



STAFF APPROVAL LETTER

7-MS-2013

BBCH, LLC Master Sign Program

STEP 1

STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

PROJECT INFORMATION

LOCATION: 4237 N Craftsman Ct
PARCEL: 173-50-032A
Q.S.: 17-44
ZONING: D/RS-1 DO

APPLICANT: Rocky Marsh
COMPANY: Christy Signs
ADDRESS: 1825 S Black Canyon Hwy Phoenix, AZ 850096516
PHONE: 602-708-4486

Request: To establish a new master sign program for an existing commercial building in the Downtown; allowing non-contiguous and contiguous wall signs, and to establish design standards for all building wall signs.

STIPULATIONS

1. All signs shall adhere to the BBCH, LLC Master Sign Program, 7-MS-2013, submitted by Christy Signs and approved by Current Planning staff on April 25, 2013.
2. Logos are allowed to utilize corporate colors with written property owner approval.
3. Non-contiguous and contiguous tenant wall signs shall be allowed on the designated sign bands as specified on Exhibit B of the BBCH, LLC Master Sign Program.
4. The maximum sign area for a tenant wall sign (contiguous or non-contiguous) shall be one (1) square feet for every one (1) lineal foot of building wall of the tenant's associated exterior suite frontage, not to exceed 40 square feet per sign.
5. The property owner shall select which tenant will be allowed a wall sign on the designated sign bands.
6. Any modifications to the BBCH, LLC Master Sign Program shall require Development Review Board or staff approval.

Related Cases: 7-MS-2013

SIGNATURE: Andrew Chi
Andrew Chi
Associate Planner

DATE APPROVED: April 25, 2013

STEP 2

FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

No additional reviews are required.

Sign permits require separate submittals, reviews and permits. Additional information can be found at:

www.scottsdaleaz.gov/codes/signs.

**POLICY OF THE CITY OF SCOTTSDALE
ON APPEALS OF DEDICATIONS, EXACTIONS, OR ZONING REGULATIONS**

RIGHTS OF PROPERTY OWNER

In addition to other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) where an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decisions.

APPEAL PROCEDURE

The appeal must be in writing and specify the City action appealed and the date final action was taken, and it must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken. Address the appeal as follows:

Hearing Officer, C/O City Clerk

3939 Drinkwater Blvd.
Scottsdale, AZ 85251

- ❖ No fee will be charged for filing
- ❖ The City Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply.
- ❖ Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- ❖ The city will submit a takings impact report to the hearing officer.
- ❖ In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- ❖ In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does *not* create a taking of property in violation of Arizona and federal court cases.
- ❖ The hearing officer must render his decision within five working days after the appeal is heard.
- ❖ The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- ❖ If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial de novo with the Superior Court within 30 days of the hearing officer's decision.

If you have questions about this appeal process, you may contact:

City Manager's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2422

City Attorney's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2405

Please be aware that City staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

SIGNATURE: _____



BBCH, LLC

MASTER SIGN PLAN

7-MS-2013
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
04/25/13 Chi
DATE INITIALS

April 11, 2013

BBCH, LLC
4237 N. Craftsman Court,
Scottsdale, Arizona 85251

Re: MSP Application

Narrative:

The purpose of establishing this MSP is to establish and maintain a continuity of quality with the existing and future tenant. BBCH, LLC does not have a MSP, or any signage at the property at this time, and is creating a bench mark for future tenants. This MSP seeks to use modern manufacturing methods and materials, also provide tenants the opportunity to have needed exposure to Craftsman Court Rd.

April 12, 2013

City of Scottsdale

Re: Master Sign Plan/ Signage
4237 N. Craftsman Court

To Whom It May Concern:

I give authorization to Christy's Signs to submit a master sign plan and plans for signage at my building located at 4237 N. Craftsman Court, Scottsdale, AZ 85251. Feel free to contact me at (602)799-7711 with questions or comments. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "David Free", with a stylized flourish at the end.

