



## STAFF APPROVAL LETTER

202-SA-2013  
Skysong Residential

### STEP 1

#### STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

**Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.**

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

#### PROJECT INFORMATION

LOCATION: 1301 N Scottsdale Rd  
PARCEL: 131-17-014B  
Q.S.: 12-45  
CODE VIOLATION #:

APPLICANT: Don Couvillion  
COMPANY: ASUF Scottsdale LLC  
ADDRESS: 300 E University Dr Tempe, AZ 85280  
PHONE: 480-965-5945

**Request:** Request by applicant for a temporary leasing trailer while project is under construction

#### STIPULATIONS

1. Approval is valid for **60 calendar days**, commencing from the time the trailer is installed on-site. Any extension of time beyond 60 days shall require additional approval.
2. Trailer shall be installed as far from the street as possible, to allow pedestrians to continue using the existing sidewalk from 74<sup>th</sup> Street into the site. As an alternative, trailer may be located in the parallel parking area adjacent to 74<sup>th</sup> Street, provided trailer access is oriented in toward the site.
3. Accessible ramps leading to the trailer entrance shall comply with all applicable rules and regulations set forth in the Americans with Disabilities Act (ADA).
4. The undercarriage of the trailer shall be screened from off-site view with skirting, or other similar screening method.
5. Trailer to be self-contained. If a tie-in to City water or sewer service is needed, separate review and approval will be required.
6. Electrical service shall be provided via temporary power pole. Generator not approved as part of this submittal.
7. No signage or lighting approved as part of this submittal, with the exception of necessary emergency lighting at the entrance.

**Related Cases:** 202-SA-2013, 524-SA-2006#4, 88-DR-2005#7, 26-ZN-2004, 88-DR-2005#5, 524-SA-2006#3, 412-SA-2012, 88-DR-2005#8, 88-DR-2005#3, 19-SA-2009, 88-DR-2005#2, 524-SA-2006#2, 524-SA-2006, 88-DR-2005#4, 2-MS-2008, 88-DR-2005, 90-SA-2013

SIGNATURE:



Greg Bloemberg, Planner

DATE APPROVED: July 25, 2013

### STEP 2

#### FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Owner/Builder form if applicable, along with the following plan set(s) to the One-Stop-Shop for plan review:

ARCHITECTURAL: ☒ 2 sets of ramp details and a copy of the trailer details (for reference only)

**POLICY OF THE CITY OF SCOTTSDALE  
ON APPEALS OF DEDICATIONS, EXACTIONS, OR ZONING REGULATIONS**

**RIGHTS OF PROPERTY OWNER**

In addition to other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) where an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decisions.

**APPEAL PROCEDURE**

The appeal must be in writing and specify the City action appealed and the date final action was taken, and it must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken. Address the appeal as follows:

**Hearing Officer, C/O City Clerk**

3939 Drinkwater Blvd.  
Scottsdale, AZ 85251

- ❖ No fee will be charged for filing
- ❖ The City Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply.
- ❖ Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- ❖ The city will submit a takings impact report to the hearing officer.
- ❖ In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- ❖ In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- ❖ The hearing officer must render his decision within five working days after the appeal is heard.
- ❖ The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- ❖ If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial de novo with the Superior Court within 30 days of the hearing officer's decision.

**If you have questions about this appeal process, you may contact:**

City Manager's Office  
3939 Drinkwater Blvd.  
Scottsdale, AZ 85251  
(480) 312-2422

City Attorney's Office  
3939 Drinkwater Blvd.  
Scottsdale, AZ 85251  
(480) 312-2405

Please be aware that City staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.





# Development Review (Minor)

## (Administrative Staff Approval)

### Development Application Checklist

Official Use:  
 City Staff Contact: GREG BLOEMBERG Email: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Project Name: SKYSONG APARTMENTS  
 Property's Address: 1304 N. SCOTTSDALE RD A.P.N.: \_\_\_\_\_  
 Property's Zoning District Designation: PCD  
 Application Request: TEMPORARY LEASING OFFICE  
 Owner: SKYSONG RESIDENTIAL I Applicant: SKYSONG RESIDENTIAL I  
 Company: ASU FOUNDATION Company: \_\_\_\_\_  
 Address: 1475 N. SCOTTSDALE RD. #200 Address: \_\_\_\_\_  
 Phone: 602-9703-7398 Fax: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail: DOV.CONVILLION@ASU.EDU E-mail: \_\_\_\_\_

Submittal Requirements: Please submit materials requested below. All plans must be folded.

