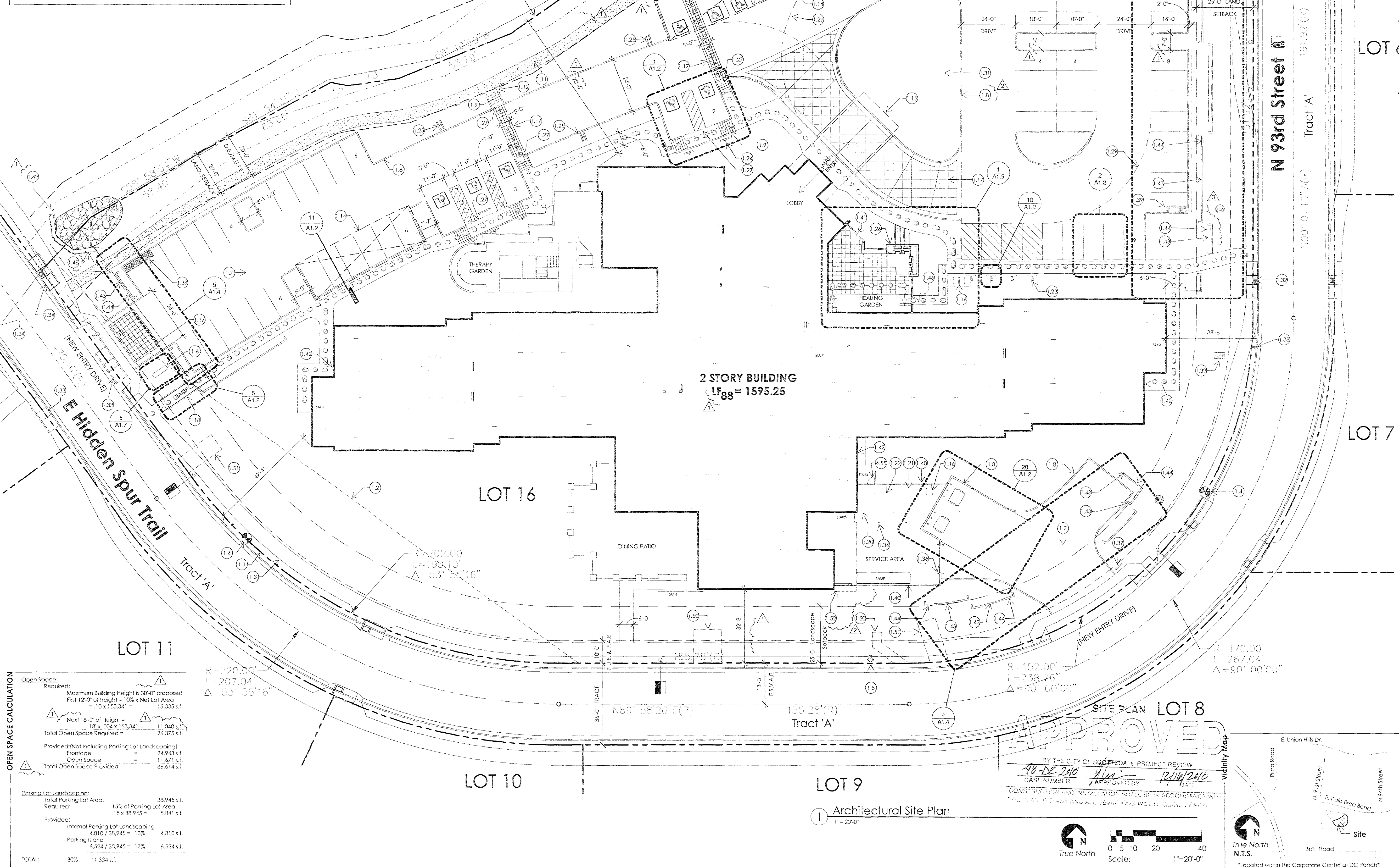


- FIRE ORDINANCE REQUIREMENTS**
1. Premises identification to be legible from street or drive and must be on all plans, fire lines and emergency access shall be provided and marked in compliance with city ordinance and IFC at the following locations:
 - a. See plan for emergency access route.
 - b. Parke coaches - 13' 6" vertical clearance.
 - c. It is the developer's responsibility to determine ultimate compliance with the fire ordinance and all amendments with disabilities act and incorporate same into their building plans.
 2. Submit plans and spaces for supervised automatic extinguishing system for all cooking appliances, hood exhausts and exhaust ducts.
 3. Provide a Knox access system, Knox box.
 4. Submit plans for a class per NFPA 72 fire alarm system per scottsdale revised codes.
 5. Add 2 1/2" wet fire hose valves (hmi) if floor area exceeds 10,000 sq. Ft. Per floor level and / or if fire dept. Access is limited to less than 360°.
 6. Buildings may be subject to installation and testing requirements for a public safety radio amplification system.
 7. Backflow prevention will be required on vertical riser for class 1 and 2 fire sprinkler systems per scottsdale revised codes.
 8. Provide all weather access road (min 16') to all buildings and hydrants from public way during construction.
 9. See approved civil for the number of fire hydrants required. Developer shall have the required hydrants installed and operate prior to the roofing inspection. Hydrants shall be spaced at a maximum of 2 at 1570 gpm. The developer shall make the C.O.S. approved civil water plans available to the fire sprinkler contractor.
 10. Portable fire extinguishers shall be installed. See sheet (P) per NFPA 10.
 11. Exit and emergency lighting shall comply with the C.O.S. ordinance and the IFC. See sheets A0.4.3 thru A0.4.6 and electrical sheets.
 12. Submit MSDS sheets and aggregate quantity for all hazardous materials including flammables, pesticides, herbicides, corrosives, oxidizers, etc. A permit is required for any amount of hazardous materials stored, dispensed, used or handled. Complete an HMM and submit with the building plans.
 13. Fireline, sprinkler and standpipe system shall be flushed and pressure tested per NFPA standards and scottsdale revised codes.
 14. FDC stemline connections for sprinkler and / or standpipes will be located per ordinance and / or at an approved location. Minimum size 1-1/2" x 1/2" x 4" to 8" back of curb, indep. Well fire.
 15. Adequate clearance shall be provided around fire riser. Dimensions from face of riser shall measure a minimum of 12'0" the back of wall, 18" on each side and 36" clear in front with a full height door. The fire line shall extend a maximum of 3' into the building from inside face of wall to center of pipe.
 16. Sprinkler system shall be installed to comply with minimum criteria 2002 edition and scottsdale revised codes. Systems with 100 heads or more shall have of-site monitoring. After building plan review, installing contractor shall submit (3) three complete sets of drawings and hydraulic calculations reviewed by a minimum NICET III design technician.
 17. NFPA 13 2002 edition commercial system / design criteria seismic design category shall be determined by structural engineer.
 18. The fire sprinkler system design for warehouse / storage occupancies shall be based on the full height capacity of the building per scottsdale revised code. Density criteria.
 19. The project specifications shall be submitted with contract drawings.
- LEGAL DESCRIPTION:**
Lot 16, of "Corporate Center at DC Ranch" final plat as recorded in book 959, page 36, Official records at Maricopa County Recorder.
- Maricopa County Assessor Parcel Number : 217-55-719**

- SITE PLAN PLANNING NOTES**
1. Site distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the safety triangle shall be single trunk and have a canopy that begins at 8' in height upon installation. All heights are measured from the nearest street line elevation.
 2. Temporary/Security fencing that is required or is optionally provided shall be in accordance with Fencing Ordinance and the Design Standards and Policies Manual. The temporary/Security fence location shall not be modified or the temporary/Security fence shall not be removed without the approval of the Planning and Development Services/Inspection Services Division.
 3. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
 4. All signs require separate permits and approvals.
 5. No exterior vending or display shall be allowed.
 6. No exterior public address or speaker system shall be installed.
 7. No exterior public address or speaker system shall be installed.
 8. All exterior mechanical, utility, and communication equipment shall be screened to the height of the tallest unit by accept or screen wall that matches the architectural color and architectural finish of the building. Ground mounted mechanical utility, and communication equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building, which is a minimum of 1'-0" higher than the highest point of the tallest unit. (Details are still required.)
 9. All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
 10. No exterior vehicle trailers shall be allowed.
 11. All pole mounted lighting shall be maximum of 20 feet in height.
 12. No chain link fencing shall be allowed.
 13. No turf areas shall be provided.
- SYMBOLS**
- Physician's Reserved Parking Space
 - Fire Truck Turning Radius 24'-0" Wide with a minimum inside radius of 25' and outside radius of 49' - Provide a Fire Lane Storage and paint curb Rtd.
 - ADA Parking Sign - Refer to detail 8/A1.2
 - Fire Lane Sign - Refer to detail 3/A1.2

- GENERAL NOTES**
1. Ground mounted entry signs have been approved by the City of Scottsdale as an MSP amendment, case number 17445-2010. The DC Ranch Covenant Commission has also approved of the signs.
 2. See cover sheet for information regarding the DC Ranch Covenant Commission requirements and process.
 3. Not used.
 4. Contractor to verify exact overall length of SES prior to construction of adjacent North CMU screen wall of service area. Length of SES may require adjustment of screen wall placement. Notify Architect and Owner if adjustment is required.
 5. The canopy lighting shall be recessed within the canopy and shall not project below the canopy, so the light source is not directly visible from the property line.
 6. All sidewalks are to be 6'-0" wide min. U.N.O.



