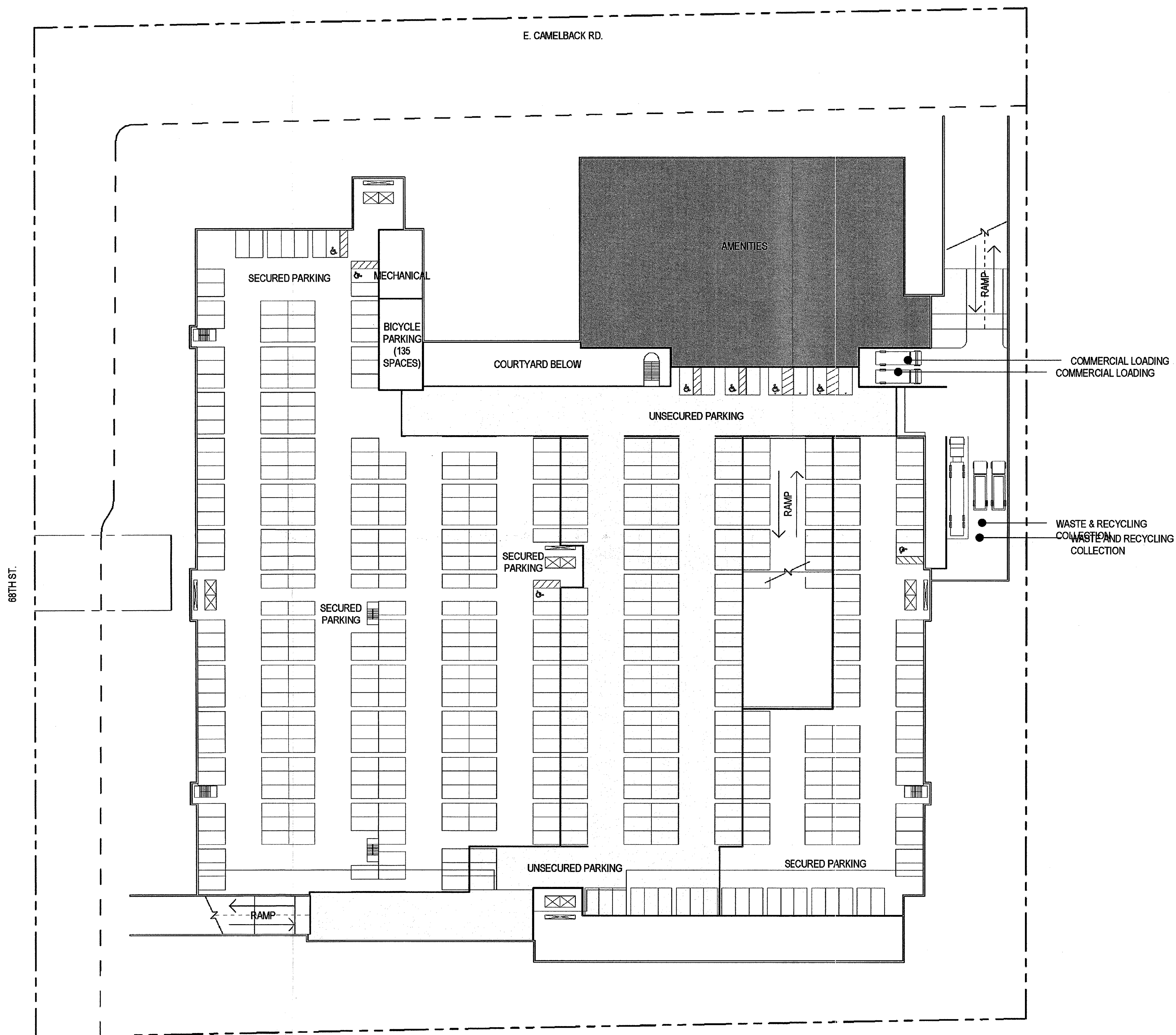
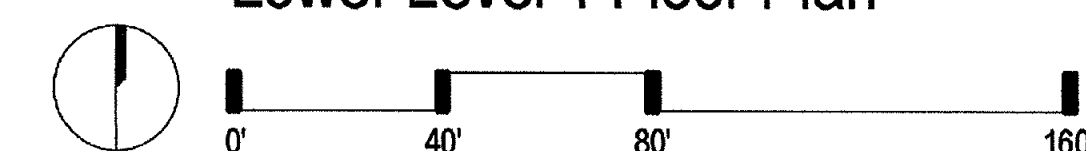
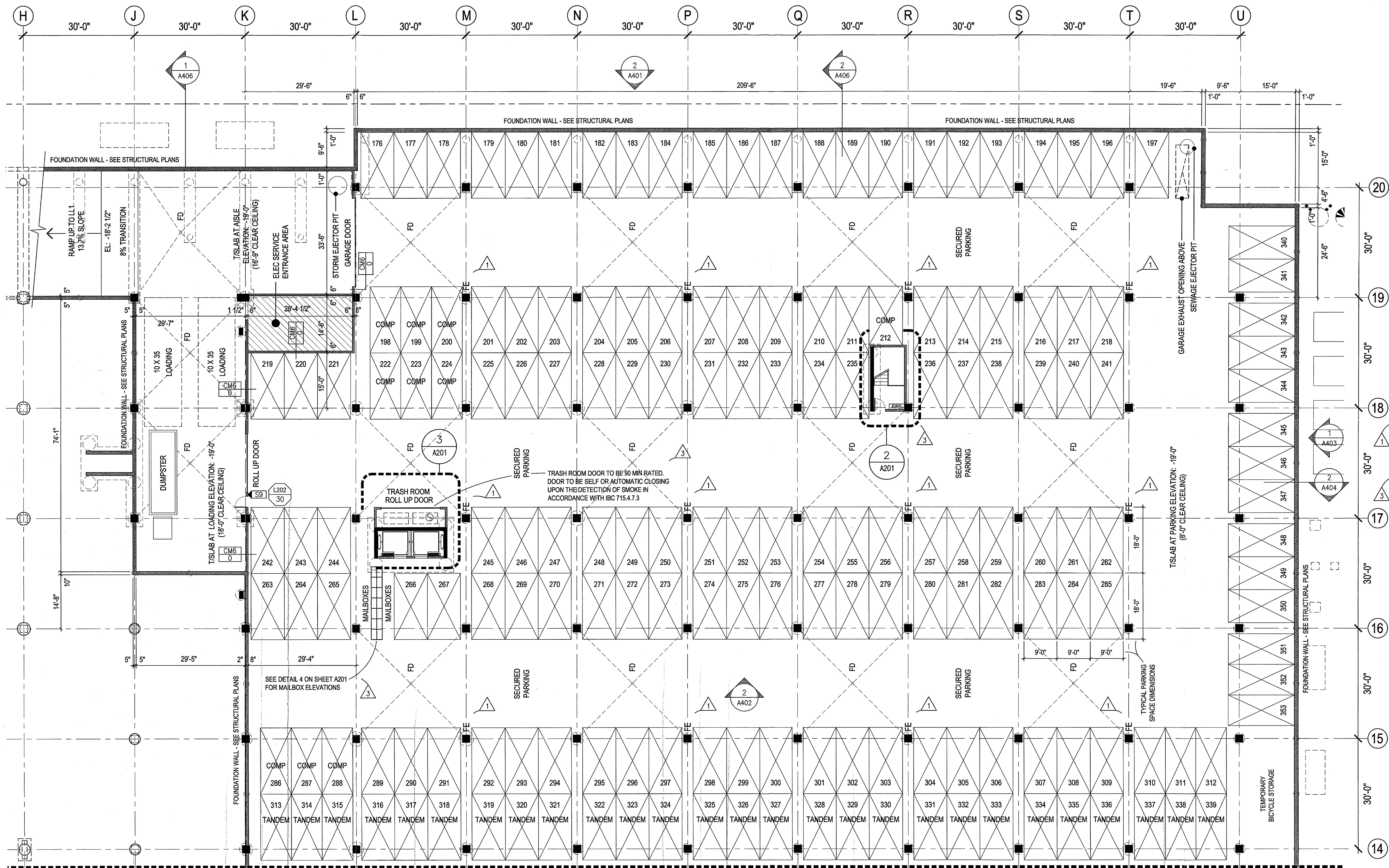




