



## STAFF APPROVAL LETTER

5-MS-2013

### Sonora Village Master Sign Program Amendment

## STEP 1

### STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

**Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.**

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

### PROJECT INFORMATION

LOCATION: 15449 N Hayden Rd  
PARCEL: 215-51-019  
Q.S.: 35-48  
CODE VIOLATION #:

APPLICANT: Rick Tettelle  
COMPANY: Skyline Signs  
ADDRESS: 2241 S 15Th Pl Phoenix, AZ 85034  
PHONE: 602-323-0306

**Request:** Request to amend the Sonora Village Master Sign Program (151-MS-1994) to modify the design standards for all tenant wall signs, at an existing mixed-use commercial center in the Highway Commercial (C-3) Zoning District.

### STIPULATIONS

1. All signs shall adhere to the Sonora Village Master Sign Program Amendment (5-MS-2013), submitted by Skyline Signs and approved by Current Planning Staff on March 19, 2013.
2. Any modifications to the Sonora Village Master Sign Program shall require Development Review Board or staff approval.

**Related Cases:** 5-MS-2013, 151-MS-1994, 151-DR-1994

SIGNATURE:

Andrew Chi  
Associate Planner

DATE APPROVED: March 19, 2013

## STEP 2

### FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Sign Permit Application, for plan review:

SIGNS: ☒ <http://www.scottsdaleaz.gov/codes/signs>

**POLICY OF THE CITY OF SCOTTSDALE  
ON APPEALS OF DEDICATIONS, EXACTIONS, OR ZONING REGULATIONS**

**RIGHTS OF PROPERTY OWNER**

In addition to other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) where an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decisions.

**APPEAL PROCEDURE**

The appeal must be in writing and specify the City action appealed and the date final action was taken, and it must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken. Address the appeal as follows:

**Hearing Officer, C/O City Clerk**

3939 Drinkwater Blvd.  
Scottsdale, AZ 85251

- ❖ No fee will be charged for filing
- ❖ The City Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply.
- ❖ Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- ❖ The city will submit a takings impact report to the hearing officer.
- ❖ In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- ❖ In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- ❖ The hearing officer must render his decision within five working days after the appeal is heard.
- ❖ The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- ❖ If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial de novo with the Superior Court within 30 days of the hearing officer's decision.

**If you have questions about this appeal process, you may contact:**

City Manager's Office  
3939 Drinkwater Blvd.  
Scottsdale, AZ 85251  
(480) 312-2422

City Attorney's Office  
3939 Drinkwater Blvd.  
Scottsdale, AZ 85251  
(480) 312-2405

Please be aware that City staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

SIGNATURE: \_\_\_\_\_

**NARRATIVE: AMENDMENT TO MSP**

February 2013

Mr. Andrew Chi  
City of Scottsdale  
Planning, Neighborhood & Transportation Division  
7447 E. Indian School Road  
Suite 105  
Scottsdale, AZ 85251

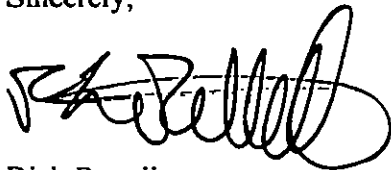
MR. ANDREW CHI:

Please accept this narrative in regards to the matter of amendment to the Master Sign Program at the Sonora Village retail center. The center has new ownership, and they are dedicated to maximizing occupancy, and creating some fresh energy within the center. This is a prime location, and the new ownership wants to attract prime tenants and creative new tenants that will be a good fit for the demographics of the area.

Allowable signage is often a consideration of prospective tenants, especially those interested in creating a brand for their products/services. To this end, the current MSP has been for too restrictive in color and size allowance, to be an effective benefit for certain prospective tenants. For instance, a prospect that considers green signage to be a critical dimension of their branding.

We appreciate your time and consideration of our proposed amendment to this MSP. It is in keeping with good sign practices, while allowing the owner, landlord and brokers some viable signage options for their prospects. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Rettelle", written over a horizontal line.