KEYNOTES

- 1.1 Property line
- 1.2 Site visibility
- 1.3 Existing sidewalk
- 1.4 Existing fire hydrant
- 1.5 Remote FDC
- 1.6 Ground mounted entry sign
- 1.7 Asphalt
- 1.8 Concrete curb
- 1.9 ADA curb ramp - refer to detail 7/A1.2
- 1.10 Existing 6' wide multi-use trail to remain
- 1.11 Trail access
- 1.12 100-year floodplain
- 1.13 Covered parking canopies (ADD-ALT. No. 2)
- 1.14 Parke coaches - 13' 6" min. vertical clearance
- 1.15 Bicycle parking - refer to detail 7/A1.3
- 1.16 Integral color concrete. Color: Rustic Brown By Davis
- 1.17 Colors. See landscape drawings
- 1.18 ADA ramp & handrails
- 1.19 Electrical Service Entrance Section (S.E.S.) paint to match color of adjacent CMU wall. Freeze paint #2645a - mud puddle
- 1.20 Back-up power generator
- 1.21 Electrical transformer. Paint to match color of adjacent CMU wall. Freeze paint #2645a - mud puddle
- 1.22 Physician parking sign - refer to detail 10/A1.2
- 1.23 Accessible parking sign - refer to detail 8/A1.2
- 1.24 Fire lane parking sign - refer to detail 3/A1.2
- 1.25 Water feature
- 1.26 Detectable warning surface, tackway come-fles by: strong-gro. Color: brown
- 1.27 Fire truck turning radius
- 1.28 Landscape median
- 1.29 Landscape island
- 1.30 Existing ADA curb ramp to remain
- 1.31 Existing ADA curb ramp & crosswalk to be removed. Retain sidewalk, curb and landscaping as required
- 1.32 Location of new ADA curb ramp and crosswalk - match existing
- 1.33 Pole mounted light fixture. See electrical site plan
- 1.34 Steel bollard/paint to match color of adjacent CMU wall. Freeze paint #2645a - mud puddle
- 1.35 Provide traffic sign "Service vehicles only" sign. Provide MUTCD standard W11-10 with line on inside of arrow to depict service driveway location. Also provide W11-1P directly underneath W11-10. W11-1P to read 15 mph
- 1.36 Catch basin
- 1.37 8' tall CMU screen wall
- 1.38 6' tall CMU wall. See landscape plans
- 1.39 Location of fire department know box
- 1.40 36" high 6x6x16 split face CMU screen wall. See sheet A1.4
- 1.41 42" high 6x6x16 split face CMU screen wall. See sheet A1.4
- 1.42 Steel gate. See detail 4/A1.3
- 1.43 Wheel stop. Occurs at select accessible parking stalls as shown
- 1.44 Maintain minimum of 2'-0" setback between edge of trail and screen wall
- 1.45 Existing Headwall
- 1.46 Water Easement. Refer to Civil Utility Plan
- 1.47 Sewer Easement. Refer to Civil Utility Plan
- 1.48 Gas meter. See plumbing drawings
- 1.49 Splitface CMU screen wall in front of gas meter. CMU color and size to match adjacent bldg. Top of wall 4'-0" above grade
- 1.50 integral color concrete patio. Color: Rustic Brown By Davis. Coordinate with Architect for scoring pattern

PROJECT DATA

Project Description:
Construction of new two story, 52,731 sq. ft. transitional Rehabilitation Center on 3.52 ac of vacant desert land. Lot 16 of the Corporate Center at DC Ranch

Project Address:
17490 N. 93rd Street
Scottsdale, AZ 85255

Site Areas:
Net: 33.52 AC (±153,341 SF)

Zoning:
Existing: I-1
Proposed: I-1

Building Height:
Maximum Allowed: 36'-0"
Provided: 30'-0" (2-Story)

Setbacks:
30' adjacent to residential

Occupancy/Construction Type:
Proposed Building: II-A (2 Skilled Nursing Facility)
Dining: II-A (Dining S.F. is a mixed occupancy and Non-Separated Use per section 508.3.2. Refer to sheet A0.4 for clarification)

Fire Protection:
NFPA 13

Lot Coverage:
Allowed: 50% Max. (aggregate of more than 1 bldg.)
Provided: 34% (Only 1 bldg. proposed)
52,731 / 153,341 = 34%

F.A.R.:
Allowed: 5 x 153,341 = 76,671 s.f.
(60% max. of net lot area)
Provided: 34% (52,731 / 153,341 = 34%)

Scottsdale Parking Standards:
Parking Stall: 9'-0" x 16'-0"
(W/ 2'-0" Overhang)
Required: Standard Stall: 0.70 Spaces per Bed - (72 beds x 0.70) = 51 p.s.
Accessible Stall: 20% of Standard: (51 p.s. x 20%) = 11 p.s.
Total P.S. Required: 62 p.s.

Parking:
Van accessible spaces: 2 are required per table 9.4
2 per 7.16 p.s. All accessible spaces can accommodate a van per ADA Sec. A4.3

Provided:
Open: 70 p.s.
Covered: 6 p.s.
Accessible open: 5 p.s.
Accessible Covered: 6 p.s.
Total P.S.: 87 p.s.

20% of standard Access, Parking Spaces All accessible parking stalls are sized per ADA "Universal parking space design (ADAAG, section A4.3)

Bicycle Parking:
Section 9.103 1 Bicycle parking per 10 Vehicular Parking Spaces: 10 p.s. (1-10)
Required: 87 p.s. / 10 = 9 spaces
Provided: 9 spaces

BUILDING AREAS:

Unit Name	Area	# of Units	# of Beds	Total S.F.
P1	323 SF	32	32	10392
P2	345 SF	8	8	2760
P3	345 SF	2	2	704
P4	329 SF	4	4	1344
P5	341 SF	8	8	2808
P6	334 SF	8	8	2744
P01	390 SF	10	10	3900
Total	2408 SF	72	72	25006

Gross S.F. is taken from the center of unit demising wall to center of unit demising wall to inside face of exterior wall to exterior face of the corridor wall.

Building Gross Floor Area:
First Floor: 31768 SF
Second Floor: 20953 SF
Total Gross Area: 52721 SF

Sloped Roof Areas:

Roof	Area
Roof 10 - Lobby	1745 SF
Roof 11 - Parke Coaches	1004 SF
Roof 12 - Shed Roof at Bistro	520 SF
Roof 13 - Rehab	2182 SF
Roof 14 - Shed Roof at Rehab.	416 SF
Roof 15 - Dining	2215 SF
Roof 16 - Shed Roof at Dining	1152 SF
Roof 17 - Shed Roof at Loading Dock	532 SF
Total Gross Area	9816 SF

NO. 09-7017-00

Asante of Scottsdale, A Transitional Rehabilitation Center

17490 N. 93rd St.
Scottsdale, AZ 85255

Santé Scottsdale, LLC

11811 N. Tatum Blvd, Suite 3031
Phoenix, AZ 85028

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09-03-10
2nd CITY SUBMITTAL
CONSTRUCTION
DOCUMENTS

Proj Mgr: CG
Dwn By: AJ

Rev: Date: Description:

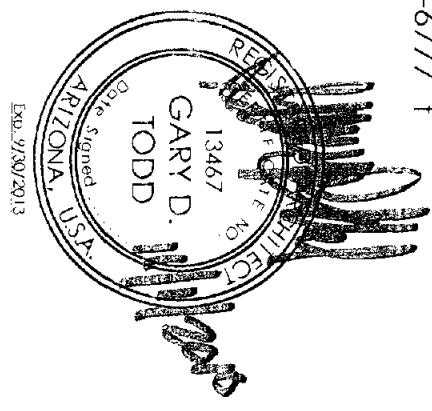
- 1 10-11-10 City Comments
- 2 10-11-10 Coordination Revisions
- 3 09-14-10 DCR Cov. Commission
- 4 11-23-10 City Comments

"NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION"
This contract allows the Owner to certify and approve bidding and estimates within 30 days after the bidding and estimates are received from the contractor.

Site Plan

A1.1

17490 N. 93rd St.
Scottsdale, AZ 85255
Sanité Scottsdale, LLC
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09-03-10
2nd CITY SUBMITTAL
CONSTRUCTION
DOCUMENTS

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL
PERIOD PROVISION:
The contractor agrees the Owner to certify and designate
third parties are reviewed from the contractor.

Site Plan Worksheet
/Open Space
Calculations

A1.1.1

Project Description:
Rehabilitation Center on 350' of western desert front lot
16 of the Corporate Center of IDC Ranch
Project Address:
17490 N. 93rd Street
Scottsdale, AZ 85255

Site Aeos:
Area: 43,520 AC (14,334.57)
Zoning: 1-1
Proposed: 1-1
Building Height:
Maximum Allowed: 36' 0" (9 Story)
Proposed: 30' 0" (9 Story)
Setbacks:
30' adjacent to road/lot

Occupancy/Continuation type:
Proposed Building: 1-1 A, 1-2 (Retail Building Facility)
Existing: 1-1 A, 1-2 (Retail Building Facility)
Fire Protection: 1-1 A, 1-2 (Retail Building Facility)
Fire Protection: 1-1 A, 1-2 (Retail Building Facility)

Lot Coverage:
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)

Setbacks:
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)

Open Space:
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)

Open Space Calculation:
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)

OPEN SPACE LEGEND:
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)
1-1 A, 1-2 (Retail Building Facility)

NO. 09-7017-00

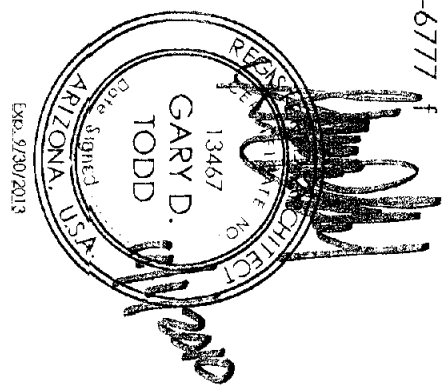
Asante of Scottsdale, A Transitional Rehabilitation Center

17490 N. 93rd St.
Scottsdale, AZ 85255

Sanie Scottsdale, LLC

11811 N. Tatum Blvd, Suite 3033
Phoenix, AZ 85028

480-424-2272 • D
480-383-6777 • F



PROJECT

CLIENT

SEAL

CONTACT

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09-03-10

2nd CITY SUBMITTAL
CONSTRUCTION
DOCUMENTS

Proj Mgr: CG
Dwn By: AJ

Rev: _____ Date: _____ Description: _____

10.11.10 City Comments

10.11.10 Coordination Remarks

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL

This contract allows the Owner to certify and approve drawings and estimates within 30 days after the billing and estimates are received from the contractor.

