

# "The Derby Public House"

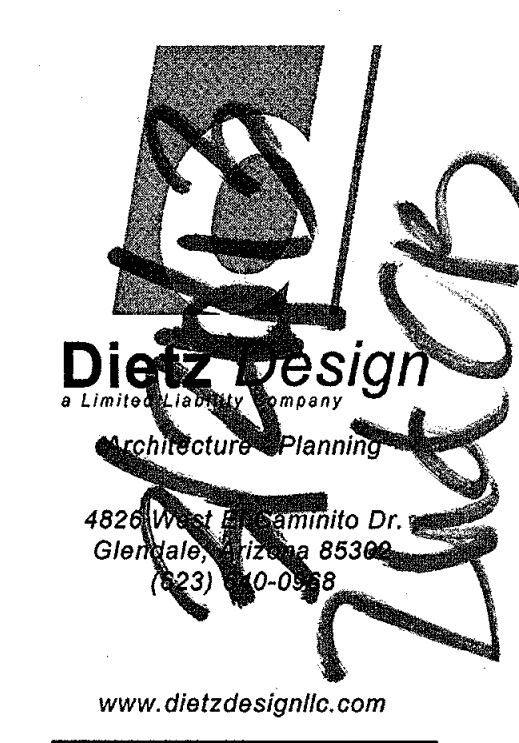
## "Restaurant Tenant Improvement"

NEC SHOEMAN LN. & SADDLE BAG TRAIL, Bldg. C

SUITE 101  
Scottsdale, Arizona

Per Cup:  
- 383 spaces required for entire bldg. (bar/LE)  
- 393 spaces provided  
- 10 additional spaces required for mezzanine space  
- 383 spaces required w/ mezzanine

21 and 22-UP-12  
APPROVED  
FINAL PLANS PLANNING  
3-29-13



### GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- ALL WORK AND MATERIAL SHALL BE REGARDED AS NEW UNLESS SPECIFICALLY INDICATED AS "EXISTING" OR "E" ON THE DRAWINGS AND/OR WITHIN THE SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
- ALL MATERIALS AND UNFINISHED SURFACES EXPOSED TO VIEW SHALL BE PAINTED UNLESS FACTORY PRE-FINISHED NOT OTHERWISE OR DIRECTED BY THE ARCHITECT.
- NO UTILITIES, PLUMBING, PIPING, CONDUIT, ETC. SHALL BE EXPOSED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- SHOULD DIMENSIONS BE MISSING OR CONFLICTING, NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK.
- CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES PRIOR TO EXCAVATION, TRENCHING, ETC. AND SHALL REPAIR OR REPLACE ALL UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.
- SECURITY AND SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY. SITE SHALL BE COMPLETELY FENCED AND SECURED DURING CONSTRUCTION.
- NO ASBESTOS SHALL BE USED OR INCORPORATED INTO THE PROJECT IN ANY FORM.
- SEPARATE DISSIMILAR METALS AS THEY OCCUR AND/OR PER MANUFACTURER'S RECOMMENDATIONS.
- APPLY SEALANT AT INTERSECTIONS OF ALL DISSIMILAR MATERIALS.
- CONTRACTOR SHALL COORDINATE ALL EQUIPMENT PLACEMENTS, SUPPORTS, AND CONNECTIONS WITH EQUIPMENT SUPPLIERS.
- SPRINKLER SYSTEM TO COMPLY WITH MINIMUM NFPA CRITERIA AND CITY ORDINANCE CRITERIA. SPRINKLER SUBCONTRACTOR SHALL PROVIDE PLANS AND CALCULATIONS FOR CITY APPROVAL.
- ALL NEW WALLS SHALL BE TAPED, TEXTURED, AND PAINTED PER OWNERS COLOR SELECTION / FINISH SCHEDULE / SPECIFICATIONS.
- ALL BUILDINGS (EXCEPT GROUP R AND DIVISION 3) SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS REQUIRED IN IBC/IFC SECTION 903 / 904 AND INSTALLED IN NFPA-13 AND 9-2, NFPA 13, AND CITY FIRE DEPARTMENT STANDARDS.
- FIRE PROTECTION SYSTEMS SHALL BE INSTALLED BY A CONTRACTOR LICENSED TO PERFORM SUCH WORK BY THE STATE OF ARIZONA, AND WHO ALSO HOLDS A CURRENT VALID PERMIT FROM THE CITY DEPARTMENT TO CONDUCT SUCH WORK WITHIN THE CITY.
- FIRE DEPARTMENT CONNECTS (FDC'S) FOR NFPA 13 AND UBC STANDARD 38-1 FIRE SPRINKLER SYSTEM SHALL BE 2-1/2" FEMALE SWIVEL WITH NATIONAL STANDARD THREADS. FDC'S FOR 13D AND 13R SPRINKLER SYSTEMS SHALL BE SINGLE FEMALE SWIVEL WITH NATIONAL STANDARD THREADS. ALL HOSE VALVE OUTLETS AND OUTLETS AND STANDPIPE HOSE DISCHARGES FOR FIRE DEPARTMENT SHALL BE 2-1/2" NATIONAL STANDARD THREADS.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE SIGNAL STATION SERVICE OR AN AUDIBLE SIGNAL SHALL SOUND AT A CONSTANTLY ATTENDED LOCATION WHEN THE NUMBER OF SPRINKLER HEADS IS OVER 20 OR MORE IN GROUP 1, DIVISION 1.1, OR 1.2 OCCUPANCIES OR 100 OR MORE SPRINKLER HEADS IN ALL OTHER OCCUPANCIES.
- FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. REQUIRED WATER FLOW SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PRIOR TO ANY COMBUSTIBLES BEING BROUGHT ON SITE.
- ONE SET OF STAMPED, APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AND MADE AVAILABLE TO CITY INSPECTORS ON DEMAND.
- THE CONTRACTOR SHALL PROVIDE THE CITY INSPECTOR WITH COPY OF THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATION FOR ABOVEGROUND PIPING" IN ACCORDANCE WITH NFPA 13; THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATION FOR ABOVEGROUND PIPING" IN ACCORDANCE WITH NFPA 24; AND THE "CERTIFICATE OF COMPLETION" FOR FIRE ALARM SYSTEMS IN ACCORDANCE WITH NFPA 72, UPON SUCCESSFUL COMPLETION OF THE SYSTEM TEST AND PRIOR TO CITY ACCEPTANCE OF THE SYSTEM.
- ALL DIMENSIONS SHALL BE FIELD CHECKED, CHECKED IN SHOP AND VERIFIED PRIOR TO THE PERFORMANCE OF ANY WORK, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK.
- CONSTRUCTION SUPERVISOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL BE RESPONSIBLE FOR THE SCHEDULING OF THE WORK.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN ARIZONA AND SUBMITTED TO THE ARCHITECT.
- COORDINATION OF PLANS AND SPECIFICATIONS: THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION. HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT, THE ARCHITECT WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.