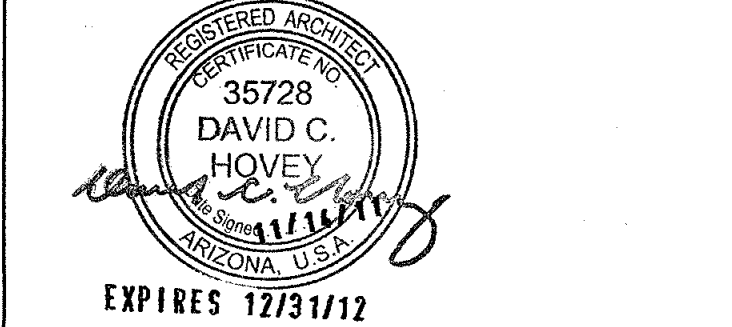
Lower Level 1 Floor Plan



OPTIMA SONORAN VILLAGE



- GENERAL NOTES:**
1. FIRE RESISTIVE RATING LEGEND
1/2 HOUR
1 HOUR
2 HOUR
 2. WALL TAG. SEE A810 SERIES FOR WALL SCHEDULE AND DETAILS.
WALL TYPE
WALL RATING
 3. DOOR TAG. SEE A820 SERIES FOR DOOR SCHEDULE AND DETAILS.
DOOR SYMBOL
DOOR SIZE
 4. SIGN TAG. SEE A830 SERIES FOR SIGN SCHEDULE AND DETAILS.
SIGN SYMBOL
 5. SEE A840 SERIES FOR FINISH SCHEDULE
 6. SEE A100 SERIES FOR OCCUPANCY AND EGRESS PLANS
 7. PROVIDE WHEEL STOPS AND SIGN ON POST AT ALL ACCESSIBLE PARKING SPACES. SIGN TO BE IN ACCORDANCE WITH CITY OF SCOTTSDALE STANDARDS.
 8. FD: INDICATES LOCATION OF FLOOR DRAINS. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
 9. THE EXCAVATION ALONG THE WEST FACE OF THE PARKING AND AMENITIES AREAS WILL BE LANDSCAPED UNTIL CONSTRUCTION OF FUTURE BUILDINGS. DETAILS WILL BE PROVIDED AS PART OF THE DEFERRED LANDSCAPE SUBMITTAL.
 10. FIRE EXTINGUISHERS IN THE PARKING AREA WILL BE 5 LB. TYPE ABC, SPACED AT 75'-0" O.C. MAXIMUM.
 11. FE: INDICATES LOCATION OF FIRE EXTINGUISHER
 12. SEE A003a & A003b FOR ACCESSIBILITY NOTES AND DETAILS
 13. SEE SHEET A003a FOR ELEVATOR CAR AND ELEVATOR SIGNAL AND CONTROL ACCESSIBLE DETAILS.



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07.20.11		FOUNDATION PERMIT	
07.08.11		PROGRESS PRINT	
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06.17.11		REVISED EXCVIN & UTILITIES	
06.10.11		EXCAVATION & SITE UTILITIES	
06.02.11		PROGRESS PRINT	
05.25.11		REVISED BID PACKAGE #2	
05.16.11		BID PACKAGE #2	
04.12.11		REVISED BID PACKAGE #1	
03.17.11		BID PACKAGE #1	

OPTIMA SONORAN VILLAGE
6885 EAST CAMELBACK ROAD
SCOTTSDALE, ARIZONA
OWNER: OPTIMA SONORAN VILLAGE LLC

DAVID HOVEY AND ASSOCIATES ARCHITECT, INC.
7147 E RANCO VISTA DR, SUITE 104, SCOTTSDALE, AZ 85251
TEL: (480) 874-9900 FAX: (480) 874-9910