<input checked="" type="checkbox"/> Completed Application (this form) and Application Fee – \$ <u>81.00</u> (fee subject to change every July)	<input type="checkbox"/> Landscape Plan (____ copy(ies) – indicate location of existing and new plants, location and dimension of paving, a plant palette with names, symbols, sizes, spacing & quantities, and open space/landscaping calculations.
<input type="checkbox"/> Affidavit of Authority to Act for Property Owner, letter of authorization, or signature below	<input type="checkbox"/> Cross Sections – for all cuts and fills applications
<input type="checkbox"/> Request for Site Visits and/or Inspections form	<input type="checkbox"/> Conceptual Grading & Drainage Plan – show existing, proposed drainage flows, channels, retention, etc.
<input checked="" type="checkbox"/> Context Aerial – with site highlighted	<input type="checkbox"/> Copy of Liquor License Application (for all bars or restaurants patio applications)
<input checked="" type="checkbox"/> Narrative – describing nature of request	<input type="checkbox"/> Airport Vicinity Development Checklist
<input type="checkbox"/> Homeowners or Property Owners Association Approval	<input type="checkbox"/> Floor Plan(s) – show additions, alterations, or new structures. The floor plan shall be dimensioned and clearly delineate existing and proposed construction.
<input checked="" type="checkbox"/> Color photographs of site – include area of request	<input type="checkbox"/> Exterior Lighting – provide cut sheets, details and photometrics for any proposed lighting.
<input checked="" type="checkbox"/> Site plan ( <u>2</u> copy(ies) indicate the extent and location of additions, buildings and other structures, dimensions of existing and proposed structures, sidewalks, and/or driveways as well as any required setbacks.	<input type="checkbox"/> Other: <u>trailer details</u>
<input type="checkbox"/> Material Samples – color chips, awning fabric, glazing, etc.	
<input checked="" type="checkbox"/> Elevation Drawings or Color Photo simulations ( <u>2</u> copy(ies) – of additions, buildings, or other changes with materials and colors noted and keyed	

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2):

<input checked="" type="checkbox"/> Enhanced Application Review:	I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.
<input type="checkbox"/> Standard Application Review:	I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature: <u>SKYSONG RESIDENTIAL I</u> <u>[Signature]</u>	Agent/Applicant Signature: _____
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Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: [www.scottsdaleaz.gov](http://www.scottsdaleaz.gov)



# Development Review

## Methodologies and Required Notice

### Review Methodologies

The City of Scottsdale maintains a business and resident friendly approach to new development and improvements to existing developments. In order to provide for flexibility in the review of Development Applications, and Applications for Permitting, the City of Scottsdale provides two methodologies from which an owner or agent may choose to have the City process the application. The methodologies are:

#### **1. Enhanced Application Review Methodology**

Within the parameters of the Regulatory Bill-of-Rights of the Arizona Revised Statutes, the Enhanced Application Review method is intended to increase the likelihood that the applicant will obtain an earlier favorable written decision or recommendation upon completion of the city's reviews. To accomplish this objective, the Enhanced Application Review allows:

- the applicant and City staff to maintain open and frequent communication (written, electronic, telephone, meeting, etc.) during the application review;
- City staff and the applicant to collaboratively work together regarding an application; and
- City staff to make requests for additional information and the applicant to submit revisions to address code, ordinance, or policy deficiencies in an expeditious manner.

Generally, the on-going communication and the collaborative work environment will allow the review of an application to be expedited within the published Staff Review Time frames.

#### **2. Standard Application Review Methodology:**

Under the Standard Application Review, the application is processed in accordance with the Regulatory Bill-of-Rights of the Arizona Revised Statutes. These provisions significantly minimize the applicant's ability to collaboratively work with City Staff to resolve application code, ordinance, or policy deficiencies during the review of an application. After the completion the city's review, a written approval or denial, recommendation of approval or denial, or a written request for additional information will be provided.

The City is not required to provide an applicant the opportunity to resolve application deficiencies, and staff is not permitted to discuss or request additional information that may otherwise resolve a deficiency during the time the City has the application. Since the applicant's ability to collaboratively work with Staff's to resolve deficiencies is limited, the total Staff Review Time and the likelihood of a written denial, or recommendation of denial is significantly increased.

