

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 20, 2011 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

97-DR-2010 **Scottsdale Quarter Building C - Dominick's Rooftop Garden**

Location: 15169 N. Scottsdale Rd., Ste. 100

Request: Request approval for the addition of a roof top dining area, sun room, and revision to the master Building Height Variation Exhibit at the south end of Building C for Dominick's restaurant.

OWNER

Glimcher Development Corporation
180 E. Broad Street
Columbus, Ohio 43215

TENANT

Mastro Development
16441 N. 90th Street
Scottsdale, AZ 85260

ARCHITECT/DESIGNER

George Melara
Nelsen Partners, Inc.
15210 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254

APPLICANT CONTACT

George Melara / Gwen Jarick
Nelsen Partners, Inc.
15210 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254
480-949-6800

BACKGROUND

Zoning

The site is zoned Planned Regional Center District (PRC). The PRC zoning district allows a broad range of general merchandise and service uses, and can include office and residential uses. This district allows retail uses, as proposed with this request.

Context

The Scottsdale Quarter site is located on N. Scottsdale Road between E. Butherus Road on the south, N. 73rd Street on the east and E. Greenway-Hayden Loop on the north. Scottsdale Quarter is a multi-building mixed use development with a contemporary design style. Dominick's tenant space is located on the south end of Building C with frontage on N. Scottsdale Road.

Adjacent Uses and Zoning

- North Adjacent tenant space zoned Planned Regional Center (PRC).
- South Oakville Grocery zoned Planned Regional Center (PRC).
- East Interior private street and parking structure zoned Planned Regional Center (PRC).
- West Scottsdale Road, further west is Kierland Commons shopping center zoned commercial (Phoenix).

Key Items for Consideration

- Included within this request is an amendment to the master Building Height Variation Exhibit for Scottsdale Quarter.

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant is requesting approval for a roof top garden dining area and a small solarium extension on the south side of the building. Due to the proposed height of the roof top garden at thirty-four (34) feet, the applicant is also requesting that the Development Review Board amend the Building Height Variation Exhibit that was approved with the master plans for the project (10-DR-2007) and which limited the building height for this part of the development to twenty-three (23) feet.

The proposed roof top garden is approximately 2,215 square feet and is located on the roof at the southwest corner of Building C. The structure is approximately fifteen (15) feet tall measuring from the existing roof deck, and is finished with a pre-weathered galvalume fluted fascia panel that has been used on other nearby buildings. The structure is enclosed on all four sides and is covered with a standing seam roof of the same material. The roof will cover only the perimeter seating area of the garden, leaving the center open to the sky.

The proposed solarium, on the south elevation of the building, is approximately 282 square feet and will extend beyond the existing building face approximately seven (7) feet. The solarium materials consist of white metal panels below a painted white steel window frame system. The roof is standing seam metal galvalum to match the roof top dining area.

The height to the top of the roof top garden dining area is approximately thirty-two (32) feet above the established benchmark for Building C, which is nine (9) feet higher than the twenty-three (23)

feet currently permitted by the approved Building Height Variation Exhibit (BHVE). The intent was to create a building height step back along Scottsdale Road to off-set the building mass and create a framework to establish visual interest and architectural variety along the street frontage. The applicant is requesting to increase the building height to thirty-five (35) feet for this part of the building as shown on Attachment #7. The proposed increase in height for this part of the building is consistent with the character and massing of the rest of the project and will still allow variation in building massing and architectural variety along Scottsdale Road.

Development Information

- Existing Use: Vacant / under construction
- Proposed Use: Restaurant (Dominick's)
- Building Size: 109,797 square feet
- Tenant Suite Size: 9,754 square feet (including roof top)
- Building Height Allowed: 23 feet
- Building Height Proposed: 35 feet
- Parking Required (Tenant): 33 spaces
- Parking Required (Project): 2,987 spaces
- Parking Provided (Project): 3,200 spaces

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Dominick's roof top garden per the attached stipulations, finding that the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning, Neighborhood and Transportation

Current Planning Services

STAFF CONTACT

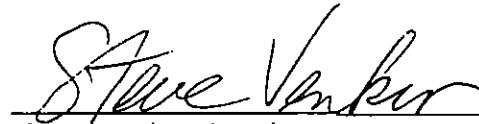
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APPROVED BY



Bryan Cluff, Report Author

1/10/11
Date



Steve Venker, Development Review Board Coordinator
480-312-2831, E-mail: svenker@ScottsdaleAZ.gov

1/10/11
Date

ATTACHMENTS

- A. Stipulations
 - 1. Applicant's Narrative
 - 2. Context Aerial
- 2A. Aerial Close-Up
- 3. Zoning Map
- 4. Site Plans
- 5. Building Elevations
- 6. Building Height Variation Exhibit