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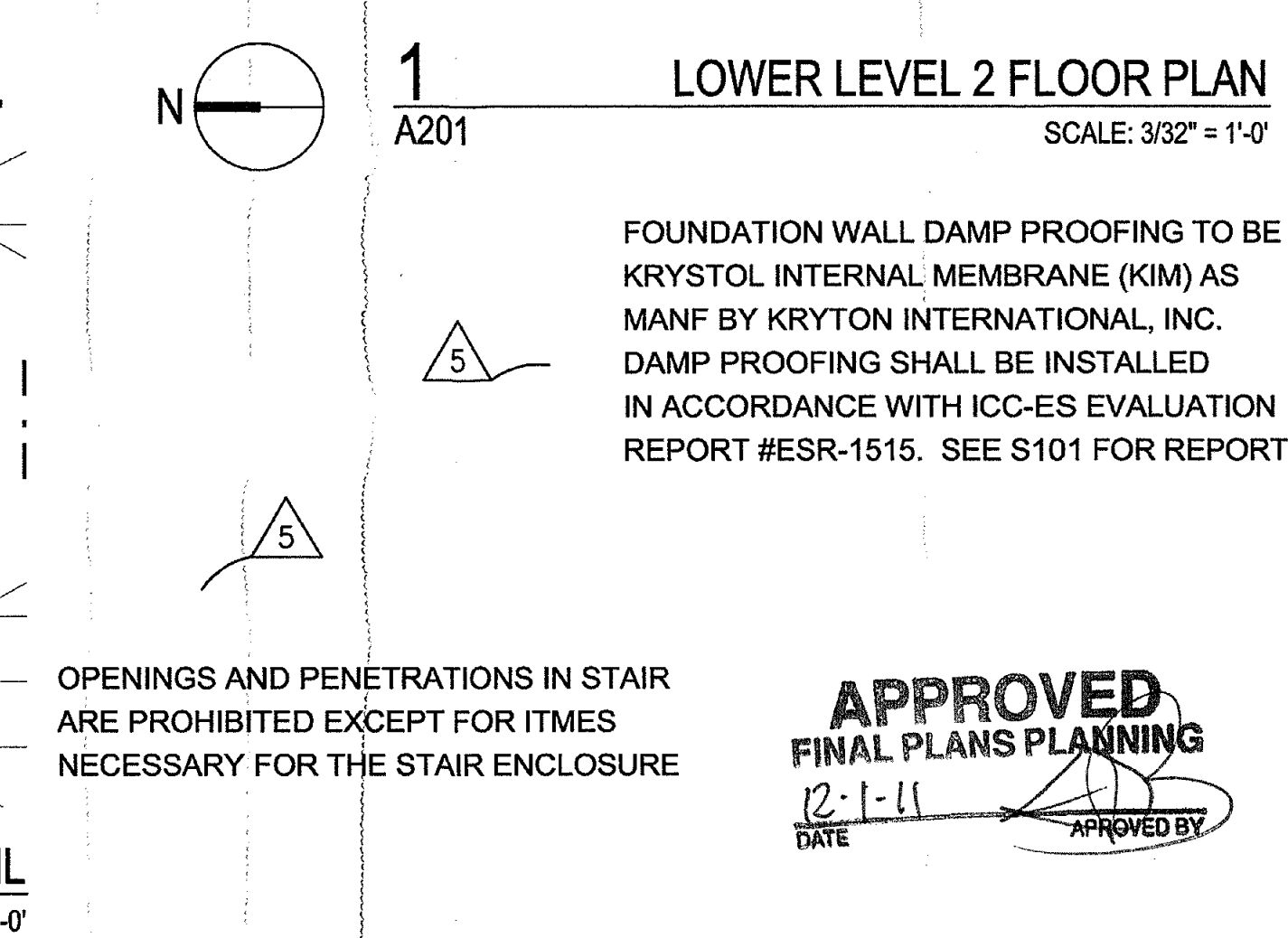
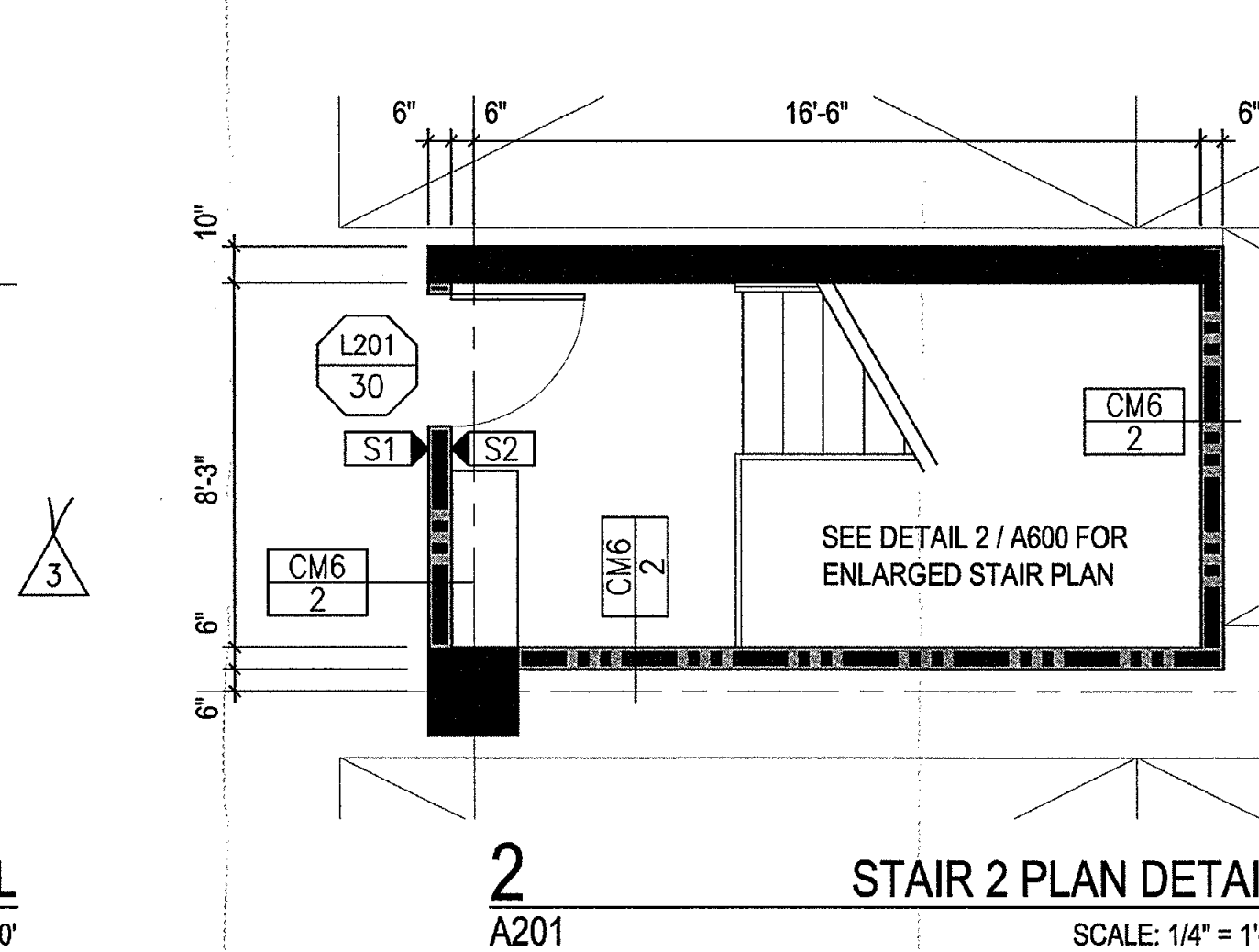
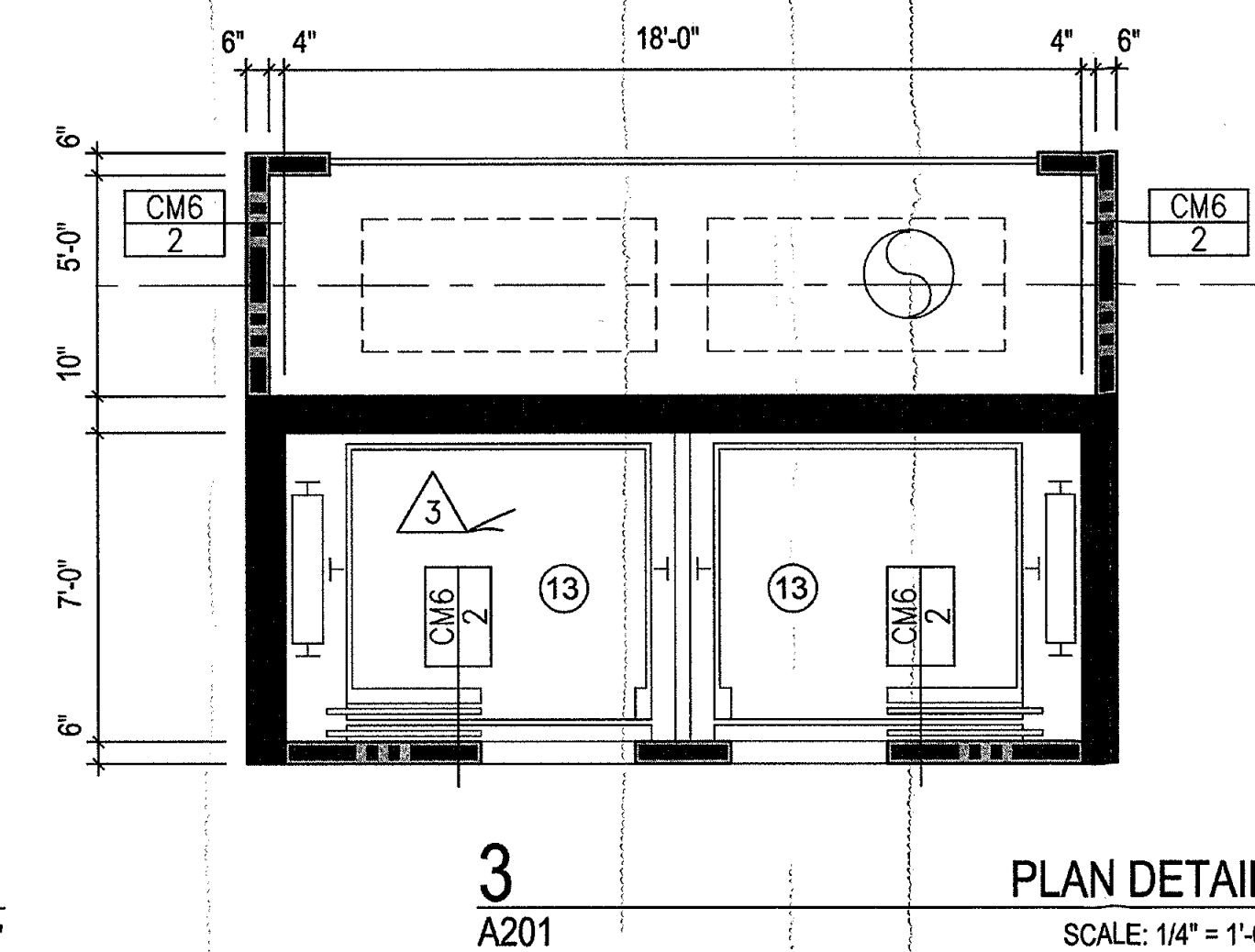
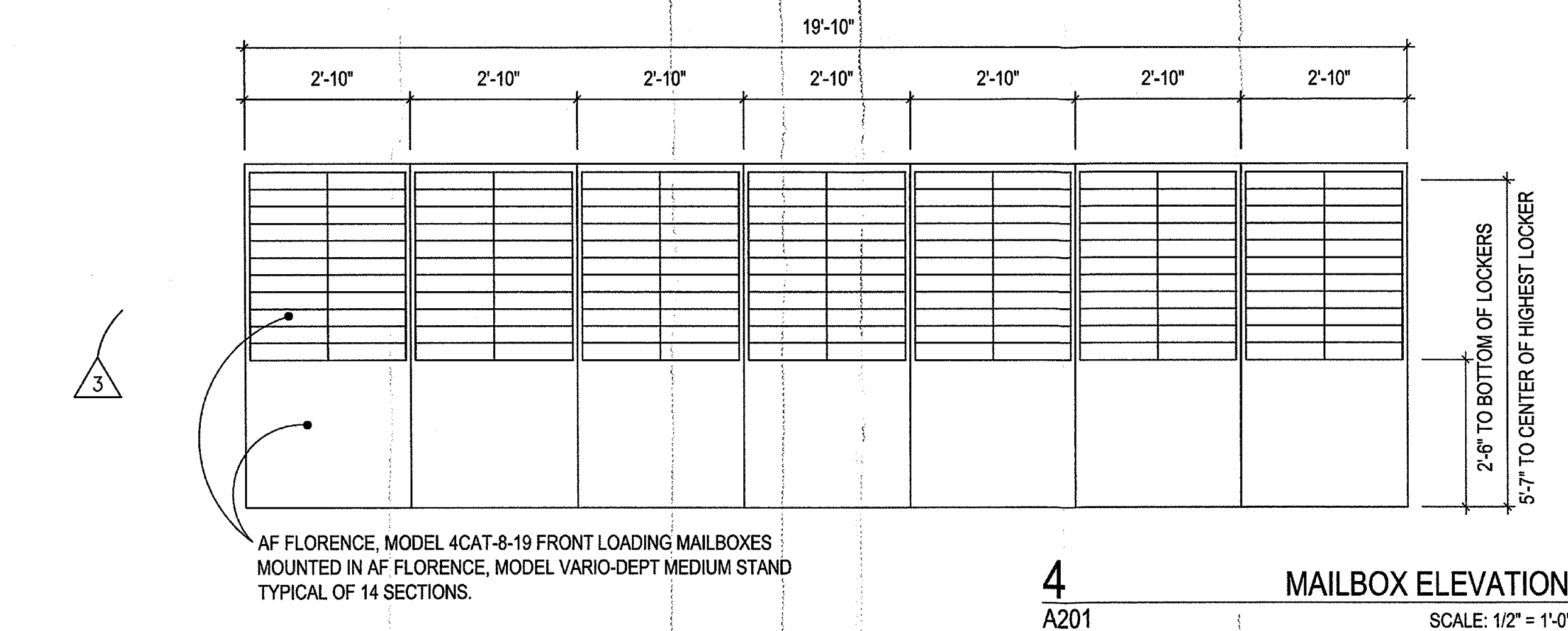
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LOWER LEVEL 2 FLOOR PLAN

