

1 ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

RPA

ROBERT POLCAR ARCHITECTS, INC.
7107 E. THOMAS ROAD
SCOTTSDALE, AZ 85251
TEL (480) 675-9760
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8-11-2008
PRELIMINARY
NOT FOR
CONSTRUCTION

THE LODGE RESTAURANT
4422 N 75TH STREET
(75TH ST, SOUTH OF CAMELBACK)
SCOTTSDALE AZ 85

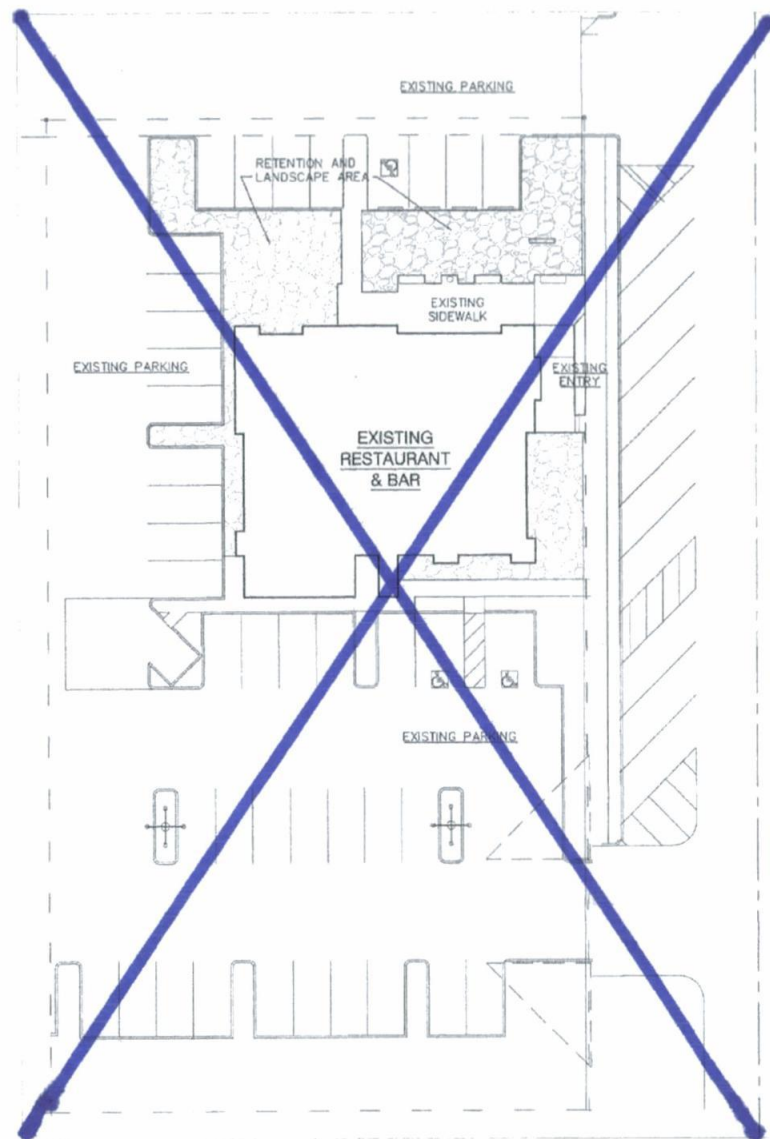
REVISIONS:

DRAWN BY: CW
CHECKED BY: RP
FILE: LODGE\A1_plan.dwg
ISSUED: 8/11/2008

ARCHITECTURAL PLAN

A1

24-UP-2010
1st: 8/18/10

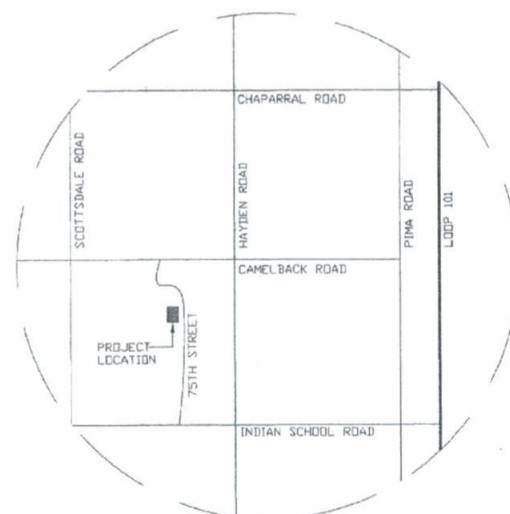


EXISTING SITE PLAN

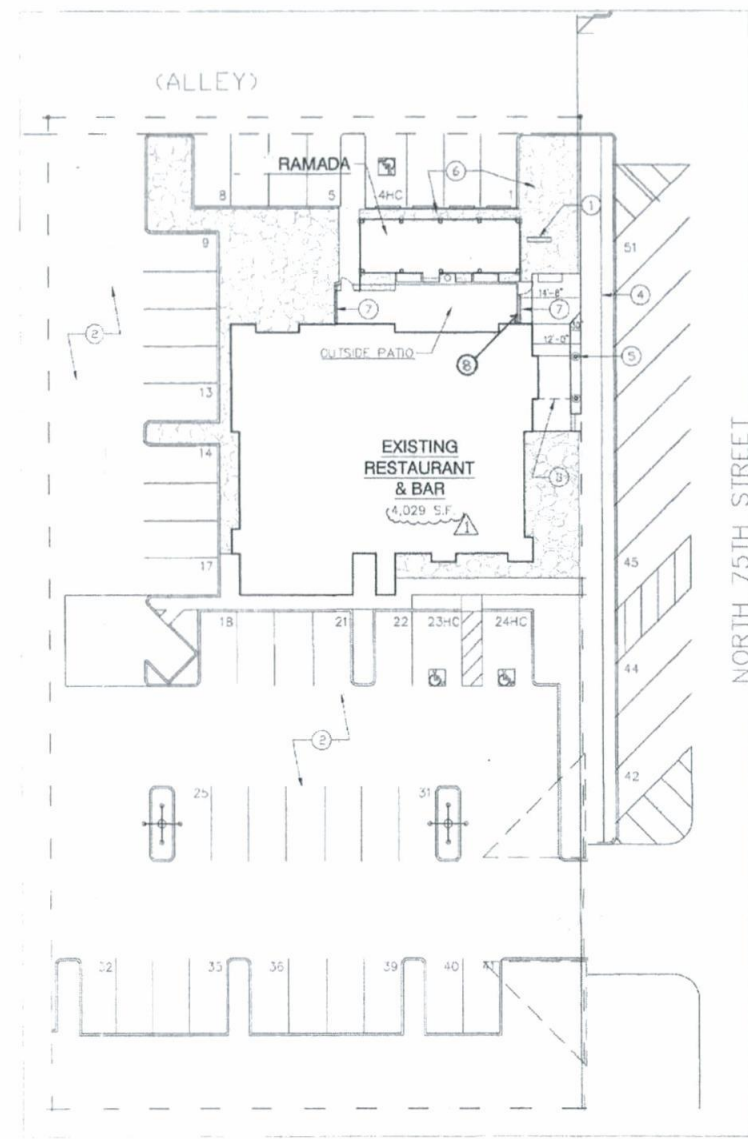
SCALE: 1"=0' = 20'-0"

GRAPHIC SCALE

0' 20' 40'



VICINITY PLAN



SITE PLAN

SCALE: 1"=0' = 20'-0"

GRAPHIC SCALE

0' 20' 40'



① SITE PLAN KEYNOTES

- ① EXISTING MONUMENT SIGN
- ② EXISTING PARKING
- ③ EXISTING CANVAS CANOPY TO BE REMOVED.
- ④ EXISTING CONCRETE WALK REMAINS.
- ⑤ NEW TRELLIS POST.
- ⑥ EXISTING LANDSCAPE RETENTION BASIN REMAINS, BELOW NEW RAMADA.
- ⑦ NEW 42" HIGH FENCE, TYPICAL.
- ⑧ TEMPORARY 42" HIGH RAILING

SHEET INDEX

- A0 COVER SHEET
- A1 RAMADA AND ENTRY TRELLIS PLAN
- A2 FRAMING PLANS AND ENTRY SECTION
- A3 SECTIONS EXTERIOR ELEVATIONS
- A4 DETAILS
- A5 STRUCTURAL GENERAL NOTES

E1 ELECTRICAL PLAN

SCOPE OF WORK

AN ADDITION OF AN OUTDOOR DINING AREA TO AN EXISTING RESTAURANT, INCLUDING AN AREA WITH A COVERED PATIO CONSTRUCTED OF WOOD FRAMING.