**Stipulations for the
Development Review Board Application:
Scottsdale Quarter Building C - Dominick's Rooftop Garden
Case Number: 97-DR-2010**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale. Unless otherwise stated, the owner's completion of all requirements below is subject to the satisfaction of Project Coordinator and the Final Plans staff.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DS&PM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Nelsen Partners, Inc., with a city staff date of 12/23/10.
 - b. The material board submitted by Nelsen Partners, Inc., with a City staff date of 11/24/2010.
 - c. The location and configuration of all site improvements shall be consistent with the site plan submitted by Nelsen Partners, Inc., with a city staff date of 12/23/10.
 - d. The Variable Building Height Exhibit submitted by Nelsen Partners, Inc., with a city staff date of 12/23/10.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning, DRB, and Use Permit cases for the subject site were: 14-ZN-2005, 10-DR-2007, 10-DR-2007#2, 37-UP-2010

SITE DESIGN:

DRB Stipulations

2. Prior to final plan approval, the owner shall work with City staff to modify the hardscape and planter areas around the proposed solarium to provide an unobstructed pedestrian route around the south end of the building.

EXTERIOR LIGHTING:

DRB Stipulations

3. No new exterior lighting is approved with this application. All lighting proposed within the roof top garden shall be interior only and fully screened from view from the exterior of the building.

ADDITIONAL ITEMS:

DRB Stipulations

4. The new square footage (2,497 square feet) that is being added to Dominick's with this case shall be taken out of the Phase III floor area of Scottsdale Quarter in order to not exceed the maximum FAR allowance for the site.

Nelsen Partners, Inc.
Architecture Planning Interiors

Austin - Scottsdale

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Philip J. Crisara, AIA
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Erston Senger, AIA

Associate Principals
Helen Bowling, AIA
Stan Haas, IAA
Michael Martin, AIA

November 24, 2010

Narrative for the Roof Top Terrace and bump-out area for Dominick's restaurant at Scottsdale Quarter Building

Dominick's Steakhouse is a new concept of Mastros Development. We are requesting DRB approval of a roof top terrace and slight increase of 282 sq. ft. on the south side of the existing building.

We are requesting an approval of a height increase to our original DRB Case no. 10-DRB-2007 for the rooftop dining area on the second level of building C, located above the approved Dominick's restaurant. The dining experience should be reminiscent of rooftop terraces and gardens in New York City. To create this intimate feeling the space has been enclosed on all sides and partially covered with glass roof panels. The water feature and surrounding tables are open to the sky. The interior of the walls will have planters to create the garden experience. The walls on the exterior are covered with pre-weathered galvalume metal panels. The standing seam roof above the bar area will have the same finish as the walls. The walls are set back from the parapet and should not appear as if it is part of the building below. The materials are consistent with what is already used on Building C and at the Scottsdale Quarter project. The corners are left open to enable the mesquite trees along Scottsdale road to grow a large crown which will soften the edges of the structure. The rooftop dining area will become a point of interest to passerby's and in creating this will enhance the success and longevity of Dominick's Steakhouse and Scottsdale Quarter.

Also, we are requesting an approval of 282 sq. ft. of area that will extend into the south of the Dominick's restaurant. The architectural intent is to create a feeling of a conservatory attached to the building. The addition will be an etched glass from just above the ground to the addition roof level. The glass is broken into a grid of mullions consistent with the already approved storefronts. The roof will be a pre-weathered galvalume standing seam metal roof. The roof is intentionally left lower than the decorative band to simulate an addition and to enhance the conservatory feel.

Sincerely,

George Melara
Nelsen Partners, Inc.