SCALE: 3/32" = 1'-0"

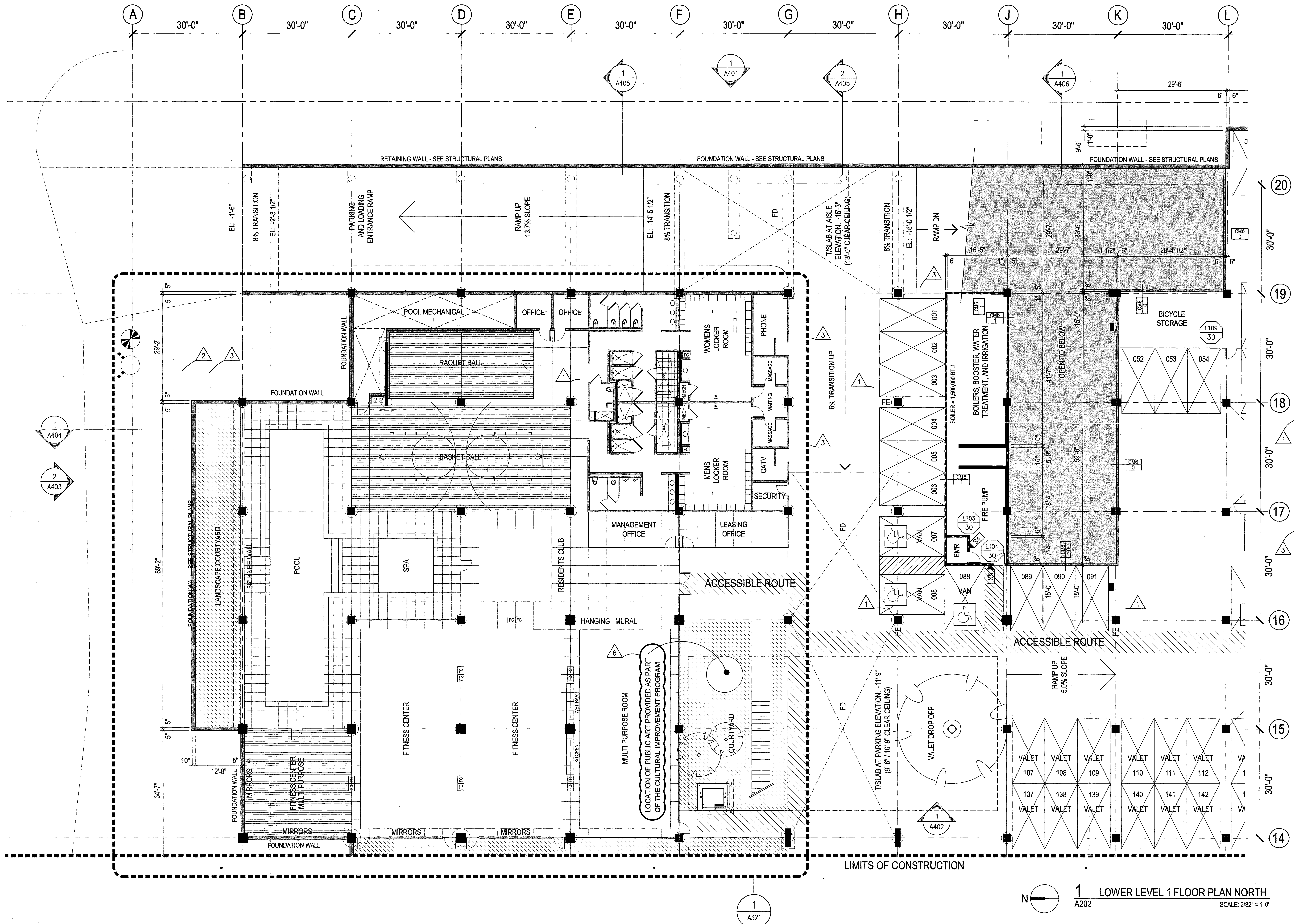
A201



FOUNDATIONS WALL DAMP PROOFING TO BE KRYSTOL INTERNAL MEMBRANE (KIM) AS MANF BY KRYTON INTERNATIONAL, INC. DAMP PROOFING SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES EVALUATION REPORT #ESR-1515. SEE S101 FOR REPORT

OPENINGS AND PENETRATIONS IN STAIR ARE PROHIBITED EXCEPT FOR ITMES NECESSARY FOR THE STAIR ENCLOSURE

APPROVED
FINAL PLANS PLANNING
DATE 12-1-11
APPROVED BY



GENERAL NOTES:

- FIRE RESISTIVE RATING LEGEND**
1/2 HOUR
1 HOUR
2 HOUR
- WALL TAG.** SEE A810 SERIES FOR WALL SCHEDULE AND DETAILS.
WALL TYPE
WALL RATING
- DOOR TAG.** SEE A820 SERIES FOR DOOR SCHEDULE AND DETAILS.
DOOR SYMBOL
DOOR SIZE
- SIGN TAG.** SEE A830 SERIES FOR SIGN SCHEDULE AND DETAILS.
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- SEE A003a & A003b FOR ACCESSIBILITY NOTES AND DETAILS