### Required Notice

1. Pursuant to A.R.S. §9-836, an applicant may receive a clarification from the City regarding interpretation or application of a statute, ordinance, code or authorized substantive policy statement. A request to clarify an interpretation or application of a statute, ordinance, code, policy statement administered by the Planning, Neighborhood and Transportation Division shall be submitted in writing to the One Stop Shop to the attention of the Planning, Neighborhood & Transportation Administrator or designee. All such requests must be submitted in accordance with the A.R.S. §9-839 and the City's applicable administrative policies available at the Planning, Neighborhood and Transportation Division's One Stop Shop, or from the city's website: <http://www.scottsdaleaz.gov/bldgresources/forms>.

Planning, Neighborhood and Transportation Division  
One Stop Shop  
Planning, Neighborhood & Transportation Administrator  
7447 E. Indian School Rd, Suite 105  
Scottsdale, AZ 85251

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale Website: [www.scottsdaleaz.gov](http://www.scottsdaleaz.gov)





# Development Application Process

## Enhanced Application Review

### Staff Review Applications: SA, WM, & MD

#### Enhanced Application Review Methodology

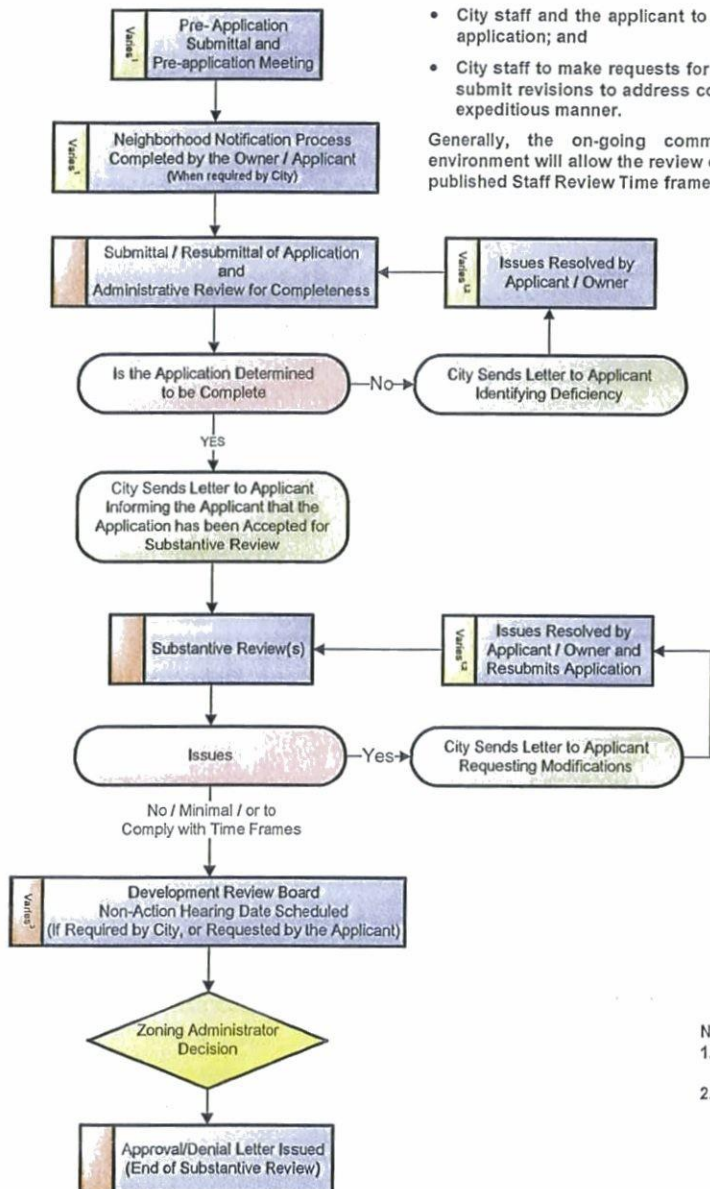
Within the parameters of the Regulatory Bill-of-Rights of the Arizona Revised Statutes, the Enhanced Application Review method is intended to increase the likelihood that the applicant will obtain an earlier favorable written decision or recommendation upon completion of the city's reviews. To accomplish this objective, the Enhanced Application Review allows:

- the applicant and City staff to maintain open and frequent communication (written, electronic, telephone, meeting, etc.) during the application review;
- City staff and the applicant to collaboratively work together regarding an application; and
- City staff to make requests for additional information and the applicant to submit revisions to address code, ordinance, or policy deficiencies in an expeditious manner.