Rick Rettelle  
Skyline Signs

**WILSON PROPERTY SERVICES, INC.**



February 21, 2013

via Facsimile 480-312-7088

Mr. Andrew Chi  
Planning & Development Services  
7447 E. Indian School Rd., Ste. 105  
Scottsdale, AZ 85251

RE: Authorization for Amendment to Master Sign Program  
Sonora Village  
15448 - 15704 North Pima Road

Dear Andrew,

Wilson Property Services, Inc. is the Property Manager for subject property. The Owner, Sonora Village Investors, LLC, has requested us as their authorized agent, to submit a Proposal to amend their Master Sign Program. Therefore, this letter shall serve to authorize Skyline Signs, Inc., our signage contractor, to prepare and submit the necessary documents in order to begin the review process with the City of Scottsdale.

Please don't hesitate to contact me or my Tenant Services Coordinator, Alyssa Lerner, should you have any questions. We may be reached at (480) 874-2600.

Sincerely,

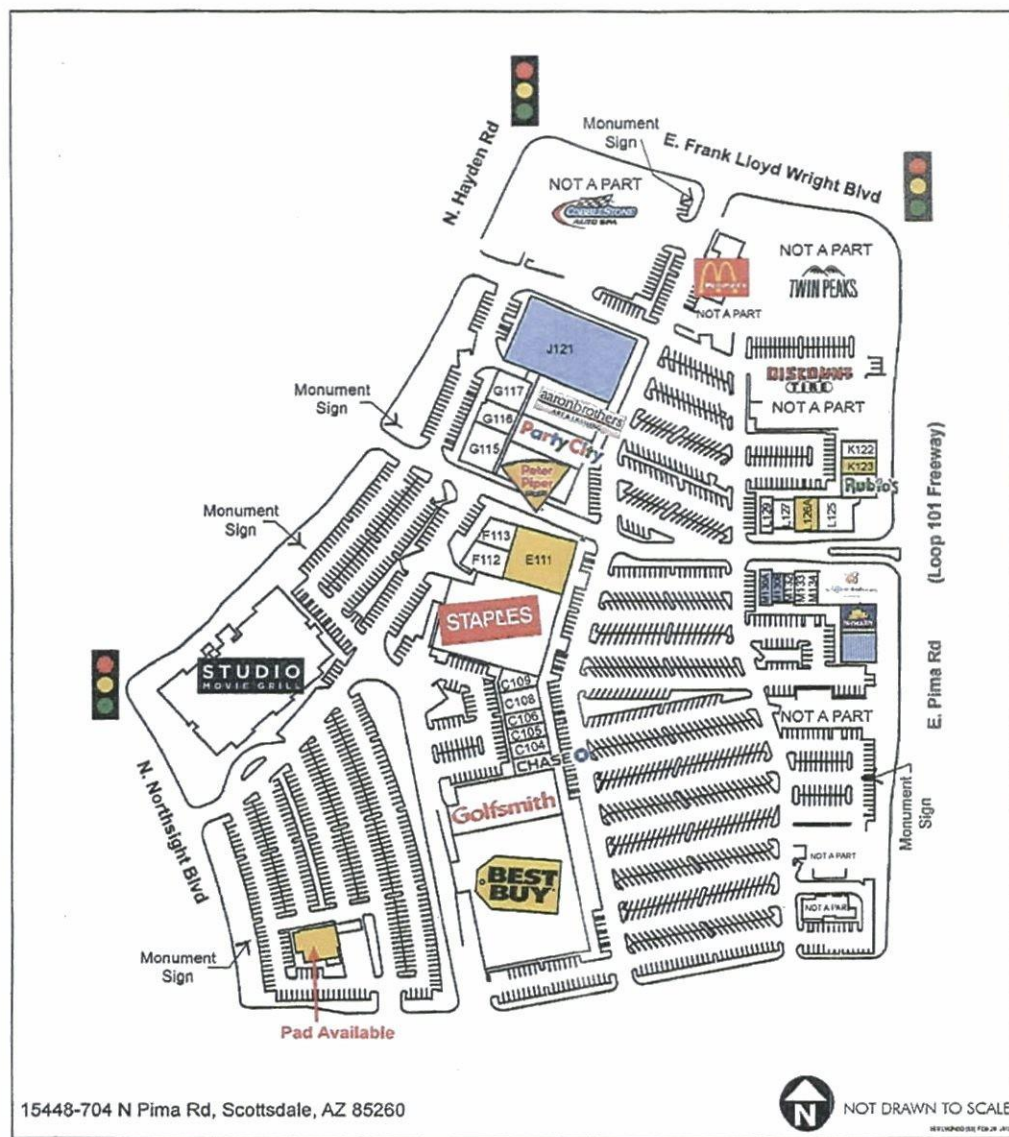
A handwritten signature in black ink, appearing to read 'Michael D. Wilson', is written over a horizontal line.