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OPTIMA SONORAN VILLAGE

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SCOTTSDALE, ARIZONA
OWNER: OPTIMA SONORAN VILLAGE LLC

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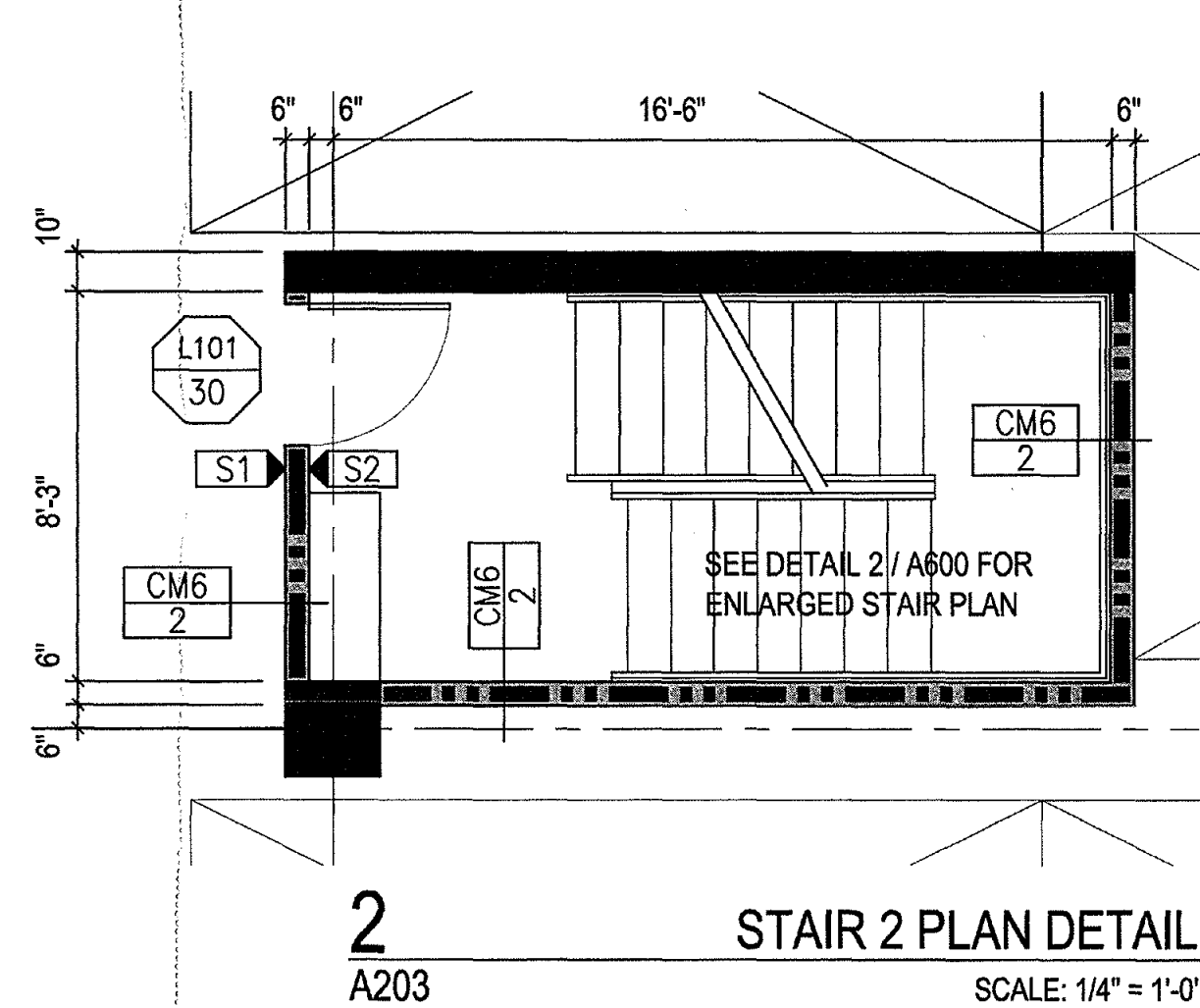
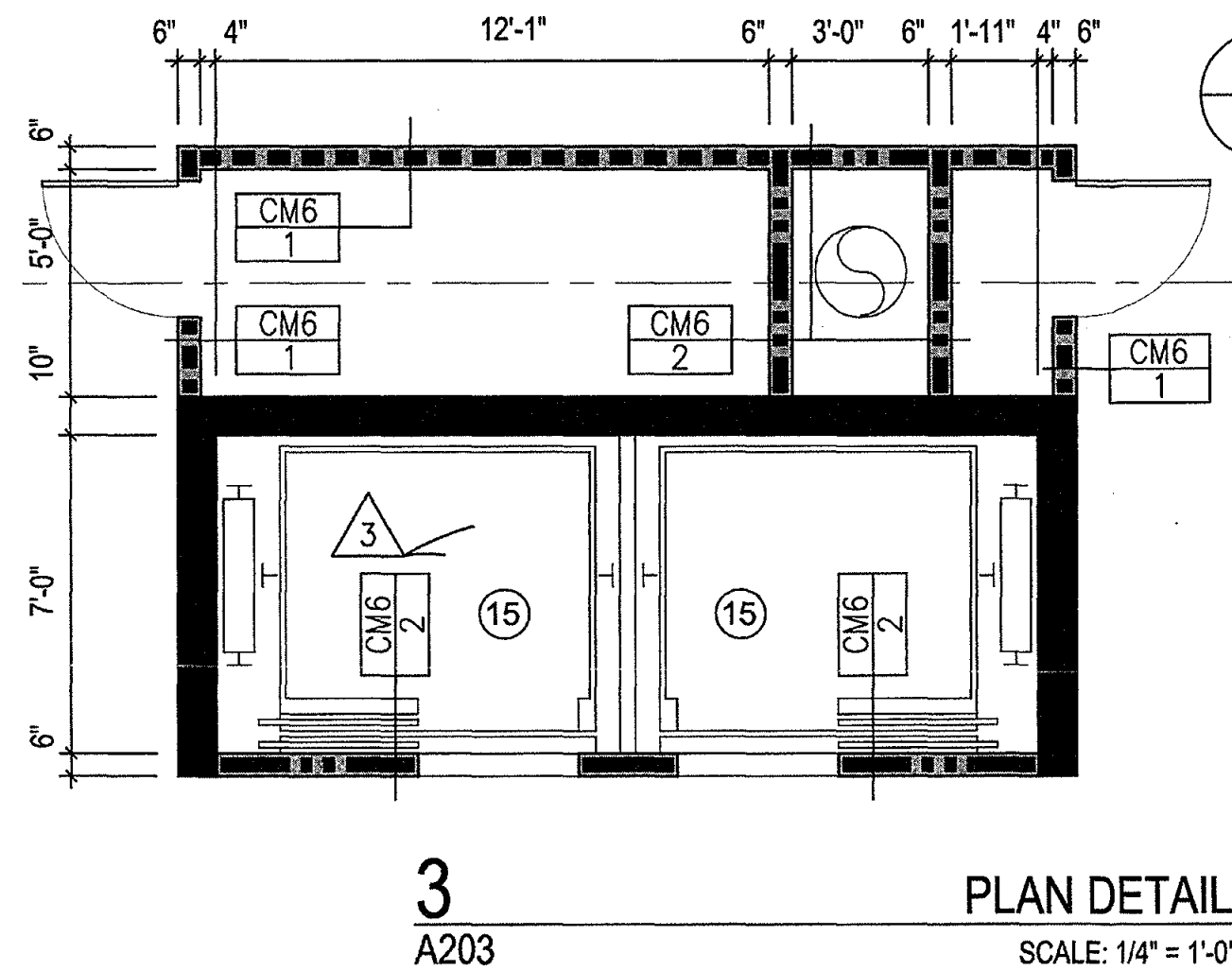
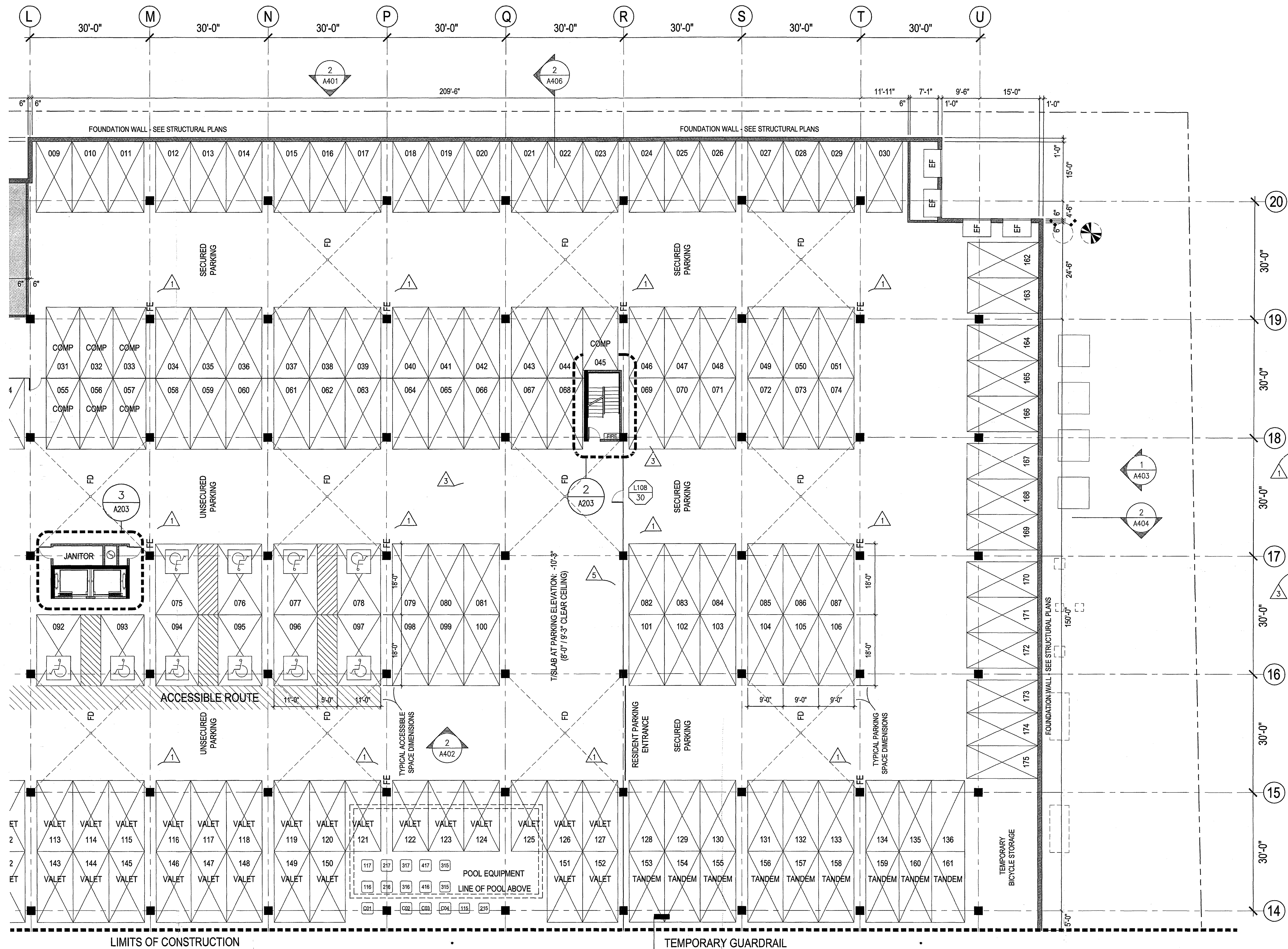
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LOWER LEVEL 1 FLOOR PLAN NORTH
A202
SCALE: 3/32" = 1'-0"