Exterior Elevations

A4.1.1

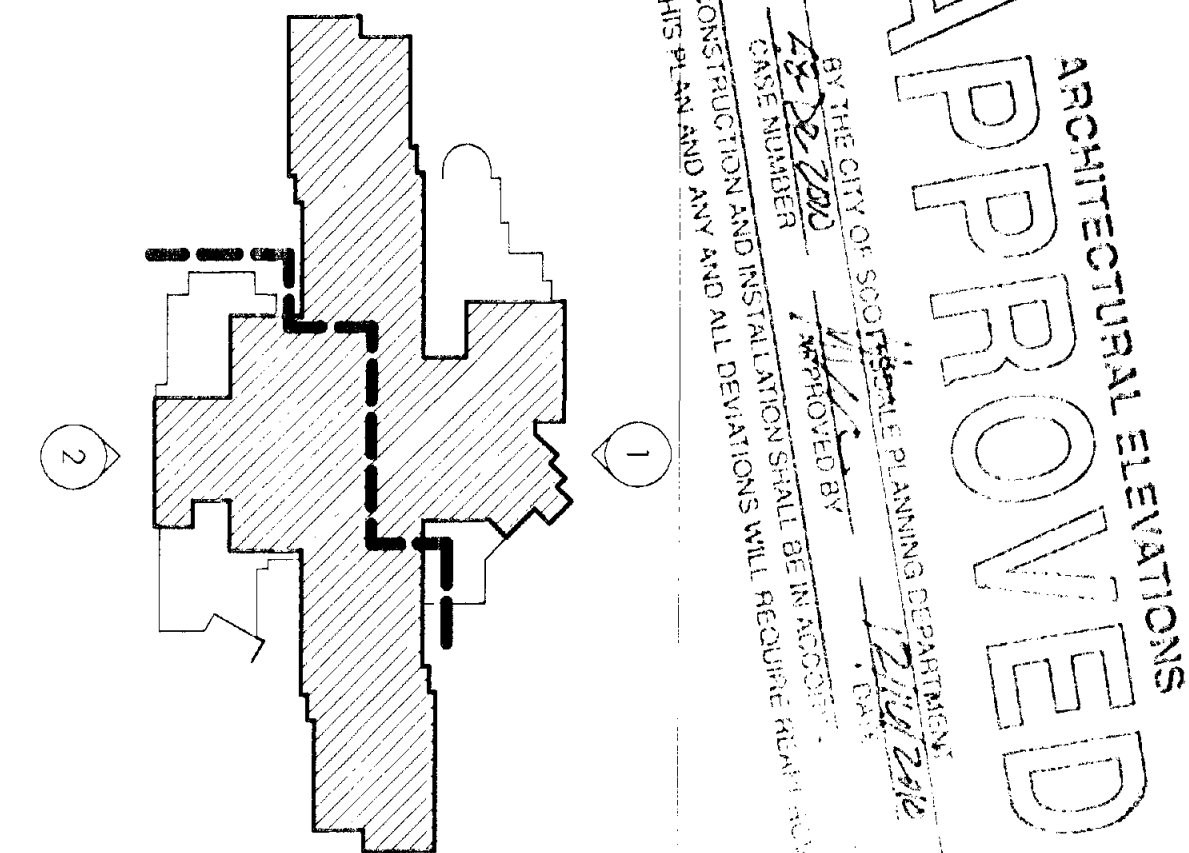
48-DR-2010, 351-SA-2010, 24-NP-2010, 1678-10-2, 54-ZN-1989#2, 4-PP-2006(typ.), 17-MS-2010

- KEYNOTES
- 4.1 Current stucco system w/ joint fillet, 3/16" x 2 1/4" J
 - 4.2 Provide finish system by A/C on exterior finish wall
 - 4.3 Integrated color with vinyl CMU with horizontal ribbed joints
 - 4.4 Standing seam metal panel roof system
 - 4.5 Steel structural - painted, lower color: grey
 - 4.6 Stucco structural - stucco, lower color: grey
 - 4.7 Water finish: see sheet A.5 & A.6
 - 4.8 Aluminum structural system
 - 4.9 Match existing - refer to sheets A.3.1 and A.3.2

- KEYNOTES
- 4.13 Painted wall system w/ painted panel cap
 - 4.14 Wood deck roof panel
 - 4.15 Rusted corrugated metal panels, provide clean color finish
 - 4.16 Steel structural - painted, lower color: grey
 - 4.17 Stucco structural - stucco, lower color: grey
 - 4.18 Water finish: see sheet A.5 & A.6
 - 4.19 Match existing - refer to sheets A.3.1 and A.3.2

- GENERAL NOTES
- All materials and colors are subject to a final field match.
 - Government office in advance when all samples are ready for the approval.

CODE	LOCATION	MANUFACTURER	COLOR
C1	STREET CO. PRIMARY	PRINCE PAINTS	BR/252 - EGYPTIAN
C2	STREET CO. SECONDARY	PRINCE PAINTS	BR/252 - EGYPTIAN
C3	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C4	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C5	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C6	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C7	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C8	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C9	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C10	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C11	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C12	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C13	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C14	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C15	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C16	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C17	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C18	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C19	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C20	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C21	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C22	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C23	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C24	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C25	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
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C63	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C64	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C65	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C66	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C67	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
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C69	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C70	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C71	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C72	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C73	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C74	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C75	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C76	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
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C78	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
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C83	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C84	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C85	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C86	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C87	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C88	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C89	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C90	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C91	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C92	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C93	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C94	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C95	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C96	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C97	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C98	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C99	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN
C100	STREET CO. TILES	PRINCE PAINTS	BR/252 - EGYPTIAN

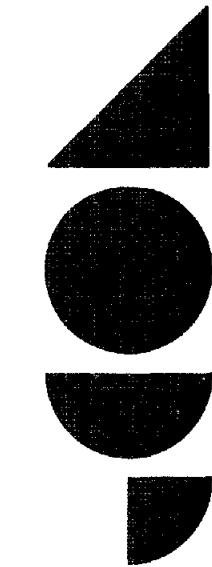
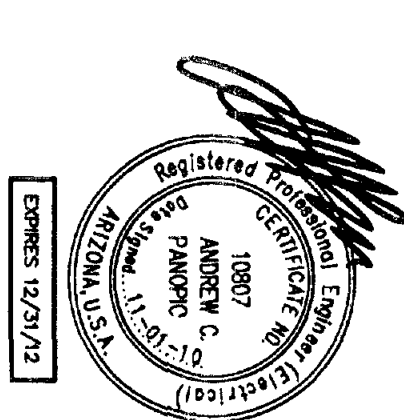


Asante of
Scottsdale, A
Transitional
Rehabilitation
Center

17490 N. 93rd St.
Scottsdale, AZ 85255
Sante Scottsdale, LLC

11811 N. Tatum Blvd., Suite 3031
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480.676.7272 P
480.383.6177 F

SEAL



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09-03-10
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DOCUMENTS

DATA

ENGINEERING INC.
1115 N. CENTRAL AVENUE
SUITE 200
PHOENIX, AZ 85004
TEL: 602.254.1000
FAX: 602.254.1000
PROJECT NO. 10-020

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Rev.	Date	Description
1	09-03-10	City Comments
2	10-11-10	Construction Revisions
3	09-30-10	Owner Revisions

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL
PERIOD PROVISION
The contract between the Owner to certify and approve
this drawing is extended to 180 days from the date of
final estimates are received from the contractor.