BUILDING INFORMATION

ZONING B/DR-2
APN 173-40-125K

EXISTING AREA APPROX 4,029 SQ. FT.
NEW RAMADA W/PATIO APPROX 1,117 SQ. FT.
STORIES 1 STORY
CONSTRUCTION TYPE VB
SPRINKLERED THROUGHOUT

BUILDING CODES

THIS PROJECT IS SUBMITTED UNDER THE FOLLOWING CODES WITH LOCAL AMENDMENTS:
2006 (IBC) INTERNATIONAL BUILDING CODE
2006 (IMC) INTERNATIONAL MECHANICAL CODE
2006 (IFC) INTERNATIONAL FIRE CODE
2005 (NEC) NATIONAL ELECTRICAL CODE
2006 (IPC) INTERNATIONAL PLUMBING CODE
2006 (IECC) INTERNATIONAL ENERGY CONSERVATION CODE
2003 ANSI-A117.1/1998 ADAAG

TENANT IMPROVEMENT REQUIRED NOTES

ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.

NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.

ALL EXTERIOR MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED, TO THE HEIGHT OF THE TALLEST UNIT, BY A PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND-MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF THE TALLEST UNIT (A DETAIL IS ALSO REQUIRED).

THERE SHALL BE NO ROOF MOUNTED OR GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT INSTALLED OR PERMITTED WITH THIS APPROVAL.

ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR, AND TEXTURE.

OCCUPANCY CALCULATIONS

AREA	/OCC FACTOR	OCCUPANTS
(A2) WAITING AREA	216 S.F. / 6	36.0
(A2) SEATING AREA	1,778 S.F. / 15	118.5
PUBLIC AREA	1,992 S.F.	161.0
KITCHEN	1,234 S.F. / 200	6.2
STORAGE / ACCESSORY	579 S.F. / 300	1.9
RESTROOM	224 S.F. / 300	0.7
NON-PUBLIC	2,037 S.F.	8.6
TOTAL BUILDING	4,029 S.F.	170.4

SEASONAL PATIO DINING	1,117 S.F. / 15	74.5
TOTAL DEVELOPMENT		244.9

PARKING CALCULATION

GROSS AREA / PARKING FACTOR	= SPACES REQ'D
BUILDING 4,029 / 120	= 33.5 SPACES
PATIO 1,117 = 500 + 617 / 350	= 1.8 SPACES
TOTAL PARKING REQUIRED	35.3 SPACES
TOTAL PARKING PROVIDED	41.0 SPACES

PLUMBING FIXTURES CALCULATIONS

FIXTURE	OCCUPANCY	OCCUPANTS	WOMEN	MEN
WATER CLOSET (A2) RESTAURANT	(244/2+122) 1/75	1/75		
REQUIRED		2 WC	2 WC	
PROVIDED		2 WC	1 WC + 2 URINALS	
LAVATORY (A2) RESTAURANT	(122 EA. M & W)	1/200	1/200	1/200
REQUIRED		1 LAV	1 LAV	1 LAV
PROVIDED		1 LAV	1 LAV	1 LAV
DRINK. FTN. (A2) RESTAURANT	(244)	1/500		
REQUIRED		1 DRINKING FOUNTAIN		
WATER SERVICE PROVIDED IN LIEU OF REQUIRED DRINKING FOUNTAIN				
SERVICE SINK	REQUIRED	1		
PROVIDED		1		

24-UP-2010
1st: 8/18/10

RE

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14887
ROBERT
POLCAR
02/10/09
EXPIRES 12

OUTSIDE PATIO
THE LODGE RESTAURANT
4422 N 75TH STREET

REVISIONS

CITY REVIEW

DRAWN BY:

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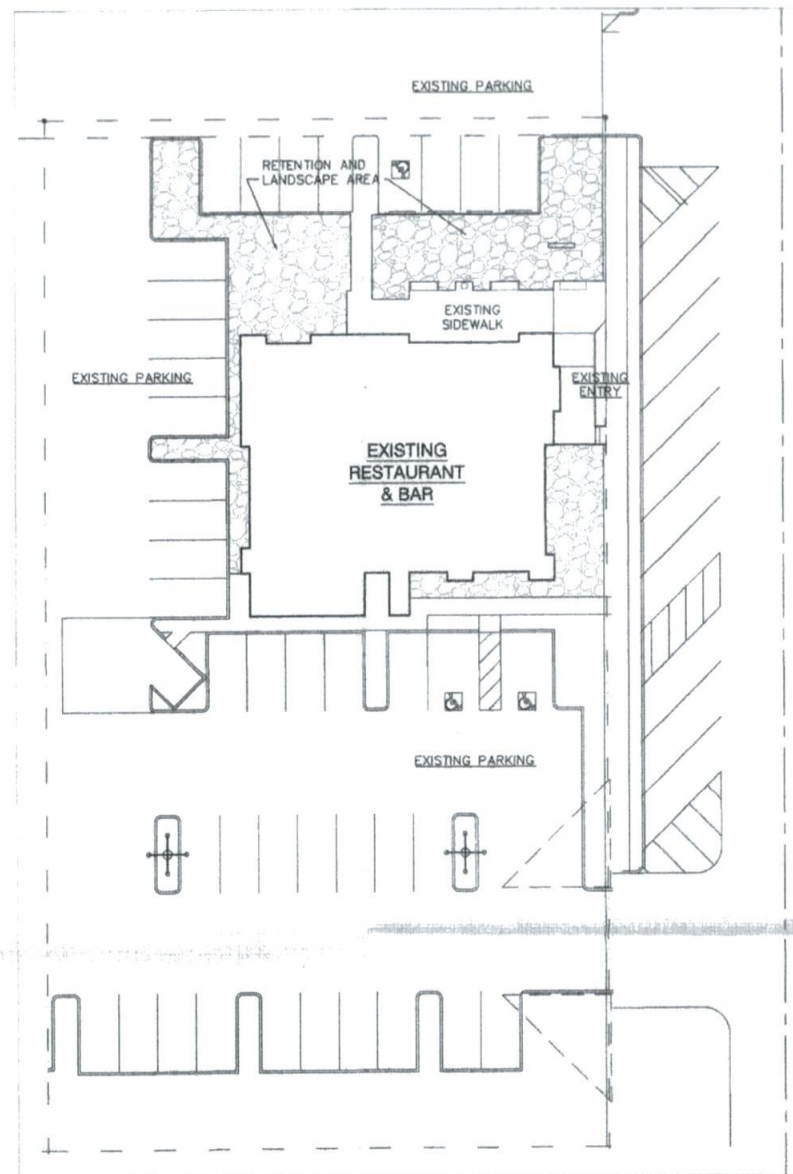
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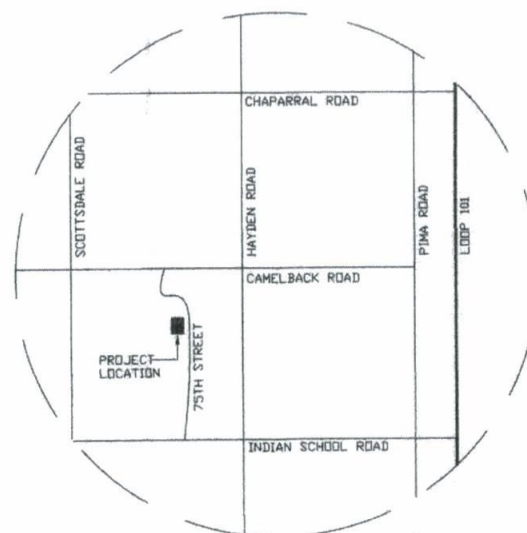
RAMADA FLD

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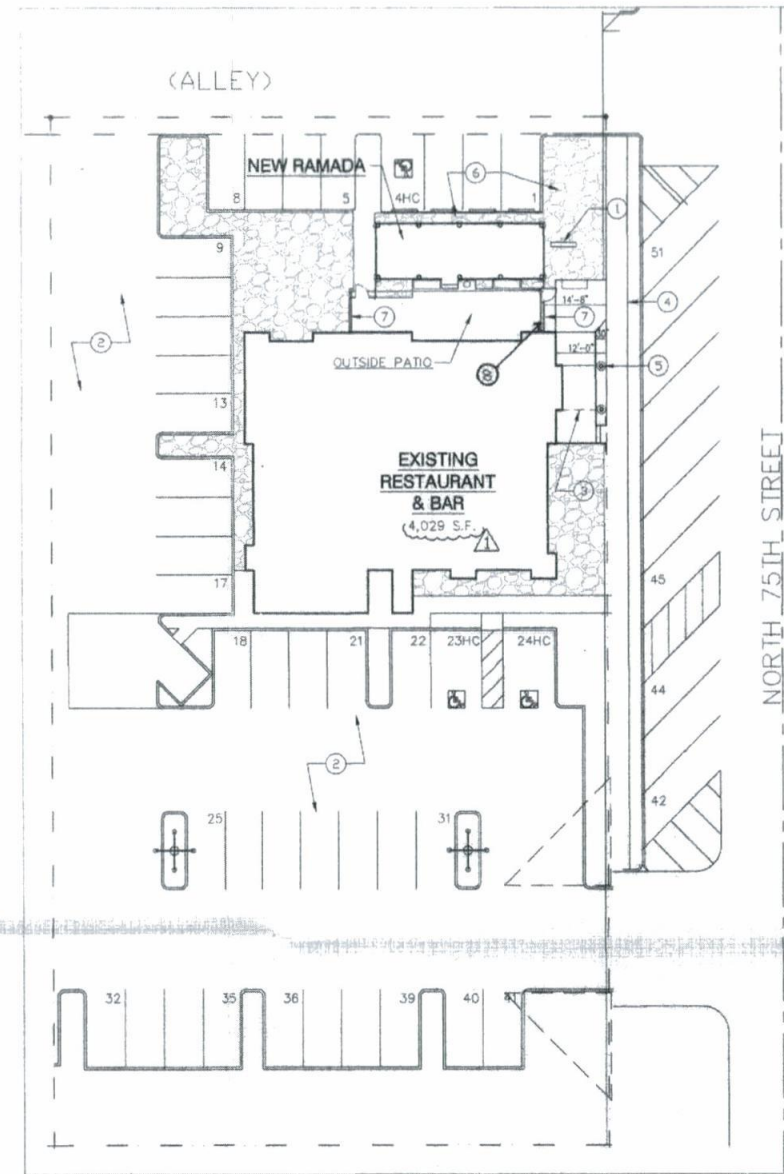