Scottsdale Quarter Building C - Dominick's Rooftop Garden

97-DR-2010

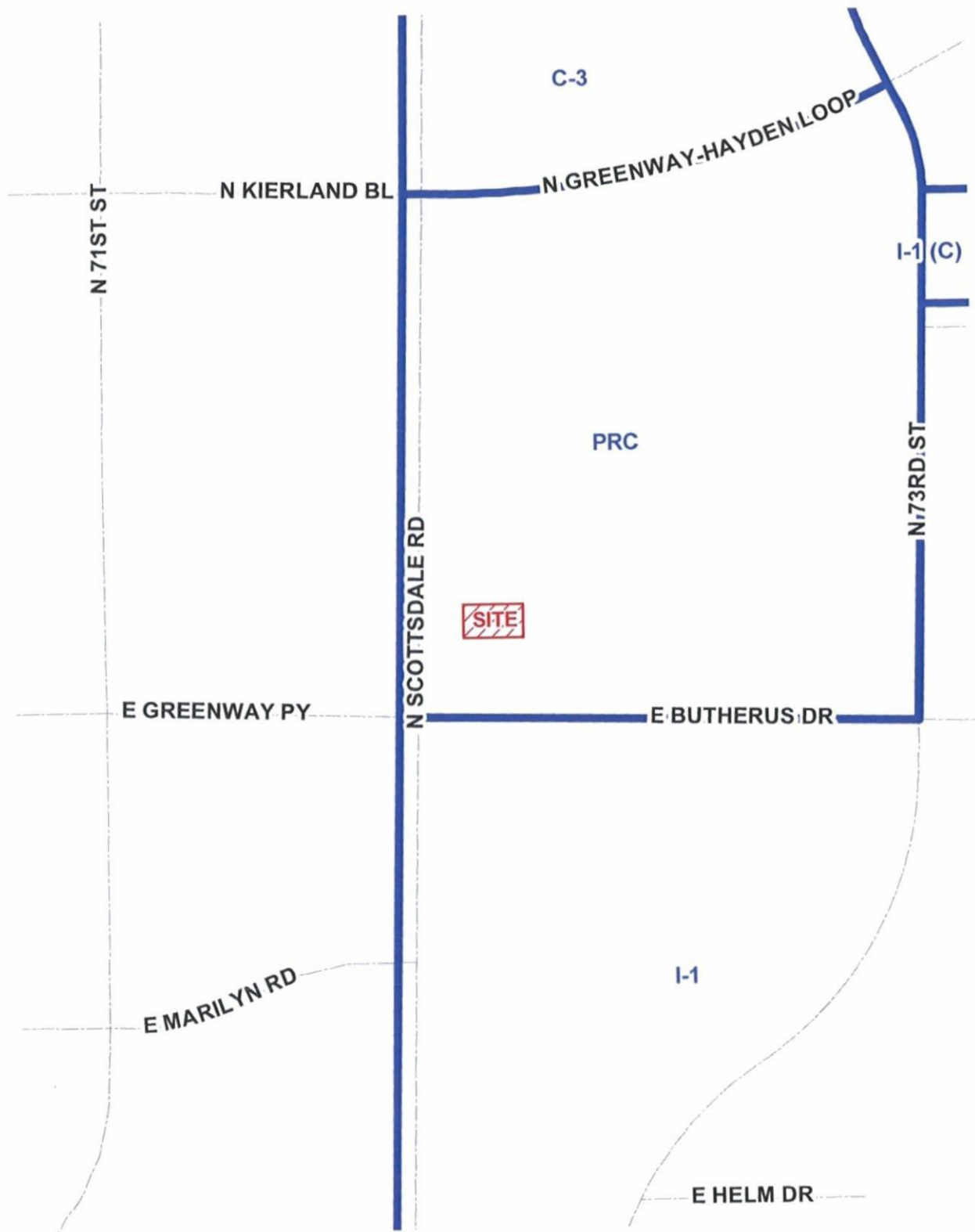
ATTACHMENT #2A



Scottsdale Quarter Building C - Dominick's Rooftop Garden

97-DR-2010

ATTACHMENT #2



97-DR-2010

ATTACHMENT #3



- RESIDENTIAL PARKING REQUIREMENT = 360 DU @ 2 SPACES/DU = 720 SPACES
- HOTEL PARKING REQUIREMENT = 104 ROOMS @ 1 SPACES/ROOM = 104 SPACES
- TOTAL RESIDENTIAL/HOTEL PARKING REQUIREMENT = 748 SPACES
- TOTAL RESIDENTIAL/HOTEL PARKING PROVIDED (P1,K1,L1,M GARAGE) = 748 SPACES
- ACCESSIBLE COMMERCIAL CENTER (MCC) PARKING REQUIREMENT = 627,765 SF @ 1 SPACES/200 SF = 3,138 SPACES
- ACCESSIBLE (PROVIDED) PARKING REQUIREMENT = 113 SPACES (SEE SUEITE J-4-103 HOTEL BELOW)
- TOTAL MULTIPURPOSE PARKING REQUIREMENT = 2,228 SPACES
- TOTAL MULTIPURPOSE PARKING PROVIDED (ON-STREET AND IN E, J GARAGE) = 2,462 SPACES
- TOTAL PARKING REQUIRED = 2,987 SPACES
- TOTAL PARKING PROVIDED = 3,520 SPACES
- ACCESSIBLE RESIDENTIAL PARKING PROVIDED = 7% OF TOTAL PROVIDED = 20 X 148 SPACES = 1 SPACES
- ACCESSIBLE RESIDENTIAL/HOTEL PARKING PROVIDED (P1,K1,L1,M GARAGE) = 16 SPACES
- ACCESSIBLE MULTIPURPOSE PARKING PROVIDED = 7% OF TOTAL PROVIDED = 22 X 148 SPACES = 48 SPACES
- ACCESSIBLE MULTIPURPOSE PARKING PROVIDED (ON-STREET AND IN E, J GARAGE) = 48 SPACES