Michael D. Wilson  
President

# Mini-Majors, Shops & Pad Available

Sonora Village | SWC Loop 101 & Frank Lloyd Wright Blvd | Scottsdale, AZ

Suite	Tenant	GLA SF
A101	Studio Movie Grill	40,867
B102	Best Buy	62,178
C103	Chase Bank	2,600
C104	Great Clips	975
C105	Thai Restaurant	1,300
C106	Medi Spa / Weight Loss	1,950
C108	Pizza Restaurant	3,058
C109	Veterinarian Clinic	1,819
D110	Staples Office Superstore	24,000
E111	Available	14,000
F112	Thai Resturant	3,729
F113	Bagel Shop	2,172
G115	Mattress	4,620
G116	Jennifer Andre Salon	1,380
G117	Microbrewery / Restaurant	3,830
H118	Peter Piper Pizza	10,000
I119	Aaron Brothers	4,650
I120	Party City	11,000
J121	Available (at lease)	23,593
K122	Spring Mobile	2,332
K123	Available	1,200
K124	Rubios Baja Grill	2,400
L125	Irish Restaurant	4,937
L126A	Available	1,198
L127	Saffron Market	1,897
L129	Healthii	1,362
M130A	Available (at lease)	1,000
M130B	Available (at lease)	1,000
M132	Hair Cutting - Children's	1,000
M133	Nail Salon	1,200
M134	Dental	1,200
M136	Wildflower Bread Company	3,600
N137	Hi-Health Supermarket	3,840
	Available (at lease)	2,160





5-M5-2013

APPROVED

Case: 151-DR-94  
Sonora Village

03/19/13 *[Signature]*  
DATE INITIALS

**SONORA VILLAGE SHOPPING CENTER  
SIGN CRITERIA**

*This sign criteria has been established for the purpose of assuring an outstanding shopping center for the mutual benefit of all tenants. Conformance shall be strictly enforced and any non-conforming or non-approved signs shall be brought into immediate conformance at the expense of the tenant.*

*Landlord shall administer and interpret the criteria:*

**A. GENERAL REQUIREMENTS**

1. *Tenant shall submit or cause to be submitted to Landlord for approval prior to fabrication, two (2) copies of detailed drawings covering the locations, size, layout, design, and color of the proposed sign(s), including lettering and/or graphics.*
2. *All permits for signs and their installation shall be obtained by Tenant or its representative from the City of Scottsdale.*
3. *Tenant shall be responsible for the fulfillment of all requirements and specifications.*
4. *Signs installed without written approval of the Landlord will be subject to removal at the tenant's expense. Damages may be assessed to cover the cost of repairs to sign fascia or removal of signage resulting from non-approved installation.*

**B. GENERAL SPECIFICATIONS**

1. *Painted lettering shall not be permitted.*
2. *Flashing, moving or audible signs shall not be permitted.*
3. *All electrical signs and their installation must comply with all local building and electrical codes.*
4. *No exposed conduit, neon tubing or raceways shall be permitted.*
5. *All conductors and other equipment shall be concealed in attic area in accordance to UL 48 specifications.*

6. *No freestanding monument sign will be permitted with the exception of directional signs, menu boards or freestanding signs granted by special use permit by the City of Scottsdale.*