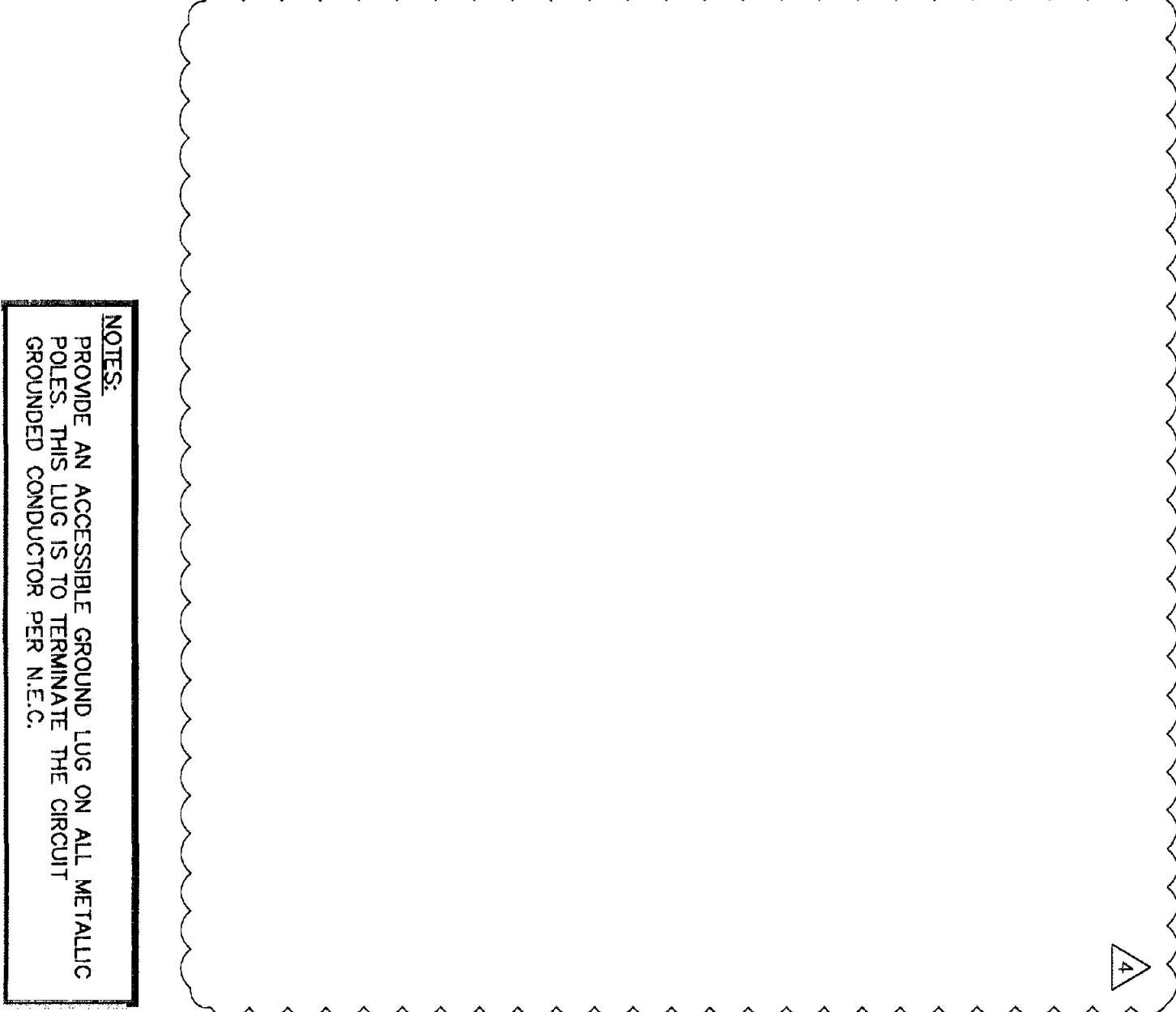
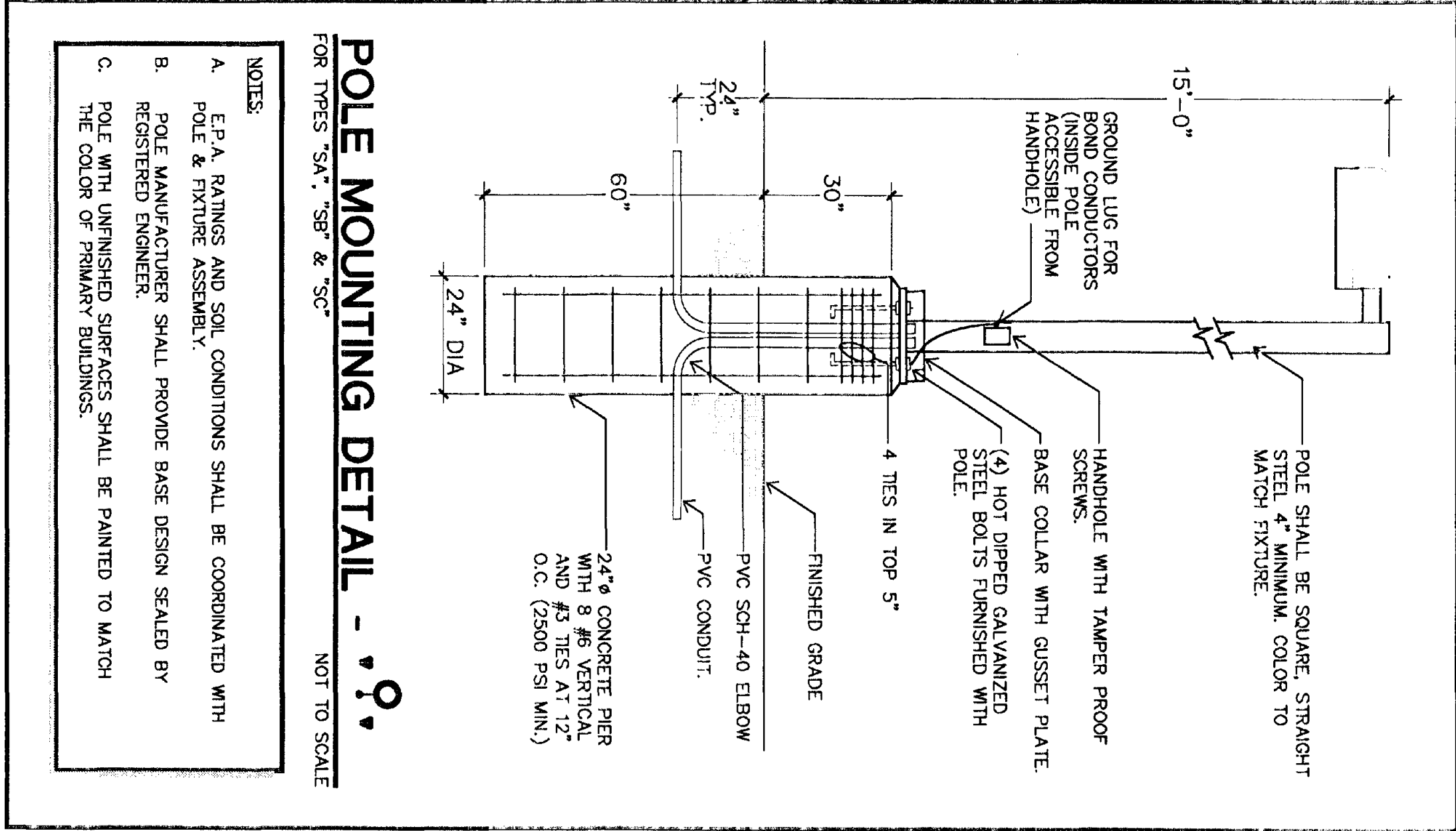
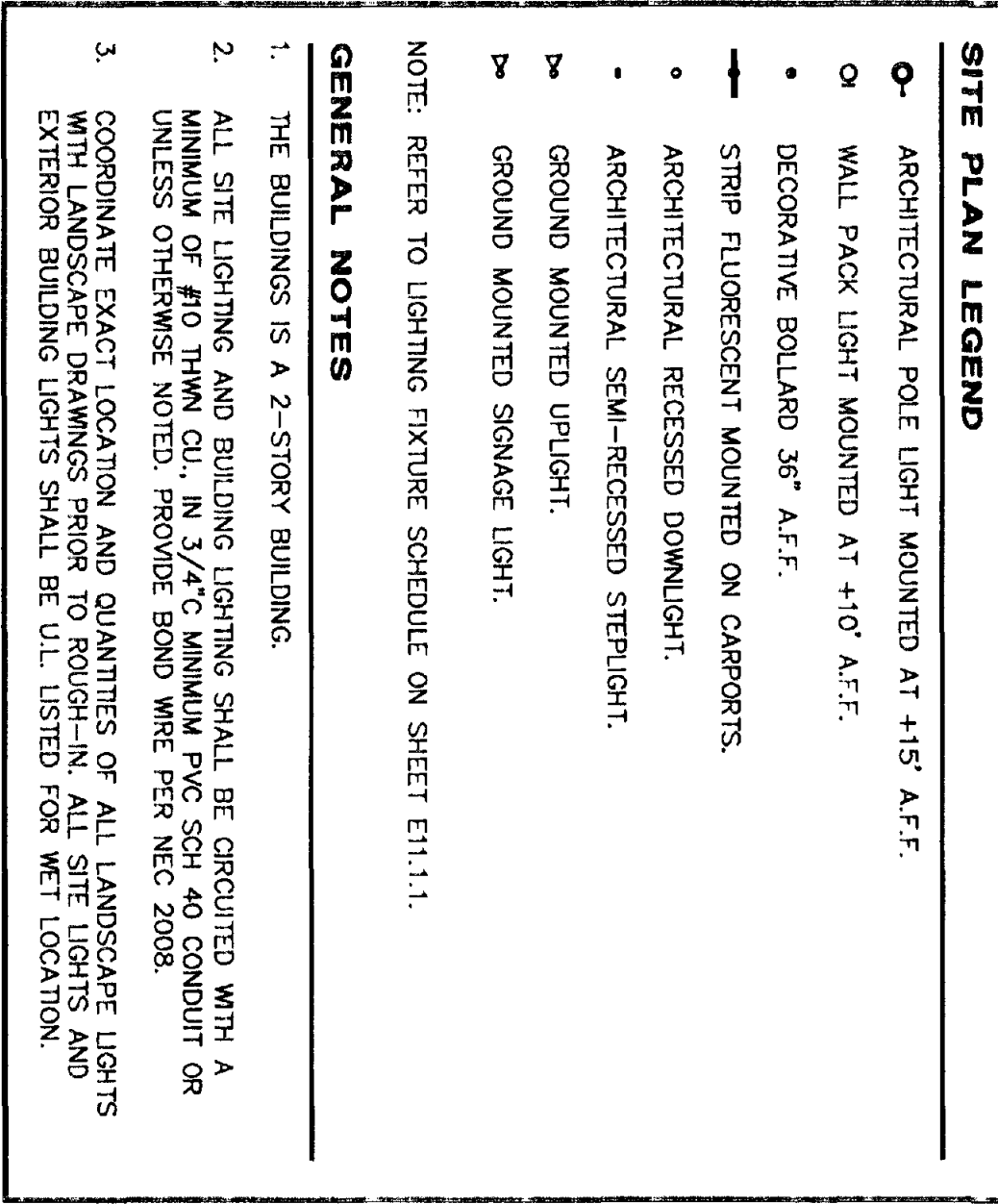
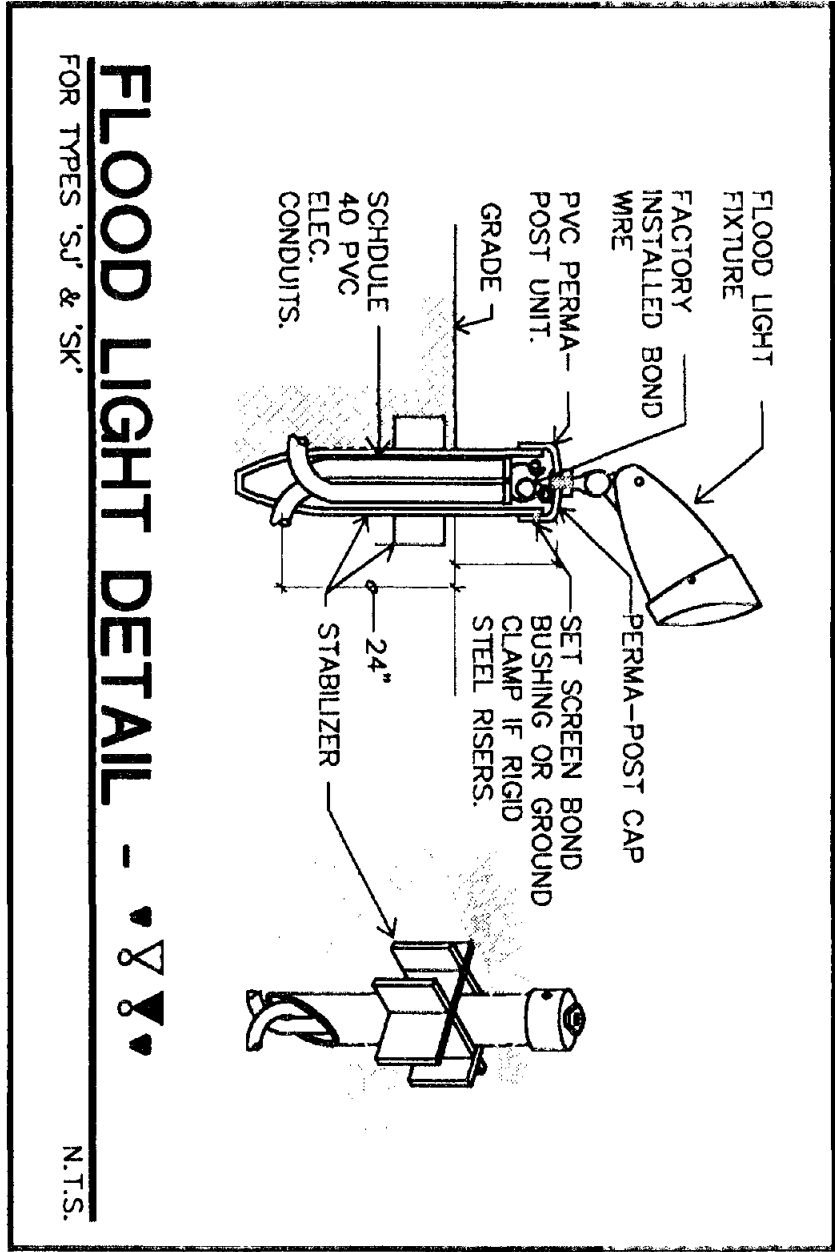
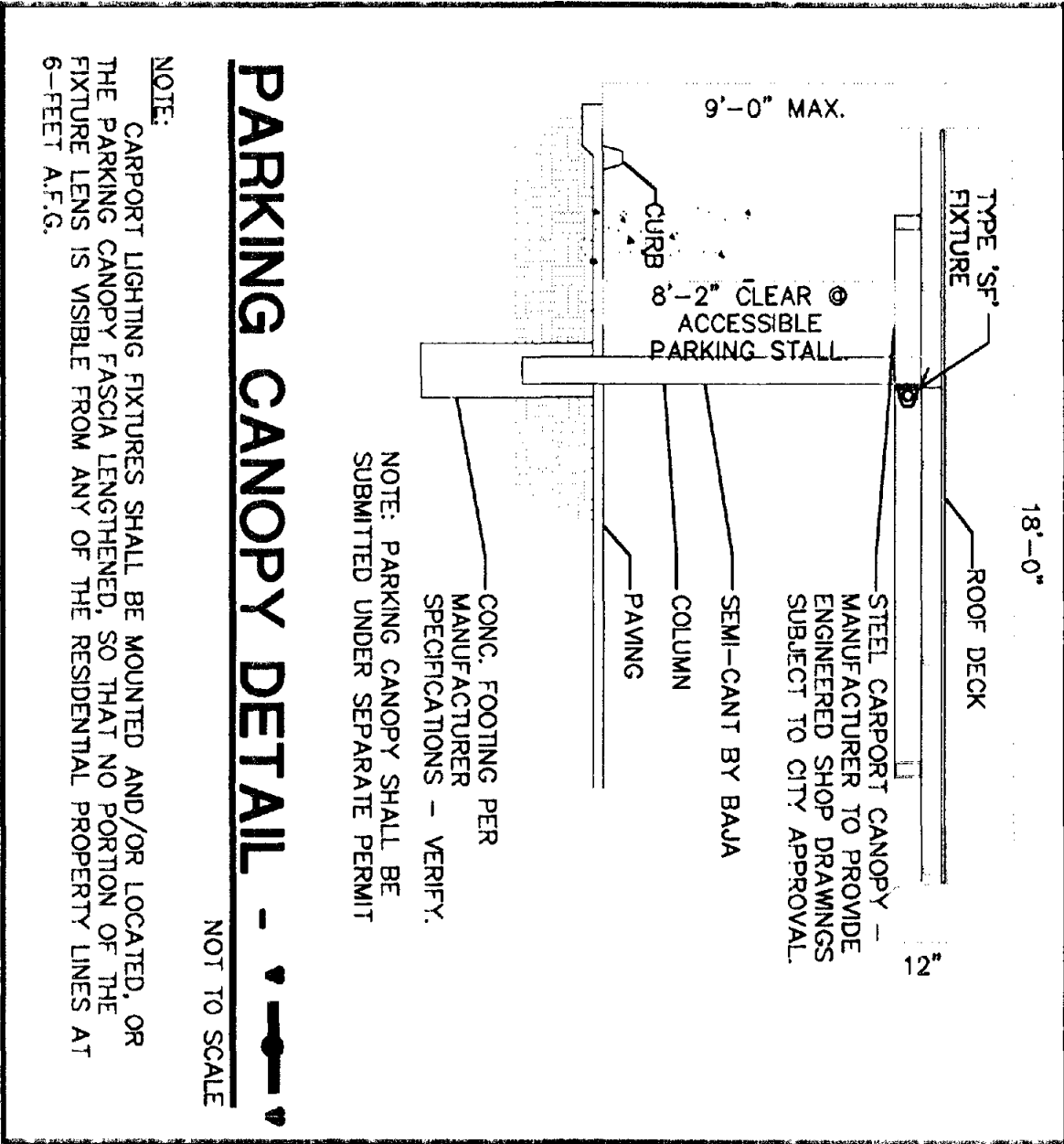
Electrical Site
Lighting Plan