SUEITE J-4-103 Note: Parking required for Suite J-1 (Private) determined from City Council approval of UAP-2008 (S) and UAP-2008(R)



West Elevation





South Elevation



Scottsdale Quarter

Dominick's

December 14, 2010

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East Elevation

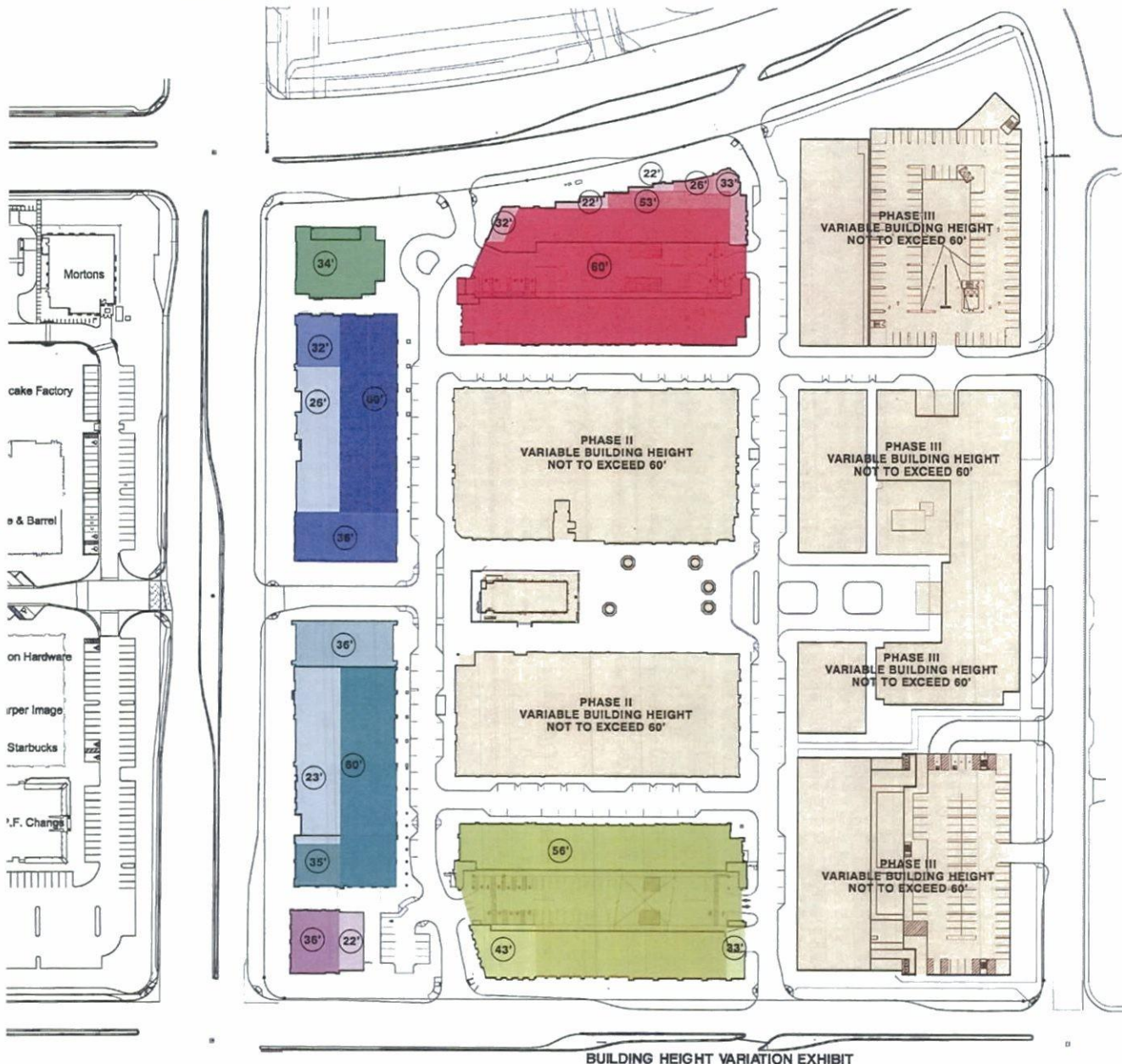


Scottsdale Quarter

Dominick's

December 14, 2010

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BUILDING HEIGHT VARIATION EXHIBIT

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SCOTTSDALE QUARTER
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SCOTTSDALE, ARIZONA

Date
December 15, 2010

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Project No.
30415

EXH - 1
BLOCK HEIGHT VARIATION