance sheet shall provide the following:
 - 1.) Initial horizontal luminance at three (3) feet above grade across the playing surface of the field, at a grid spacing that matches IESNA recommended practice for the type of sports field. The maintenance factor shall equal 1.00.
 - 2.) Maintained horizontal luminance at three (3) feet above grade across the playing surface of the field, at a grid spacing that matches IESNA recommended practice. The maintenance factor shall equal 0.80.
 - 3.) Labeled pole locations for all poles and include a "summary" section listing the total number of luminaries, lamp types and their associated wattages.
 - 4.) All calculations shall be based upon all sports fields operating concurrently.
 - b. **VERTICAL LUMINANCE SHEET.** The vertical luminance sheet shall provide the following:
 - 1.) Initial vertical luminance at six (6) feet above grade along a perimeter one-hundred (100) feet away from all playing field boundaries. The luminance shall not exceed 0.80 at any point along the above-mentioned perimeter. The "playing field boundary" for the field is defined as the four field-edge lines. All of the vertical calculation points shall be measured by having the "meter" facing inward toward the field and aimed at ninety (90) degrees above nadir. All of the vertical calculations shall be performed at a grid spacing equal to the grid spacing calculation points on the field.
 - 2.) Initial vertical luminance at six (6) feet above grade along a line located at the boundary between the right-of-way and the residential property lines along the East side of 98th Street. This calculation line will extend outward in a Northerly and Southerly direction until the values equal 0.00. Luminance shall not exceed 0.30 at any point along this perimeter.
 - 3.) All vertical luminance (light trespass) calculations shall be based upon initial values only (maintenance factor = 1.00).
 - 4.) All calculations shall be based upon all sports fields operating concurrently.
6. **ADDITIONAL LIGHTING INFORMATION.** With the Development Review Board submittal, the developer shall provide the following additional lighting information:
- a. **AIMING DIAGRAM.** The submittal shall include an aiming diagram and summary table that details the quantity and types of luminaries, and the luminaries per pole for each pole.
 - b. **PERSPECTIVE SHEET.** The submittal shall include a perspective/ section sheet that

shows the number and arrangement of all luminaries for each pole.

- c. **COLOR SAMPLE.** The submittal shall include a color sample for all poles, luminaries, bases and associated pole mounted equipment.
 - d. **TYPES OF LUMINARIES.** All sports lighting luminaries shall either be selected from among the luminaries currently pre-approved by the City of Scottsdale Community Services Department or provide sufficient technical information on alternative luminaries with state-of-the-art glare control for staff review.
 - e. **HOURS OF OPERATION.** All sports lighting shall be on an automated control system that prevents operation of the lights when the fields are not actually in use. The automated control system shall be set so that all sports lighting shall remain off between the hours of 10 p.m. and 6 a.m. The applicant shall provide details on this control system and provide a note on all plans, "All sports lighting to remain off between 10 p.m. and 6 a. m., to the satisfaction of City Staff.
 - f. **LIGHTING CONTROLS.** All lighting for each field shall be operated and controlled separately.
 - g. **BURN IN.** The initial burn-in of the lamps shall take place during daytime hours and up until 10 p.m. only.
 - h. **HEIGHT.** The height of the field luminaries, measured from the center of the lens to the lowest field elevation, shall not exceed ninety (90) feet (to center light row). The height of the and field luminaries, measured from the center of the lens to the lowest field elevation, shall not exceed eighty (80) feet.
7. **LIGHTING INSPECTION.** Before the issuance of a Certificate of Occupancy for this site or Final Inspection by Inspection Services, the applicant shall make arrangements for an onsite verification of the field configuration and vertical luminance light trespass calculations with City Staff. The developer shall be responsible for providing all necessary equipment and staff to conduct the verification.

INFRASTRUCTURE AND DEDICATIONS

8. **CIRCULATION IMPROVEMENTS.** Before any certificate of occupancy is issued for the site, the owner shall make the required dedications and provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.
- a. **STREETS.** Dedicate the following easements:
 - a.1. Owner shall dedicate traffic control easements at the main site driveway (E. Paradise Lane) and the northern site driveway. The easements shall be a thirty (30) foot by thirty (30) foot triangle located along the N. 98th Street right-of-way line and each side of the driveway.
 - a.2. The owner shall dedicate a non-motorized public access easement along the E. Bell Road frontage to provide for planned east/west regional trails connections.

- a.3. The owner shall also dedicate a non-motorized public access easement within the projects new western boundary to complete the regional trail proposed within the Reatta Pass wash area. The non-motorized public access easement shall be for the north/south regional trail connection within the wash area, and shall not be required to connect to the Notre Dame School internal pedestrian system. All trail easements and trail locations shall be subject to review and approval by City staff.
 - b. **PARKING IMPROVEMENTS.** Owner shall remove the existing on-street parking on N. 98th Street with the construction of the new parking areas along the west side of the site, as determined by City staff. The owner shall restripe the N. 98th Street to return it to a four-lane roadway (two southbound lanes) adjacent to the site. Signage shall be placed along the N. 98th Street to notify the public of parking not being allowed
 - c. **PEDESTRIAN CROSSING IMPROVEMENTS.** Prior to Development Review Board submittal, owner shall work with City staff to determine location for construction of an enhanced pedestrian crossing of N. 98th Street along the site frontage.
 - d. With the Development Review Board submittal, the owner shall submit a parking and internal circulation plan for review and approval by City staff. The plan shall identify the designated parking areas and the student drop-off location.
 - e. With the Development Review Board submittal, the owner shall submit a pedestrian circulation plan that identifies sidewalk and path locations and widths
9. **DRAINAGE REPORT.** In the required drainage report, the owner shall address:
- a. Prior to being scheduled for a Design Review Board Hearing date, the owner shall submit a Master Drainage Report (MDR) and obtain approval from the Stormwater Management Staff.
 - b. In the MDR, provide a hydraulic model of the Reatta Pass Wash and determine the water surface elevation in the wash for both pre and post development conditions. The modeling shall include the Olde Verde Canal embankment, and other structures or topographic features, and mitigate any adverse effects resulting from the backwater conditions caused by the Olde Verde Canal as created by this project.
 - c. Provide full stormwater storage for any new development on the existing Notre Dame Campus or on any other contiguous property. Alternatively, the owner may apply for a stormwater storage waiver, and pay stormwater storage waiver in-lieu fees for any amount of storage volume waived.
 - d. Any new development shall mitigate any increase in the water surface elevation of Reatta Pass Wash or create any adverse effects to any nearby structures. These conditions shall be analyzed in the preliminary Master Drainage Report.
 - e. The new parking facilities must be above the high water level in Reatta Pass Wash for the 100 year storm event.
10. **BASIS OF DESIGN REPORT (WATER).** With the Development Review Board submittal, the owner shall submit basis of design report, the owner shall address future concerns by Water and Wastewater Management Department.

11. **BASIS OF DESIGN REPORT (WASTEWATER).** With the Development Review Board submittal, the owner shall submit basis of design report, the owner shall address future concerns by Water and Wastewater Management Department.
12. **EASEMENTS.**
 - a. **EASEMENTS DEDICATED BY PLAT.** The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - b. **EASEMENTS CONVEYED BY SEPARATE INSTRUMENT.** Before any building permit is issued for the site, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the city, in conformance with the Design Standards and Policies Manual.
13. **BUFFERED SETBACK.** The owner shall provide a buffered setback width along E. Bell Road having a minimum depth of fifty (50) feet, measured from the existing right-of-way. Unless otherwise approved by the Development Review Board, the buffered setback shall be left or revegetated in a natural condition. The final plat shall show all buffered setback easements or dimensions dedicated to the city.
14. **MULTI-USE PATH.** Before any building permit is issued for development dependant on lands proposed to be acquired from the City, the owner shall dedicate to the city, a minimum twenty-five (25) foot wide public non-vehicle access easement, and construct a minimum ten (10) foot wide multi-use path within the site's new western boundary before any certificate of occupancy is issued for the site, as shown on the subdivision plat. The path shall be designed in conformance with the Design Standards and Policies Manual. Final trail location and trail easement requirement shall be determined by the Trail Director (or equivalent).
15. **MULTI-USE TRAIL.** Before any certificate of occupancy is issued for development dependant on lands proposed to be acquired from the City, the owner shall construct a minimum twenty-five (25) foot wide public non-vehicle access easement, and construct a minimum ten (10) foot wide multi-use path within the site's new western boundary, before any certificate of occupancy is issued for the site, as shown on the subdivision plat shown on the site plan with the city staff date of July 22, 2010. The final alignment of the trail shall be subject to approval by the city's Trails Coordinator or designee prior to dedication. The trail shall be designed in conformance with the Design Standards and Policies Manual.
16. **CONSTRUCTION COMPLETED.** Before any **CERTIFICATE OF OCCUPANCY** is issued for the site for development dependant on lands proposed to be acquired from the City, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.

MASTER PLANS

17. **MASTER INFRASTRUCTURE PLANS.** The owner shall have each Master Infrastructure Plan specified below prepared by a registered engineer licensed to practice in Arizona. Each Master Plan shall be subject to city staff approval before any further Development Review

Board submittal. Each Master Plan shall include a complete description of project phasing, identifying the timing and parties responsible for construction.

- a. Circulation Master Plan
- b. Drainage Master Plan
- c. Water Master Plan
- d. Wastewater Master Plan

18. **MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN.** Before any other submittal to the Development Review Board, the owner shall submit its Master Environmental Design Concept Plan for Development Review Board review. The Master Environmental Design Concept Plan shall address the following:

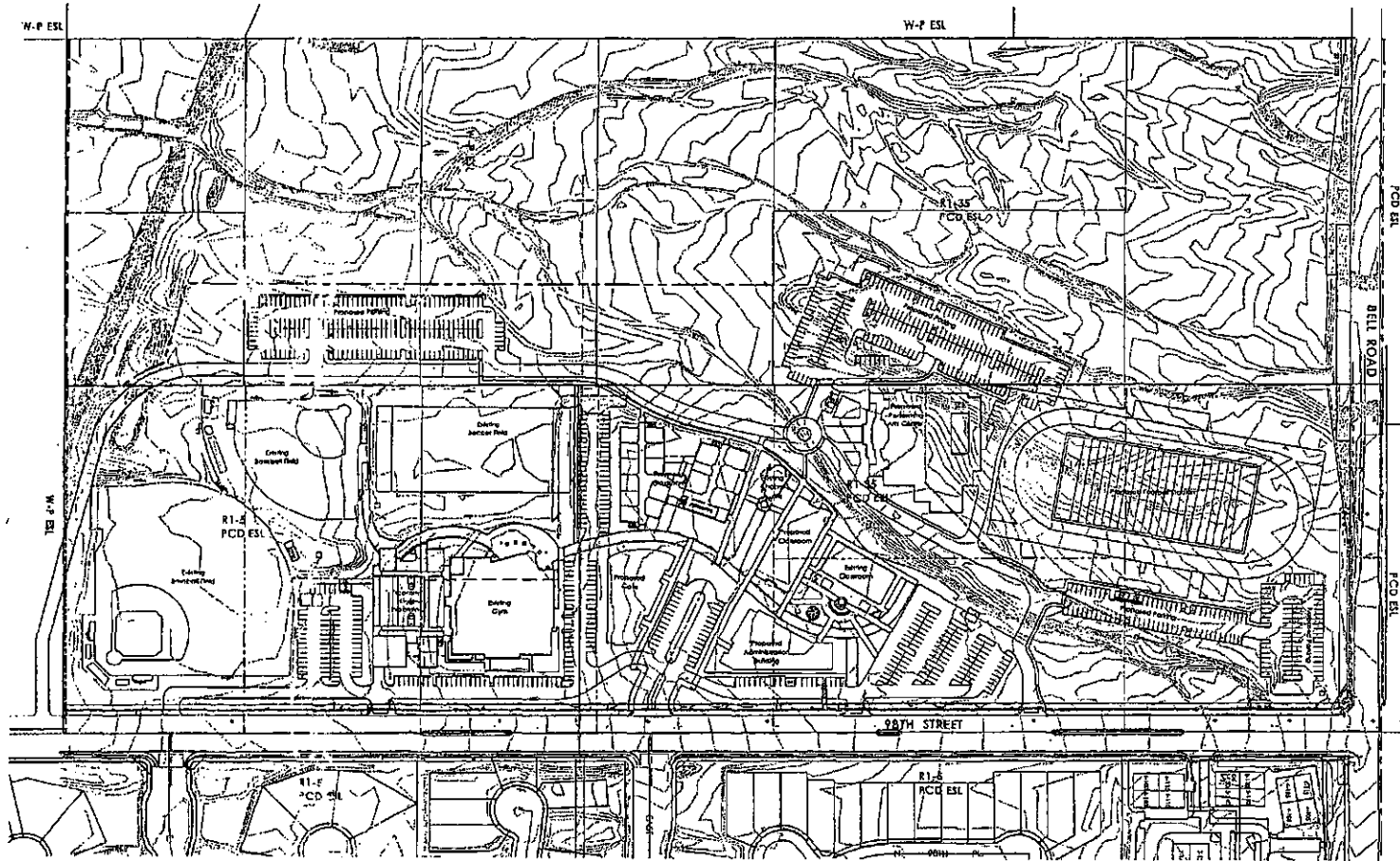
- a. Open space design concepts for open space areas, including location, plant and landscape character, open space corridors, trails, path and bikeways, and integration of drainage plans.
- b. Native plant relocation program and revegetation guidelines for each parcel.
- c. Overall streetscape concepts which incorporate street-side and median landscape design concepts, plant and landscape materials, perimeter, head and screen wall designs and locations.
- d. Typical outdoor lighting plan for streetlights and design concepts and general specifications for parking lots, paths, trails, and landscaping.
- e. General design and architectural themes assuring overall design compatibility of all buildings and structures on the site.
- f. General signage/graphic concepts for development signs, including locations and typical design concepts.
- g. Construction phasing plan.
- h. Multi-use trail design and use, including trail design standards and alignment, design and location of trail amenities, management and controls on trail use and implementation of plan recommendations through city ordinances and policies.
- i. Other applicable elements, as determined by city staff.

19. **PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN.** Before any other submittal to the Development Review Board, the owner shall submit its Planned Community District Development Plan for Development Review Board review. The Planned Community District Development Plan shall address the following:

- a. Open space design concepts for open space areas, including location, plant and landscape character, open space corridors, trails, paths and bikeways, and integration of drainage plans.
- b. Native plant relocation program and revegetation guidelines for each parcel.
- c. Overall streetscape concepts which incorporate street-side and median landscape design concepts, plant and landscape materials, and perimeter and screen wall designs and locations.

- d. Typical outdoor lighting and design concepts and general specifications for parking lots, paths, trails, sidewalks and landscaping.
- e. Design and architectural themes assuring overall design compatibility of all buildings and structures on the site.
- f. Pedestrian amenities and courtyards.
- g. General signage/graphic concepts for development signs, including locations and typical design concepts.
- h. Construction phasing plan.
- i. Public art location plan.
- j. Multi-use trail design and use, including trail design standards and alignment, design and location of trail amenities, management and controls on trail use and implementation of plan recommendations through city ordinances and policies.
- k. Other applicable elements, as determined by city staff.

EXHIBIT A to ATTACHMENT 2: PLANNED COMMUNITY DISTRICT DEVELOPMENT PLAN



PROJECT DATA

PROJECT NAME & ADDRESS:
 NOTRE DAME PREPARATORY HIGH SCHOOL
 1201 EAST BELL ROAD
 SCOTTSDALE, ARIZONA

SITE AREA OF PROPOSED ACQUISITION:
 41.18 AC (11,793,618 SF)
 41.18 AC (11,793,618 SF)

ZONING: R1-E PCD ESU & R1-E PCD ESU

BUILDING HEIGHT:
 ALLOWED: PCD
 PROVIDED: 14'
 *EXCEPT FOR FLY SPACE ON THE PERFORMING ARTS BUILDING WHICH EXTENDS UP TO 65' IN HEIGHT

FEET ACROSS:
 CITY OF SCOTTSDALE: PROVIDED
 EAST (98TH STREET FRONT): 30'
 NORTH: 30'
 SOUTH: 32'
 WEST: 5'

OPEN SPACE:
 REQUIRED: 417,073 SF
 PROVIDED (INCLUDING FRONTAGE OPEN SPACES): 416,523 SF

PARKING LOT LANDSCAPE AREA:
 REQUIRED: 241,053 SF (21,029 x 11,385 SF)
 PROVIDED: 21,000 SF

CODE REQUIRED PARKING FOR STANDARD SCHOOL DAY:
 REQUIRED: 477 P.S.
 ACCESSIBLE: 310 P.S.
 TOTAL REQUIRED: 347 P.S.