E1.1.1

Scale: 1" = 30'-0"

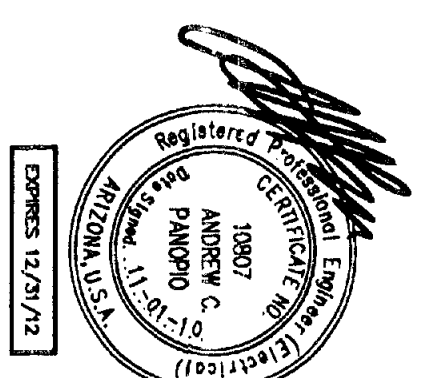


APPROVED
FINAL PLANS PLANNING
12/10/10



Asante of
Scottsdale, A
Transitional
Rehabilitation
Center

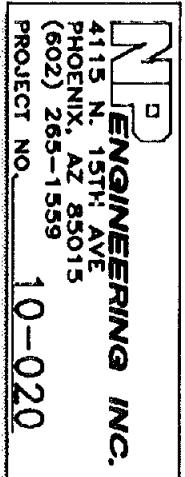
17490 N. 93rd St.
Scottsdale, AZ 85255
Santé Scottsdale, LLC
11811 N. 16thm Blvd, Suite 2031
Phoenix, AZ 85028
480-628-2272 P
480-383-6777 F



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Proj Mgr. R.P.
Dwn By. N.P.E
Rev. Date: Description:
A 10-11-10 City Comments
A 10-11-10 Coordination Revisions
9-30-10 Owner Revisions.

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL
REPRODUCED FROM: Asante of Scottsdale, A Transitional Rehabilitation Center
Bidding and submittals within sixty days after the bidding
and estimates are received from the contractor.

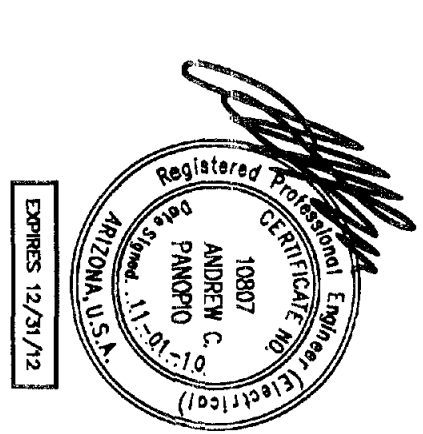
Electrical Lighting
Cut Sheets

E1.3.1

REVIEW
APPROVE
FINAL PLANS
2/16/2010

Asante of
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Rehabilitation
Center

17490 N. 93rd St.
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480-383-6777 I



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T&A ENGINEERING INC.
1115 E. McDowell Ave.
Phoenix, AZ 85006
(602) 254-1559
PROJECT NO. 10-020

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Rev. Date: Description:
Proj Mgr: R.P.
Drawn By: N.P.E
10-11-10 City Comments
10-11-10 Coordination Revisions
9-30-10 Owner Revisions

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL
PERIOD: PROVISION The Owner to certify and approve
billings and estimates within days after the billing
and estimates are received from the contractor.