Generally, the on-going communication and the collaborative work environment will allow the review of an application to be expedited within the published Staff Review Time frames.

#### Application Types:

- Development Review – Minor (SA)
- Wash Modifications (WM)
- Land Division – Minor Subdivision (MD)



#### Note:

1. Time period determined by owner/ applicant.
2. All reviews and time frames are suspended from the date a the letter is issued requesting additional information until the date the City receives the resubmittal from the owner/applicant.
3. Owner/applicant may agree to extend the time frame by 25 percent

#### Time Line

Administrative Review	Substantive Review	Approval/Denial Letter Issued
15 Staff Working Days Per Review	50 Total Staff Working Days, Multiple City Reviews in This Time Frame <sup>2,3,4</sup>	



# Development Application Process

## Standard Application Review

### Staff Review Applications: SA, WM, & MD

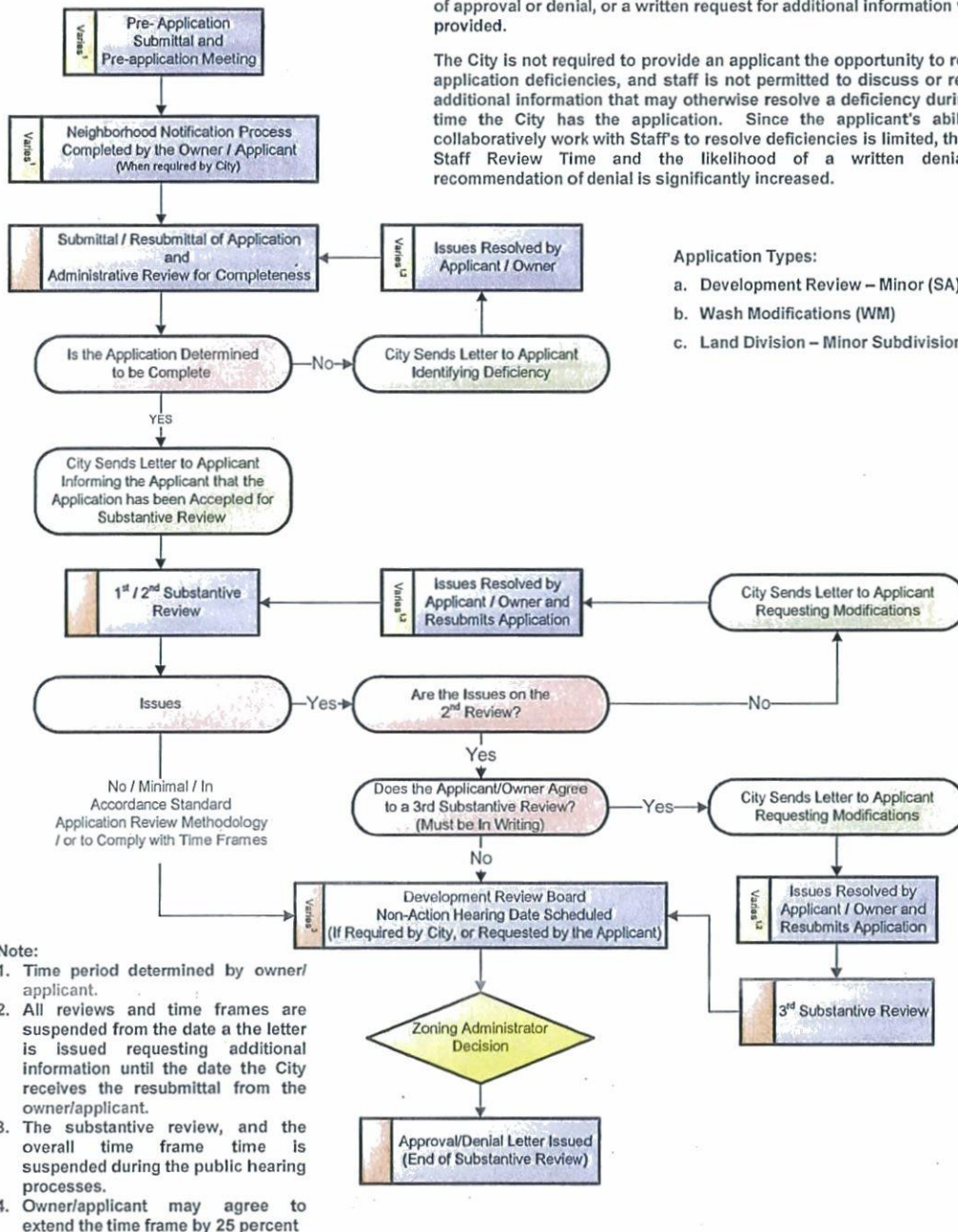
#### Standard Application Review Methodology:

Under the Standard Application Review, the application is processed in accordance with the Regulatory Bill-of-Rights of the Arizona Revised Statutes. These provisions significantly minimize the applicant's ability to collaboratively work with City Staff to resolve application code, ordinance, or policy deficiencies during the review of an application. After the completion of the city's review, a written approval or denial, recommendation of approval or denial, or a written request for additional information will be provided.