EVENT REQUIRED PARKING:
 FOOTBALL: 200 P.S.
 PERFORMING ARTS: 225 P.S.
 TOTAL REQUIRED: 425 P.S.

TOTAL PROPOSED PARKING STALLS: 460 P.S.
PARKING PROVIDED: 460 P.S.

F.A.R. CALCULATIONS

EXISTING SITE: 33.9 AC (14,611,076 SF)

PROPOSED ACQUISITION FROM CITY: 7.28 AC (326,542 SF)

TOTAL ACRES: 41.18 ACRES

F.A.R. CALCULATION: 41.18 ACRES x 43,540 = 1,793,618 SF
 1,793,618 SF ÷ 4 = 348,404 SF

ALLOWABLE F.A.R.: 358,744 SF

PROPOSED F.A.R.: 347,235 SF

Note: This is a non-survey estimate of building square footages based upon master planning footprint only. No building proposed here nor yet been approved.

Case Numbers: 12-ZN-2009 and 30-UP-2009
 3rd City Submittal



Notre Dame Preparatory High School
 Scottsdale, AZ

TODD & ASSOCIATES, INC.
 Critical Thinking - Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
 480-225-5287 480-225-9977
 Project No. 07-4802303
 Date: 07-15-10
 Preliminary Not for Construction

CODE-REQUIRED PARKING

*Parking rates established in the Scottsdale Zoning Code, "Parking and Loading Requirements," were used to calculate the number of spaces required by the development. The minimum parking requirements and total spaces required, per City Code, are summarized in Table 3.

Table 3: Required Parking Per City Code

Land Use	Vehicle Parking Minimum per Code	Site	Total Parking Required (spaces)
High School	1 space for each employee 1 space for every 6 students*	147 employees 1,200 students	147 200
Total Parking Required			347

*Based on proposed maximum enrollment.

The parking required with the proposed expansion is 347 spaces, per City Code. The number of Code-required parking spaces is less than what is currently provided and utilized for the existing school site, which has a maximum enrollment of 1,000 students. Therefore, an alternative calculation was completed using the actual rates established in the Notre Dame Preparatory High School site.

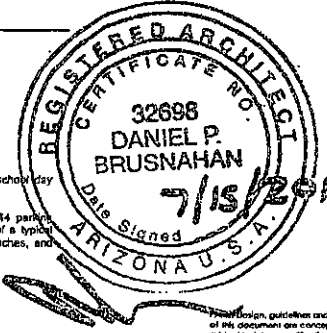
*Note: Parking catchment areas provided by City Code.

Table 4: Future Parking Required for a Typical School Day

User	Parking Spaces Required
Faculty/Staff	147
Coaches	10
Visitors	35
ADA	13
Students	478
Total	683

A total of 683 parking spaces are required to accommodate the typical school day parking demand of the Notre Dame Preparatory High School.

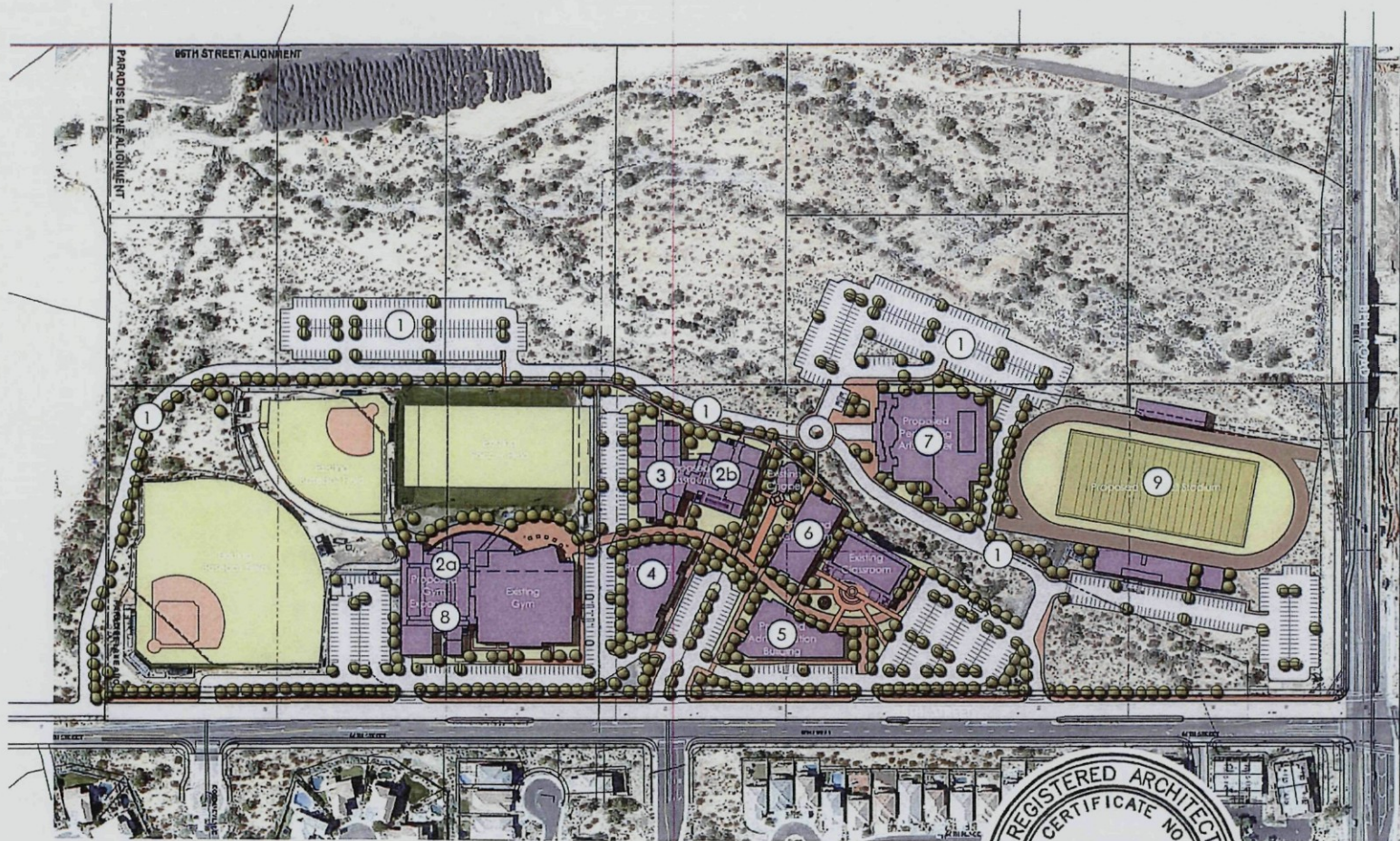
If all 469 of the available on-site parking spaces are utilized, a total of 214 parking spaces would be utilized in Parking Lots I and J. The parking demand of a typical school day, as well as the assumed location of reserved faculty/staff, coaches, and visitor parking, is illustrated in Figure 6.



1
 PLAN NO.

EXPIRES: 6/30/2013





LEGEND

- ① Phase 1: Parking and Drop-Off Loop Road
- ②a Phase 2a: Gym Expansion - Shell for Temporary Classrooms
- ②b Phase 2b: Science Classrooms
- ③ Phase 3: 32 Classrooms at Science Classroom Building
- ④ Phase 4: Cafeteria
- ⑤ Phase 5: Administration & Student Services Building
- ⑥ Phase 6: Classroom Building & Library/Media Center
- ⑦ Phase 7: New Performing Arts Center
- ⑧ Phase 8: Gym Addition
- ⑨ Phase 9: Football/Multipurpose Field

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

CONCEPTUAL PHASING PLAN

Notre Dame Preparatory
High School
Scottsdale, AZ.



5
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

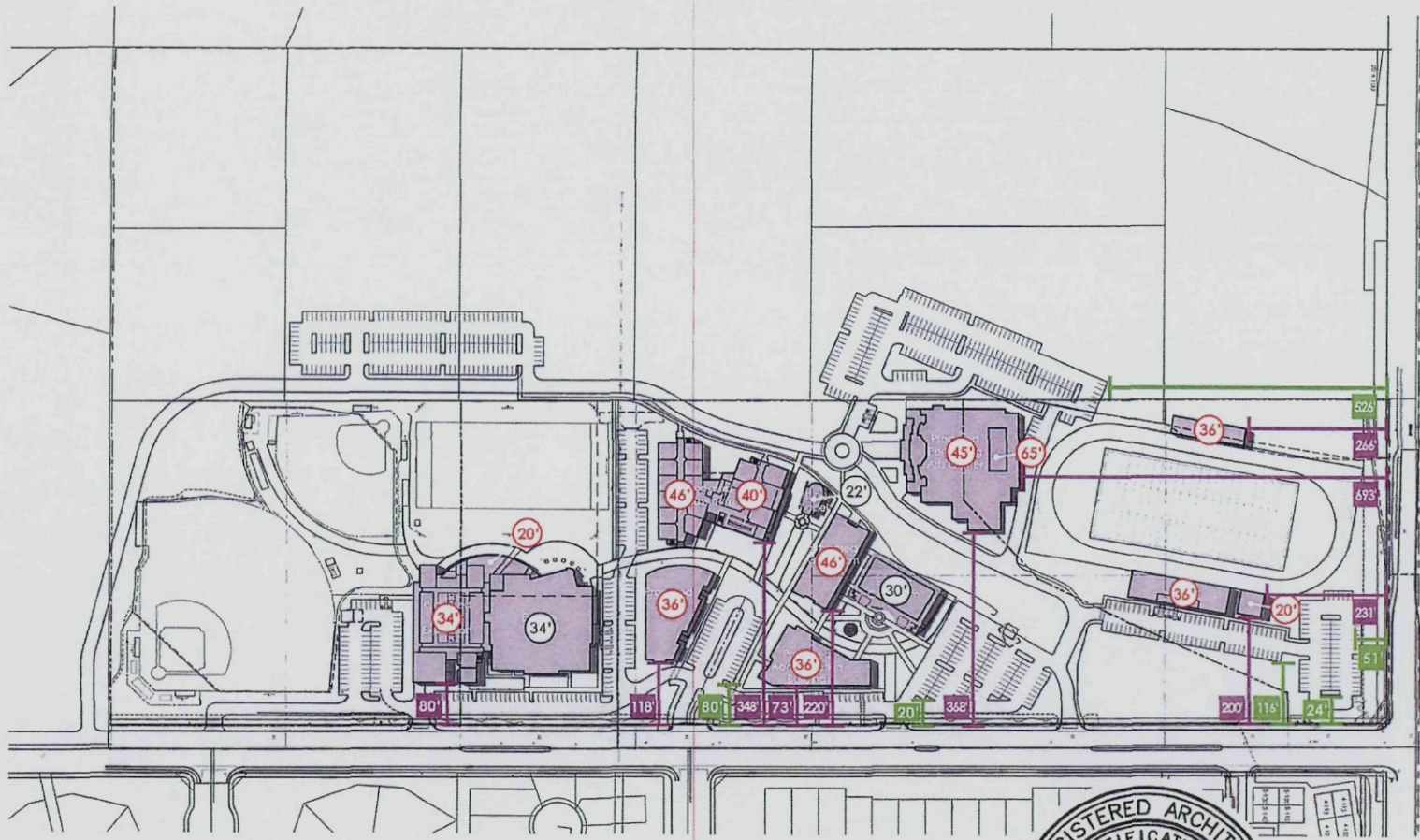
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
480.922.9227 480.922.9227 www.toddsai.com

Project No. 07-003-03
Date: 07-09-10

Preliminary Not For Construction

Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.



- LEGEND**
- #' Existing Building Height
 - #' Proposed Building Height
 - #' Proposed Parking Setback
 - #' Proposed Building Setback

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

PROPOSED BUILDING HEIGHTS

Notre Dame Preparatory
High School
Scottsdale, AZ.

REGISTERED ARCHITECT
CERTIFICATE NO.
32698
DANIEL P. BRUSNAHAN
Date Signed 7/15/2010
ARIZONA, U.S.A.

7
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
402.912.8222 402.932.9772 www.toddandco.com

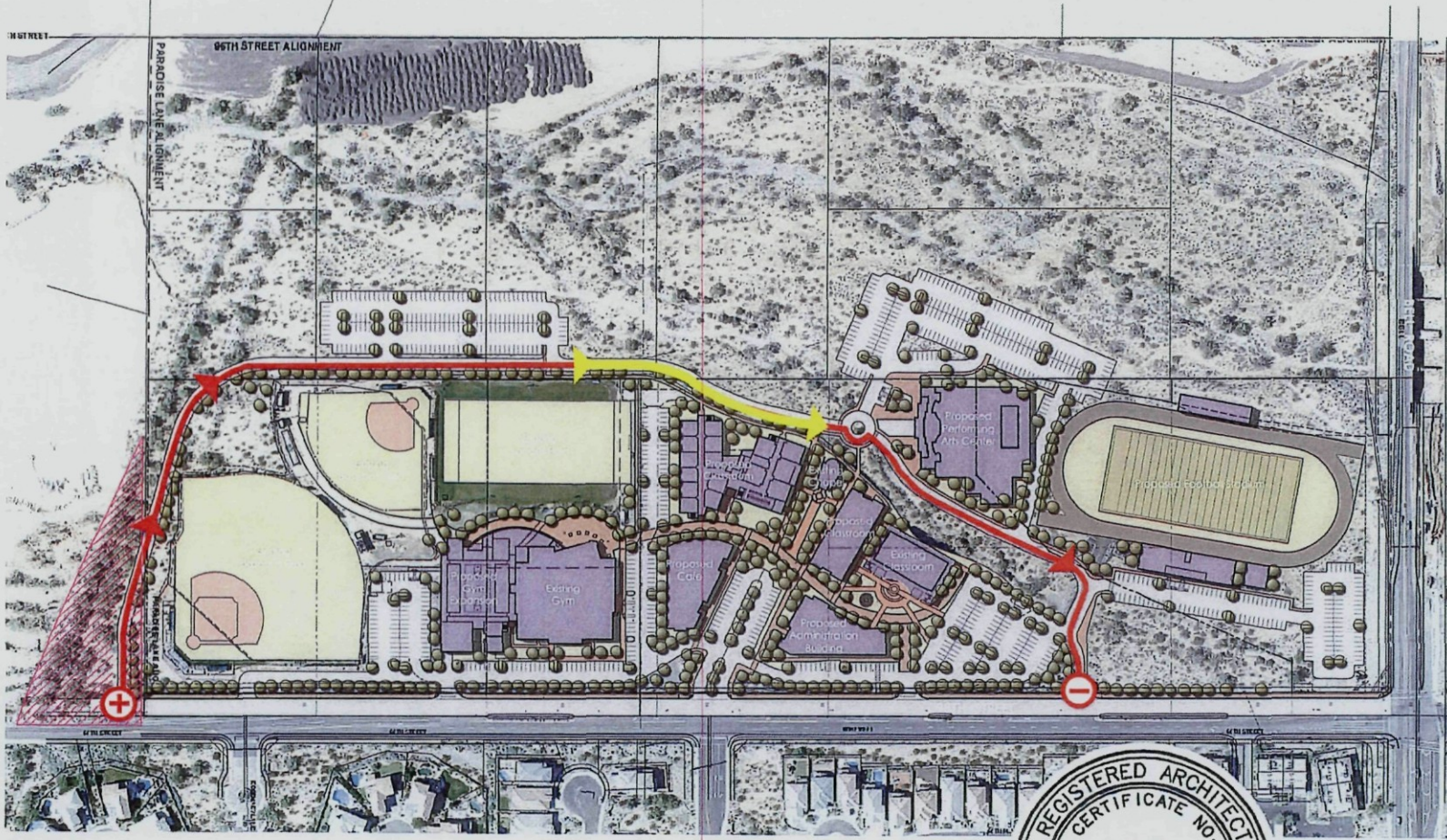
Project No. 07-1003-03
Date 07-09-10

Preliminary Not For Construction

Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.