Electrical Lighting
Cut Sheets

E1.3.2

WINSCAPE™ Project
WALLMOUNT - 120V/250W/60-20

Qty: **5** Type: **SJ**

1	WI	WALLMOUNT	WALLMOUNT
2	48	48" W x 24" H x 12" D	48" W x 24" H x 12" D
3	120W	120W x 12" H x 12" D	120W x 12" H x 12" D
4	10	10" W x 10" H x 10" D	10" W x 10" H x 10" D
5	BRS	BRS x 12" H x 12" D	BRS x 12" H x 12" D
6	F0	F0 x 12" H x 12" D	F0 x 12" H x 12" D
7	SRO	SRO x 12" H x 12" D	SRO x 12" H x 12" D
8	C3	C3 x 12" H x 12" D	C3 x 12" H x 12" D
9	STD	STD x 12" H x 12" D	STD x 12" H x 12" D

GENERAL NOTES:
1. Winscape™ is a registered trademark of Winscape™.
2. Winscape™ is a registered trademark of Winscape™.
3. Winscape™ is a registered trademark of Winscape™.
4. Winscape™ is a registered trademark of Winscape™.
5. Winscape™ is a registered trademark of Winscape™.
6. Winscape™ is a registered trademark of Winscape™.
7. Winscape™ is a registered trademark of Winscape™.
8. Winscape™ is a registered trademark of Winscape™.
9. Winscape™ is a registered trademark of Winscape™.
10. Winscape™ is a registered trademark of Winscape™.

6" Horizontal Reflector

Model: **SC55CH**

1. This fixture is designed for use in a horizontal position.
2. This fixture is designed for use in a horizontal position.
3. This fixture is designed for use in a horizontal position.
4. This fixture is designed for use in a horizontal position.
5. This fixture is designed for use in a horizontal position.
6. This fixture is designed for use in a horizontal position.
7. This fixture is designed for use in a horizontal position.
8. This fixture is designed for use in a horizontal position.
9. This fixture is designed for use in a horizontal position.
10. This fixture is designed for use in a horizontal position.

IFS7
6" Compact Fluorescent
Shallow Horizontal Commodity Trim

Model: **SC55CH**

1. This fixture is designed for use in a horizontal position.
2. This fixture is designed for use in a horizontal position.
3. This fixture is designed for use in a horizontal position.
4. This fixture is designed for use in a horizontal position.
5. This fixture is designed for use in a horizontal position.
6. This fixture is designed for use in a horizontal position.
7. This fixture is designed for use in a horizontal position.
8. This fixture is designed for use in a horizontal position.
9. This fixture is designed for use in a horizontal position.
10. This fixture is designed for use in a horizontal position.

**6" Compact Fluorescent
Shallow Horizontal Commodity Trims**

Model: **SC55CH**

1. This fixture is designed for use in a horizontal position.
2. This fixture is designed for use in a horizontal position.
3. This fixture is designed for use in a horizontal position.
4. This fixture is designed for use in a horizontal position.
5. This fixture is designed for use in a horizontal position.
6. This fixture is designed for use in a horizontal position.
7. This fixture is designed for use in a horizontal position.
8. This fixture is designed for use in a horizontal position.
9. This fixture is designed for use in a horizontal position.
10. This fixture is designed for use in a horizontal position.

IFS7
6" Compact Fluorescent
Shallow Horizontal Commodity Trim

Model: **SC55CH**

1. This fixture is designed for use in a horizontal position.
2. This fixture is designed for use in a horizontal position.
3. This fixture is designed for use in a horizontal position.
4. This fixture is designed for use in a horizontal position.
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6. This fixture is designed for use in a horizontal position.
7. This fixture is designed for use in a horizontal position.
8. This fixture is designed for use in a horizontal position.
9. This fixture is designed for use in a horizontal position.
10. This fixture is designed for use in a horizontal position.

1054-1057 WALLMOUNTS

Model: **SC55CH**

1. This fixture is designed for use in a horizontal position.
2. This fixture is designed for use in a horizontal position.
3. This fixture is designed for use in a horizontal position.
4. This fixture is designed for use in a horizontal position.
5. This fixture is designed for use in a horizontal position.
6. This fixture is designed for use in a horizontal position.
7. This fixture is designed for use in a horizontal position.
8. This fixture is designed for use in a horizontal position.
9. This fixture is designed for use in a horizontal position.
10. This fixture is designed for use in a horizontal position.

APPROVED
SIGNAL PLANS
2/11/2010
APPROVED

[illegible]

MONARCH

PREPARED BY: _____

TYPE: SN _____

JOB NAME: _____

MODEL#	A (Height in Inches)	B (Diameter in Inches)
SBH10	8	10
SBH12	10	12
SBH16	14	16
SBH20	14 1/2	20

FINISH: Two stage precoat/finish process, coated with a hard free TICI C polyester powder coat finish. White is standard finish reflectors, except 479 Colormat®. AICI Anodized Bronze and AICI Iron Base. Finishes specified. Custom colors and textures are available upon request.

LAMP HOLDER: Accommodates **Incandescent** medium base porcelain socket, copper shell with nickel plate, rated 100W, 120V. Also accommodates **Fluorescent** medium base porcelain socket, copper shell with nickel plate, rated 40W (G24 base) and 40W (G24 base). Used lock design provides for vibration and earthquake resistance. rated 25W, 60W, High Intensity Discharge (HID) medium base, 40W pinhole start sockets, rated 660W/6000V.

MOUNTING: 1/2" or 3/4" tapped hole is supplied. Top or side mount available. Features are pre-wired with 48" or 96" leads. Available with cord or stem sets.

REFLECTOR: Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .058 to .123. Colormat® is from .20 gauge sheet. Copper is spun from 16 gauge and .112 S&W alloy.

MODEL#	FINISH	LEAD SOURCE
SBH10	49, 51, 41, 46, 56, 58, 69, 50,	INC
SBH12	51, 53, 55, 57, 59, 60, 61, 50,	INC
SBH16	62, 63	INC
SBH20		INC
		OR
		HDOW & HPS
		35, 50, 70, 100W*
		35, 50, 70, 100W*
		200W
		300W
		76, 72, OR 62W*
		35, 50, 70, 100, 150, 170W*

*FOR REMOT BALLAST FREE MOUNTING SOURCE

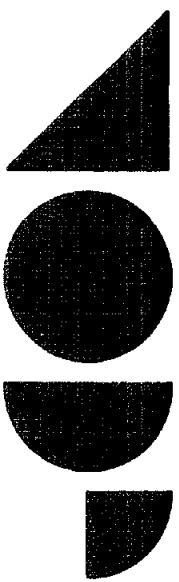
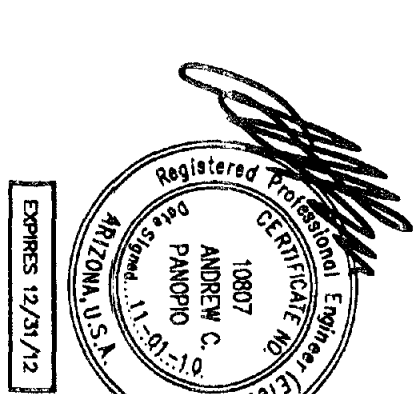
ACCESSORIES:

PHONE: 827-999-1990
FAX: 827-999-1555

12242 JEST LIND AVE. CHINO, CA 91710

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480.383.6777 F



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09-03-10
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PHOENIX, AZ 85015
602.786.1658 10-020
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Proj Mgr: R.P.
Dwn By: N.P.E
Rev: Date: Description:
10-11-10 City Comments
10-11-10 Construction Revision
9-30-10 Owner Revisions

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL
PERIOD PROVISION: The Owner is solely responsible for
design and estimates which does not offer the design
and estimates are received from the contractor.

Electrical
Photometric Site
Plan

PH1

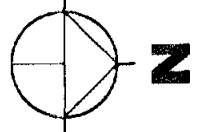
LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LFE
➤	SA	10	MODULAR LUMINAIRE 55.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SB	8	MODULAR LUMINAIRE 55.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SC	4	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SD	2	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SE	0	NOT USED					
➤	SF	8	LUMINAIRE FLAMES-ROCK 55.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SG	2	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SH	2	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SI	6	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SJ	2	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SK	6	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SL	4	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SM	12	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72
➤	SN	10	MODULAR LUMINAIRE 46.82 FT BRONZE FINISH	AREA LUMINAIRE TYPE MOUNT AT 15 FT FROM FINISHED FLOOR	150 WATT T8-EST CLEANED START HORIZONTAL POSITION	OS 55.82 PK 5F PK	14000	0.72

STATISTICS	Symbol	Avg	Min	Max	MaxMin	AvgMin
Description	+	1.2%	7.9%	0.0%	N/A	N/A
SITE						

Electrical Photometric Site Plan
Scale: 1" = 30'-0"

APPROVED
PLAN PLANNING
2/10/2010
1/10/2010

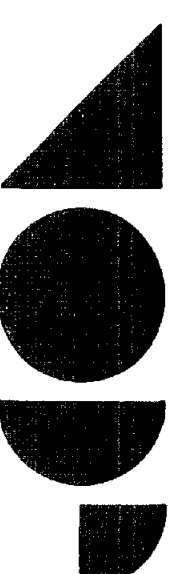


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billings and estimates within 60 days after the billing and estimates are received from the contractor.

For

N

Scale: 1" = 30'-0"

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
SPILL LIGHTS AT 46 FT	X	0.1tc	0.3tc	0.0tc	N/A
FT.					N/A

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
SPILL LIGHTS AT 46 FT	X	0.1tc	0.3tc	0.0tc	N/A
FT.					N/A

Dwn By: N.P.E

Rev.	Date:	Description
------	-------	-------------

10-11-10 City Comments

3
3
5
0
0
0
0

ALTA/ACSM LAND TITLE SURVEY

LOT 16, CORPORATE CENTER AT DC RANCH, AS RECORDED IN BOOK 959 OF MAPS, PAGE 36, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP:

SECTION 31
T. 4 N., R. 5 E.