The City is not required to provide an applicant the opportunity to resolve application deficiencies, and staff is not permitted to discuss or request additional information that may otherwise resolve a deficiency during the time the City has the application. Since the applicant's ability to collaboratively work with Staff's to resolve deficiencies is limited, the total Staff Review Time and the likelihood of a written denial, or recommendation of denial is significantly increased.

#### Application Types:

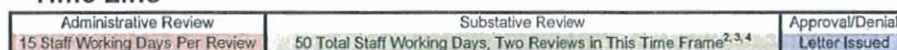
- Development Review – Minor (SA)
- Wash Modifications (WM)
- Land Division – Minor Subdivision (MD)



#### Note:

- Time period determined by owner/applicant.
- All reviews and time frames are suspended from the date a letter is issued requesting additional information until the date the City receives the resubmittal from the owner/applicant.
- The substantive review, and the overall time frame time is suspended during the public hearing processes.
- Owner/applicant may agree to extend the time frame by 25 percent

#### Time Line



Planning, Neighborhood & Transportation

7447 E Indian School Road, Suite 105, Scottsdale, AZ 84251 • Phone: 480-312-7000 • Fax: 480-312-7088

City of Scottsdale Website: [www.scottsdaleaz.gov](http://www.scottsdaleaz.gov)

MEMORANDUM

To: Greg Bloemberg

From: Don Couvillion, SkySong Residential

RE: LEASING TRAILER NARRATIVE

Here is our request for a permit for a temporary leasing office trailer to be placed at the SkySong Residential Site.

The request is for the placement of an 8-foot by 24-foot temporary office trailer on the Southeast Corner of SkySong Boulevard and 74<sup>th</sup> Street. The temporary office will be at this location for approximately 75 days, from August 1 through October 15. It will utilize temporary power and water from the existing job trailer that has been moved from an adjacent location.

The trailer will be wood sided, grey in color per the photo, and will have a full solid skirt around the base. It will be provided with ADA access via a ramp similar to the one shown in the attached drawing.

Thanks for your consideration. We appreciate your fast service.

## Context Aerial Photo



APN: 131-17-014F      Owner: ASUF SCOTTSDALE LLC (LEASE)  
Address: 1375 N SCOTTSDALE RD, AZ      Floor: 1





Owner: ASUF SCOTTSDALE LLC (LEASE)  
AZ Floor: 1

19

Skysong

Skysong

PHOTO 1



PHOTO 3



PHOTO 2



DETAIL

74th St

## Color Site Photos





1.











## Site Plan



## Drawings/Photo Simulation



- 1) RAMP SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1/12 (8% SLOPE)
- 2) THE MAXIMUM VERTICAL RISE OF RAMP RUN SHALL BE 30" MAXIMUM.
- 3) THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL AND THE SLOPE ON LANDINGS SHALL NOT BE STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL.
- 4) WHEN CHANGES IN DIRECTION OF TRAVEL OCCUR AT LANDINGS BETWEEN RAMP RUNS, THE LANDING SHALL BE 60"x60" MINIMUM
- 5) MANEUVERING CLEARANCE ON PULL SIDE OF DOOR SHALL BE 18" ON INTERIOR AND 24" EXTERIOR WITH 60" LANDING IN FRONT OF DOOR.
- 6) HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES. HANDRAILS SHALL BE PARALLEL WITH THE SURFACE AND PROJECT 12"
- 7) TOP OF HANDRAILS SHALL BE MOUNTED BETWEEN 33" AND 36" ABOVE THE SURFACE.
- 8) CLEARANCE BETWEEN RAIL AND WALL SHALL BE 1 1/2".
- 9) GUARD RAILS SHALL TO BE DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED @ ANY POINT AND ANY DIRECTION ALONG THE RAIL OR A UNIFORM LOAD OF 50#/L F. APPLIED HORIZONTALLY TO THE GUARD HEIGHT.
- 10) BALUSTERS ARE INDEPENDENTLY DESIGNED FOR A CONCENTRATE LOAD OF 200# APPLIED TO ONE SQUARE FOOT OF AREA.
- 11) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE MAXIMUM DIAMETER OF 1 1/4" MINIMUM AND 2" MAXIMUM.
- 12) GRIPPING SURFACE SHALL BE UNINTERRUPTED BY POSTS OR OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS
- 13) HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS
- 14) ENDS OF HANDRAILS SHALL RETURN SMOOTHLY TO FLOOR, WALL OR POST
- 15) STEPS, RAMPS AND PLATFORMS SHALL BE DESIGNED FOR 100 PSF LIVE LOAD.
- 16) RAMPS EXCEEDING 10 FT IN LENGTH AND LANDING HAVING A DROP EXCEEDING 4 IN. SHALL BE PROVIDED WITH WHEEL GUIDE 2 TO 4 IN ABOVE THE SURFACE OF RAMP AND LANDING
- 17) SUBMIT SHOP DRAWINGS FOR APPROVAL