1 LOWER LEVEL 1 FLOOR PLAN NORTH
A202
SCALE: 3/32" = 1'-0"

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GENERAL NOTES:

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 1/2 HOUR
 1 HOUR
 2 HOUR
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 MAA WALL TYPE
 1 WALL RATING
- DOOR TAG. SEE A820 SERIES FOR DOOR SCHEDULE AND DETAILS.**
 R01 DOOR SYMBOL
 30 DOOR SIZE
- SIGN TAG. SEE A830 SERIES FOR SIGN SCHEDULE AND DETAILS.**
 S01 SIGN SYMBOL
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OPTIMA SONORAN VILLAGE
 8895 EAST CAMELBACK ROAD
 SCOTTSDALE, ARIZONA
 OWNER: OPTIMA SONORAN VILLAGE LLC

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APPROVED FINAL PLANS PLANNING
 12-1-11
 DATE APPROVED BY

LOWER LEVEL 1 FLOOR PLAN SOUTH
 SCALE: 3/32" = 1'-0"

A203

ACCESSIBILITY PLAN NOTES:

- KITCHEN SINK:** PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE SINK BOWL.
- DISHWASHER:** PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR.
- COOKTOP:** PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE.
- OVEN / MICROWAVE:** PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE.
- REFRIGERATOR:** PROVIDE A 30" X 48" CLEAR FLR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE.
- LAUNDRY EQUIPMENT:** PROVIDE A 30" X 48" CLEAR FLR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE.
- LAVATORY:** PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL APPROACH. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE LAVATORY. THE FRONT OF THE LAVATORY SHALL BE 34" AFF MAX.
- WATER CLOSET:** PROVIDE A CLEAR FLOOR SPACE MEASURING 56" FROM THE WALL BEHIND THE WATER CLOSET, AND 48" FROM A POINT 18" FROM THE CENTER OF THE WATER CLOSET. VANITIES ARE PERMITTED TO OVERLAP THE CLEAR FLOOR SPACE. MAINTAIN 15" MINIMUM FROM CENTER LINE OF TOILET TO END OF VANITY CABINET AT OVERLAP.
- SHOWER COMPARTMENT:** PROVIDE A CLEAR FLR SPACE MEASURING 48" PERPENDICULAR FROM THE SHOWER HEAD WALL, AND 30" FROM THE FACE OF THE SHOWER COMPARTMENT.
- ENTRY DOOR:** PROVIDE A CLEAR FLOOR SPACE POSITIONED FOR FORWARD APPROACH TO THE PUSH SIDE OF DOOR. CLEAR FLOOR SPACE TO MEASURE 48" PERPENDICULAR TO FACE OF DOOR AND SHALL EXTEND 12" BEYOND LATCH SIDE OF DOOR.
- DOOR WIDTH:** PROVIDE A 31-3/4" MIN. CLEAR OPENING. SWING DOOR CLEAR OPENING TO BE MEASURED FROM FACE OF DOOR WITH THE DOOR OPEN 90 DEGREES.
- REINFORCEMENT:** PROVIDE REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS AT ALL WATER CLOSETS AND SHOWER COMPARTMENTS.

CEILING PLAN NOTES:

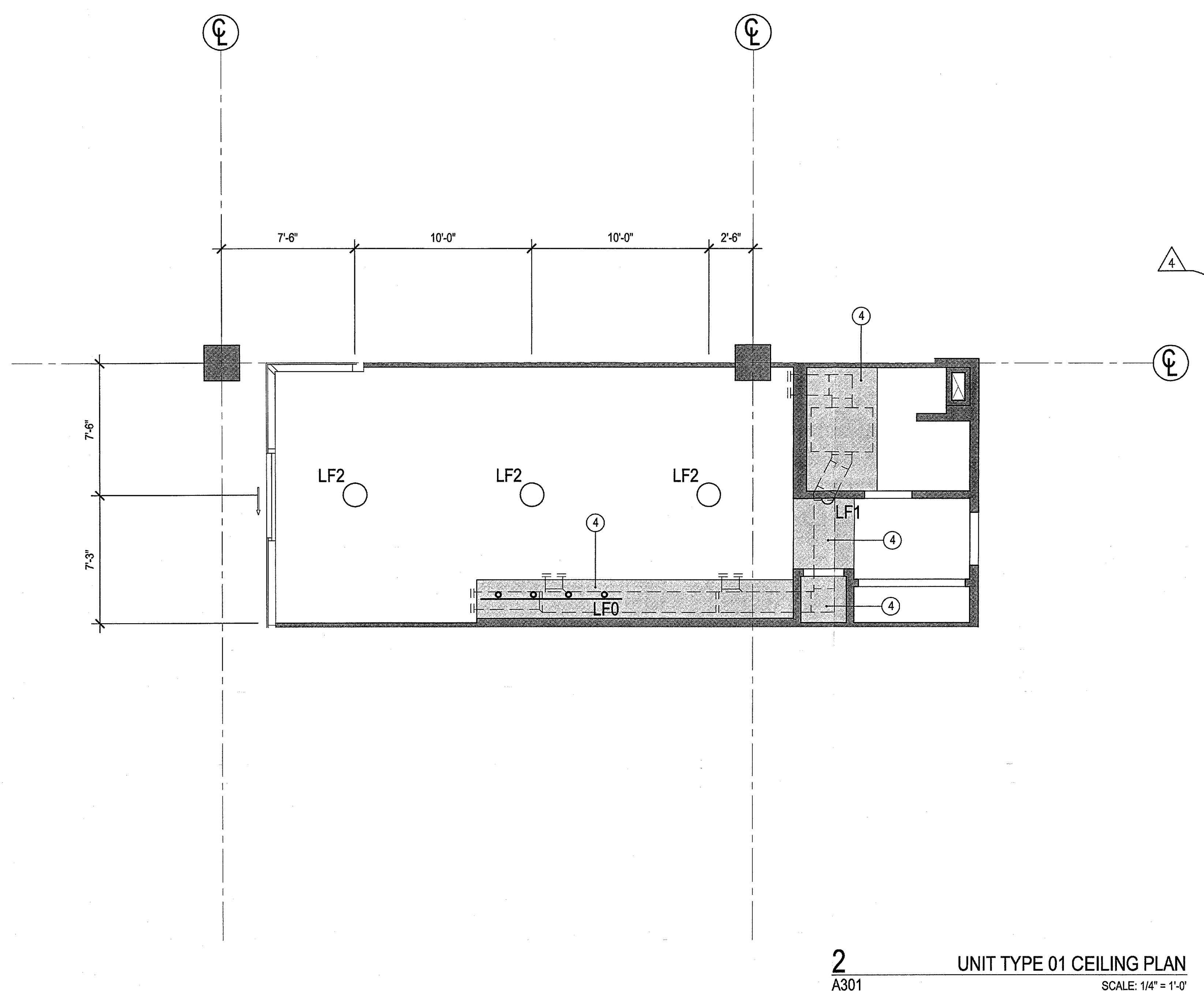
- INDICATES ACCESS PANEL
SEE PLANS FOR SIZE & LOCATION
- INDICATES MECHANICAL SOFFIT
SEE PLANS FOR SIZE & ELEVATION
 - FINISH SOFFIT ELEVATION = 7'-0" AFF
 - FINISH SOFFIT ELEVATION = 7'-2" AFF
 - FINISH SOFFIT ELEVATION = 7'-4" AFF
 - FINISH SOFFIT ELEVATION = 7'-6" AFF
 - FINISH SOFFIT ELEVATION = 7'-8" AFF
 - FINISH SOFFIT ELEVATION = 7'-10" AFF
- INDICATES EXPOSED PAINTED CONCRETE CEILING
- LIGHT FIXTURE SCHEDULE: SEE ELECTRICAL PLANS FOR RESIDENTIAL LIGHT FIXTURE SPECIFICATIONS.
 - LF0: SURFACE MOUNTED KITCHEN TRACK LIGHT
 - LF1: WALL MOUNTED HALL WAY SCONCE
 - LF2: SURFACE MOUNTED CEILING LIGHT
 - LF3: WALL MOUNTED VANITY LIGHT
 - LF4: SURFACE MOUNTED CLOSET LIGHT