SCHEDULE "B" ITEMS:

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
- TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS. PROCEEDINGS BY A PUBLIC AGENCY WHICH MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
- ANY RIGHTS, INTERESTS OR CLAIMS, WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR WHICH MAY BE ASSERTED BY PERSONS IN POSSESSION THEREOF.
- EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
- (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN IN THE PUBLIC RECORDS.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE SECOND INSTALLMENT OF 2010 TAXES.
- RESERVATIONS, EXCEPTIONS AND PROVISIONS CONTAINED IN THE PATENT AND IN THE ACTS AUTHORIZING THE ISSUANCE THEREOF.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- THE RIGHT OF ENTRY TO PROSPECT FOR, MINE AND REMOVE THE MINERALS EXCEPTED FROM THE DESCRIPTION OF SAID LAND IN SCHEDULE A.
- ANY RIGHTS, LIENS, CLAIMS OR EQUITIES, IF ANY, IN FAVOR OF DC RANCH COMMUNITY FACILITIES DISTRICT.
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: SECOND AMENDMENT TO DEVELOPMENT AGREEMENT
RECORDING DATE: DATE, OCTOBER 29, 1998
RECORDING NO: 1998-0970077, AMENDED IN RECORDING NO. 2003-0090008, 2006-1036433 AND 2006-1633564

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: RESOLUTION NO. 4750
RECORDING DATE: APRIL 30, 1997
RECORDING NO: 1997-0284576 AND SUPPLEMENTAL RECORDED IN 1998-1098080

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DISTRICT DEVELOPMENT, FINANCING PARTICIPATION AND INTERGOVERNMENTAL AGREEMENT NO. 1
DATED: 04/15/1997
RECORDING DATE: APRIL 30, 1997
RECORDING NO: 1997-0284577

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: 1996-0868789 AND RE-RECORDED 1997-0298843 AND AMENDED IN 1999-0673266 AND SUPPLEMENTAL DECLARATION RECORDED IN 2005-1912301

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: 1999-0673267 AND SUPPLEMENTAL DECLARATION 2008-1000566 AND AMENDMENT 2008-1055484

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: 1999-0673268 SUPPLEMENTAL DECLARATION IN 2005-1912301, REVOCABLE ASSIGNMENT AND ASSUMPTION IN 2008-1000566 AND AMENDMENT IN 2009-1152130

- LIENS AND CHARGES AS SET FORTH IN THE ABOVE MENTIONED DECLARATION.

PAYABLE TO: DC RANCH COMMUNITY COUNCIL, INC
DC RANCH ASSOCIATION
CORPORATE CENTER AT DC RANCH ASSOCIATION

- EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE PLAT RECORDED IN BOOK 657 OF MAPS, PAGE 14.

- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DEDICATION, EASEMENT AND MAINTENANCE AGREEMENT
DATED: 10/21/2003
RECORDING DATE: OCTOBER 24, 2003
RECORDING NO: 2003-1483629

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE PLAT RECORDED IN BOOK 959 OF MAPS, PAGE 36 AND AMENDED IN 2008-0117783 AND IN 2008-0538739.

SCHEDULE B ITEMS:

- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: WAIVER OF RIGHT TO MAKE A CLAIM UNDER PROPOSITION 207
RECORDING DATE: JANUARY 14, 2008
RECORDING NO: 2008-0032316 AND 2008-0080051 AND 2008-0316288 AND 2008-345553 AND 2009-0924917

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: NOISE AND AVIGATION EASEMENT AND COVENANT NOT TO USE
RECORDING DATE: APRIL 14, 2008
RECORDING NO: 2008-0325115 AND RE-RECORDED IN 2008-0345582

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: 2008-0790368

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.

THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.

THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

LEGEND:

△	PK/WASHER	⊙	STORM DRAIN INTERCEPTOR
×	CHISELED X	⊙	DRY WELL
⊠	BRASS CAP IN HANDHOLE	⊠	STORM CLEANOUT
●	FOUND AS NOTED	⊠	TRAFFIC SIGNAL
⊙	BRASS CAP FLUSH	⊠	TRAFFIC SIGNAL WITH MAST
○	SET REBAR	⊠	TRAFFIC SIGNAL JUNCTION BOX
⊙	GAS VALVE	⊠	TELEPHONE MANHOLE
⊙	GAS MANHOLE	⊠	TELEPHONE JUNCTION BOX
Y	GAS BLUESTAKE	⊠	POWER POLE
⊠	GAS METER	⊠	DOWN GUY
⊠	GAS PRESSURE REDUCER	⊠	LIGHT POST
⊠	GAS MARKER	⊠	STREET LIGHT W/ MAST ARM
⊠	SEWER MANHOLE	⊠	TELEVISION RISER
⊠	SEWER CLEANOUT	⊠	SIGN
⊠	FIBER OPTIC BLUESTAKE	⊠	SCHEDULE B HEX
⊠	FIBER OPTIC BLUESTAKE	⊠	MONUMENT LINE
⊠	ELECTRIC MANHOLE	⊠	PROPERTY LINE
⊠	ELECTRIC JUNCTION BOX	⊠	EASEMENT LINE
⊠	ELECTRIC BLUESTAKE	⊠	RIGHT-OF-WAY LINE
⊠	ELECTRIC METER	⊠	SANITARY SEWER LINE
⊠	ELECTRIC CABINET	⊠	8" SEWER LINE
⊠	FIRE DEPT. CONNECTION	⊠	STORM DRAIN LINE
⊠	WATER VALVE	⊠	UNDERGROUND ELECTRIC LINE
⊠	FIRE HYDRANT	⊠	UNDERGROUND TV LINE
⊠	WATER METER	⊠	UNDERGROUND GAS LINE
⊠	BACKFLOW PREVENTER	⊠	FIBER OPTIC LINE
⊠	AIR RELEASE VALVE	⊠	WATER LINE
⊠	BLUESTAKE WATER	⊠	8" WATER LINE
⊠	IRRIGATION CONTROL VALVE		
⊠	IRRIGATION MANHOLE		
⊠	STORM MANHOLE		

NOTES:

1. ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ESCROW NO. FT10007129-FT71, EFFECTIVE DATE: NOVEMBER 16, 2010 AT 7:30 AM.

2. THE UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON RECORDS PROVIDED BY THE RESPECTIVE UTILITY COMPANIES WITHOUT VERIFICATION BY THE SURVEYOR; THEREFORE, NO GUARANTEE CAN BE MADE AS TO THE EXTENT OF THE UTILITIES AVAILABLE, EITHER IN SERVICE ABANDONED, NOR GUARANTEE TO THEIR EXACT LOCATION. PLEASE CALL "BLUE-STAKE" AT 602-283-1100, PRIOR TO ANY EXCAVATION OR TO DETERMINE WHAT UTILITIES FOR THE OPERATION OF THE PROPERTY ARE AVAILABLE AT THE LOT LINES, EITHER FROM CONTIGUOUS PROPERTY OR ADJOINING STREETS.

3. BASIS OF BEARING FOR THIS SURVEY IS A BEARING OF NORTH 89°58'20" EAST, ALONG THE SOUTH LINE OF THE NORTH HALF OF THE SOUTH HALF OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO THE "RESULTS OF SURVEY, A PORTION OF DC RANCH", RECORDED IN BOOK 426 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.

4. THE SURVEYOR HAS MADE NO ATTEMPT AND HAS NOT OBTAINED ANY INFORMATION RELATING TO, AND HAS NO KNOWLEDGE OF ANY PROPOSED RIGHT-OF-WAYS, EASEMENTS, OR DEDICATIONS THAT ANY MUNICIPALITY, INDIVIDUAL OR GOVERNMENTAL AGENCY MAY HAVE MADE OR MAY REQUIRE.

5. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

6. THERE IS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

7. THERE IS NO EVIDENCE TO SUGGEST THAT THERE IS A CEMETERY OR BURIAL GROUNDS ON THESE PREMISES

LEGAL DESCRIPTION:

LOT 16, CORPORATE CENTER AT DC RANCH, ACCORDING TO BOOK 959 OF MAPS, PAGE 36 AND AMENDMENTS TO THE PLAT RECORDED FEBRUARY 11, 2008 IN DOCUMENT NO. 2008-0117783 AND ON JUNE 18, 2008 IN DOCUMENT NO. 2008-0538739, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN THE PATENT TO SAID LAND.

FEMA NOTES:

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C1245H, (EFFECTIVE DATE SEPTEMBER 30, 2005), DESIGNATES THE PROPERTY WITHIN ZONE AO:

ZONE: AO IS DEFINED AS RIVER OR STREAM FLOOD HAZARD AREAS, AND AREAS WITH A 1% OR GREATER CHANCE OF SHALLOW FLOODING EACH YEAR, USUALLY IN THE FORM OF SHEET FLOW, WITH A AVERAGE DEPTH RANGING FROM 1 TO 3 FEET. THESE AREAS HAVE A 26% CHANCE OF FLOODING OVER THE LIFE OF A 30-YEAR MORTGAGE. AVERAGE FLOOD DEPTHS DERIVED FROM DETAILED ANALYSES ARE SHOWN WITHIN THESE ZONES.