C. GENERAL CONSTRUCTION REQUIREMENTS

1. *All exterior signs, bolts, fastenings and clips shall be of hot dipped galvanized iron or stainless steel. No black iron materials of any type shall be permitted.*
2. *No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance, which shall be applied in an inconspicuous location.*
3. *All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.*
4. *Tenant's sign contractor shall repair any damage to the property caused by his work.*
5. *Tenant shall be fully responsible for the operations of Tenant's sign contractor.*

D. DESIGN REQUIREMENTS: Wall Signage – In Line Shop Tenants

1. *All signage shall conform to specifications established in this "Master Sign Program" approved by the City of Scottsdale and the Landlord. Specifications include size, placement, colors and materials to be utilized in the construction / installation of tenant signage.*
2. *Maximum size of all wall signs shall be determined by the following formula:*

*The maximum aggregate sign area for each shop building shall be calculated based upon one and one half (1 1/2) times the length of the longest elevation.*

*Each individual tenant may place signage on wall surfaces designated for tenant's use by the Landlord. The area for each tenant's sign shall not exceed one (1) square foot of sign area for each lineal foot of wall surface upon which the sign is displayed. In no instance shall the aggregate sign area permitted for the shop building be exceeded.*

3. Letter Heights

Maximum letter heights shall be 24" for one (1) line of copy. Maximum overall height of ~~24"~~ 36" is available for two (2) lines of copy with a 4" minimum space between lines.

4. Maximum length of sign shall in no instance exceed 80% of tenant's leased frontage upon which the sign is displayed. Landlord shall designate the exact placement of tenant's signage.

5. Logos shall be permitted subject to City of Scottsdale and Landlord approval.

6. Fabrication Specifications

a. All letters and logos shall be fabricated from a minimum of .050 aluminum material. Letters shall be 5" deep. ~~All letters and logos shall be painted MAP 41-313 Duranodic Dark Bronze.~~ Color of returns is open, subject to landlord approval.

b. Letters and logos shall be internally illuminated by neon with 30 ma. remote transformers. Internal illumination with LED's is also permitted.

~~c. All tenant's signage consisting of individual letters, except national franchise tenants noted herein, shall be limited to one (1) of the following acrylic colors:~~

~~Acrylite 015-2 White~~

~~Acrylite 607-1 Blue~~

~~Acrylite 211-1 Red~~

~~Acrylite 400-1 Yellow~~

c. Colors for tenant signage are open to tenant or corporate color standards, subject to landlord approval. Logos may be multi-colored in accordance to tenant's design specification subject to Landlord and City of Scottsdale approval.

d. All letters and logos shall be fabricated from 1/8" material. ~~Trimcap shall be Wagner 3/4" Duranodic 313 Bronze.~~ Trimcap color is open to tenant or corporate color standards, subject to landlord approval.



~~e. National franchise tenants with a leased occupancy of 2000 square feet or greater shall be permitted to use their corporate color specifications for exterior signage.~~

f. All tenants shall be permitted to utilize their established letter style.

g. All signage shall be constructed in accordance to UL 48 specifications and shall be labeled accordingly.

h. Lettering shall be permitted on the glass, but will be restricted to the business name and hours of operation only. The maximum size of lettering shall be 2".

i. Each tenant who has a non-customer backdoor for receiving merchandise may have their name applied to the door with 2" high vinyl lettering.

E. DESIGN REQUIREMENTS: Wall Signage – United Artists

1. All signage shall conform to specifications established in this "Master Sign Program" approved by the City of Scottsdale and the Landlord. Specifications include size, placement, colors and materials to be utilized in the construction / installation of tenant signage.

2. Maximum size of all wall signs shall be determined by the following formula:

Theater signage shall not exceed 120 square feet aggregate sign area.

3. Letter Heights:

Letter height shall be determined by the theater's corporate logo/letterstyle displayed within the allowable aggregate sign area.

4. Fabrication Specifications

a. All letters and logos shall be fabricated from .050 aluminum material. Letters shall be 5" deep. All letters and logos shall be painted black polyurethane satin.