EXISTING SITE PLAN

SCALE: 1"=0' = 20'-0" GRAPHIC SCALE 0' 20' 40' NORTH



VICINITY PLAN



PROPOSED SITE PLAN

SCALE: 1"=0' = 20'-0" GRAPHIC SCALE 0' 20' 40' NORTH

1 SITE PLAN KEYNOTES

- 1 EXISTING MONUMENT SIGN.
- 2 EXISTING PARKING.
- 3 EXISTING CANVAS CANOPY TO BE REMOVED.
- 4 EXISTING CONCRETE WALK REMAINS.
- 5 NEW TRELLIS POST.
- 6 EXISTING LANDSCAPE RETENTION BASIN REMAINS, BELOW NEW RAMADA.
- 7 NEW 42" HIGH FENCE, TYPICAL.
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STORIES 1 STORY
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OCCUPANCY CALCULATIONS

AREA	SQ. FT.	OCC FACTOR	OCCUPANTS
(A2) WAITING AREA	218 S.F.	/5	43.2
(A2) SEATING AREA	1,778 S.F.	/15	118.4
PUBLIC AREA	1,992 S.F.		161.6
KITCHEN	1,234 S.F.	/200	6.2
STORAGE/ACCESSORY	579 S.F.	/300	1.9
RESTROOM	224 S.F.	/300	0.7
NON-PUBLIC	2,087 S.F.		8.8
TOTAL BUILDING	4,029 S.F.		170.4

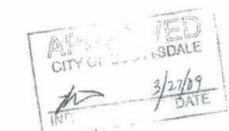
SEASONAL PATIO DINING	1,117 S.F.	/15	74.5
TOTAL DEVELOPMENT			244.9

PARKING CALCULATION

GROSS AREA / PARKING FACTOR	= SPACES REQUIRED
BUILDING 4,029 / 120	= 33.5 SPACES
PATIO 1,117 / 500 = 617 / 360	= 1.9 SPACES
TOTAL PARKING REQUIRED	35.3 SPACES
TOTAL PARKING PROVIDED	41.0 SPACES

PLUMBING FIXTURES CALCULATIONS

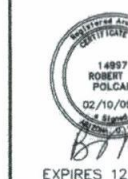
FIXTURE	OCCUPANCY	OCCUPANTS	WOMEN	MEN
WATER CLOSET (A2) RESTAURANT	(244/2=122) 1/75	1/75		
REQUIRED		2 WC	2 WC	
PROVIDED		2 WC	1 WC +2 URINALS	
LAVATORY (A2) RESTAURANT	(122 EA. M & W) 1/200	1/200		
REQUIRED		1 LAV	1 LAV	
PROVIDED		1 LAV	1 LAV	
DRINK, FTN. (A2) RESTAURANT	(244) 1/500	1/500		
REQUIRED		1 DRINKING FOUNTAIN		
WATER SERVICE PROVIDED IN LIEU OF REQUIRED DRINKING FOUNTAIN				
SERVICE SINK				
REQUIRED		1		
PROVIDED		1		



24-UP-2010
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RF

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OUTSIDE PATIO
THE LODGE RESTAURANT
4422 N 75TH STREET

REVISIONS

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DRAWN BY:

CHECKED BY:

FILE:

LODGE OUTSIDE PATIO

ISSUED:

RAMADA FLC

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