## 1 RAMP NOTES

SCALE: NTS

REFERENCE CBC 2010  
DESIGN LOADS  
LIVE LOAD- 100 PSF  
HANDRAIL IMPACT- 200 PSF

### MATERIALS

ROUND STEEL TUBE- ASTM A513 Fy= 35 KSI  
SQUARE STEEL TUB- ASTM A500 GR. B Fy= 46 KSI  
ALUMINUM SHEET- 3003-H22 Fty= 27 KSI Fcy= 21 KSI  
OR 5052-H34 Fty= 24 KSI Fcy=24 KSI

WELDS  
WELDING SHALL BE IN ACCORDANCE WITH AWS D.1.188  
USING E70XX ELECTRODES FOR STEEL

## 2 STRUCTURAL NOTES

SCALE: NTS

### STAIR CONSTRUCTION NOTES

- 1) MANEUVERING CLEARANCE ON PULL SIDE OF DOOR SHALL BE 18" WITH 60" LANDING IN FRONT OF DOOR. ALL STEPS SHALL HAVE A UNIFORM RISER HEIGHT AND TREAD WIDTH, TREADS SHALL NOT BE LESS THAN 11" DEPTH AND 7" HIGH.
- 2) TREAD NOSING SHALL NOT BE ABRUPT. BOTTOM OF NOSING SHALL HAVE AN ANGLE NOT MORE THAN 30 DEGREES FROM HORIZONTAL PROJECTION AND SHALL NOT EXCEED 1 1/4". PER IBC 2006 SECTION 1009 STAIRS, PARAGRAPH 1009.3.3 PROFILE
- 3) THERE SHALL BE NO VARIATION EXCEEDING 3/16" DEPTH OF ADJACENT TREADS OR IN HEIGHT OF ADJACENT RISERS AND A TOLERANCE BETWEEN LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" IN ANY FLIGHT.
- 4) HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE A MINIMUM OUTSIDE DIMENSION OF 1 1/4" AND NOT GREATER THAN 2". FOR NON CIRCULAR HANDRAILS THE MINIMUM DIMENSION IS 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS HANDRAILS SHALL RETURN TO A WALL OR EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND SHALL EXTEND 12" PLUS ONE TREAD AT BOTTOM RISERS. CLEAR SPACE BETWEEN THE WALL OR OTHER SURFACE SHALL BE A MINIMUM 1 1/2"
- 5) OPEN RISERS ARE NOT PERMITTED
- 6) OUTDOOR STAIRS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON THE WALKING SURFACE.
- 7) STEPS, RAMPS AND PLATFORMS SHALL BE DESIGNED FOR 100 PSF LIVE LOAD