David Free
Owner

BBCH, LLC
4237 N. Craftsman Court, Scottsdale, AZ

Sign Criteria Sign Specifications and Requirements

April 1, 2013

The purpose of the owners and the management is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Center. The total concept should give the impression of quality, professionalism and instill a good business image.

The following specifications are to be used for the design of your sign; however in all cases final written approval by property owner is required prior to manufacturing of all sign.

PROCEDURE: Sign drawing proposal will be submitted in two (2) copies to BBCH, LLC Management for written approval, prior to application for City sign permit. One copy will be returned to the Sign Company and One copy will be retained in lease file.

DETAIL DRAWINGS

Two copies of a complete and detailed drawing by Sign Company shall be submitted to the BBCH, LLC for final review and approval.

1. Elevation of building fascia and the sign be drawn using a minimum 1/4" to 1" scale.
2. Drawings shall indicate the following specifications:
 - a. Type, thickness of metal or manufacturer of letter.
 - b. Height and depth of letter.
 - c. Type of mounting.
 - d. Color of letter

NOTICE

WRITTEN APPROVAL AND CONFORMATION WITH THIS SPECIFICATION DOES NOT IMPLY CONFORMANCE WITH LOCAL CITY AND OTHER APPLICABLE CITY CODES. YOUR SIGN MUST BE PERMITTED AND MUST COMPLY WITH THE CITY OF SCOTTSDALE SIGN CODES AND ELECTRICAL CODES AND A RECEIPT OF A SIGN PERMIT MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ALL SIGNS.

BBCH, LLC
4237 N. Craftsman Court, Scottsdale, AZ

Building Wall Signs

Sign placement must conform to predesignated sign area as shown in the attached elevation drawings. All signage must be centered within the sign band.

Non-illuminated Reverse Pan Letter Construction Requirements:

1. Stainless Steel construction with a minimum 18 - 20 gauge faces and 24 gauge returns.
2. 1" to 3" deep returns
3. All letters shall be installed flush mount.
4. All letters are to be horizontal brushed. All Logos will be reviewed on an individual basis and be approved by Property Owner.