### CODE ANALYSIS

PROJECT NARRATIVE:  
FIRST TIME TENANT IMPROVEMENT TO CONSIST OF RESTAURANT/BAR/LOUNGE WITH MEZZANINE LEVEL USED FOR STORAGE.

DERBY ROOM PUBLIC HOUSE  
4420 N. SADDLEBAG TRAIL, SUITE 101, BLDG. "C"  
SCOTTSDALE ARIZONA

PARCEL #S: 173-41-139 THRU 144 & 158 THRU 169 & 178 THRU 181 & 211A

CASE HISTORY: Z1-UP-12/Z2-UP-12

EXISTING ZONING: C-2/P2 WITH P-3/D-0 OVERLAYS

PARKING CALCULATION:  
EXISTING OVERALL PARKING: 356 SPACES  
SCOTTSDALE RETAIL PLAZA (CASE HISTORY: Z1-UP-12/Z2-UP-12)

DERBY PUBLIC HOUSE (BLDG. "C", SUITE 101):  
BAR/LOUNGE: 3,792 SF. 1.80 S.F. 51.6 SPACES  
OUTDOOR PATIO BAR: 450 SF. 1,200 S.F. 2.25 SPACES  
STORAGE: 436 SF. (MEZZ) 1,000 S.F. 4 SPACES

TOTAL PROVIDED: 1: 2054.39 SPACES

EXISTING CONSTRUCTION TYPE: V-B (SPRINKLERED)

EXISTING CONSTRUCTION TYPE: V-B (SPRINKLERED)

OCCUPANCY TYPE: A-2 (RESTAURANT)

RESTAURANT/BAR SQUARE FOOTAGE: 3,792 S.F.

MEZZANINE SQUARE FOOTAGE: 774 S.F.

OUTDOOR PATIO SQUARE FOOTAGE: 450 S.F.

OCCUPANT LOAD CALCULATION:  
(PER TABLE 1004.1.1)

PUBLIC DINING: 2,366 S.F. / 15 = 158 occ.

OUTDOOR PATIO/DINING: 450 S.F. / 15 = 30 occ.

PUBLIC DINING/GAME AREA: 259 S.F. / 11 = 24 occ.

PUBLIC WAITING AREA: 245 S.F. / 7 = 35 occ.

KITCHEN/BAR: 587 S.F. / 200 = 3 occ.