ACCESSIBILITY PLAN NOTES (cont):

- KITCHEN CLEARANCE:** PROVIDE MINIMUM 40" BETWEEN OPPOSING BASE CABINETS OR APPLIANCES.
- OPERABLE PARTS:** ALL OPERABLE PARTS IN EITHER TYPE A OR TYPE B UNITS SHALL BE WITHIN THE REACH RANGES SPECIFIED UNDER MANEUVERING CLEARANCES ITEM 4 ON SHEET A003.
- TYPE A UNIT:** IF UNIT IS SELECTED TO BE CONSTRUCTED AS A TYPE A UNIT, THEN THE TYPE A UNIT PROVISIONS ON SHEET A003b SHALL BE INCORPORATED INTO THE UNIT CONSTRUCTION.

FLOOR PLAN NOTES:

- WALL TAG. SEE SHEET A810 FOR WALL SCHEDULE DETAILS.
 - WALL TYPE
 - WALL RATING
- DOOR TAG. SEE SHEETS A820 AND A821 FOR DOOR SCHEDULE AND DETAILS.
 - DOOR SYMBOL
 - DOOR SIZE
- CABINET TAG. SEE SHEET A720 THRU A722 FOR KITCHEN AND VANITY CABINET DETAILS.
 - CABINET TAG
- TYPICAL PARTITION SCHEDULE:
 - ALL SHAFT ASSEMBLIES UNO
TOTAL ASSEMBLY = 3 3/4"
 - ALL DEMISING PARTITIONS UNO
TOTAL ASSEMBLY = 6 1/8"
 - ALL DEMISING CHASE PARTITIONS UNO
TOTAL ASSEMBLY = VARIES
 - TYP CORRIDOR PARTITIONS UNO
USE RESILIENT CHANNEL ON CORRIDOR FACE
TOTAL ASSEMBLY = 5 3/8"
 - TYP CORRIDOR CHASE PARTITIONS UNO
USE RESILIENT CHANNEL ON CORRIDOR FACE
TOTAL ASSEMBLY = VARIES
 - ALL BATHROOM AND LAUNDRY PARTITIONS UNO
TOTAL ASSEMBLY = 4 7/8"
 - ALL BATHROOM AND LAUNDRY CHASE PARTITIONS UNO
TOTAL ASSEMBLY = VARIES
 - ALL UNIT INTERIOR PARTITIONS UNO
TOTAL ASSEMBLY = 4 7/8"
 - ALL UNIT INT CHASE PARTITIONS UNO
TOTAL ASSEMBLY = VARIES
- CLOSET SHELVE DESIGNATIONS:
 - LH: LONG HANGING ROD AND SHELF. MOUNT TOP OF SHELF AT 7'-0" AFF.
 - DH: DOUBLE HANGING ROD AND SHELVES. MOUNT TOP OF SHELVES AT 3'-6" AND 7'-0" AFF.
 - L: LINEN SHELVE. PROVIDE 6 SHELVES SPACED AT 15" O.C. MOUNT TOP OF UPPER SHELF AT 7'-6" AFF.

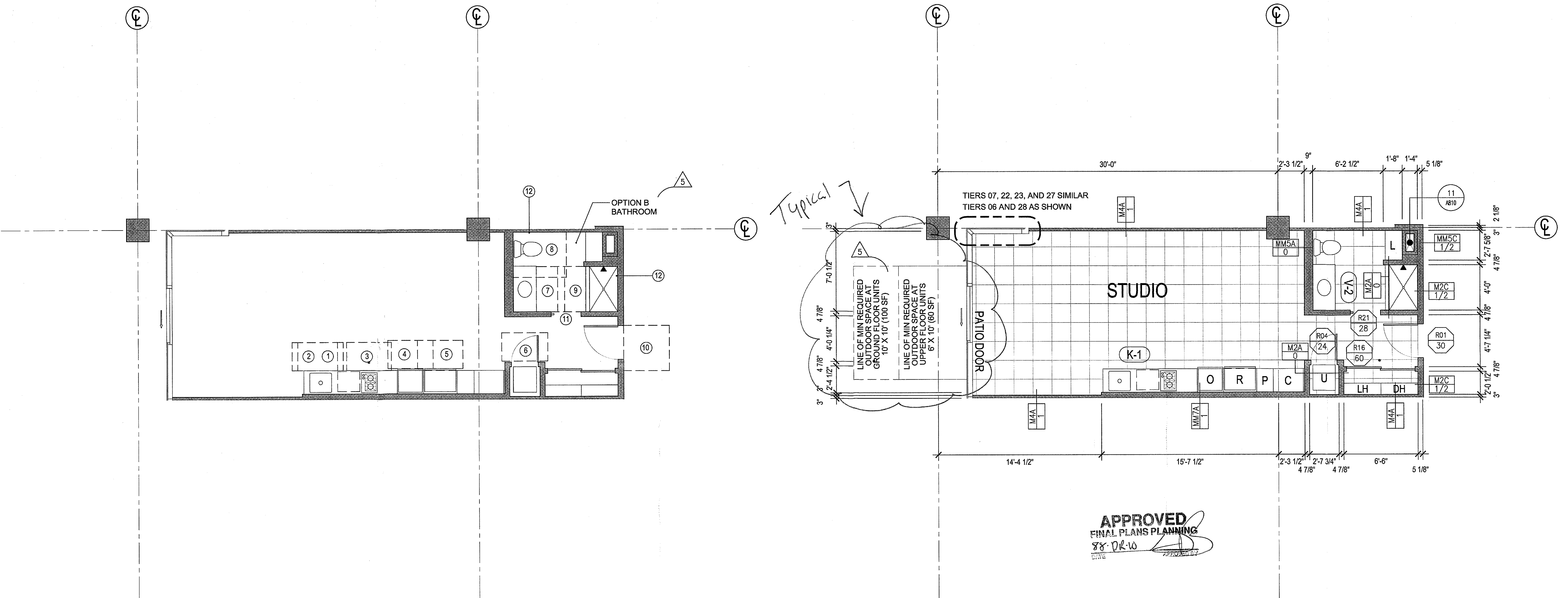


2

A301

UNIT TYPE 01 CEILING PLAN

SCALE: 1/4" = 1'-0"



3

A301

UNIT TYPE 01 ACCESSIBILITY PLAN

SCALE: 1/4" = 1'-0"

1

A301

UNIT TYPE 01 FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- UNIT TYPE 1 IS TYPICAL OF 42 UNITS. REFERENCE UNITS 106 - 706, 107 - 707, 122 - 722, 123 - 723, 127 - 727 AND 128 - 728.
- REFERENCE A200 SERIES OVERALL FLOOR PLANS FOR COMMON AREA AND EXTERIOR ENCLOSURE DETAILS.
- REFERENCE A720 SERIES FOR TYPICAL RESIDENTIAL UNIT INTERIOR DETAILS.
- REFERENCE A840 SERIES FOR TYPICAL RESIDENTIAL UNIT FINISH SELECTIONS.
- WALL AND CEILING SHEATHING IN WET AREAS SHALL BE LISTED FOR WET LOCATIONS.