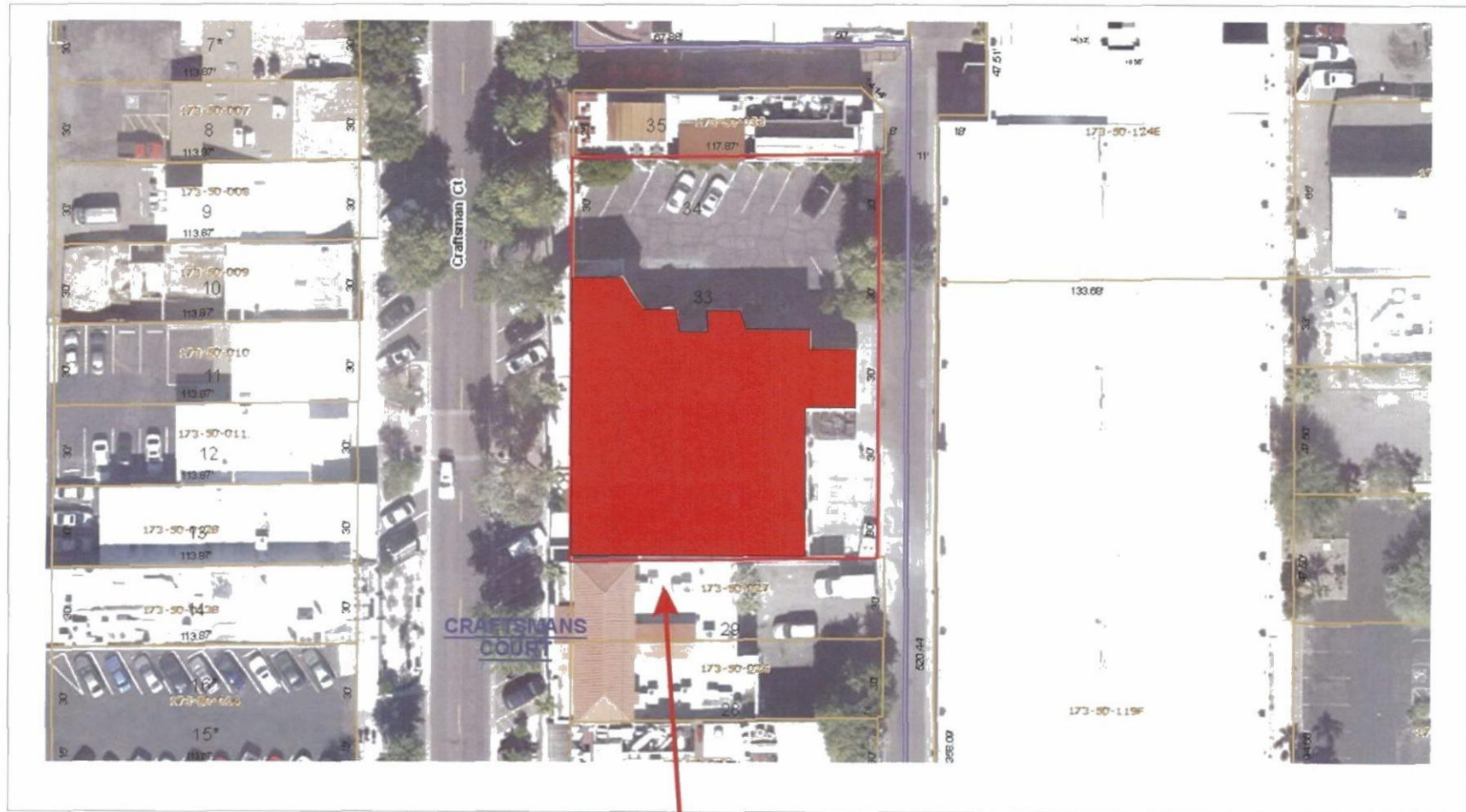
Prohibited Signs

1. No illuminated signs.
2. No sign shall be painted on the surface of any building or structure,
3. No sign shall be placed or located on the roof or above the roofline on any building.
4. No animated, flashing, blinking, place card, poster, playbill, posting, painting, flag, fixed balloon, rotating light, A-frame, audible, offensive, rude, moving or rotating signs are permitted. Exceptions may be made for Grand Openings or special events ect, with written approval from Property Owner and permitted by City of Scottsdale.
5. Signs may not be installed within the public right-of-way.
6. No sign shall be placed on or attached to any vehicle except painted directly on the surface of of the vehicle and meeting all applicable government requirements. The primary use of such vehicles shall be in connection with the operations of a business on a parcel and not advertising or identifying the business premises.
7. No sign shall be permitted which is structually unsafe of constitutes a hazard to safety or heath.
8. Signs that are installed without written approval from the Property Owner may be subject to the removal by the Property Owner at the tenants expense.



BBCH, LLC
4237 N. CRAFTSMAN COURT
SCOTTSDALE, AZ 85251

BUILDING



BBCH, LLC
4237 N. CRAFTSMAN COURT
SCOTTSDALE, AZ 85251

BUILDING

1st Floor



2nd Floor





Pre-Application Request

Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and City Staff to discuss a proposed Development Application, and the information and process that is necessary for City Staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with City Staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

Submittal:

The completed Pre-Application request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road. All checks shall be payable to "City of Scottsdale."

Scheduling

After the Pre-Application packet has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