LEGEND

- Drop-Off Entrance/Exit
- Drop-Off/Pick up: One-Way Circulation (30' width; can accommodate two-way traffic if required)
- Drop-Off Zone
- City Owned - Requires Access Easement

Notes

1. Performing Arts Setback from 98th Street:
 - Old Plan = 20' from Property Line
 - Revised Plan = 350' from Property Line
 2. Linear Foot Frontage of Buildings Along 98th Street:
 - Old plan = 990 L.F. of Building Frontage
 - *Revised Plan = 590 L.F. of Building Frontage (reduced by 57%)
- *Parking structure is deleted; performing arts moves west across wash.

Case Numbers: 12-ZN-2009 and 30-UP-2009
3rd City Submittal

Site Circulation Plan

Notre Dame Preparatory High School
Scottsdale, AZ.

TODD & ASSOCIATES, INC.
Critical Thinking - Creative Design

ARCHITECTURE 480 930 8282 F PLANNING 480 930 8993 L LANDSCAPE ARCHITECTURE www.toddsai.com

6
PLAN NO.

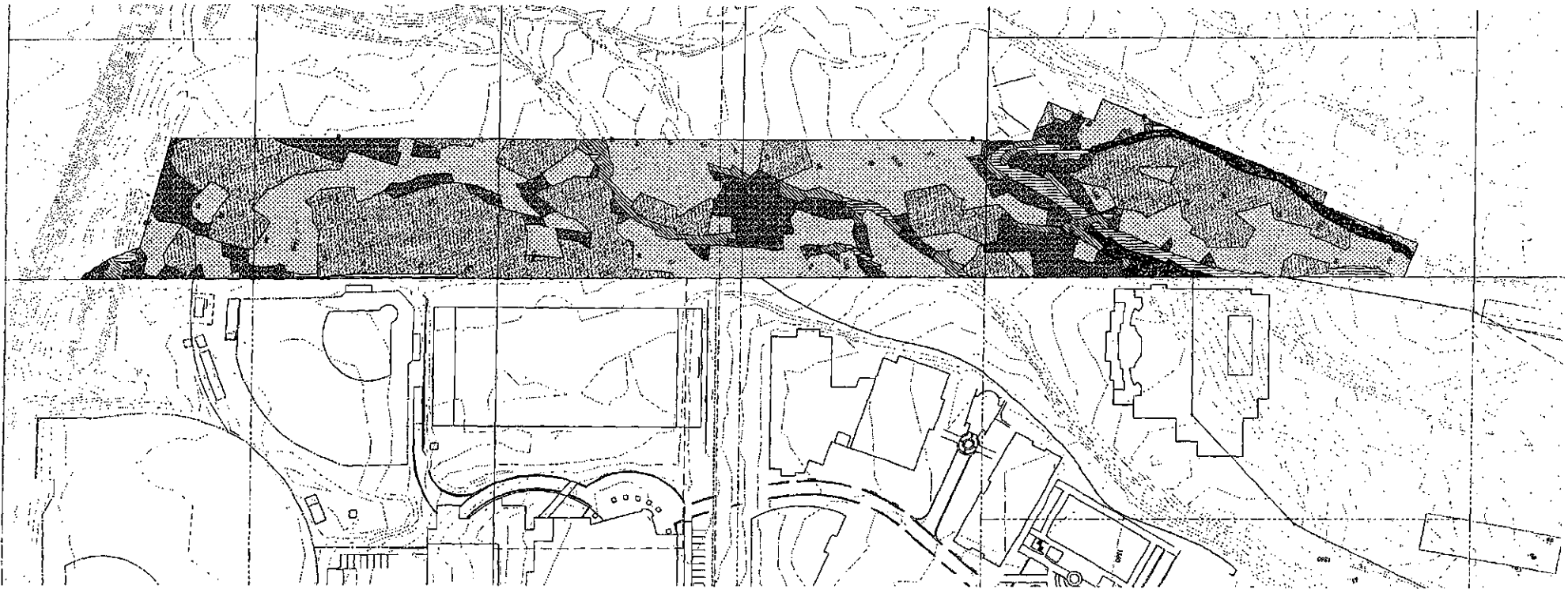
Project No: 07-3033-03
Date: 07-09-10
Preliminary Not For Construction

REGISTERED ARCHITECT
CERTIFICATE NO.
32698
DANIEL P. BRUSNAHAN
Date Signed 7/15/2010
ARIZONA, USA

Expires 06/30/2013

Plans, design, guidelines and other elements of this document are conceptual only and subject to future modification.





4. P:\C\07-7003-001\3-01\17-Remoting - as Permitted Slope Analysis.dwg, 11/17/2010 10:35:59 AM, dsm, .dgn

PROJECT DATA

TOWNSHIP	81-33 PCD/REG. & 81-5 PCD/REG.
NET LOT AREA	1,476,698 sf. = 33.70 AC Net
Netre Dame Prep. (NDRP)	317,120 sf. = 7.28 AC Net
City of Scottsdale Parcel	
TOTAL LOT AREA	1,793,818 sf. = 41.08 AC Net

SLOPE CATEGORIES

SLOPE CATEGORY	SLOPE CATEGORY AREA	HAQS REQ'D RATE	HAQS AREA REQ'D
0-2%	113,754 SF	20%	22,751 SF / .52 AC
2-3%	120,672 SF	25%	30,168 SF / .69 AC
5-10%	50,262 SF	30%	15,078 SF / .35 AC
10-15%	11,365 SF	30%	3,409 SF / .08 AC
15%-25%	11,454 SF	30%	3,434 SF / .08 AC
>25%	9,369 SF	30%	2,810 SF / .06 AC
	316,887 SF (7.28 AC)		77,460 SF / 1.78 AC*

*AGGREGATE HAQS RATE FOR SITE:
1.78 AC HAQS REQ'D + 7.28 AC SITE = 24.5%

Case Numbers: 12-ZN-2009 and 30-UP-2009



SITE PLAN SLOPE ANALYSIS

Noire Dame Preparatory High School
Scottsdale, AZ

[Handwritten Signature]

CERTIFICATE NO. 20662
H. DUANE BLOSSOM
 REGISTERED PROFESSIONAL ARCHITECT
 ARIZONA, U.S.A.
 Date Signed: *[Signature]*
 Expires: *05/24/2011*

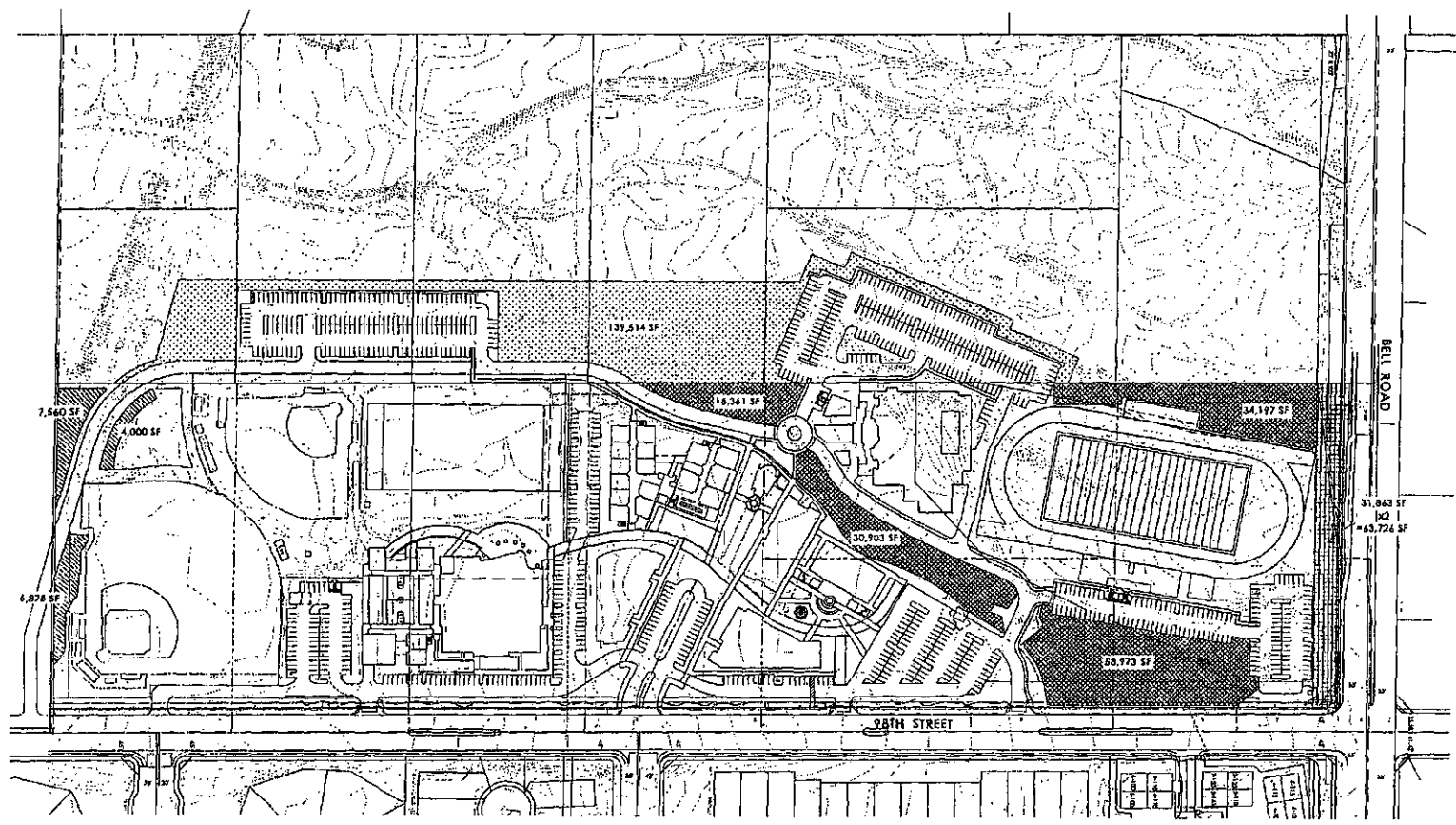


9 **TODD & ASSOCIATES, INC.**
 Critical Thinking • Creative Design
 ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
 405-152-8200 P 405-152-8910 F www.toddsai.com

Plans, Grades, boundaries and other elements of the document are conditional only and subject to future modification.

Project No. 07-9303 03
 Date: 07-13-10
 Preliminary Not For Construction

1:17-07-003-03 PR 1: City Resubmitting - 18 18/11/11 - N.A.O.S. dwg. 11/5/2010 1:32:55 PM - 23/10/2009



PROJECT DATA

ZONE Notre Dame Prep. (NDP)	R1-35 PCDES. A R1-3 PCDES.
NET LOT AREA Notre Dame Prep. (NDP) City of Scottsdale Parcel	1,474,692 SF = 33.90 AC Net 317,120 SF = 7.29 AC Net
COMBINED LOT AREA	1,791,812 SF = 41.19 AC Net

NAOS CALCULATIONS

FAIR City of Scottsdale Parcel (CO) / Notre Dame Prep. (NDP) / Total	NAOS REQD 1.78 AC (Per Sign Analysis) / 4.51 AC (Per app's zoning) / 6.29 AC	NAOS PROVIDED 3.30 AC (138,214 SF) / 4.69 AC (201,498 SF) / 8.29 AC (361,112 SF)
--	--	--

NAOS LEGEND

SYMBOL	DESCRIPTION	QUANTITY
[Pattern]	NAOS Onsite Underused (NDP)	3.20 AC (139,434 SF)
[Pattern]	NAOS Onsite Revog (NDP)	.423 AC (18,438 SF)
[Pattern]	NAOS Onsite Scenic Corridor (NDP) 31,843 SF x 2.1 credit = 63,776 SF	1.463 AC (63,776 SF)
[Pattern]	NAOS Onsite (CO)	3.20 AC (139,514 SF)
TOTAL		8.29 AC (361,112 SF)

Case Numbers: 12-ZN-2009 and 30-UP-2009

SITE PLAN
N.A.O.S. WORKSHEET

Notre Dame Preparatory
 High School
 Scottsdale, AZ.

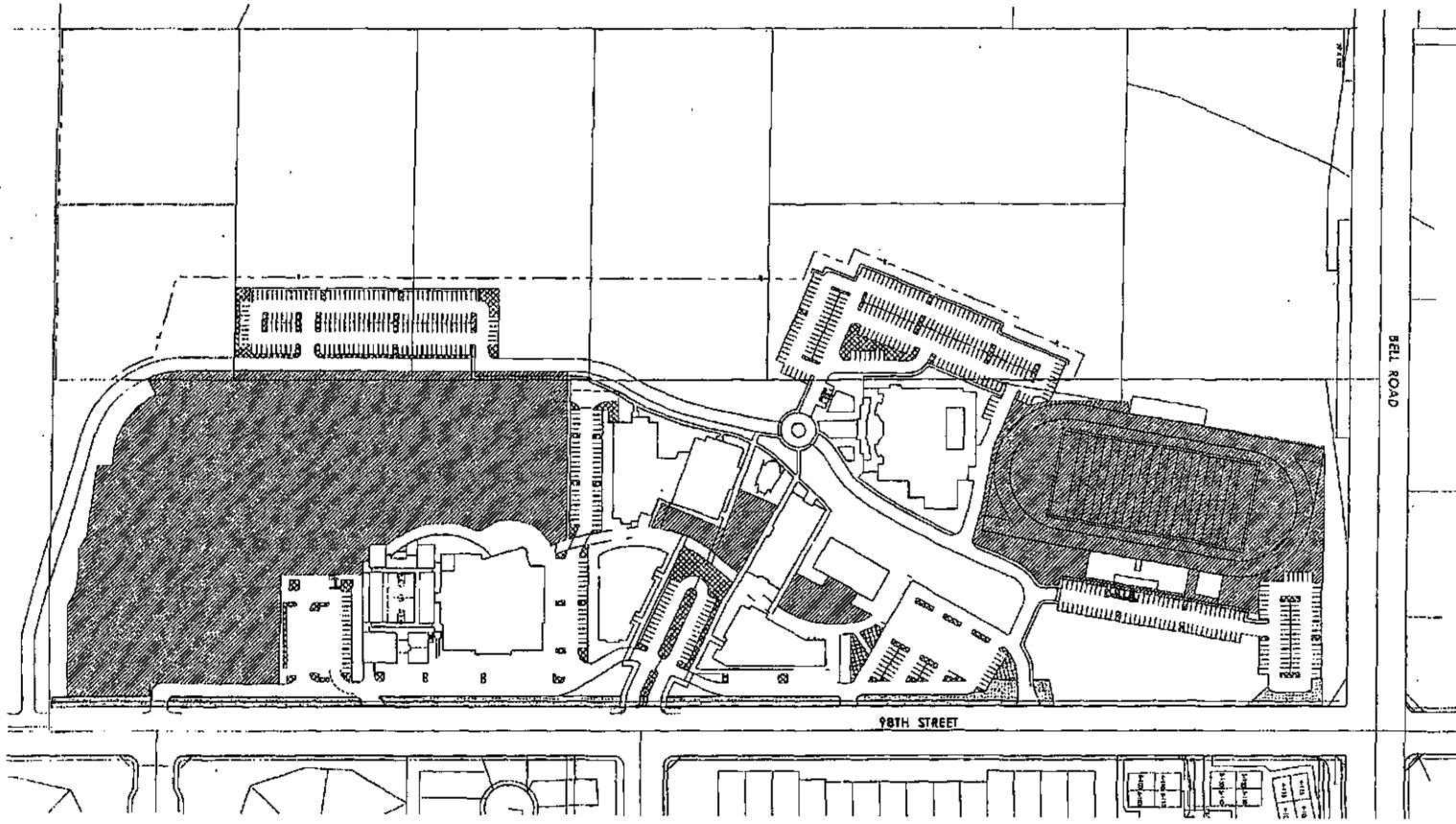


TODD & ASSOCIATES, INC.
 Critical Thinking - Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
 481 435 4945 P 481 435 4950 E www.toddsai.com
 Project No. 02-1983 DS Date: 07-13-10
 Preliminary Not for Construction

Plans, design, quantities and labor estimate of this document are conceptual only and subject to future modification.