## 3 STAIR CONSTRUCTION NOTES

SCALE: NTS

- 1) MANEUVERING CLEARANCE ON EXTERIOR PULL SIDE OF DOOR SHALL BE 24" MINIMUM WITH 80" MINIMUM LANDING IN FRONT OF DOOR
- 2) HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES. HANDRAILS SHALL BE PARALLEL WITH THE SURFACE AND PROJECT 12" ON TOP OF RISER AND 12" PLUS 1 TREAD AT BOTTOM RISER. AT RAMPS WHERE HANDRAIL ARE NOT CONTINUOUS BETWEEN RUNS THE HANDRAIL SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MINIMUM BEYOND TOP AND BOTTOM RAMPS
- 3) TOP OF HANDRAILS SHALL BE MOUNTED BETWEEN 33" AND 36" ABOVE THE SURFACE.
- 4) CLEARANCE BETWEEN RAIL AND WALL SHALL BE A MINIMUM OF 1 1/2".
- 5) GUARD RAILS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED @ ANY POINT AND ANY DIRECTION ALONG THE RAIL OR A UNIFORM LOAD OF 50#/L F APPLIED HORIZONTALLY @ GUARD HEIGHT.
- 6) BALUSTERS ARE INDEPENDENTLY DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED TO ONE SQUARE FOOT OF AREA.
- 7) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 1/4" MINIMUM AND NOT GREATER THAN 2" MAXIMUM.
- 8) GRIPPING SURFACE SHALL BE UNINTERRUPTED BY POSTS OR OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
- 9) HANDRAILS SHALL NOT ROTATE IN THERE FITTINGS
- 10) ENDS OF HANDRAILS SHALL RETURN SMOOTHLY TO FLOOR, WALL OR POST.

## 4 RAILING NOTES

SCALE: NTS



THE PLANS, IDEAS & DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF R & S TAVARES ASSOCIATES. DEvised SOLELY FOR THIS CONTRACT. THESE PLANS SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH THEY WERE NOT INTENDED WITHOUT THE EXPRESS WRITTEN CONSENT OF R & S TAVARES ASSOCIATES, INC.

### REVISION



### PROFESSIONAL STAMP



PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
NOTES

PROJECT  
NUMBER  
10027

DRAWN BY  
ST

CHECKED BY  
RT

DATE  
03-05-2013

SHEET NO.

A1.0

Layout1: 3/5/2013 11:58:46 AM: stavaras, Silviana

1 5/16" Ø x 0.065  
STEEL TUBE  
HANDRAIL (TYP.)

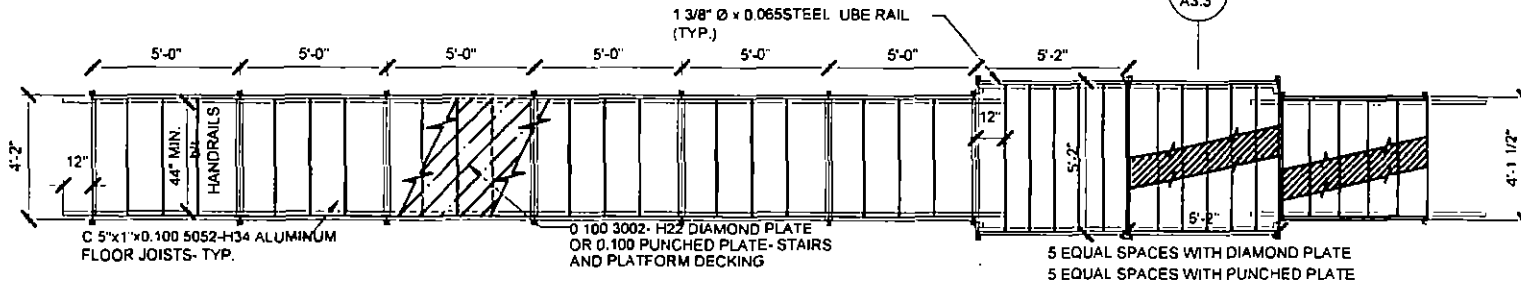


LANDING REQUIRED AT EVERY 30' CHANGE IN  
ELEVATION w/ 1/12 MAX. SLOPE RAMP

5  
A3.2

2x2x3/16 ALUMINUM  
POST (TYP.)

1 3/8" Ø x 0.065 STEEL TUBE RAIL  
(TYP.)

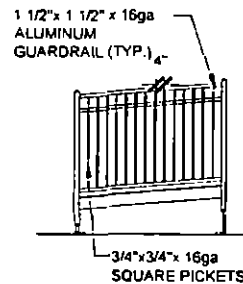
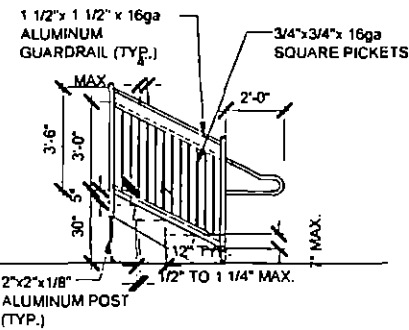