NO.	DATE	DESCRIPTION	BY
11.09.11		PROGRESS PRINT	
10.21.11		REVISED BUILDING PERMIT	
10.13.11		PROGRESS PRINT	
10.10.11		PROGRESS PRINT	
09.15.11		REVISED PERMIT	
08.18.11		BUILDING PERMIT	
08.05.11		REVISED FNDTN PERMIT	
07.20.11		FOUNDATION PERMIT	
06.29.11		PROGRESS PRINT	
06.17.11		REVISED EXCVIN & UTILITIES	
06.10.11		EXCAVATION & SITE UTILITIES	
04.12.11		REVISED BID PACKAGE #1	
03.17.11		BID PACKAGE #1	

OPTIMA SONORAN VILLAGE

8885 EAST CAMELBACK ROAD
SCOTTSDALE, ARIZONA
OWNER: OPTIMA SONORAN VILLAGE LLC

DAVID HOVEY AND ASSOCIATES ARCHITECT, INC.
7147 E RANCO VISTA DR, SUITE 104, SCOTTSDALE, AZ 85251
TEL: (480) 874-9900 FAX: (480) 874-9910

THE OWNER, ARCHITECT, AND ENGINEER EXPRESSLY DISCLAIM ANY RESPONSIBILITY ARISING FROM ANY UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES. ANY AUTHORIZATION MUST BE IN WRITING.

THIS DRAWING COPY MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. THE OWNER, ARCHITECT, AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE USE OF INCORRECT SCALE.

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION.

THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BILLINGS AND ESTIMATES FOR PROGRESS PRIMITS WITHIN TWENTY-FIVE (25) WORKING DAYS AFTER THE LAST DAY OF THE MONTH IN WHICH THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR. FOR RELEASE OF RETENTION WITHIN TWENTY-FIVE (25) WORKING DAYS AFTER THE LAST DAY OF THE MONTH IN WHICH THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR, AND FOR FINAL PAYMENT WITHIN TWENTY-FIVE (25) WORKING DAYS AFTER THE LAST DAY OF THE MONTH IN WHICH THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.

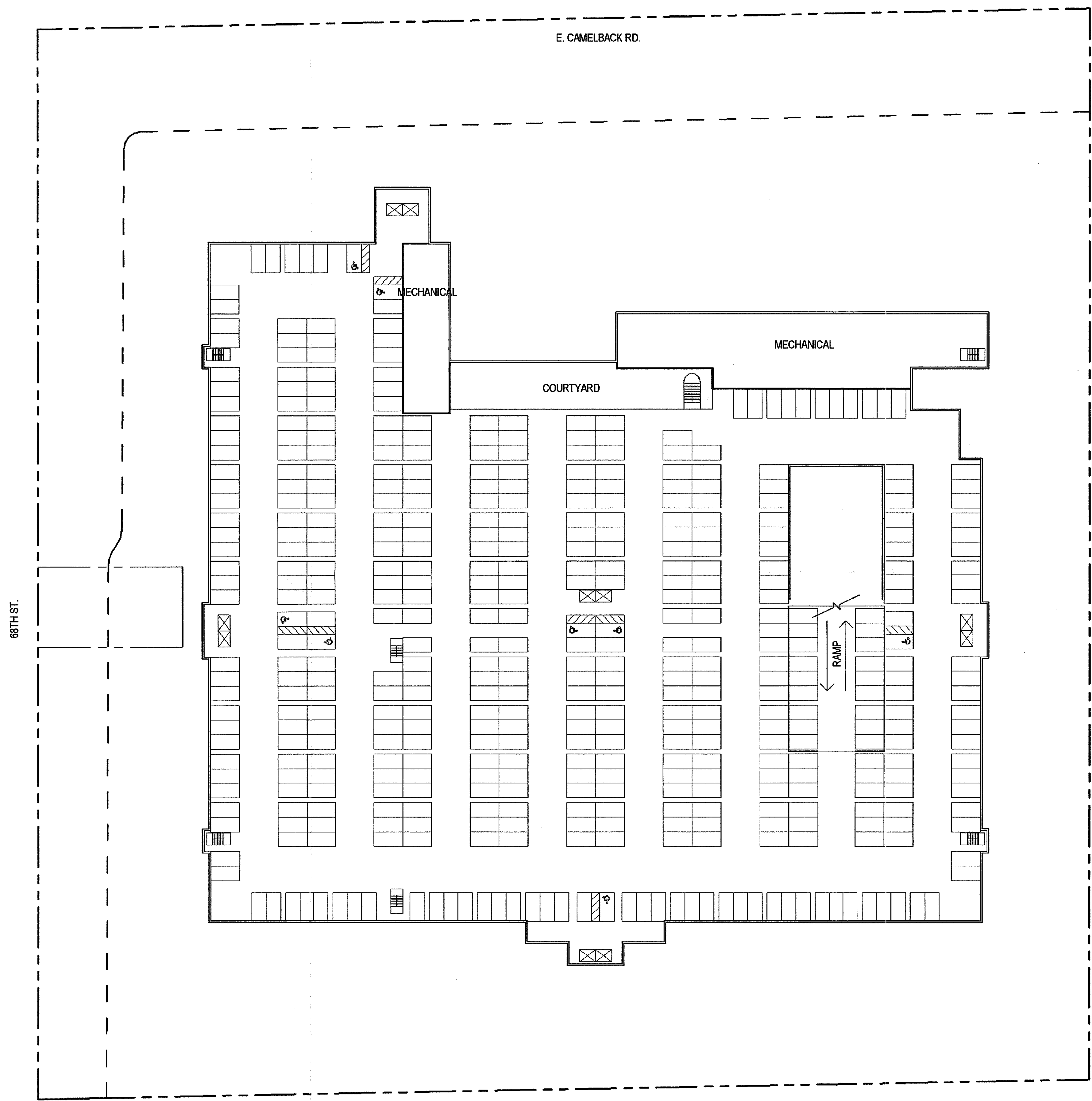
NOTICE OF ALTERNATE ARRANGEMENTS FOR RELEASE OF RETENTION AND FINAL PAYMENT

THIS CONTRACT ALLOWS THE OWNER TO MAKE ALTERNATE ARRANGEMENTS FOR THE RELEASE OF RETENTION AND MAKING OF FINAL PAYMENT. SUCH ALTERNATE ARRANGEMENTS ARE AS FOLLOWS: RETAINAGE TO BE TEN PERCENT (10%) UNTIL SUBSTANTIAL COMPLETION. AFTER SUBSTANTIAL COMPLETION OWNER SHALL, AFTER APPROVAL AND CERTIFICATION BY OWNER OF A BILLING AND ESTIMATE RECEIVED FROM THE CONTRACTOR, RELEASE RETENTION TO FIVE PERCENT (5%) LESS ANY WITHHOLDINGS THEREFROM. PAYMENT OF THE PAYMENT RETENTION OF RETENTION AS SET FORTH IN THE PRECEDING SENTENCE SHALL BE MADE SEVEN (7) DAYS AFTER THE BILLING AND ESTIMATE IS CERTIFIED AND APPROVED FOR FINAL PAYMENT AND FULL RELEASE OF RETENTION SHALL BE MADE SEVEN (7) DAYS FROM THE END OF THE WARRANTY PERIOD AND AFTER APPROVAL AND CERTIFICATION BY THE OWNER OF A BILLING AND ESTIMATE RECEIVED FROM THE CONTRACTOR SUBJECT TO ANY PERMITTED WITHHOLDINGS.

UNIT TYPE 01
ENLARGED PLANS
600 SF - STUDIO

SCALE: 1/4" = 1'-0"

A301



68TH ST.

E. CAMELBACK RD.

MECHANICAL

MECHANICAL

COURTYARD

RAMP

Lower Level 2 Floor Plan

0' 40' 80' 160'

OPTIMA SONORAN VILLAGE