J:\P\07-9005-03 PR 3rd City Rezoning - Use Permit\A-02 Open Space Site Plan.dwg, 7/13/2010 1:35:25 PM, dbimmons

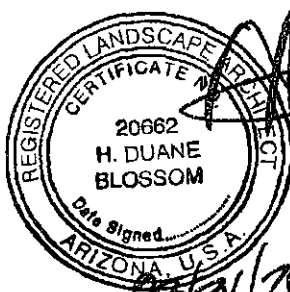


PROJECT DATA

ZONING	R1-35 PCD/HS, R1-5 PCD/HS
NET LOT AREA NOTRE DAME PREP. EXISTING AND PROPERTY ACQUISITION	1,793,818 S.F. (41.18 ACRES)
BUILDING HEIGHT PROVIDED	45' 0"
OPEN SPACE CALCULATION NOTRE DAME PREP. PARCEL: NET LOT AREA	1,793,818 S.F. (41.18 ACRES) X 2% OPEN SPACE (AS REQUIRED) = 430,514 S.F.
BUILDING HEIGHT (OVER 20')	45' - 20' = 25' 24' X .004 = .104 OR 10.4%
(ADDITIONAL O.S. REQUIRED) REQUIRED TOTAL OPEN SPACE	1,793,818 S.F. X .04 = 71,752 S.F. 430,514 + 71,752 = 502,266 S.F.
PROVIDED OPEN SPACE	430,514 S.F. (N/L PARKING LOT LANDSCAPE)
PARKING LOT LANDSCAPE CALCULATION: PARKING LOT LANDSCAPE REQUIRED	281,053 S.F. PARKING AREA X 15% = 59,159 S.F.
PARKING LOT LANDSCAPE PROVIDED	39,200 S.F.

SYMBOL	DESCRIPTION	NOTRE DAME PREP. & PROPERTY ACQUISITION
	FRONTAGE OPEN SPACE (PERI ST)	39,244 S.F.
	OPEN SPACE (OTHER THAN FRONTAGE)	506,778 S.F.
	PARKING LOT LANDSCAPE AREA	39,200 S.F.

LEGEND



Expires 03/31/2011

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

**SITE PLAN - OPEN
SPACE WORKSHEET**

Notre Dame Preparatory
High School
Scottsdale, AZ.

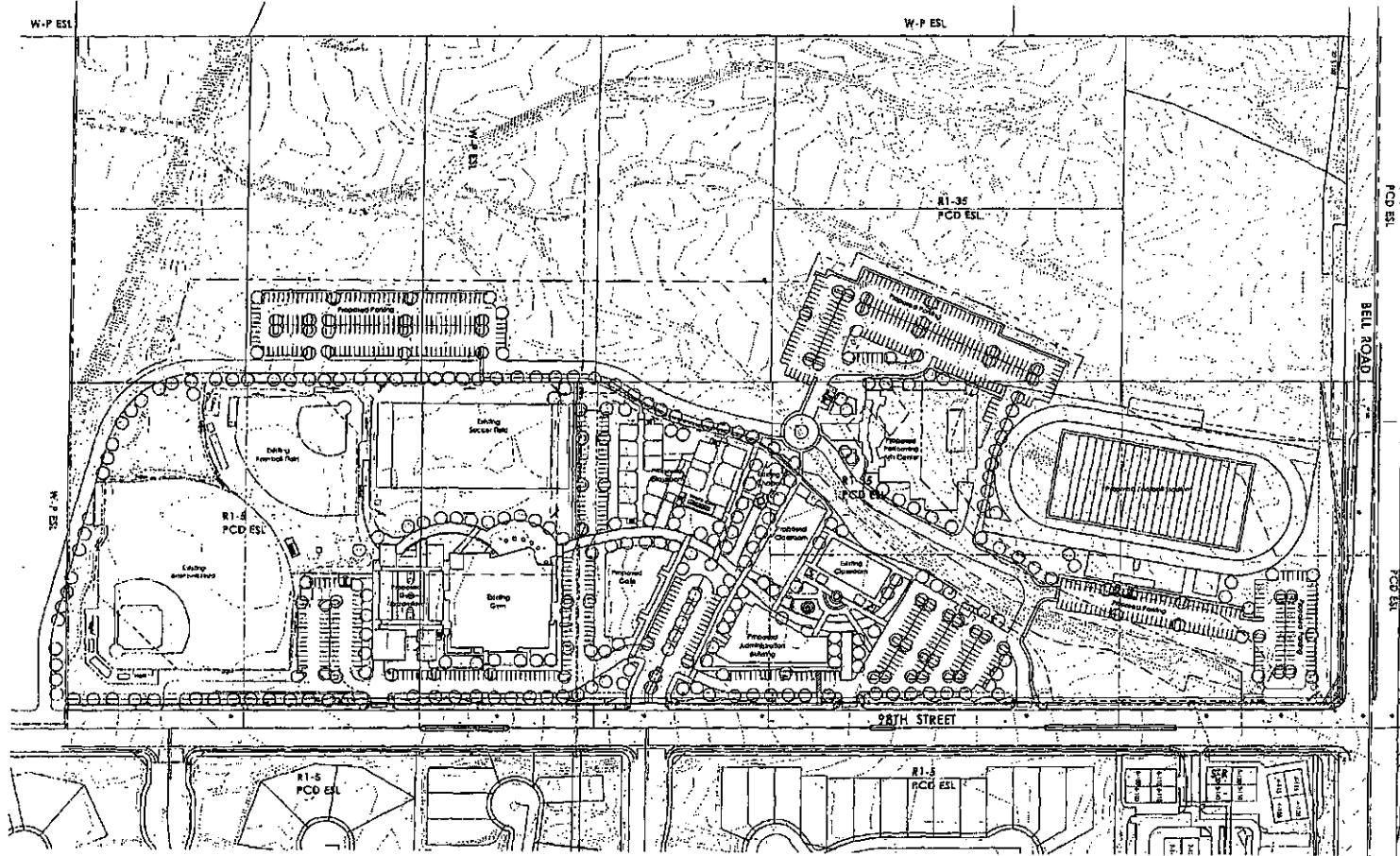
TODD & ASSOCIATES, INC.
Critical Thinking - Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
465 732 9300 P 465 927 0432 I
Project No. 07-9005-03
Date: 07-13-10
Preliminary Not For Construction



2
PLAT NO.

Plans, design, guidelines and other elements
of this document are conceptual only and
subject to future modification.



PLANT LIST

	BOTANICAL NAME	COMMON NAME	
TREES	ACACIA SALIKII	SWIFT ACACIA	
	ALGUA - EUCRYFACA	FLORAVITA WAXFL.	
	CELANANUS - VITICOLA	PAID BREA	
	PHOSOPUS DE ANTIQUA	IRAWI MESQUIT	
	PHOSOPUS VALUINA	NARVA MESQUITE	
	PHOSOPUS THOENK THUNBERG	HAUBER NE DENITE	
SHRUBS	UNELANONIA CALIFORNICA	BLACK TARRY CRISTEN	
	CORDIA PARVIFLORA	LITTLE LEAF CAMELIA	
	ENCEDIA FARGUESA	BRITISH BUSH	
	JURSTIA CALIFORNICA	DRYLANDS	
	LAURIA TRIDENTATA	DRYLANDS	
	MUNIELLENGIA HUGENS	WEE GRASS	
	RAULFIA PLYMOUTHENSIS	REGENT PRICKLE	

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal



LANDSCAPE PLAN

Notre Dame Preparatory
High School
Scottsdale, AZ.

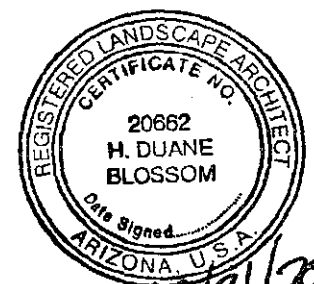
3
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking - Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
480-959-9599 480-959-9599 480-959-9599

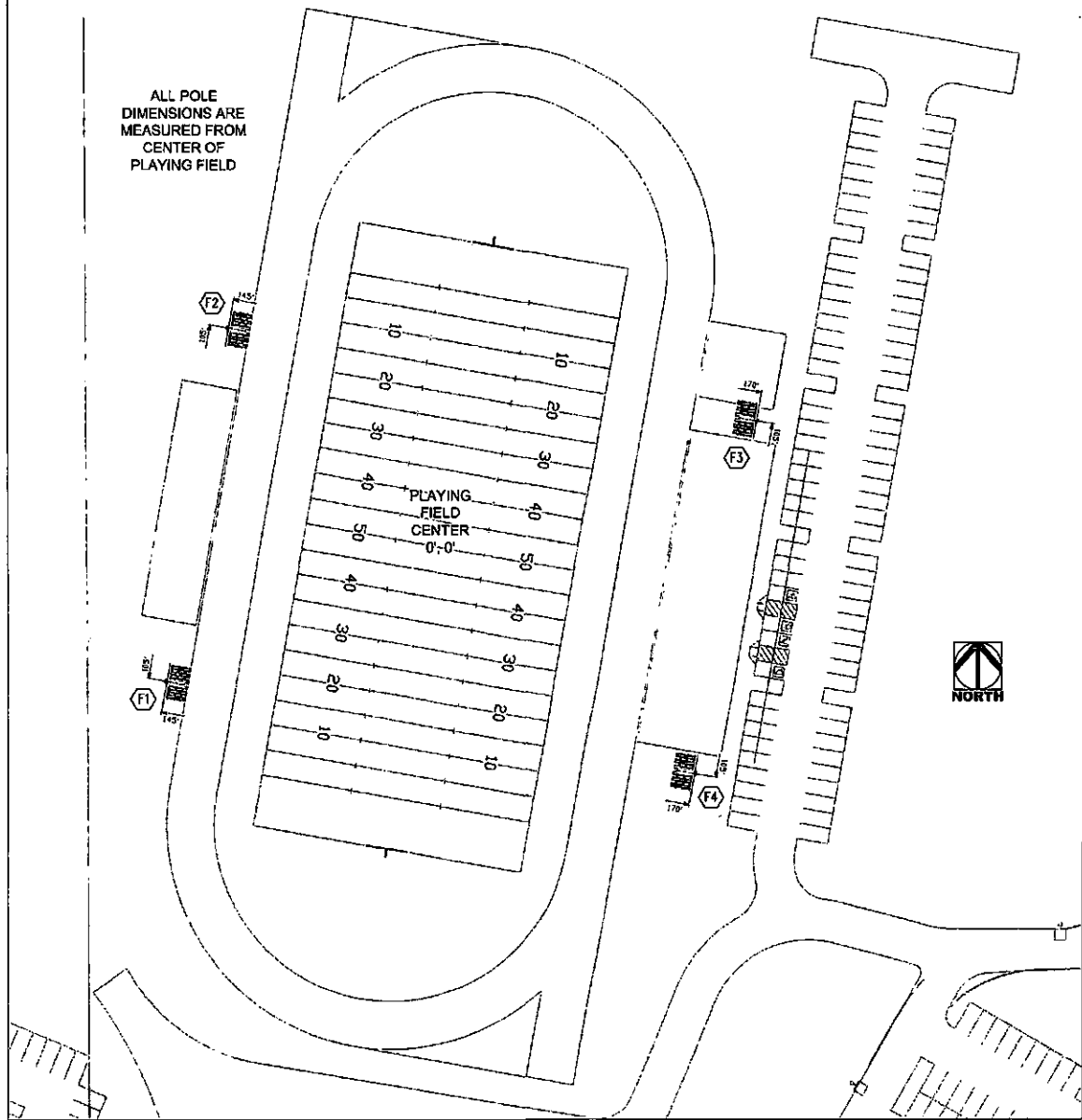
Plans, design, quantities and other materials
of this document are conceptual only and
subject to future modification.

Project No. 02-0961-03
Date: 07-15-10
Preliminary Not For Construction



Expires 02/21/2011

ALL POLE
DIMENSIONS ARE
MEASURED FROM
CENTER OF
PLAYING FIELD



POLE	NUMBER OF FIXTURES	MOUNTING HEIGHT	WATTAGE
F1	18	90 FT	1500W
F2	18	90 FT	1500W
F3	18	90 FT	1500W
F4	18	90 FT	1500W

4 NEW POLES 72 FIXTURES

FOOTBALL AND TRACK
SPORTS LIGHTING
LOCATIONS
AND QUANTITIES



This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, D.H. Lighting Solutions, Inc.

Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260

Date : 8/25/2009

Scale : 1" = 30'

Sheet No.

SL 1



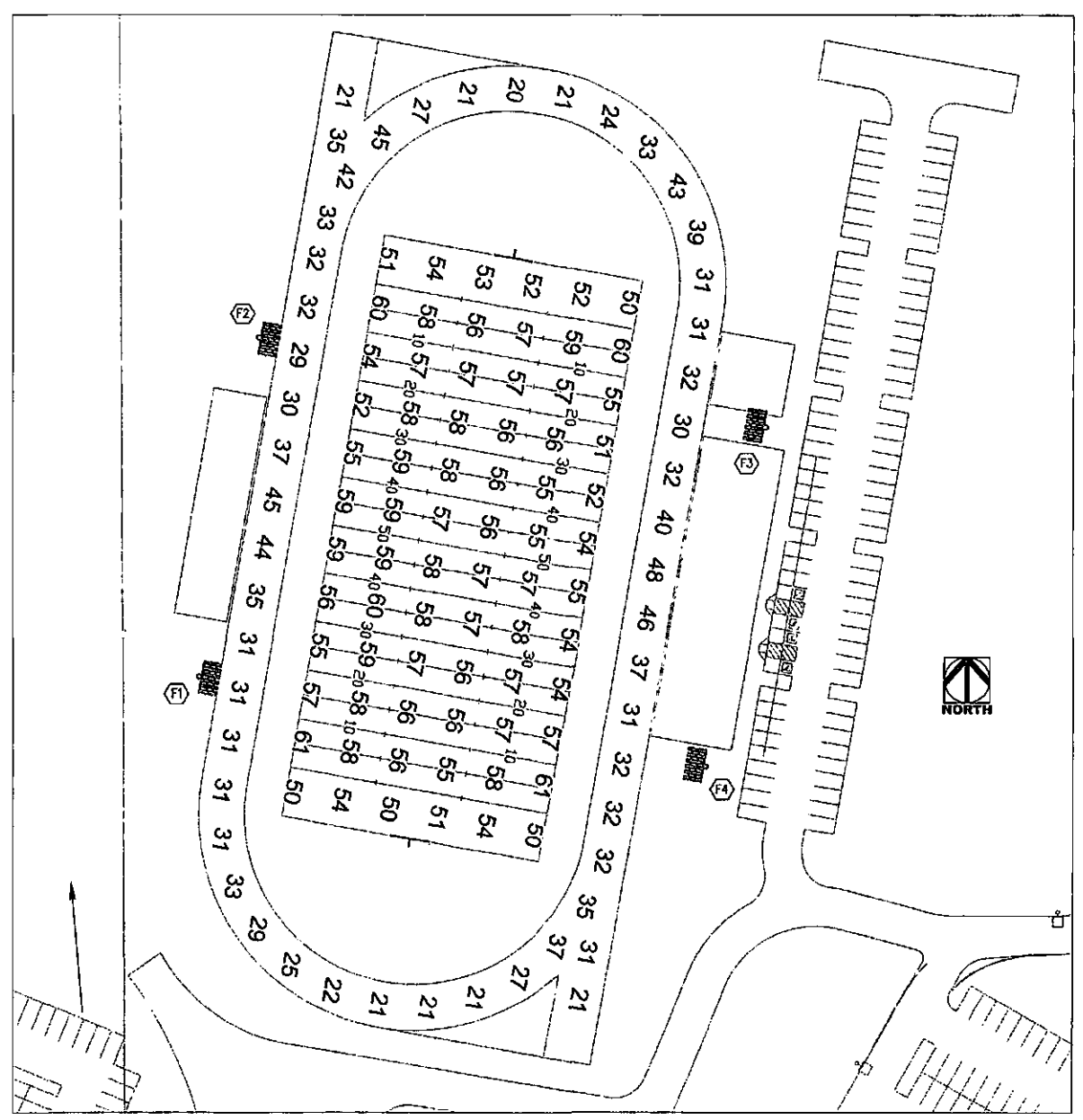
This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or reuse and/or use of this instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright © 2009, D.H. Lighting Solutions, Inc.

**Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260**

Date : 8/25/2009

Scale : 1" = 30'

Sheet No.
SL 2



FOOTBALL FIELD - 360' X 160'
30' X 30' CALCULATION GRID AT 3' AFG
MAINTAINED/CONSTANT FOOTCANDLES

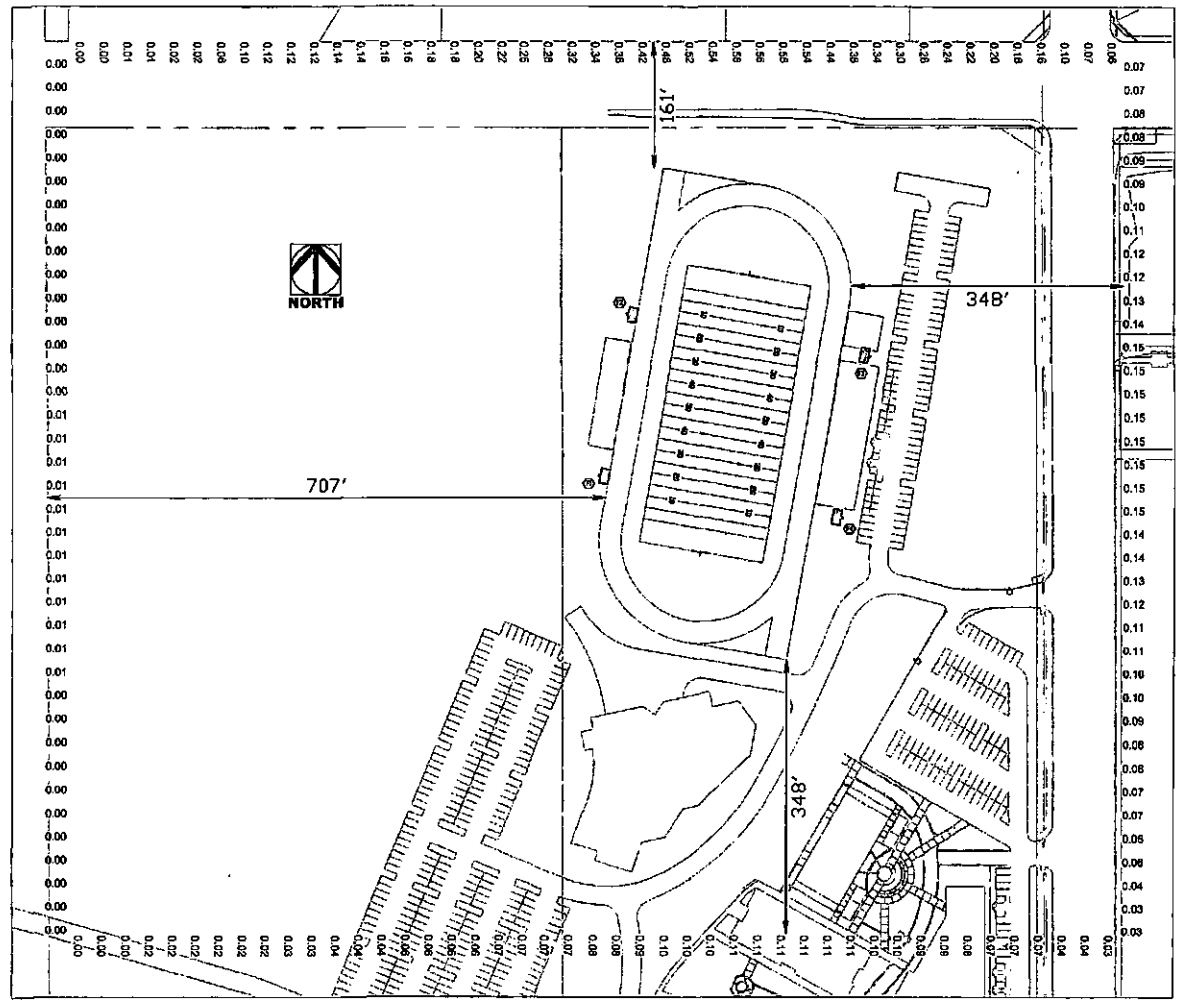
AVERAGE	56.1
MAXIMUM	61
MINIMUM	49
MAX-TO-MIN UNIFORMITY	1.25
UNIFORMITY GRADIENT	1.24
COEFFICIENT OF VARIATION	0.05

TRACK - 28' WIDTH
10' CALCULATION SPACING
MAINTAINED/CONSTANT FOOTCANDLES

AVERAGE	31.7
MAXIMUM	48
MINIMUM	20
MAX-TO-MIN UNIFORMITY	2.46

**FOOTBALL AND TRACK
ILLUMINANCE LEVELS**

Spill Light - behind sidewalk on east side of future 96th street
 ≤ 0.80 FC



Spill Light - across street at residential property line
 ≤ 0.80 FC

Spill Light - within school / city property
 ≤ 0.80 FC

Spill Light - at residential property lines on east side of 98th street
 ≤ 0.30 FC

PERIMETER SPILL LIGHT ILLUMINANCE LEVELS



This drawing is an instrument of service and property of B.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from B.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, B.H. Lighting Solutions, Inc.

Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260

Date : 8/25/2009

Scale : 1" = 70'

Sheet No.
SL 3

PROPOSED SPORTSLIGHTING SYSTEM

Light-Structure GREEN

Light-Structure Green System — 1st Flat Lens Series

Improved Luminance Efficiency

- 1. Reflector System:** Musco's 2000 photometric pattern provides optimal beam efficiency and uniform light for each fixture.
- 2. View System:** Second view allows precise, energy efficient light on the field and minimal spill light. The smooth inner surface wand flat on the pole.
- 3. Side Step Beam Control:** Beam can be directed toward the stadium horizontally or vertically. It can also rotate 90° left to the corner.

Smart Lamp Operating System

- 1. Lamp:** 33 years of lamp experience has led Musco to create the lamp with longevity and control like no other. It must perform at maximum.
- 2. Ground Up Adjustment:** With a ground leveling mechanism the lamp can take operation to the energy advantage to be used in any position.

Increased Durability, Reduced Results

- 1. Die Cast aluminum reflector housing:** provides a rugged foundation in a building and maintains a permanent fixture location.
- 2. Gearing:** Improved control and pole rotation design virtually eliminates wear and other contaminants in the reflector and lamp.
- 3. Factory Assembled Luminaires:** The housing design will result in a high maintenance-free system (no moving parts).
- 4. Locking Mechanism:** The factory assembled housing is mounted directly and securely to the concrete with the single anchor bolt.
- 5. Factory Aiming:** Musco's 8' x 8' mechanical crane or factory crane is mounted with light fixture crane. Field changes will be done.

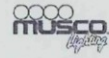
Solid control and flexible management

- 1. Control and monitoring:** The system is the single control, included in the fan production stage and gives you a total, flexible management tool.
- 2. Control Unit Control:** Read only, or Musco 24/7 support your operation of your lights. Access either on-site or remote via internet and telephone.

Ultimate guarantee — 25 or extra cost

With **Green Generation Lighting**, Musco's 4-Club Service guarantee will give you 25 years of guaranteed performance in the field on the lamp stand for all of the items listed by Musco's 60-day warranty department and does not include:

Light Structure GreenSM is the result of more than a dozen inventions and innovations from more than 10 million dollars of research and capital investment by Musco.



PROPOSED PARKING LOT LUMINAIRE

GREENBRIARSM - FLAT LENS

LUMINAIRE - The luminaire housing is made of anodized aluminum. It is the most advanced luminaire housing for the stadium lighting market. It is designed to be maintenance free and is available in a variety of colors.

COVERS - The flat lens covers are made of anodized aluminum. They are designed to be maintenance free and are available in a variety of colors.

TOP COVER MOUNTING - The top cover mounting is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

ROCKETS - The rockets are made of anodized aluminum. They are designed to be maintenance free and are available in a variety of colors.

LIGHT SOURCE - The light source is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

BALLASTS - The ballasts are made of anodized aluminum. They are designed to be maintenance free and are available in a variety of colors.

REFLECTOR DISTRIBUTION INTERIOR - The reflector distribution interior is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

GFR - The GFR is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

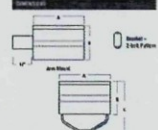
GFR - The GFR is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

GFR - The GFR is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

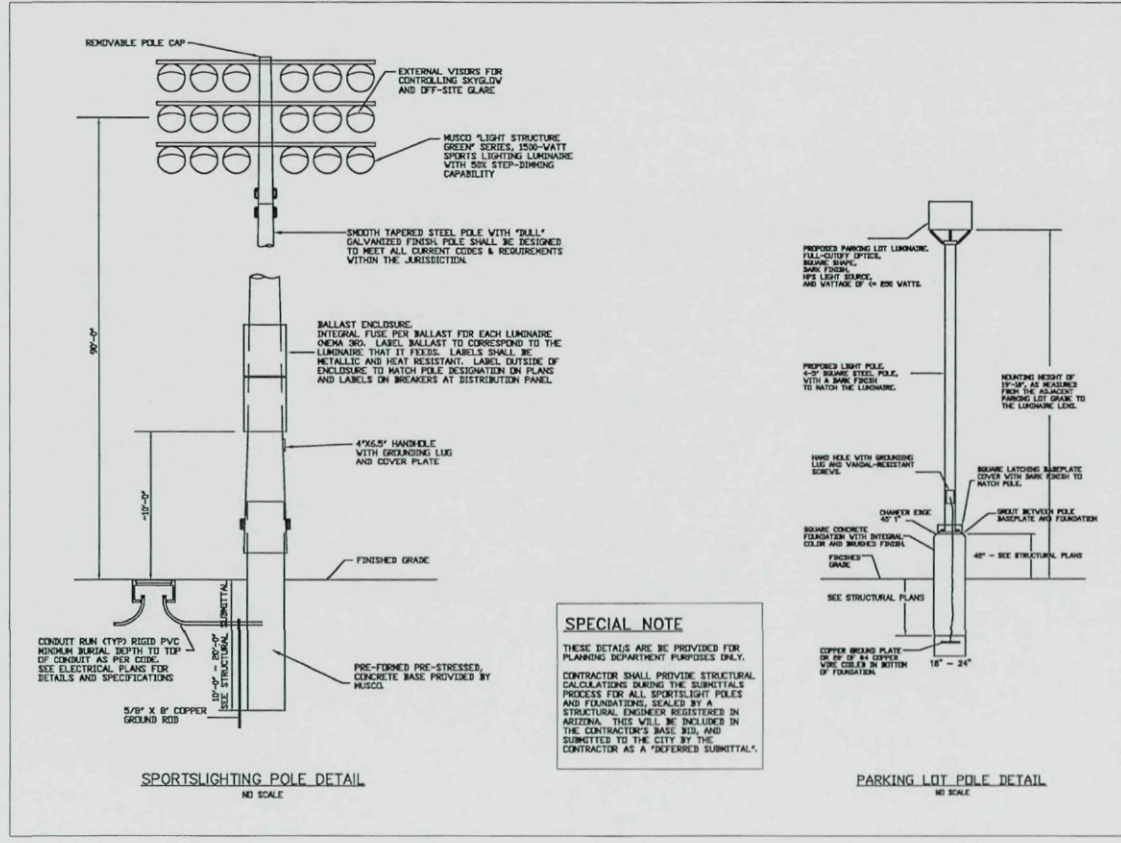
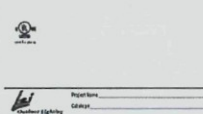
FRAMES - The frames are made of anodized aluminum. They are designed to be maintenance free and are available in a variety of colors.

DETAIL DRAWING - The detail drawing is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.

PICOTURE FINISH - The picoture finish is made of anodized aluminum. It is designed to be maintenance free and is available in a variety of colors.



Model	Power (W)	Beam Diameter (ft)	Height (ft)
GL-100	100	10	10
GL-200	200	20	20
GL-300	300	30	30
GL-400	400	40	40
GL-500	500	50	50
GL-600	600	60	60
GL-700	700	70	70
GL-800	800	80	80
GL-900	900	90	90
GL-1000	1000	100	100



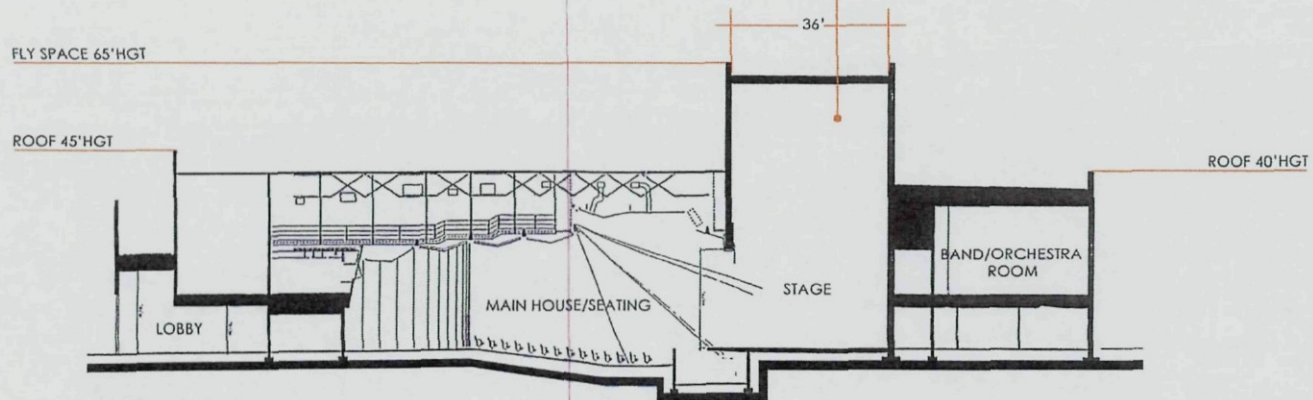
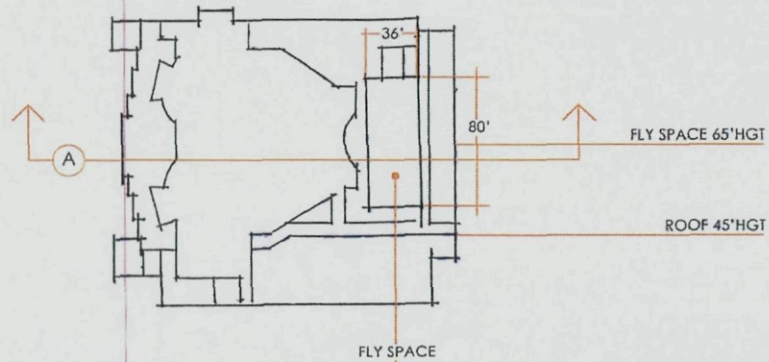
This drawing is an instrument of service and property of D.H. Lighting Solutions, Inc. Any reproduction by any means or medium and/or use of this instrument without express written permission from D.H. Lighting Solutions, Inc. is prohibited. Copyright 2009, D.H. Lighting Solutions, Inc.