Project Name: <u>BBCH, LLC</u>	
Property's Address: <u>4237 N CRAFTSMAN COURT</u>	APN: <u>173-60-032A</u>
Property's Zoning District Designation: <u>D/RS-1 DO</u>	
Property Details:	
<input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other	
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, provide a copy with this submittal	
Owner: <u>David Free</u>	Applicant: <u>ERIC MARSH JR.</u>
Company: <u>BBCH, LLC</u>	Company: <u>CHRISTY SIGNS</u>
Address: <u>4237 N. Craftsman Ct</u>	Address: <u>1825 SO. BLACK CANYON blvd</u>
Phone: <u>602-799-7711</u> Fax:	Phone: <u>602 708 4486</u> Fax: <u>602 271 0433</u>
E-mail: <u>dfree93@hotmail.com</u>	E-mail: <u>SERVICE@CHRISTYSIGNS.COM</u>
Owner Signature: <u>[Signature]</u>	Applicant Signature: <u>[Signature]</u>
Official Use Only	Submittal Date: <u>4.12.13</u> Application No.: <u>237</u> -PA- <u>2013</u>
Project Coordinator: <u>Andrew Chu</u> <u>*No PA mtg. required*</u> <u>See Chris Question</u>	
Planning, Neighborhood & Transportation Division 04/12/13	
7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088	
Page 1 of 2 Revision Date 12/17/2012	

OK to submit



Pre-Application Request

Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input checked="" type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Submittal Requirements: (fees subject to change every July)

☒ Pre-Application Fee: \$ 87.00 *Separate new MSP fee of \$230 will be charged at approval

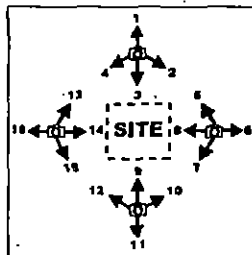
☒ Records Packet Fee: \$ 21.00
Processed by staff. The applicant need not visit the Records desk to obtain the packet.
(Only required for ZN, II, UP, DR, PP, AB applications, or otherwise required by Staff)

☒ Application Narrative:
The narrative shall describe the propose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.

☒ Property Owner Authorization Letter
(Required for the SA and MS Pre-Applications)

☒ Site / Context Photographs

- Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.
- Photos shall be taken looking in towards the project site and adjacent to the site.
- Photos should show adjacent improvements and existing on-site conditions.
- Each photograph shall include a number and direction.
- Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines.
- Photos shall be provided 8 1/2 x 11 paper, max. two per page.



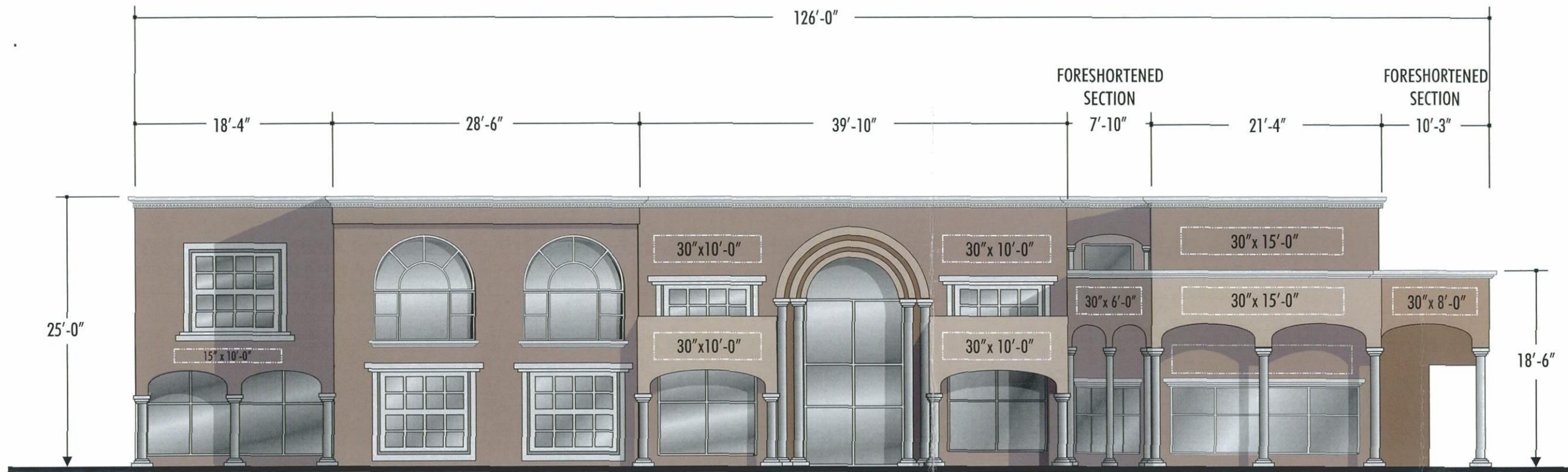
- The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.
- Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.