STORAGE (1ST FLOOR): 46 S.F. / 300 = 1 occ.

STORAGE (MEZZANINE): 774 S.F. / 300 = 3 occ.

RESTROOMS: 289 S.F. NA occ.

TOTAL OCCUPANT LOAD: 254 occupants

REQUIRED EXITS:  
PER 2006 IBC, TABLE 1019.1  
RESTAURANT/LOUNGE: 3,457 S.F. OCCUPANT LOAD: 221 2-EXITS  
STORAGE (MEZZANINE): 774 S.F. OCCUPANT LOAD: 3 1-EXIT  
PER 2006 IBC, TABLE 1015.1  
OUTDOOR PATIO: 450 S.F. OCCUPANT LOAD: 30 1-EXIT

PROVIDED EXITS:  
RESTAURANT/LOUNGE: 4-EXITS (1) AT PATIO  
STORAGE (MEZZANINE): 1-EXIT

EXIT WIDTHS:  
REQUIRED EXIT WIDTH:  
(PER 2006 IBC TABLE 1005.1) 254 OCC. X 0.15 = 38.1"

PROVIDED EXIT WIDTH:  
DOOR #101 20 OCC X 0.15 = 3"  
DOOR #104 175 OCC X 0.15 = 26.25"  
DOOR #105 20 OCC X 0.15 = 3"  
DOOR #106 20 OCC X 0.15 = 3"  
DOOR #201 3 OCC X 0.20 = 1.2"

### PLUMBING FIXTURE CALCULATION:

REQUIRED PLUMBING FIXTURES: (PER 2006 chapter 29)  
(TOTAL OCCUPANT LOAD: 221) (111 FOR MEN & WOMEN)

WATER CLOSETS  
REQUIRED: 1 PER 75 111 / 75 = 2 (W.C.)  
PROVIDED: 1 (W.C. & 2 URINALS)

LAVATORIES  
REQUIRED: 1 PER 200 111 / 200 = 1 (LAV.)  
PROVIDED: 2 (LAV.)

WOMEN  
WATER CLOSETS  
REQUIRED: 1 PER 75 111 / 75 = 2 (W.C.)  
PROVIDED: 3 (W.C.)

LAVATORIES  
REQUIRED: 1 PER 200 111 / 200 = 1 (LAV.)  
PROVIDED: 2 (LAV.)

LAVATORIES  
PROVIDED: 1-SERVICE SINK

### BUILDING CODES

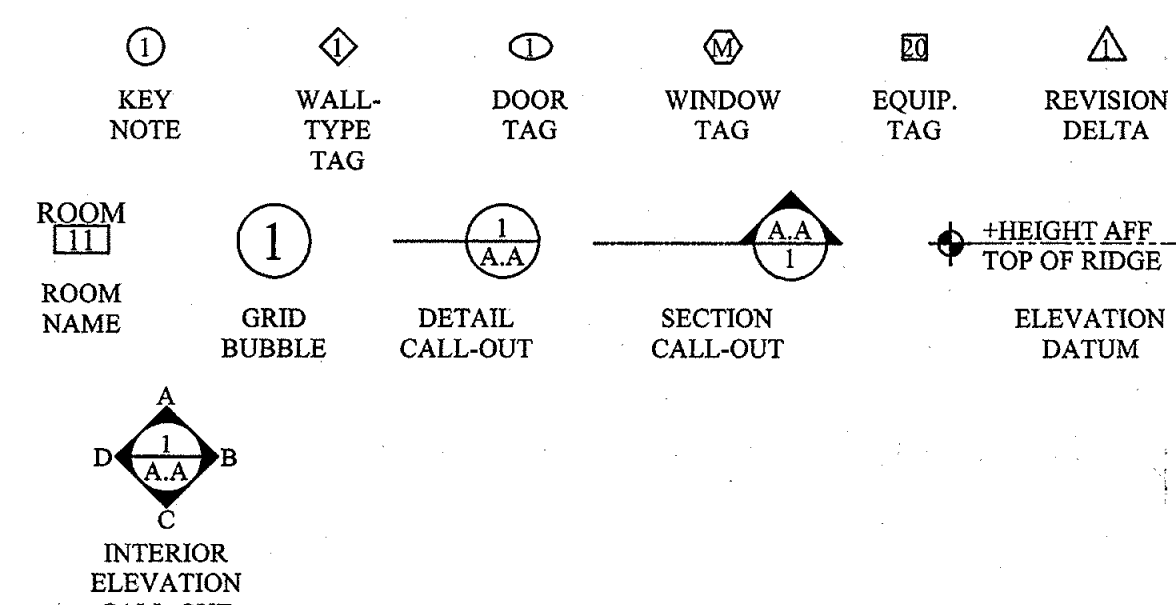
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:

- 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE
- 2006 INTERNATIONAL EXISTING BUILDING CODE
- 2006 INTERNATIONAL ENERGY CONSERVATION CODE
- 2006 INTERNATIONAL FUEL GAS CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 UNIFORM PLUMBING CODE
- 2006 INTERNATIONAL FIRE CODE

### FIRE DEPARTMENT NOTES

- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF THE EXISTING FIRE SPRINKLER SYSTEM AND COMPLY W/ NFPA 13 & LOCAL ADMMENDMENTS. NOTE: EXISTING STANDARD RESPONSE SPRINKLER HEADS IN LIGHT HAZARD OCCUPANCIES WITHIN THE TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN WORK HAS BEEN CONTRACTED TO ADD AND/OR RELOCATE 50% OR MORE OF THE SPRINKLER HEADS.
- ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.
- MOUNT MIN. 2-A-10-BC RATED FIRE EXTINGUISHERS IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND NFPA 10. FIRE EXTINGUISHERS QUANTITY AND LOCATION SHALL BE APPROVED BY THE FIRE INSPECTOR.
- EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE & IFC. SEE ELECTRICAL.
- FIRE LANES TO BE ESTABLISHED AND/OR MAINTAINED.
- CONTRACTOR TO VERIFY EXISTING AND/OR REQUIRED FIRE HYDRANT(S) INSTALLATION & MARKED WITH A BLUE REFLECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
- ESTABLISHED & MAINTAIN 20' OF ACCESS TO ALL STRUCTURES FROM THE PUBLIC ROADWAY DURING CONSTRUCTION.
- PROVIDE A NEW KNOX BOX IF ONE DOES NOT EXIST ON THE BUILDING. MOUNT BY MAIN ENTRANCE 4'-6" A.F.F. PROVIDE A DOOR KEY FROM TENANT AND PLACE IN THE KNOX BOX.
- NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE. ADDRESS AND BUILDING NUMBERS FOR COMMERCIAL PROPERTIES SHALL BE A MINIMUM OF 12 INCHES HIGH WITH A MIN. STROKE WIDTH OF 2.0 INCHES UNITS WITHIN A BUILDING SHALL BE OF 6 INCHES HIGH WITH A MIN. STROKE OF 1.0 INCHES. INDIVIDUAL UNIT OR SUITE NUMBERS SHALL BE OF 4 INCHES HIGH WITH A MIN. STROKE OF 1.0 INCH. INDIVIDUAL UNIT OR SUITE NUMBERS SHALL BE A MIN. OF 4 INCHES HIGH WITH A MIN. 0.5 INCH.
- INTERIOR TENANT NOTIFICATION SHALL BE PROVIDED WHEN MONITORING OF THE FIRE SPRINKLER SYSTEM IS PROVIDED.
- TENANT IMPROVEMENTS: INSTALL 1-HORN-STROBE ABOVE THE MAIN DOOR OR WITHIN 3 FT. OF THE MAIN DOOR FOR INDIVIDUAL TENANTS. WHEN A COMMON AREA IS PROVIDED SERVING MULTIPLE TENANTS, INSTALL 1-HORNE-STROBE IN THE COMMON AREA ABOVE THE MAIN DOOR OR WITHIN 3 FT. OF THE MAIN DOOR. (THESE REQUIREMENTS SHALL ALSO APPLY TO SPACES COMMONLY REFERRED TO AS "VANILLA" OR "WHITE" SHELL TENANT SPACES AT TIME OF SHELL FINAL. DO NOT REMOVE/ADD TO ALL PLAN SUBMITTALS.

### SYMBOL LEGEND



### PROJECT DIRECTORY

OWNER:  
WILD KNIGHT  
4405 N. SADDLEBAG TRAIL  
SCOTTSDALE, AZ 85251  
602-550-7500  
CONTACT: JOHN DOLAN

ARCHITECT:  
DIETZ DESIGN, L.L.C.  
4826 WEST EL CAMINITO DRIVE  
GLENDALE, AZ 85302  
(623) 640-0968  
CONTACT: JEFF DIETZ  
JEFFD@DIETZDESIGNLLC.COM

MECHANICAL / PLUMBING/ELECTRICAL:  
ENERGY SYSTEMS DESIGN  
7135 E. CAMELBACK RD. #275  
SCOTTSDALE, AZ 85251  
(480) 481-4975  
CONTACT: ALI ARDEBILI