Notre Dame Preparatory
Outdoor Lighting Improvements
9701 E. Bell Road Phoenix, AZ 85260

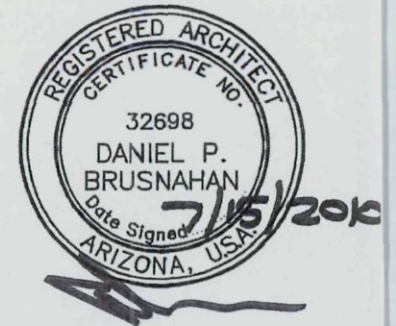
DETAILS AND MANUFACTURER CUTSHEETS

Date : 8/25/2009
Scale : NO SCALE
Sheet No. SL 4

ROOF PLAN:
PERFORMING ARTS CENTER



A SECTION:
PERFORMING ARTS CENTER



Expires 06/30/2013

Case Numbers: 12-ZN-2009
and 30-UP-2009
3rd City Submittal

PERFORMING
ARTS CENTER
BUILDING SECTION

Notre Dame Preparatory
High School
Scottsdale, AZ.



8
PLAN NO.

TODD & ASSOCIATES, INC.
Critical Thinking • Creative Design

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE
132 752 4282 P 132 732-8992 P www.toddassociates.com

Plans, design, guidelines and other elements
of this document are conceptual only and
subject to future modification.

Project No. 07-1083-03
Date: 07-07-10
Preliminary Not For Construction

Notre Dame Preparatory High School

Project Narrative

Prepared for:

Notre Dame Preparatory High School

9701 E. Bell
Scottsdale, Arizona

Prepared by:

Berry & Damore, L.L.C.

John V. Berry, Esq.
Michele Hammond, Principal Planner

6750 East Camelback Road
Suite 100
Scottsdale, Arizona 85251
480-385-2727

I. Property Information

Location: Southwest corner of 98th Street and Bell

Property Size: 33.9 (+/-) acres

II. Current Zoning:

- R1-35 ESL PCD (Single Family Residential, Environmentally Sensitive Lands, Planned Community Development District)
- R1-5 ESL PCD (Single Family Residential, Environmentally Sensitive Lands, Planned Community Development District)

III. Project Overview

Notre Dame Preparatory High School is a highly regarded, private parochial high school located in North Scottsdale at the southwest corner of 98th Street and Bell Road. Since opening in 2002, Notre Dame has exceeded expectations in every manner of school life from academic excellence to numerous state and regional championship sports teams. Due to the strength of its programs, curriculum and consistently increasing enrollment, Notre Dame is seeking approval for a new campus master plan to continue to meet expected demand for its quality education.

The intent of the new campus master plan proposal is to add buildings to accommodate higher enrollment projections of 1,200 students (an increase from 1,000 students) and expand curriculum needs, as well as to accommodate additional fine arts and athletic programs. This will be achieved through the construction of a performing arts center, a gymnasium expansion, new/additional classrooms, and a multipurpose athletic facility including football. Additionally, a more functional and neighborhood friendly student drop-off and parking plan will be implemented.

In working with the City, Notre Dame Preparatory will be able to provide an environmentally sensitive campus that will allow campus parking on portions of the adjacent City parcel directly to the west. A companion Development Agreement between the school and the City will be completed concurrently with the zoning and use permit cases for the master plan.

The property is part of the greater Horseman's Park Planned Community Development (PCD) District. Existing surrounding land uses include vacant municipal land to the west; single-family residential to the north; office and single-family residential to the east; and the Westworld property to the south.

circulation. The campus is closed to the public and Notre Dame maintains private security. Utilizing the a portion of the adjacent City parcel to the west for parking will allow the new campus buildings to be positioned further away from the single-family neighborhood and will allow for access changes that will benefit the area and the neighbors.

The additional height requested under this application is for the classroom buildings located near the center of campus and the performing arts center located just south of the proposed football stadium (refer to Proposed Building Heights Site Plan and Performing Arts Center Building Section for specific proposed building heights). Notre Dame Prep has gone through extensive master planning efforts in an attempt to maintain a significant amount of open space (both NAOS and athletic fields) along 98th Street. The original plan was to place the performing arts center near 98th Street, but in order to provide a buffer to the residential neighborhood to the east the building was repositioned to the western edge of the campus. The overall required open space calculation for the campus is 34.4% (based on a 46' maximum building height) or 507,983 s.f. The open space provided substantially exceeds the requirement by providing 56% or 826,792 s.f. of open space.

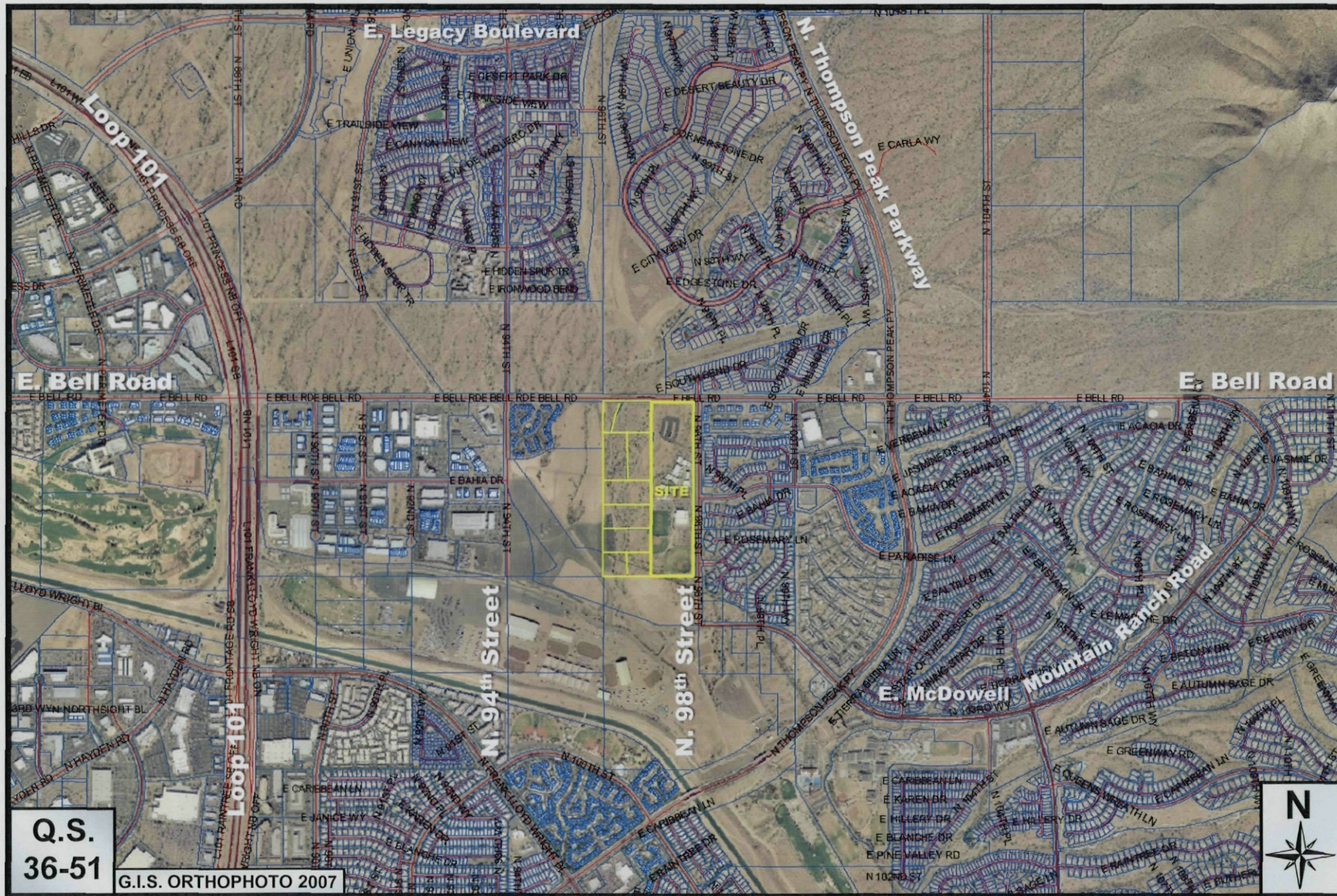
V. Use Permit Findings

A Conditional Use Permit is required for Private/Charter Schools and Community Buildings and Recreational Facilities not publically owned. Conditional Use Permits may be granted only after the Planning Commission has made a recommendation and the City Council has found as follows (Section. 1.401):

A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:

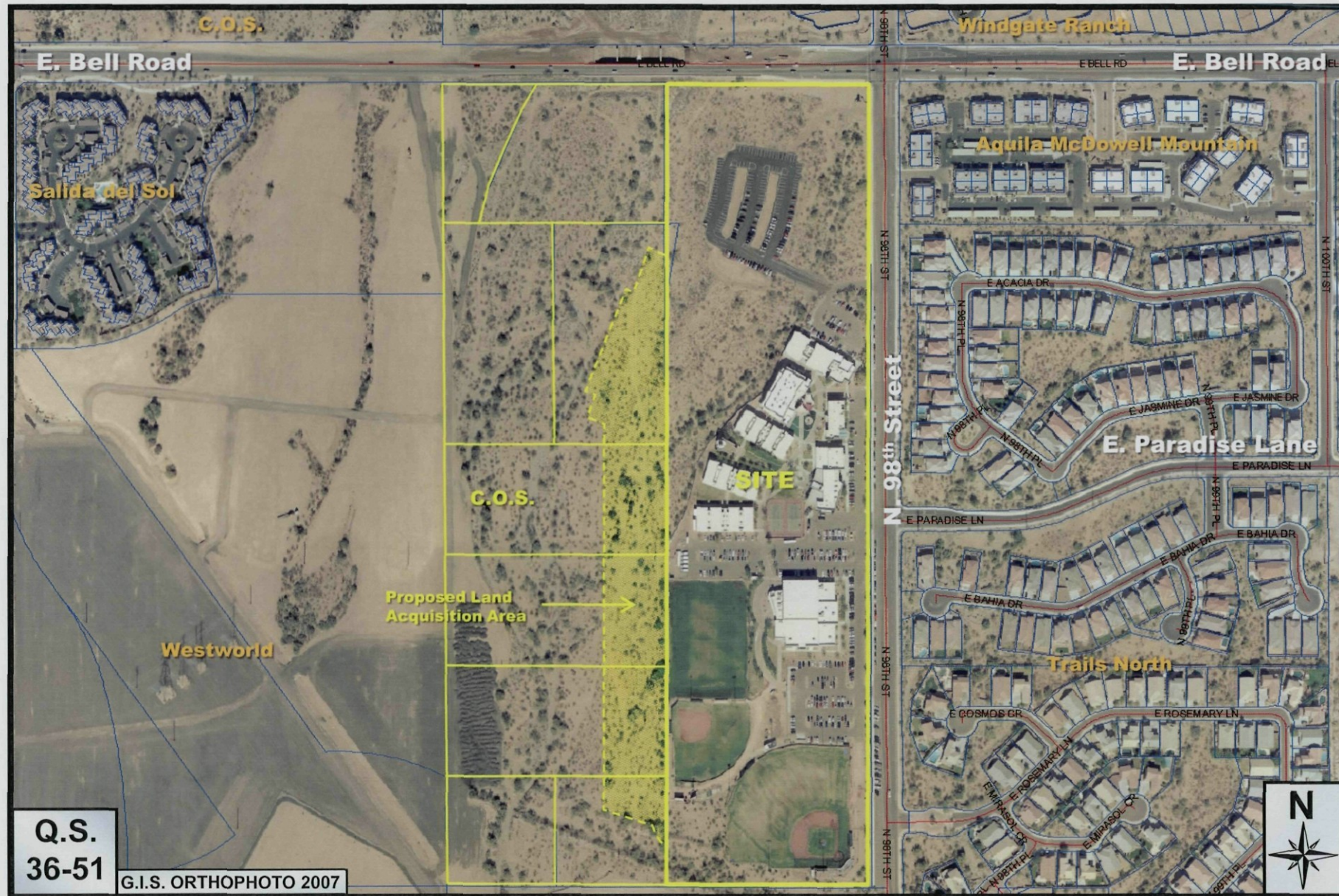
- 1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.***

No excessive or significant smoke, odor, dust, or vibration is anticipated to be generated from Notre Dame Preparatory High School. The athletic fields will be used for sporting events that will create some level of noise and illumination. Through careful site planning efforts, the location of the athletic fields were positioned in a manner to provide an ample buffer to the adjacent single-family homes. Additionally, Notre Dame proposes only 4 additional light poles from what exists on campus today. These lights will utilize state of the art lighting design and standards to minimize impact and foot-candle trespass to the residential neighborhood. In terms of context, the Westworld multi-purpose facility, which is located to the south of Notre Dame Preparatory has lighted arenas,