Additional Submittal Information

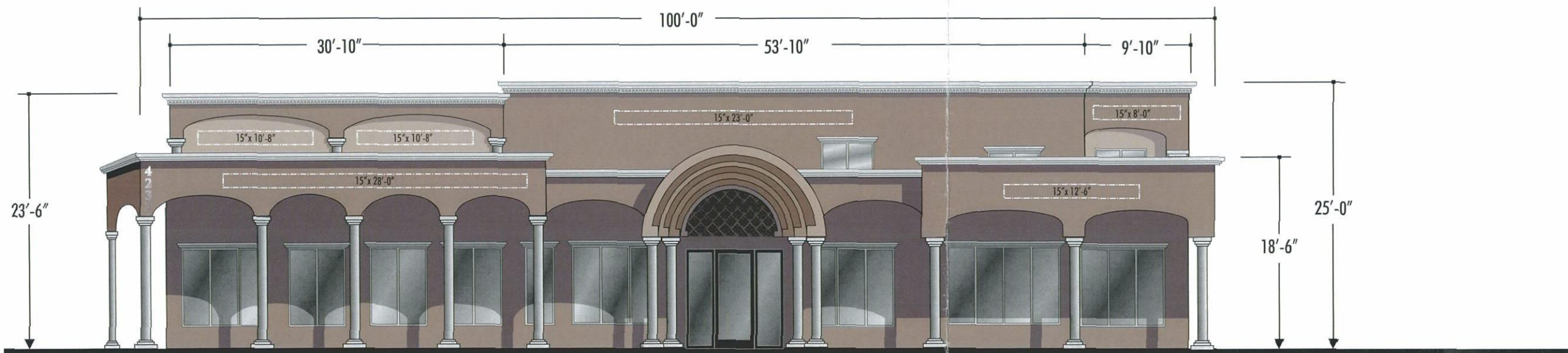
- ☒ Site Plan (two copies)
- ☐ Subdivision plan (two copies)
- ☒ Floor Plans (two copies) → Provide later via e-mail
- ☒ Elevations (two copies)
- ☐ Landscape plans (two copies)
- ☒ H.O.A. Approval letter
- ☒ Sign Criteria Regulations & Language (two copies)
- ☐ Material Samples – color chips, awning fabric, etc.
- ☐ Cross Sections – for all cuts and fills
- ☐ Conceptual Grading & Drainage Plan (three copies)
- ☐ Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- ☐ Boundary Survey (required for minor land divisions)
- ☐ Areal of property that includes property lines and highlighted area abandonment request.
- ☐ One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088



NORTH ELEVATION - SCALED @ 3/32" = 1'-0"



WEST ELEVATION - SCALED @ 3/32" = 1'-0"

STIPULATION SET
RETAIN FOR RECORDS

APPROVED

04/25/13
DATE

Oh
INITIALS

7-M5-2013



1825 S. Black Canyon Highway
Phoenix, Arizona 85009
602-242-4488
602-271-0433 fax

Project

DAVID FREE
4237 N. CRAFTMAN COURT
SCOTTSDALE, AZ 85251

Prepared For

Christy Signs Associate
ROCKY MARSH

ELEVATION DRAWINGS

PROJECT: DAVID FREE 12663
DATE: 03/5/13
SCALE: NOTED
DRAWN BY: JTK
QUOTE # 12263

Revisions

No.	Description	Date
01	Set Copy Spacing	03/21/13
02	Change Sizes	03/25/13
03	Change Address	03/26/13
04	Change Sizes	03/26/13
05	Add Elevation Drawings	04/08/13
06		

Approvals

Landlord Signature

Client Signature

Sales Signature

COMPUTER PRINTED COLOR GRAPHICS VARY FROM ACTUAL
COLOR SELECTIONS. COLOR GRAPHICS AND/OR PHOTO
ILLUSTRATIONS ARE DESIGNER CONCEPTS ONLY AND MAY
NOT REPRESENT ACTUAL INSTALLATION.