- b. Letters and logos shall be internally illuminated by neon with 30 ma. remote transformers.
- c. All signage consisting of individual letters shall have white Lexan faces with perforated gold aluminum overlay.
- d. All letters and logos shall be fabricated from 1/8" material. Trimcap shall be 3/4" Black.
- e. Theater shall be permitted to utilize their established letter style and logo.
- f. All signage shall be constructed in accordance to UL 48 specifications and shall be labeled accordingly.

**F. DESIGN REQUIREMENTS: Wall Signage – Major Tenant (Fry's)**

- 1. Major Tenant "Fry's" shall cause to be submitted for separate Landlord and City of Scottsdale approval, its individual exterior sign program for this project.

**G. DESIGN REQUIREMENTS: Wall Signage – Major Tenant(s) Future**

- 1. Future major tenant(s) occupying buildings "C", "D", and "E" shall cause to be submitted for separate Landlord and City of Scottsdale approval, its individual exterior sign program for this project.

**H. DESIGN REQUIREMENTS: Wall Signage – Pad Tenant(s) Future**

- 1. Future pad tenant(s) shall cause to be submitted for separate Landlord and City of Scottsdale approval, its individual exterior sign program for this project.

**I. DESIGN REQUIREMENTS: Freestanding Pylon Sign(s)**

- 1. Sonora Village shall be identified on freestanding, internally illuminated pylon signs as submitted. All copy shall be routed from textured aluminum background and backed with acrylic. (Color To Be Determined). Display shall integrate final building colors and design features.
- 2. "United Artists" copy shall be displayed, subject to ordinance revision and/or variance approval in lieu of an individual permitted monument display.

5-MS-2013



# Pre-Application Request

## Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and City Staff to discuss a proposed Development Application, and the information and process that is necessary for City Staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with City Staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

## Submittal:

The completed Pre-Application request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road. All checks shall be payable to "City of Scottsdale."

## Scheduling

After the Pre-Application packet has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

Project Name: <u>Sonora Village Master Sign Program Amendment</u>	
Property's Address: <u>SWC Frank Lloyd Wright Blvd #101</u>	APN: <u>215-51-019</u>
Property's Zoning District Designation: <u>C3</u>	
Property Details:	
<input type="checkbox"/> Single-Family Residential	<input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, provide a copy with this submittal	
* Owner: <u>Sonora Village Investors, LLC</u>	* Applicant: <u>Rick Rettelle</u>
Company: <u>Sonora Village Investors, LLC</u>	Company: <u>Skyline Signs</u>
8120 E Cactus Rd, Suite 300	
Address: <u>Scottsdale, AZ 85260</u>	Address: <u>2241 S. 15th Pl. B5034</u>
Phone: <u>480-874-2600</u> Fax: <u>480-874-2601</u>	Phone: <u>602 323 0306</u> Fax: <u>323 0299</u>
E-mail: <u>allyssa.lerner@wilsonps.net</u>	E-mail: <u>rick@skylinesigns.net</u>
<u>allyssa lerner</u> As Authorized Agent for owner	<u>R2Rettelle</u> Applicant Signature
Owner Signature	
Official Use Only	Submittal Date: <u>2-25-13</u> Application No.: <u>124</u> PA: <u>2013</u>
Project Coordinator: <u>Andrew Chi 480-312-7828</u>	

\* Met w/ Andrew at counter on 02/07/13 and gave Rick pre-app.





# Pre-Application Request

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Property's Address: <u>SWC Frank Lloyd Wright Blvd &amp; Loop 201</u> APN: <u>215-51-019</u>	
Property's Zoning District Designation: <u>C-3</u>	
Property Details:	
<input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other	
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, provide a copy with this submittal	
* Owner:	* Applicant: <u>Rick Rettelle</u>
Company:	Company: <u>Skyline Signs</u>
Address:	Address: <u>2241 S. 15th Pl. #100</u> <u>85034</u>
Phone:	Phone: <u>602 323 0306</u>
Fax:	Fax: <u>323 0299</u>
E-mail:	E-mail: <u>rick@skyline-signs.net</u>
Owner Signature	Applicant Signature
Official Use Only Submittal Date: _____ Application No.: _____ -PA- _____	
Project Coordinator: <u>Andrew Chi 480-312-7828</u>	

## Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

\* Met w/ Andrew at counter on 02/07/15 and gave Rick pre-app.