Notre Dame Preparatory High School

12-ZN-2009 and 30-UP-2009



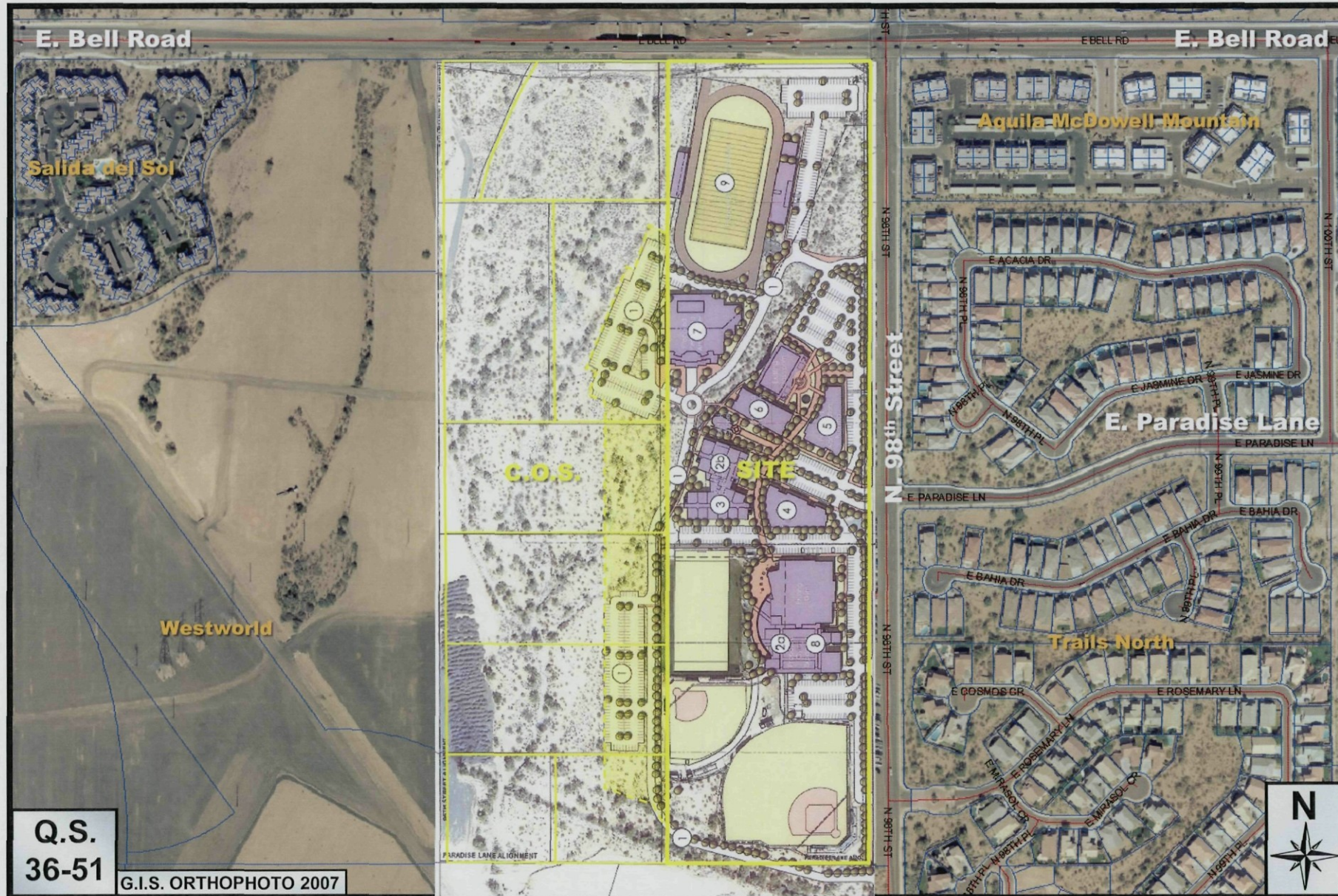
**Q.S.
36-51**

G.I.S. ORTHOPHOTO 2007

Notre Dame Preparatory High School

12-ZN-2009 and 30-UP-2009

ATTACHMENT #4A



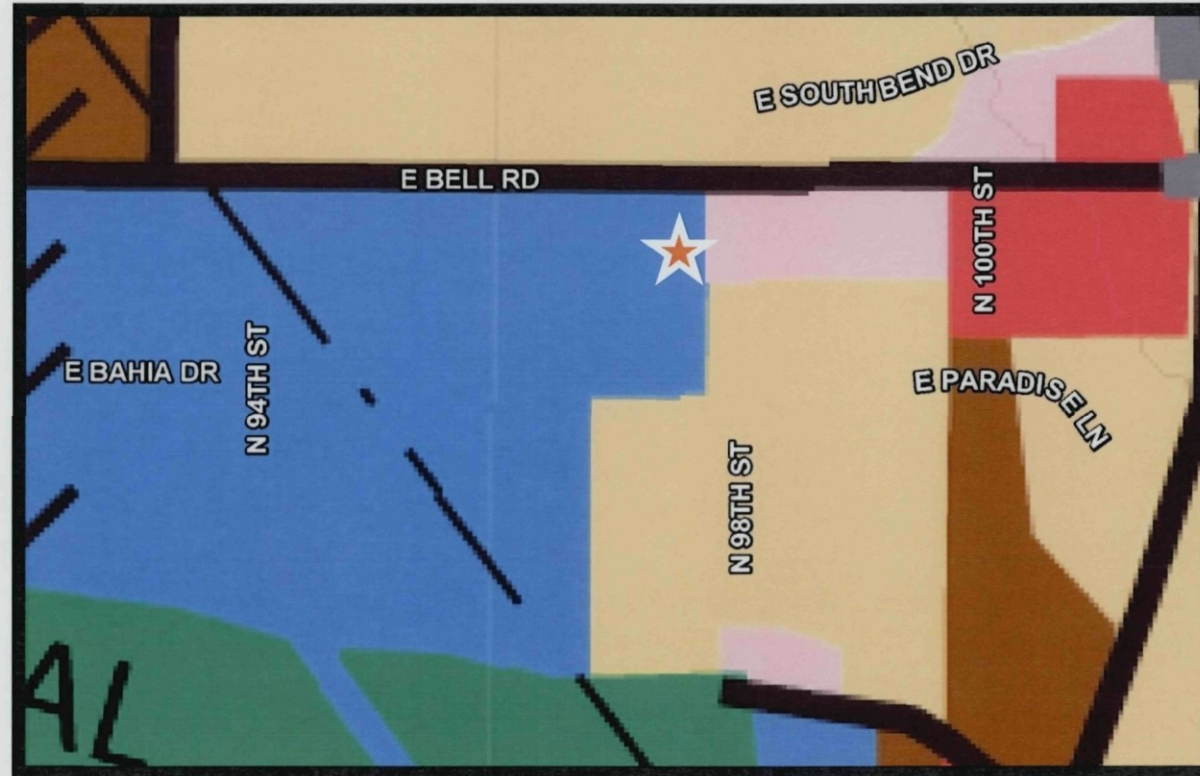
**Q.S.
36-51**





















G.I.S. ORTHOPHOTO 2007

Notre Dame Preparatory High School

12-ZN-2009 and 30-UP-2009

General Plan

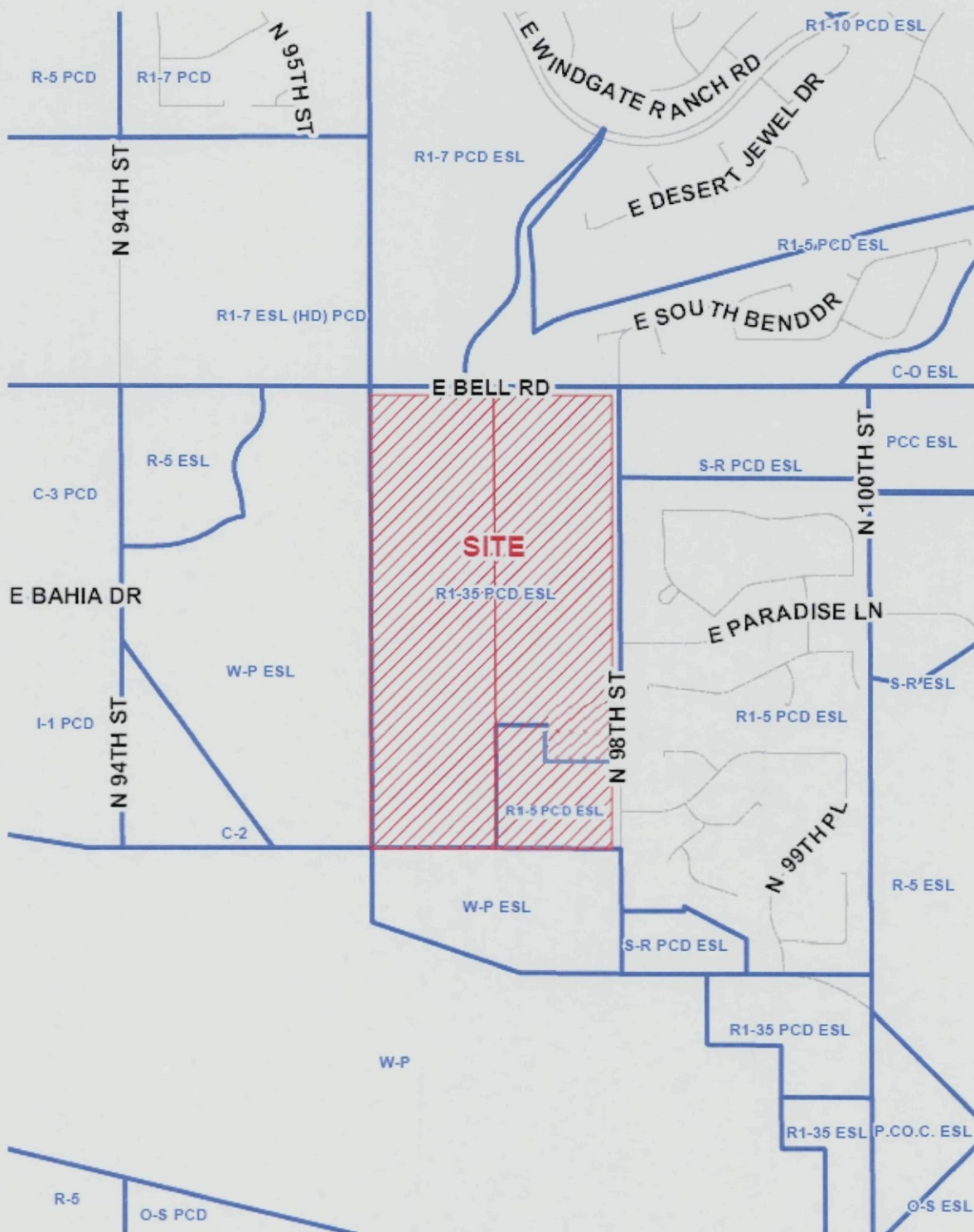


	RURAL NEIGHBORHOODS		EMPLOYMENT
	SUBURBAN NEIGHBORHOODS		NATURAL OPEN SPACE
	URBAN NEIGHBORHOODS		DEVELOPED OPEN SPACE (PARKS)
	MIXED-USE NEIGHBORHOODS		DEVELOPED OPEN SPACE (GOLF COURSES)
	RESORTS/TOURISM		CULTURAL/INSTITUTIONAL OR PUBLIC USE
	SHEA CORRIDOR		MCDOWELL SONORAN PRESERVE (AS OF 8/2003)
	MAYO SUPPORT DISTRICT		RECOMMENDED STUDY BOUNDARY OF THE MCDOWELL SONORAN PRESERVE
	REGIONAL USE DISTRICT		CITY BOUNDARY
	COMMERCIAL		LOCATION NOT YET DETERMINED
	OFFICE		LOCATION NOT YET DETERMINED



12-ZN-2009 and 30-UP-2009
ATTACHMENT #6

Zoning Map



12-ZN-2009 and 30-UP-2009

ATTACHMENT #7



CITIZEN OUTREACH
Notre Dame Preparatory Campus
July 12, 2010

Overview

This citizen outreach is being performed in association with rezoning and special use permit requests to allow for continued expansion of Notre Dame Preparatory Campus located on the southwest corner of Bell Road and 98th Street. Notre Dame has exceeded expectations in every manner of school life from academic excellence to numerous state and regional championship sports teams. Due to the strength of its programs, curriculum and consistently increasing enrollment, Notre Dame is seeking approval for a new campus master plan to continue to meet expected demand.

The entire project team is sensitive to the importance of neighborhood involvement and creating a relationship with property owners, residents, business owners, homeowner associations, and other interested parties. Communication with these parties is ongoing throughout the process. Work on compiling stakeholders and preparing for the neighborhood outreach began prior to the application filing and will continue throughout the process. Communication with impacted and interested parties has taken place with verbal, written, electronic, and door-to-door contact.

Community Involvement

The Notre Dame project team has been busy conducting outreach into the community to date. We have been meeting with residential neighbors and Homeowners Associations to inform them about the proposed project and to gather their input. We have attended the Homeowners Association meetings for both the Horseman's Park and Trails North neighborhoods. We have also meet with representatives of the Windgate Ranch neighborhood as the builder, Toll Brothers, is still in control of their HOA. In addition we conducted door-to-door contact with property owners backing the project in the Trails North Neighborhood and additional door to door work in the Horseman's Park neighborhood. The plans have been well received to-date with no major objections to

the plan and only minor concerns about the traffic flow for major events at the proposed stadium.

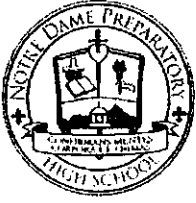
On December 4, 2009 surrounding property owners and other interested parties were noticed via first class mail regarding the project. The notification contained information about the project, contact information to receive additional information, and the opportunity to give feedback. The notification also contained information regarding a Neighborhood Open House to be held on December 16, 2009 for anyone interested in learning more about the project (see attached letter and labels.)

The Open House was held at the Notre Dame Campus in the Library from 5:00-6:00 pm. The open house meeting was not attended by any party. We have continued to be available to meet in person or speak via phone with any interested party though no additional requests have been received.

A vital part of the outreach process is to allow people to express their concerns and understand issues and attempt to address them in a professional and timely matter. As previously stated the entire team realizes the importance of the neighborhood involvement process and is committed to communication and outreach for the project.

Attachments:

Neighborhood Notification Letter
Mailing Labels



NOTRE DAME
Preparatory High School

9701 East Bell Road
Scottsdale, Arizona 85260
Phone: 480-634-8200
Fax: 480-634-8299
notredamepreparatory.org

December 1, 2009

Dear Neighbor:

As part of our continuing effort to provide quality education for college bound young people in our community, Notre Dame Preparatory School has developed a long range plan for future improvements to our campus.

In less than a decade, NDP has grown into one of the nation's leading college preparatory high schools by providing an exceptional academic and spiritual environment for our students. We also are working to ensure that NDP will always be able to provide a relevant, high-quality education that prepares our students for college, for work, and for life.

Our expansion program will, over time, increase the size of the campus and allow the school to offer a wider range of academic, athletic, and performing arts programs and facilities. Beginning with state of the art science labs and classroom facilities, and then on to a new fine arts auditorium and multipurpose athletic stadium, the NDP Campus Design Project represents our enduring commitment to provide an outstanding high school experience. Our plans will increase the amount of square footage under roof at the school and will ultimately provide a home for a maximum of 1,200 students, up from our current approved maximum of 1,000. Additionally, this plan will improve the campus traffic circulation and pickup/drop-off staging.

We are pleased to invite you to an open house to view our proposal for the latest improvements to the Notre Dame campus. The open house will be held at Notre Dame Preparatory located at 9701 E. Bell Road, Scottsdale AZ 85260 in the Library on Wednesday, December 16, 2009, from 5:00 to 6:00 p.m. We hope you will be able to join us. If you have any questions, you may contact Technical Solutions who is handling our neighborhood outreach at 602-957-3434. The City of Scottsdale Project Coordinator for this project is Jesus Murillo who can be reached at (480) 312-7849 or at JMurillo@ScottsdaleAz.Gov.

Sincerely,

A handwritten signature in black ink that reads "David D. Gonsalves".

David Gonsalves
Principal

ACCESS BUYERS SECURITY MTG LLC
1045 E BELL RD STE 120
SCOTTSDALE, AZ 85260

ACLV REALTY LLC
14042 E BECKER LN
SCOTTSDALE, AZ 85259

AGADJANOV INESSA
9838 E ROSEMARY LN
SCOTTSDALE, AZ 85260

AGUILA PROPERTIES LLC
10668 E CARIBBEAN LN
SCOTTSDALE, AZ 85255

ALTSCHULER DAVID/ALTMAX ARIZONA
LLC
20 CROSSWAYS PARK DR N 406
WOODBURY, NY 11797

AMERIS GROUP LLC THE
9841 E BELL RD STE 110
SCOTTSDALE, AZ 85260

ANDRE DERIC D
16281 N 98TH WAY
SCOTTSDALE, AZ 85260

ANGLE JEFFREY
9801 E BAHIA DR
SCOTTSDALE, AZ 85260

ANTAL LEVY
9876 E JASMINE DR
SCOTTSDALE, AZ 85260

ANVAR SYRUS/SHIRIN TR
9891 E ACACIA DR
SCOTTSDALE, AZ 85260

APPELGREEN JENS A/MARCIA H
16822 N 98TH PL
SCOTTSDALE, AZ 85260

AQUILA MCDOWELL MOUNTAIN
LLC/HOOVER ROGER L
7150 E CAMELBACK RD STE 500
SCOTTSDALE, AZ 852511257

ARIZONA STATE LAND DEPARTMENT
1150 W GROVE PKWY STE 110
TEMPE, AZ 85283

ARIZONA STATE LAND DEPT
40 N CENTRAL AVE STE 2700
PHOENIX, AZ 85004

ARMIJO EDMUND/TAMRA
9903 E SOUTH BEND DR
SCOTTSDALE, AZ 85255

AURORA LOAN SERVICES LLC
2617 COLLEGE PARK DR
SCOTTSDLUFF, NE 69361

AZAGRA-RUANO FAMILY LIVING TRUST
7679 E WINGTIP WY
SCOTTSDALE, AZ 85255

BALAKRISHNAN
RADHAKRISHNAN/SIDDAPPA ANITHA
9846 E ROSEMARY LN
SCOTTSDALE, AZ 85260

BARKOSKY DANIEL J/KIMBERLY P
9877 E BAHIA DR
SCOTTSDALE, AZ 85260

BEARDMORE BROOKE
10630 E BECKER LN
SCOTTSDALE, AZ 85259

BELL GABBY
9806 E COSMOS CIR
SCOTTSDALE, AZ 85260

BELL GEORGE H/JOAN R TR
16711 N 98TH PL
SCOTTSDALE, AZ 85260

BJORKMAN ERIC/AMY
16777 N 98TH PL
SCOTTSDALE, AZ 85260

BRODERICK SUZANNE E/BRIAN T
16776 N 98TH PL
SCOTTSDALE, AZ 85260

BUCHI ANJI R/PUNYAVANTHULA INDIRA P
9889 E BAHIA DR
SCOTTSDALE, AZ 85260

BUDZINSKI DANIEL J/JILL M
16823 N 98TH PL
SCOTTSDALE, AZ 85260

BURTON KATHY L
9831 E ACACIA DR
SCOTTSDALE, AZ 85260

W&M REAL ESTATE LLC
PO BOX 15581
SCOTTSDALE, AZ 85267

CARPENTER JEFFREY S/STEPHANIE J
10332 E STAR OF THE DESERT DR
SCOTTSDALE, AZ 85255

CARROLL IRENE P
PO BOX 4725
SCOTTSDALE, AZ 85261

CHERNECKI PROPERTIES LIMITED
PARTNERSHIP
3747 PALMERI PL
CARLSBAD, CA 92011

CITY OF SCOTTSDALE
3939 CIVIC CENTER PLAZA
SCOTTSDALE, AZ 85251

CITY OF SCOTTSDALE
7447 E INDIAN SCHOOL STE #205
SCOTTSDALE, AZ 85251

City of Scottsdale
Attn: Jesus Murillo
7447 E INDIAN SCHOOL RD NO 100
SCOTTSDALE, AZ 85251