Exhibit B

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CHRISTY SIGNS. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN PERMISSION BY CHRISTY SIGNS.



1825 S. Black Canyon Highway
Phoenix, Arizona 85009
602-242-4488
602-271-0433 fax

Project
DAVID FREE
4237 N. CRAFTMAN COURT
SCOTTSDALE, AZ 85251

Prepared For

Christy Signs Associate
ROCKY MARSH

NON-ILLUMINATED
REVERSE PAN
CHANNEL LETTERS

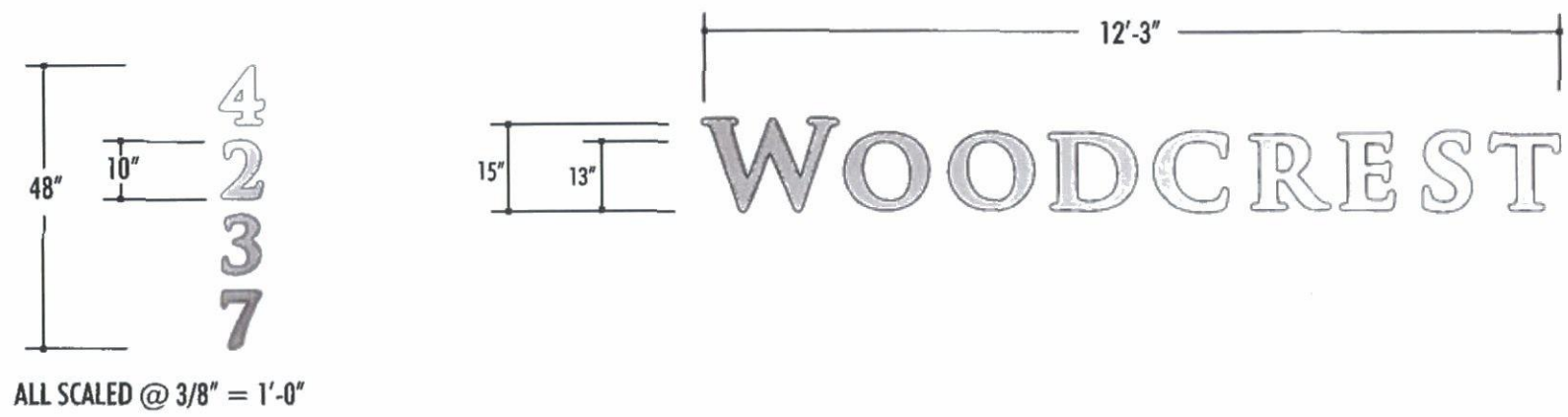
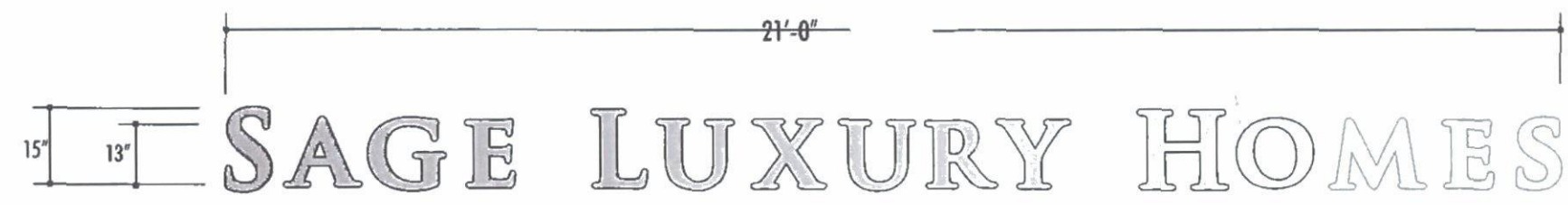
PROJECT:	DAVID FREE 12663
DATE:	03/5/13
SCALE:	NOTED
DRAWN BY:	JTK
QUOTE #	12263