STRUCTURAL:  
STRUKTUR STUDIO LLC.  
3260 N. HAYDEN RD. SCOTTSDALE, AZ 85251  
(480) 425-2250  
CONTACT: DAVID LUNENG

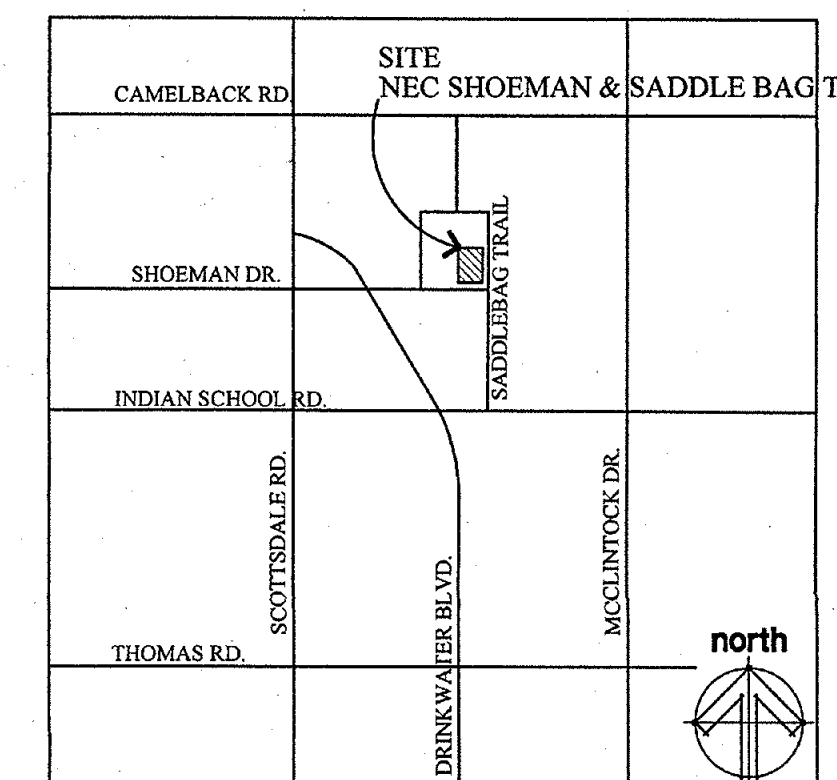
### TENANT IMPROVEMENT NOTES

- NO EXTERIOR MODIFICATION PROPOSED WITH THIS PERMIT REVIEW.
- NO EXTERIOR LIGHTING TO BE PERMITTED WITH THIS REVIEW.
- NO EXTERIOR VENDING PERMITTED.
- SIGNAGE REQUIRES SEPARATE REVIEW AND APPROVAL.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATIONS EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT, BY A PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND FINISH OF THE BUILDING.

### SHEET INDEX

- ARCHITECTURAL:  
A0.0 COVER SHEET  
A0.1 SPECIFICATIONS  
A0.2 SPECIFICATIONS  
A0.3 SPECIFICATIONS  
A2.0 FLOOR PLAN/ARCHITECTURAL DETAILS AND NOTES  
A2.1 FLOOR PLAN-DIMENSIONS  
A2.2 REFLECTED CEILING PLAN  
A3.0 MEZZANINE FLOOR PLAN  
A3.1 MEZZANINE REFLECTED CEILING PLAN  
A8.0 ARCHITECTURAL DETAILS  
A8.1 ARCHITECTURAL DETAILS  
A9.0 DOOR/WINDOW/FINISH SCHEDULES/INTERIOR ELEVATIONS
- MECHANICAL:  
M0.0 MECHANICAL NOTES  
M1.0 MECHANICAL MEZZANINE AND FLOOR PLAN  
M2.0 MECHANICAL SCHEDULES AND SPECIFICATIONS  
M3.0 MECHANICAL DETAILS
- PLUMBING:  
P1.0 PLUMBING NOTES AND SCHEDULES  
P1.1 PLUMBING SPECIFICATIONS  
P2.0 PLUMBING FLOOR PLAN  
P3.0 PLUMBING DETAILS/SOMETRICS AND DIAGRAMS
- ELECTRICAL:  
E1.0 ELECTRICAL SYMBOLS, NOTES AND DETAILS  
E1.1 ELECTRICAL FIXTURE SCHEDULES AND IECC COMPLIANCE  
E1.2 ELECTRICAL SPECIFICATIONS  
E2.0 ELECTRICAL POWER PLAN  
E2.1 ELECTRICAL LIGHTING PLAN  
E3.0 ELECTRICAL ONE LINE DIAGRAM AND PANEL SCHEDULES
- STRUCTURAL:  
S1.0 GENERAL STRUCTURAL NOTES  
S1.1 TYPICAL DETAILS  
S1.7 STATEMENT OF SPECIAL INSPECTIONS  
S2.0 MEZZANINE FRAMING AND FOUNDATION PLAN  
S2.1 DETAILS  
S3.0 EXISTING ROOF FRAMING PLAN  
S3.1 DETAILS