CLENDENING ROBERT G/DONNA M
410 SALEM ST 604
WAKEFIELD, MA 1880

COBOS-FLORES LIA/EFREN II
9852 E JASMINE DR
SCOTTSDALE, AZ 85260

COHEN MARIE TR
16250 N 98TH PL
SCOTTSDALE, AZ 85260

COLLIS JAMES/MAILYN
9814 E ROSEMARY LN
SCOTTSDALE, AZ 85260

CREAL MICHAEL C/BERYL
9855 E ROSEMARY LN
SCOTTSDALE, AZ 85259

DANG KEVIN H/HUYNH TINA H
16866 N 98TH PL
SCOTTSDALE, AZ 85260

DEFRANCO ADRIAN/JUDITH
9800 E COSMOS CIR
SCOTTSDALE, AZ 85260

DEMOGENES PETER C/SHARON
16712 N 98TH PL
SCOTTSDALE, AZ 85260

DEPASQUALE DAVID M/RENZI STEPHEN W
16801 N 94TH ST UNIT 1036
SCOTTSDALE, AZ 85260

DHP2 LLC
3334 E COAST HIGHWAY 162
CORONA DEL MAR, CA 92625

DIGIOVANNI JOSEPH
20009 N 97TH PL
SCOTTSDALE, AZ 85255

DOBOS ROBERT/LONGMIRE JULIE
9299 E DESERT VIEW
SCOTTSDALE, AZ 85255

DORN GARRICK A/SARAH K
16228 N 99TH PL
SCOTTSDALE, AZ 85260

DOYLE DONNA J TR
9828 E JASMINE DR
SCOTTSDALE, AZ 85260

EJADI SAMUEL
9830 E ACACIA DR
SCOTTSDALE, AZ 85260

ENGELBERG RYAN HOWARD/NANCY
ELLEN TR
16274 N 98TH PL
SCOTTSDALE, AZ 85260

ERNEST J JONES ASSOCIATES INC
7436 E MERCER LN
SCOTTSDALE, AZ 85260

FERAYORNI MONICA
9819 E ACACIA DR
SCOTTSDALE, AZ 85260

FINCH RODNEY W
19631 N 14TH PL
PHOENIX, AZ 85024

FITZGERALD STACY
9865 E BAHIA DR
SCOTTSDALE, AZ 85260

FONTES SHAYNE C
9802 E BAHIA DR
SCOTTSDALE, AZ 85260

GALLETTA ALFRED E/MARLENE
9840 E BAHIA DR
SCOTTSDALE, AZ 85260

GORDON SCOTT
2516 WAUKEGAN RD 391
GLENVIEW, IL 60025

GRUNWALD ANDREW W
1029 N THOMPSON PEAK PKWY B111-
27
SCOTTSDALE, AZ 85260

GUERIN CHRISTOPHER J/RACHELLE
9839 E ROSEMARY LN
SCOTTSDALE, AZ 85260

HARMON JOHN W/JENNIFER
9804 E COSMOS CIR
SCOTTSDALE, AZ 85260

HARSINI HEDAYAT B
388 E BAHIA DR
SCOTTSDALE, AZ 85260

HAWKESWORTH MAURICE WILLIAM JR
9813 E MIRASOL CIR
SCOTTSDALE, AZ 85260

HEATH KERRY
9852 E MIRASOL CIR
SCOTTSDALE, AZ 85260

HORSEMANS PARK COMMUNITY
ASSOCIATION
7740 N 16TH ST STE 300
PHOENIX, AZ 85020

HORSEMANS PARK HOMEOWNERS
ASSOCIATION
2400 E BILTMORE CIR STE 1300
PHOENIX, AZ 85016

HUYNH TONY PHUONG
9804 E BAHIA DR
SCOTTSDALE, AZ 85260

HUYNH TUNG VAN
16998 N 98TH PL
SCOTTSDALE, AZ 85260

HWFI LLC
9805 E BELL RD STE 120
SCOTTSDALE, AZ 85260

HYDE DAVID A/GRAZYNA E TR
PO BOX 12995
SCOTTSDALE, AZ 85267

J & J LLC
9805 E BELL RD STE 130
SCOTTSDALE, AZ 85260

J GREEN PROPERTIES CORP
1200 HILARY LN
HIGHLAND PARK, IL 60035

JAIN HOLDINGS LP
9878 E ACACIA DR
SCOTTSDALE, AZ 85260

JAMIL RAFID
9867 E ACACIA DR
SCOTTSDALE, AZ 85260

JAVADI NAVID
9871 E SOUTH BEND DR
SCOTTSDALE, AZ 85255

JAVALINA VOLANDO LLC
60 E RIO SALADO PKWY NO 1106
TEMPE, AZ 85281

JDP FAMILY TRUST
9837 E MIRASOL CIR
SCOTTSDALE, AZ 85260

JOHNSON MARK/AMY
16954 N 98TH PL
SCOTTSDALE, AZ 85260

JONES TODD
9877 E MIRASOL CIR
SCOTTSDALE, AZ 85260

JPMORGAN CHASE BANK NATIONAL
ASSOCIATION
270 PARK AVE
NEW YORK, NY 10017

KAPLAN DAVID A/SUSAN
16801 N 94TH ST NO 1037
SCOTTSDALE, AZ 85260

KARNA SUJEET I/HEMAL D
16910 N 98TH PL
SCOTTSDALE, AZ 85260

KAUFMAN ERIC J/RAINER TOBIE B
9847 E ROSEMARY LN
SCOTTSDALE, AZ 85260

KELLER LANCE/HOLLY
10645 N TATUM BLVD 200 541
PHOENIX, AZ 85028

KEMPTON JOICE
9815 E ROSEMARY LN
SCOTTSDALE, AZ 85260

LAND RESEARCH AND DEVELOP PROFIT
SHARING PLAN
10867 E BAHIA DR
SCOTTSDALE, AZ 85255

LEE DANNY D/MELINDA B
16244 N 99TH PL
SCOTTSDALE, AZ 85260

LEE HYUN WOOK
833 W HEMLOCK WAY
CHANDLER, AZ 852484346

LEIDIGH RUSSELL C/JUDITH K
/55 WESTCHESTER DR NE UNIT A
CEDAR RAPIDS, IA 52402

LEWIS BRIAN JAMES/ANGELA KAYE
9905 E SOUTH BEND DR
SCOTTSDALE, AZ 85255

LEWIS FRANK/BRACKETT LEWIS JOYCE
16801 N 94TH ST 1045
SCOTTSDALE, AZ 85260

LINDEMAN DAVID C/ELIZABETH A
16196 N 99TH PL
SCOTTSDALE, AZ 85260

LYONS TIMOTHY/ERIN
9817 E BAHIA DR
SCOTTSDALE, AZ 85260

MAC98 LLC
1450 N FRANK LLOYD WRIGHT BLVD STE
14
SCOTTSDALE, AZ 85260

MACRODIMITRIS ARISTOTLE N/EVELYNE V
9866 E ACACIA DR
SCOTTSDALE, AZ 85260

MANJI IQBAL/PERVIZ
12719 CANSO PL SW
CALGARY, AB 0 CANADA

MCALLISTER GERARD
9829 E BAHIA DR
SCOTTSDALE, AZ 85260

MCCULLAGH ANTHONY G/PHYLLIS TR
10899 E VIA DONA RD
SCOTTSDALE, AZ 85262

MELUCCI PETER
16888 N 98TH PL
SCOTTSDALE, AZ 85260

MERLO KATHY ANNE
9822 E ROSEMARY LN
SCOTTSDALE, AZ 85260

MILLER LARRY L/KAREN J/ETAL
14719 CO RD 45
SOUTH HAVEN, MN 55382

MOAYERI MOHAMMAD/MOSHIR AFSHAR
PARVANEH
16932 N 98TH PL
SCOTTSDALE, AZ 85260

MORENO RODRIGO A
9864 E BAHIA DR
SCOTTSDALE, AZ 85260

MOSHIR SEAN
16650 N 98TH PL
SCOTTSDALE, AZ 85260

MYERS MICHELLE A
9822 E COSMOS CIR
SCOTTSDALE, AZ 85260

NARAYANAN MANOHARAN/BOO MEI
SOW
1135 OLIVEBRANCH LANE
SAN JOSE, CA 95120

NEW GENERATION LLC
9377 E BELL RD STE 255
SCOTTSDALE, AZ 85260

NGUYEN THINH VAN/NGOC CHAU TRAN
9860 E MIRASOL CIR
SCOTTSDALE, AZ 85260

NGUYEN THUC VAN/HUYNH ANH-THI
9840 E JASMINE DR
SCOTTSDALE, AZ 85260

NISANOV ALBERT/MARGARET
9803 E BAHIA DR
SCOTTSDALE, AZ 85260

NOTRE DAME PREPARATORY ROMAN
CATHOLIC H S
400 E MONROE
PHOENIX, AZ 85004

ONEILL MICHAEL P/LINDA S
9854 E ROSEMARY LN
SCOTTSDALE, AZ 85260

PANAGIOTIS 2 LLC
11585 N 120TH ST
SCOTTSDALE, AZ 85259

PARK LANE PROPERTIES LLC
9595 E THUNDERBIRD RD 1104
SCOTTSDALE, AZ 85260

PATEL SANDEEP/CHHAYA SHEETAL
16867 N 98TH PL
SCOTTSDALE, AZ 85260

PETROPULOS PAUL C/NANCY L
9843 E ACACIA DR
SCOTTSDALE, AZ 85260

POLOUS ROBERT A TR
10040 E HAPPY VALLEY RD 301
SCOTTSDALE, AZ 85255

POLLIFRONE ROCCO/LISA
21171 HUNTER RIDGE
NORTHVILLE, MI 48167

POOLE LAWRENCE W/MEILA
853 E BAHIA DR
SCOTTSDALE, AZ 85260

POPTIYA AKBER/ZARA
12025 131ST LN NE NO E306
KIRKLAND, WA 98036

POSIN KEITH/JAN B
9853 E MIRASOL CIR
SCOTTSDALE, AZ 85260

PRITCHETT DAVID R/DONNA J TR
1820 E THOMPSON PEAK PKWY 648
SCOTTSDALE, AZ 85255

QUARTER CENTURY ASSETS LLC
10831 E ONYX CT
SCOTTSDALE, AZ 85259

RHODES KODY
16734 N 98TH PL
SCOTTSDALE, AZ 85260

RIDER BETH M
13633 E MONTGOMERY RD
SCOTTSDALE, AZ 85262

ROBERTS WENDY E HARNAGEL/SIMON H
16845 N 98TH PL
SCOTTSDALE, AZ 85260

ROWE KATE ANN
9805 E BAHIA DR
SCOTTSDALE, AZ 85260

RUBI DAVID
9859 E BAHIA DR
SCOTTSDALE, AZ 85260

SABAPATHY ANAND/ANUPAMA
9816 E BAHIA DR
SCOTTSDALE, AZ 85260

SCHUMAN HOLDINGS LLC
9845 E BELL RD
SCOTTSDALE, AZ 85260

SCOTTSDALE CITY OF/SCOTTSDALE FIVE
GENERAL PS
3939 N DRINKWATER BLVD
SCOTTSDALE, AZ 85251

SEVERO ENTERPRISES LLC
11583 E COVEDALE DR
SCOTTSDALE, AZ 85262

SHATTO CHRISTOPHER ALLEN
9841 E BAHIA DR
SCOTTSDALE, AZ 85260

SHEMER RYAN B TR
5230 E SHANGRI LA RD
SCOTTSDALE, AZ 85254

SHINN LARRY W/JENNIFER L
9802 E COSMOS CIR
SCOTTSDALE, AZ 85260

SRK DEVELOPMENT LLC
9903 E BELL RD STE 130
SCOTTSDALE, AZ 85260

STEPHENSON ANNE K
16212 N 99TH PL
SCOTTSDALE, AZ 85260

STEPHENSON THERESA L
16801 N 94TH ST 1047
SCOTTSDALE, AZ 85260

STUART STEPHEN K/DANA L
9854 E ACACIA DR
SCOTTSDALE, AZ 85260

TGDK HOLDINGS 1 LLC
9805 E BELL RD STE 110
SCOTTSDALE, AZ 85260

THORNTON CRAIG M/KATHY
9831 E ROSEMARY LN
SCOTTSDALE, AZ 85260

TOLL BROTHERS AZ CONST CO CP53-
105241
14350 N 87TH ST STE 310
SCOTTSDALE, AZ 85260

TOLL BROTHERS AZ CONSTRUCTION
COMPANY
14350 N 87TH ST STE 310
SCOTTSDALE, AZ 85260

TOWNE DEVELOPMENT OF BELL ROAD INC
706 E BELL ROAD STE 209
PHOENIX, AZ 85022

TRAILS NORTH AT HORSEMANS PARK HOA
21448 N 75TH AVE STE 6
GLENDALE, AZ 85308

UNITED STATES OF AMERICA
PO BOX 81169
PHOENIX, AZ 85068

UNITED STATES OF AMERICA
PO BOX 9980
PHOENIX, AZ 85068

UNITED STATES OF AMERICA
VALLEY CENTER NAT BANK STE 2200
PHOENIX, AZ 85003

USA
35 N 2ND AVE %US BR OF RECLAM
PHOENIX, AZ 85003

VALLEY INSURANCE COMPANY
ONE EAST WACKER DR
CHICAGO, IL 60601

VON HAAG DEREK W
9806 E ACACIA DR
SCOTTSDALE, AZ 85260

VUK TIFFANY
16756 N 98TH PL
SCOTTSDALE, AZ 85260

WALTERS JEFFREY L/SPINELLI JOE A
9852 E BAHIA DR
SCOTTSDALE, AZ 85260

WEINSTOCK WARREN/ELEANOR A
16801 N 94TH ST 1039
SCOTTSDALE, AZ 85260

WELLINGTON-ALEXANDER PROPERTIES
LLC
2035 SW 75TH ST
GAINSVILLE, FL 32607

WENDELIN MOTORSPORTS &
INVESTMENT LLC
9835 E BELL RD STE 120
SCOTTSDALE, AZ 85260

WERTZ JOANNA
16976 N 98TH PL
SCOTTSDALE, AZ 85260

WILLIAMS PROPERTY INVESTMENTS LLC
9825 E BELL RD STE 140
SCOTTSDALE, AZ 85260

WILLIAMS REYES J
167 SUMMIT VIEW LN
NORTH KINGS TOWN, RI 02852

WINDGATE RANCH COMMUNITY
ASSOCIATION
9362 E RAINTREE DR BLDG 3
SCOTTSDALE, AZ 85260

WINTERS THANH T
9844 E MIRASOL CIR
SCOTTSDALE, AZ 85260

WONG HOWARD S/CHARLENE K TR
9890 E ACACIA DR
SCOTTSDALE, AZ 85260

YAJAMANAM LAVANYA/RAVI
16800 N 98TH PL
SCOTTSDALE, AZ 85260

YU KEBIN/WANG XIAOJIE
9863 E ROSEMARY LN
SCOTTSDALE, AZ 85260

ZAHLLER WILLIAM D
9842 E ACACIA DR
SCOTTSDALE, AZ 85260

ZISTAS KOSTAS
9870 E ROSEMARY LN
SCOTTSDALE, AZ 85260

City Notifications – Mailing List Selection Map