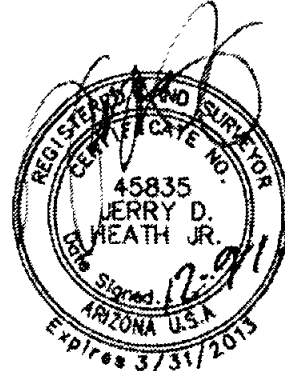
LOT AREAS:

NET AREA: 3.520 ACRES (153,341 S.F.) ±

SURVEYOR'S CERTIFICATION:

TO: SANTE PARTNERS, LLC, HRCF-BILTMORE LGE DC RANCH, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 2005, AND INCLUDES ITEMS 1,2,3,4,5,10,11(a),14,15,&16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERENCE.



ALTA/ACSM LAND TITLE SURVEY

LOT 16, CORPORATE CENTER AT DC RANCH, AS RECORDED IN BOOK 959 OF MAPS, PAGE 36, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 31
TWN: 4N
RANGE: 5E

JOB NO.:
TODD001-SA

SCALE
1"=30'

SHEET
1 OF 2

HUNTER
ENGINEERING
CIVIL AND SURVEY

10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3885
F 480 991 3886

NO.	DATE	REVISION	BY

PURPOSE:
A.L.T.A. SURVEY

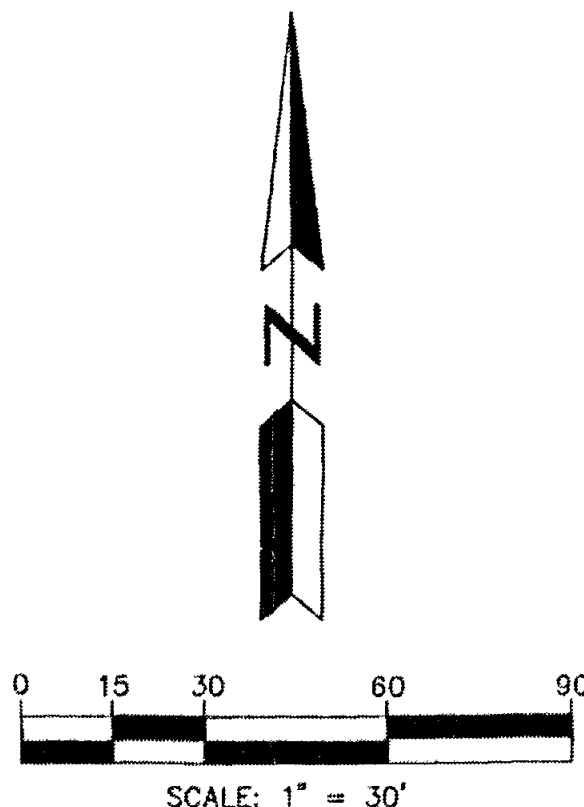
DESIGN BY: ML
DRAWN BY: JDH
CHECKED BY: JDH

ALTA/ACSM LAND TITLE SURVEY

LOT 16, CORPORATE CENTER AT DC RANCH, AS RECORDED IN BOOK 959 OF MAPS, PAGE 36, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

LEGEND:

- △ SET PK/BRASS TAG RLS45835
- ✕ CHISELED X
- BRASS CAP IN HANDHOLE
- FOUND AS NOTED
- ⊙ BRASS CAP FLUSH
- SET REBAR & CAP RLS45835
- ⊙ GAS VALVE
- ⊙ GAS MANHOLE
- ⊙ GAS BLUESTAKE
- ⊙ GAS METER
- ⊙ GAS PRESSURE REDUCER
- ⊙ GAS MARKER
- ⊙ SEWER MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ FIBER OPTIC BLUESTAKE
- ⊙ FIBER OPTIC BLUESTAKE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC JUNCTION BOX
- ⊙ ELECTRIC BLUESTAKE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC CABINET
- ⊙ FIRE DEPT. CONNECTION
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ BACKFLOW PREVENTER
- ⊙ AIR RELEASE VALVE
- ⊙ BLUESTAKE WATER
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ IRRIGATION MANHOLE
- ⊙ STORM MANHOLE
- ⊙ STORM DRAIN INTERCEPTOR
- ⊙ DRY WELL
- ⊙ STORM CLEANOUT
- ⊙ TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL WITH MAST
- ⊙ TRAFFIC SIGNAL JUNCTION BOX
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE JUNCTION BOX
- ⊙ POWER POLE
- ⊙ DOWN GUY
- ⊙ LIGHT POST
- ⊙ STREET LIGHT W/ MAST ARM
- ⊙ TELEVISION RISER
- ⊙ SIGN
- ⊙ SCHEDULE B HEX
- MONUMENT LINE
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SANITARY SEWER LINE
- 8" SS — 8" SEWER LINE
- 8" SS — STORM DRAIN LINE
- UGTV — UNDERGROUND ELECTRIC LINE
- UGTV — UNDERGROUND TV LINE
- UGG — UNDERGROUND GAS LINE
- F — FIBER OPTIC LINE
- W — WATER LINE
- 8" W — 8" WATER LINE

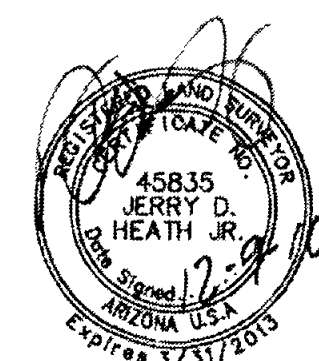
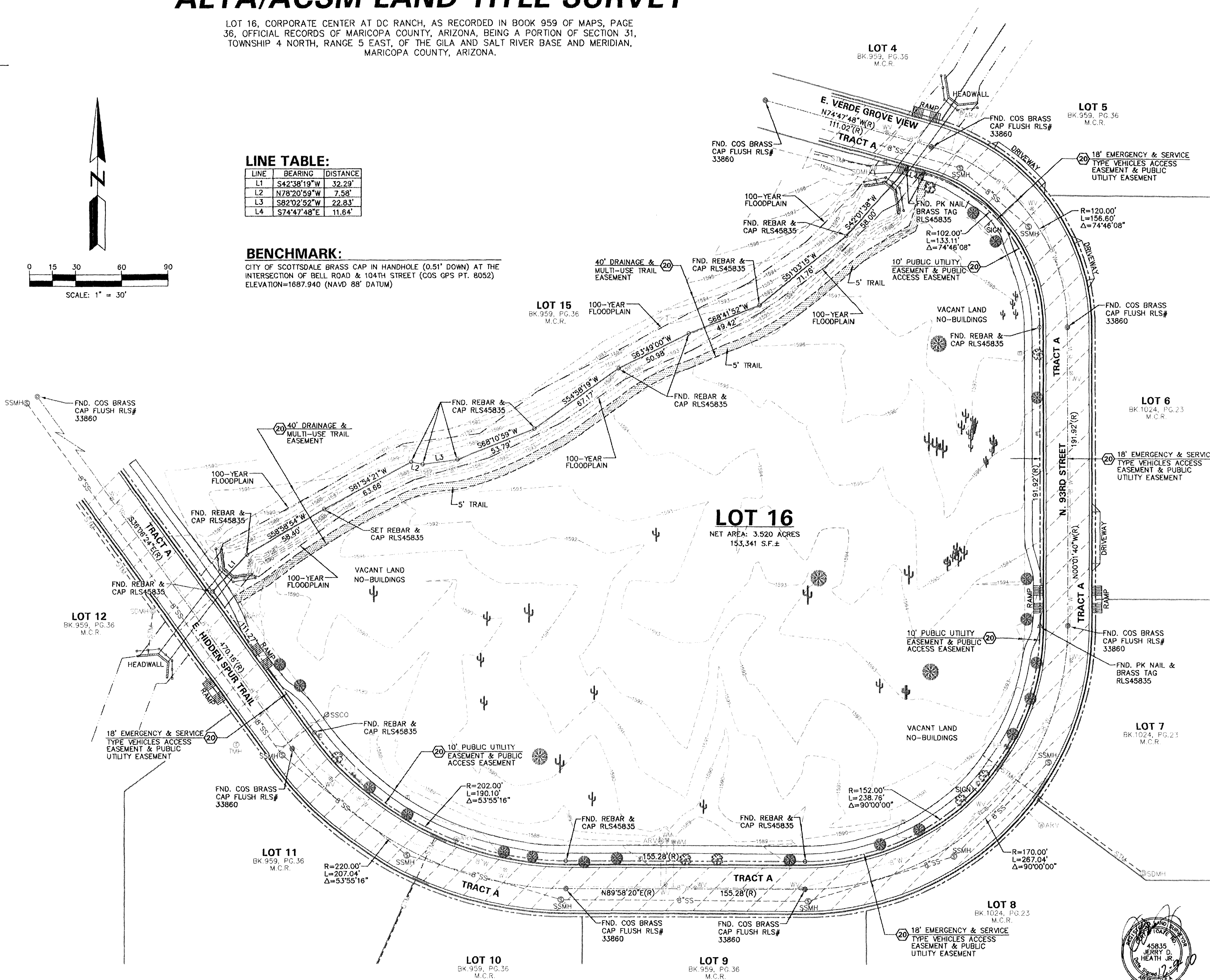


LINE TABLE:

LINE	BEARING	DISTANCE
L1	S42°38'19"W	32.29'
L2	N78°20'59"W	7.58'
L3	S82°02'52"W	22.83'
L4	S74°47'48"E	11.64'

BENCHMARK:

CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE (0.51' DOWN) AT THE INTERSECTION OF BELL ROAD & 104TH STREET (COS GPS PT. 8052) ELEVATION=1687.940 (NAVD 88' DATUM)



NO.	DATE	REVISION	BY

DESIGN BY: ML
DRAWN BY: JDH
CHECKED BY: JDH

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 951 3985
F 480 951 3986

ALTA/ACSM LAND TITLE SURVEY
LOT 16, CORPORATE CENTER AT DC RANCH, AS RECORDED IN BOOK 959 OF MAPS, PAGE 36, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 31
TOWNSHIP: 4N
RANGE: 5E

JOB NO.:
TODD001-SA

SCALE
1" = 30'

SHEET
2 OF 2