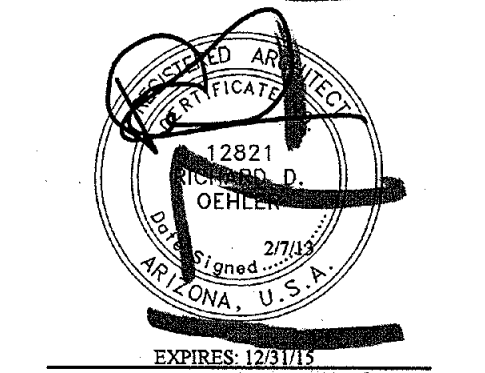
### VICINITY MAP



A Tenant Improvement For:  
**Derby Public House**  
4420 N. Saddlebag Trail, ste 100  
Scottsdale, Arizona

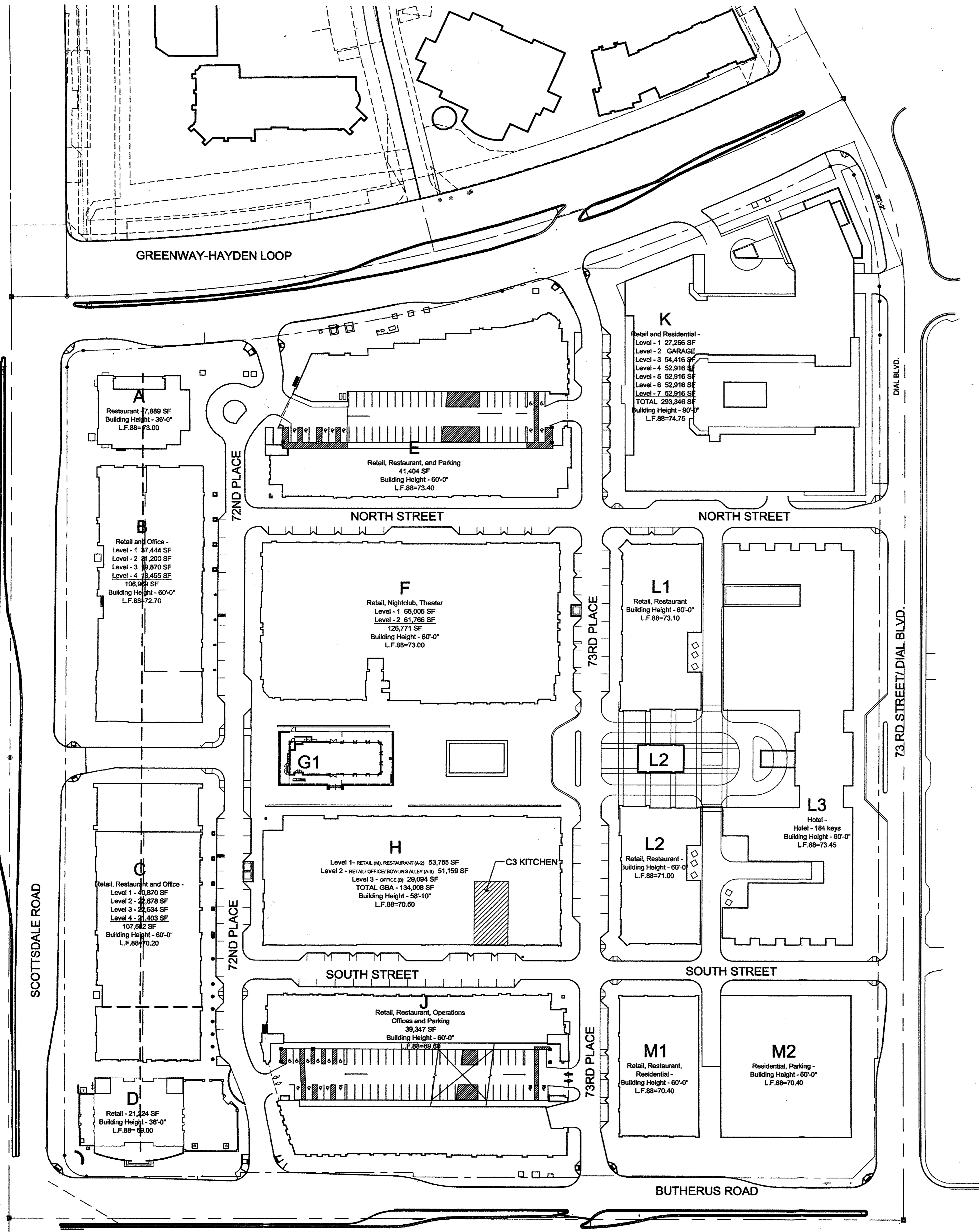
REVISIONS  
CITY REVISION 3/7/13

JOB NUMBER: 1210  
DATE: 3/13  
DRAWN BY: JD  
CHECKED BY: JD



A0.0  
SHEET NUMBER:

21-UP-12



**SITE DATA**

Zoning	PRC
Gross Site Area	1,246,149.70 SF
Net Site Area	28.61 Acres 1,024,555.00 SF 23.52 Acres
Open Space Required = 20% max. of Net Site Area (1,024,555 x .20)	204,911 SF
Open Space Provided	205,393 SF
Private Open Space Provided	17,434 SF
Frontage Open Space Required = 25% of Req'd Open Space (204,911 x .25)	51,228 SF
Frontage Open Space Provided	62,250 SF
Building Height Allowed	60' max
Building Height Proposed for Block K only	90' max
Building Setback	30' at all streets
FAR Allowed (w/o residential)	0.8 (819,644 SF)
Office Allowed (40% of Commercial)	(1,024,555 x .40) 409,822 SF
Office Provided	178,238 SF
Residential Allowed	(819,644 x .50) 409,822 SF
Residential Proposed for Block K	276 Units / 270,962 SF

**TABULATIONS**

<b>BUILDING A</b>	LEVEL 1 (RESTAURANT) 7,889 SF PATIO 1,886 SF	<b>BUILDING G1,G2,G3</b>	G1 (RESTAURANT) 4,058 SF G1 (NON LEASABLE) 102 SF KITCHEN 1220 SF TOTAL 5,380 SF PATIO 4,478 SF
<b>BUILDING B</b>	LEVEL 1 (RETAIL) 34,169 SF LEVEL 1 (NON LEASABLE) 3,276 SF LEVEL 2 (RETAIL) 8,776 SF LEVEL 2 (OFFICE) 19,666 SF LEVEL 2 (NON LEASABLE) 2,868 SF LEVEL 3 (OFFICE) 17,468 SF LEVEL 3 (NON LEASABLE) 2,381 SF LEVEL 4 (OFFICE) 16,081 SF LEVEL 4 (NON LEASABLE) 2,374 SF TOTAL 106,968 SF PATIO 0 SF	<b>BUILDING H</b>	LEVEL 1 (RETAIL) 36,456 SF LEVEL 1 (RESTAURANT) 10,176 SF LEVEL 1 (NON LEASABLE) 6,207 SF LEVEL 2 (RETAIL) 9,743 SF LEVEL 2 (OFFICE) 38,812 SF LEVEL 2 (NON LEASABLE) 3,135 SF LEVEL 3 (OFFICE) 23,600 SF LEVEL 3 (NON LEASABLE) 5,683 SF TOTAL 133,781 SF PATIO 3,276 SF
<b>BUILDING C</b>	LEVEL 1 (RETAIL) 30,881 SF LEVEL 1 (RESTAURANT) 7,721 SF LEVEL 1 (NON LEASABLE) 2,265 SF LEVEL 2 (RETAIL) 2,252 SF LEVEL 2 (OFFICE) 19,637 SF LEVEL 3 (NON LEASABLE) 2,797 SF LEVEL 4 (OFFICE) 18,806 SF LEVEL 4 (NON LEASABLE) 2,797 SF TOTAL 107,682 SF	<b>BUILDING J</b>	LEVEL 1 (RETAIL) 16,166 SF LEVEL 1 (RESTAURANT) 15,863 SF LEVEL 1 (NON LEASABLE) 5,318 SF TOTAL 37,347 SF PATIO 1,678 SF
<b>BUILDING D</b>	RETAIL 21,224 SF TOTAL 21,224 SF	<b>BUILDING K</b>	LEVEL 1 (RETAIL) 22,384 SF LEVEL 1 (RESIDENTIAL) 4,882 SF LEVEL 2 (GARAGE) 266,080 SF (276 UNITS) TOTAL 293,346 SF
<b>BUILDING E</b>	LEVEL 1 (RETAIL) 15,285 SF LEVEL 1 (RESTAURANT) 24,283 SF LEVEL 1 (NON LEASABLE) 2,095 SF TOTAL 41,663 SF PATIO 3,131 SF	<b>BUILDING L1, L2, L3</b>	LEVEL 1 (RETAIL) 14,387 SF LEVEL 1-5 (HOTEL) 173,325 SF (184 KEYS) TOTAL 187,712 SF
<b>BUILDING F</b>	LEVEL 1 (RETAIL) 57,658 SF LEVEL 1 (NON LEASABLE) 5,022 SF LEVEL 2 (THEATER) 37,155 SF LEVEL 2 (RESTAURANT) 12,938 SF LEVEL 2 (NON LEASABLE) 9,826 SF TOTAL 122,599 SF PATIO 1,098 SF	<b>BUILDING M1, M2</b>	LEVEL 1 (RETAIL) 22,757 SF LEVEL 1-5 (RESIDENTIAL) 138,860 SF TOTAL 161,617 SF
<b>GRAND TOTAL</b>	1,229,468 SF		