Revisions		
No.	Description	Date
01	Set Copy Spacing	03/21/13
02	Change Sizes	03/25/13
03	Change Address	03/26/13
04	Change Sizes	03/26/13
05		
06		

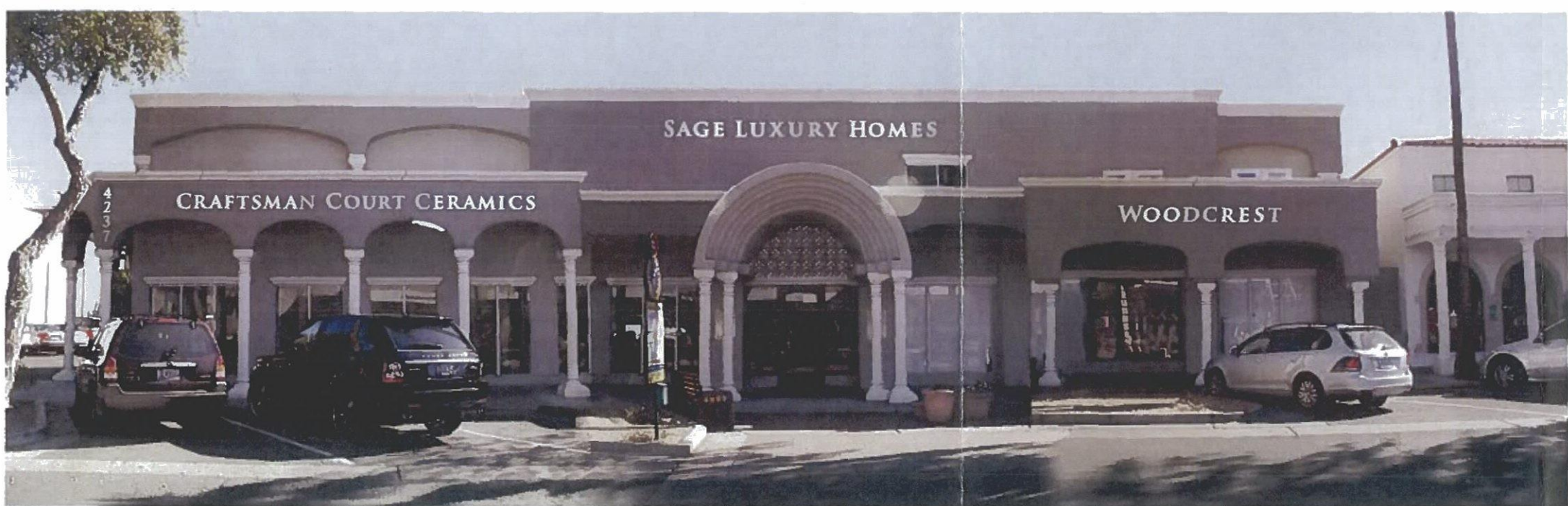
Approvals
Landlord Signature
Client Signature
Sales Signature

COMPUTER PRINTED COLOR GRAPHICS VARY FROM ACTUAL
COLOR SELECTIONS. COLOR GRAPHICS AND/OR PHOTO
ILLUSTRATIONS ARE DESIGNER CONCEPTS ONLY AND MAY
NOT REPRESENT ACTUAL INSTALLATION.

Exhibit A



SPECIFICATIONS:
FABRICATE & INSTALL (4) SETS INCLUDING ADDRESS
NUMERALS. OF NON-ILLUMINATED PAN CHANNEL LETTERS.
RETURNS TO BE 2" DEEP FABRICATED REVERSE PAN CHANNELS.
ALL WITH HORIZONTAL BRUSHED STAINLESS STEEL.
INSTALL PEG MOUNT WITH 1/4" REVEAL OFF WALL.



AFTER PHOTO - SCALED @ 3/32" = 1'-0"