# Pre-Application Request

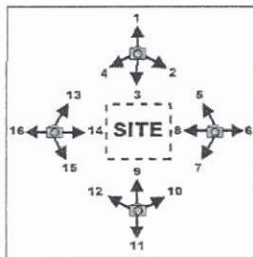
## Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input checked="" type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

## Submittal Requirements: (fees subject to change every July)

- ✓ ☒ Pre-Application Fee: \$ 87.00 + \$ 100.00 (at approval) *(At Submittal)*
- ✓ ☒ Records Packet Fee: \$ N/A  
Processed by staff. The applicant need not visit the Records desk to obtain the packet.  
(Only required for ZN, II, UP, DR, PP, AB applications, or otherwise required by Staff)
- ✓ ☒ Application Narrative:  
The narrative shall describe the propose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.
- ✓ ☒ Property Owner Authorization Letter  
(Required for the SA and MS Pre-Applications)
- ✓ ☒ Site / Context Photographs *CD*  
Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.
  - Photos shall be taken looking in towards the project site and adjacent to the site.
  - Photos should show adjacent improvements and existing on-site conditions.
  - Each photograph shall include a number and direction.
  - Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines.
  - Photos shall be provided 8 1/2 x 11 paper, max. two per page.



- The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.
- Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.

## Additional Submittal Information

- ✓ ☒ Site Plan (two copies) → *Show Suite layouts*
- ☐ Subdivision plan (two copies)
- ☐ Floor Plans (two copies)
- ☐ Elevations (two copies)
- ☐ Landscape plans (two copies)
- ☐ H.O.A. Approval letter
- ✓ ☒ Sign Criteria Regulations & Language (two copies) → *"Legislative Draft"*
- ☐ Material Samples – color chips, awning fabric, etc.
- ☐ Cross Sections – for all cuts and fills
- ☐ Conceptual Grading & Drainage Plan (three copies)
- ☐ Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- ☐ Boundary Survey (required for minor land divisions)
- ☐ Areal of property that includes property lines and highlighted area abandonment request.
- ☐ One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

## Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088





# City of Scottsdale Cash Transmittal

# 92406

**Received From :**

SKYLINE SIGNS  
2241 S 15TH PL  
PHOENIX, AZ 85034  
602-323-0306

**Bill To :**

SKYLINE SIGNS  
2241 S 15TH PL  
PHOENIX, AZ 85034  
602-323-0306

**Reference #** 124-PA-2013

**Issued Date** 2/25/2013

**Address** 15449 N HAYDEN RD

**Paid Date**

**Subdivision** NORTHSIGHT II

**Payment Type** CHECK

**Marketing Name**

**Lot Number**

**Cost Center**

**MCR** 967-27

**County** No

**Metes/Bounds** No

**APN** 215-51-019

**Gross Lot Area** 0

**Water Zone**

**Owner Information**

**NAOS Lot Area** 0

**Water Type**

Sonora Village Investors, LLC  
8120 E CACTUS RD STE 200  
SCOTTSDALE, AZ 85260  
480-874-2600

**Net Lot Area**

**Sewer Type**

**Number of Units** 1

**Meter Size**

**Density**

**QS** 35-48

Code	Description	Additional	Qty	Amount	Account Number
3180	PRE-APPLICATION / SA	Amendment to MS program	1	\$87.00	100-21300-44221
3199	RECORDS PACKET FOR PREAPPS		1	\$21.00	100-21300-44221

  
SIGNED BY RICK RETZLAFF ON 2/25/2013

Total Amount **\$108.00**

(When a credit card is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

**TO HAVE WATER METER SET - CALL 480-312-5650 AND REFER TO TRANSMITTAL # 92406**