**PARKING ANALYSIS SUMMARY**

- RESIDENTIAL PARKING REQUIREMENT IN BLOCK K = 275 DU
- 43 STUDIO UNITS = 53.75 PARKING SPACES
- 175 1-BEDROOM UNITS = 227.5 PARKING SPACES
- 57-2 BEDROOM UNITS = 96.9 PARKING SPACES
- PARKING SPACES REQUIRED = 378.15      PARKING SPACES PROVIDED = 402
- HOTEL PARKING REQUIREMENT = 184 ROOMS @ 1 SPACE/ROOM = 184 SPACES
- MIXED USE COMMERCIAL CENTER (MUCC) PARKING REQUIREMENT = 637,785 SF @ 1 SPACE/300 SF = 2,126 SPACES
- SUITE J1-100 (PRIMEBAR) PARKING REQUIREMENT = 113 SPACES (SEE SUITE J-1-100 NOTE, BELOW)
- TOTAL MUCC/PRIMEBAR PARKING REQUIREMENT = 2,239 SPACES
- TOTAL MUC/PRIMEBAR PARKING PROVIDED (ON-STREET AND IN E, J GARAGES) = 2,452 SPACES
- TOTAL PARKING REQUIRED = 2,987 SPACES
- TOTAL PARKING PROVIDED = 3,198 SPACES
- ACCESSIBLE RESIDENTIAL/HOTEL PARKING REQUIRED = 2% OF TOTAL PROVIDED = .02 X 748 SPACES = 15 SPACES
- ACCESSIBLE RESIDENTIAL/HOTEL PARKING PROVIDED (IN K, L, M GARAGES) = 15 SPACES
- ACCESSIBLE MUCC/PRIMEBAR PARKING REQUIRED = 2% OF TOTAL PROVIDED = .02 X 2,452 SPACES = 49 SPACES
- ACCESSIBLE MUCC/PRIMEBAR PARKING PROVIDED (ON-STREET AND IN E, J GARAGES) = 49 SPACES
- SUITE J-1-100 Note: Parking required for Suite J-1 (Primebar) determined through City Council approval of 15-UP-2008 #2 AND 16-UP-2008#2

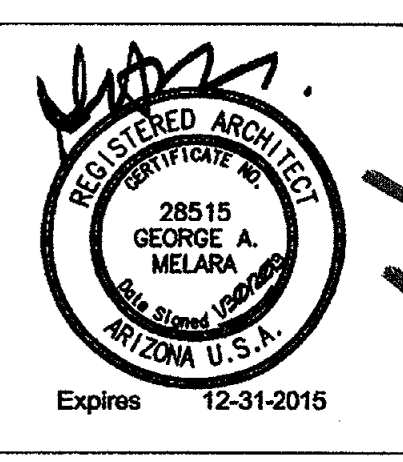
**BICYCLE PARKING REQUIREMENTS**

- BICYCLE PARKING REQUIRED FOR PHASES 1 AND 2 (BUILDINGS A THROUGH J) = 146 SPACES.
- BICYCLE PARKING PROVIDED FOR PHASES 1 AND 2 (BUILDINGS A THROUGH J) = 146 SPACES
- BICYCLE PARKING REQUIRED FOR PHASE 3 (BUILDINGS K, L, M) = 101 SPACES
- BICYCLE PARKING PROVIDED FOR PHASE 3 (BUILDINGS K, L, M) = 102 SPACES.
- BICYCLE PARKING SPACES TO BE LOCATED IN ACCORDANCE WITH CURRENT MASTER BICYCLE PARKING PLAN, OR AS OTHERWISE APPROVED BY THE ZONING ADMINISTRATOR.

**SITE PLAN**  
SCALE: 1"=60'  
NORTH  
REF:

577-13-1  
APPROVED  
FINAL PLANS PLANNING  
3/13/13  
DATE  
42-SA-2013

**NelsenPartners**  
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www.nelsenpartners.com



**C3 Kitchen**  
15147 N. SCOTTSDALE ROAD, SUITE 133  
Scottsdale, Arizona

**PLANNING**

Date  
30 JANUARY 2013

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Project No.  
31295  
**A110**  
MASTER SITE PLAN

42-SA-2013

577-13-1