6  
A3.3

5 EQUAL SPACES WITH DIAMOND PLATE  
5 EQUAL SPACES WITH PUNCHED PLATE

1 RAMP WITH STAIRS FLOOR PLAN AND SIDE VIEW

SCALE: 1 1/2"=1'-0"



2 RAMP SIDE RAIL

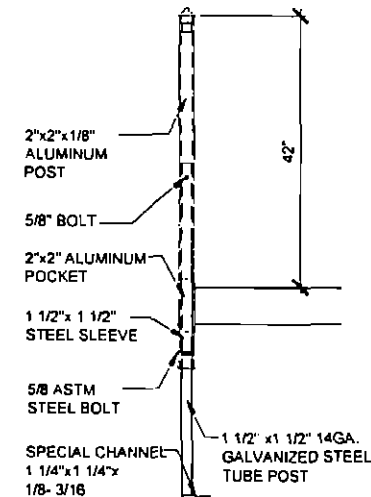
SCALE: 1/4"=1'-0"

3 RAMP LANDING RAIL

SCALE: 1/4"=1'-0"

5 POST DETAIL

SCALE: 3/4"=1'-0"



THE PLANS, IDEAS & DESIGNS SHOWN ON  
THESE DRAWINGS ARE THE PROPERTY  
OF R & S STAVARES ASSOCIATES. DEVICES  
SOLELY FOR THIS CONTRACT. THESE  
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OR IN PART, FOR ANY PURPOSE FOR  
WHICH THEY WERE NOT INTENDED  
WITHOUT THE EXPRESS WRITTEN CONSENT  
OF R & S STAVARES ASSOCIATES & C.

REVISION



PROFESSIONAL STAMP



05/14/2013

PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
FLOOR PLAN  
SIDE VIEW  
DETAILS

PROJECT  
NUMBER  
10027

DRAWN BY  
ST

CHECKED BY  
RT

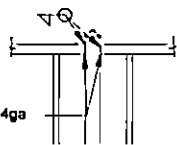
DATE  
03-05-2013

SHEET NO

A2.0

PREPARED FOR: Portillo Holdings Inc | 85 S McClintock Dr | Tempe AZ 85281

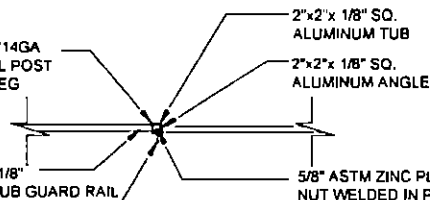
1 1/2"x1 1/2"x14ga  
ALUMINUM  
CHANNEL



1 1/2"x1 1/2"x14ga  
INNER STEEL POST  
THROUGH LEG

1 1/4"x1 1/4"x1/8"  
ALUMINUM TUB GUARD RAIL

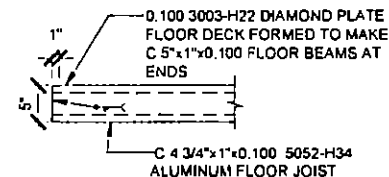
5/8" ASTM ZINC  
PLATED BOLT



2"x2"x 1/8" SQ.  
ALUMINUM TUB

2"x2"x 1/8" SQ.  
ALUMINUM ANGLE

5/8" ASTM ZINC PLATED  
NUT WELDED IN PLACE



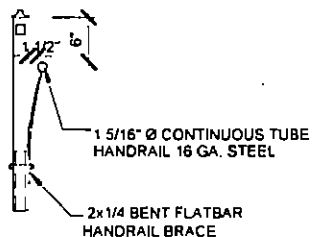
0.100 3003-H22 DIAMOND PLATE  
FLOOR DECK FORMED TO MAKE  
C 5"x1"x0.100 FLOOR BEAMS AT  
ENDS

C 4 3/4"x1"x0.100 5052-H34  
ALUMINUM FLOOR JOIST

1 RAILING CONNECTION SCALE: 3/4"=1'-0"

2 DECK CONNECTION SCALE: 1/2"=1'-0"

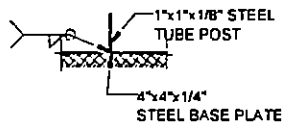
3 FORMED FL JOIST DECK CONNECTION SCALE: 3/4"=1'-0"



1 5/16" Ø CONTINUOUS TUBE  
HANDRAIL 16 GA. STEEL

2x1/4 BENT FLATBAR  
HANDRAIL BRACE

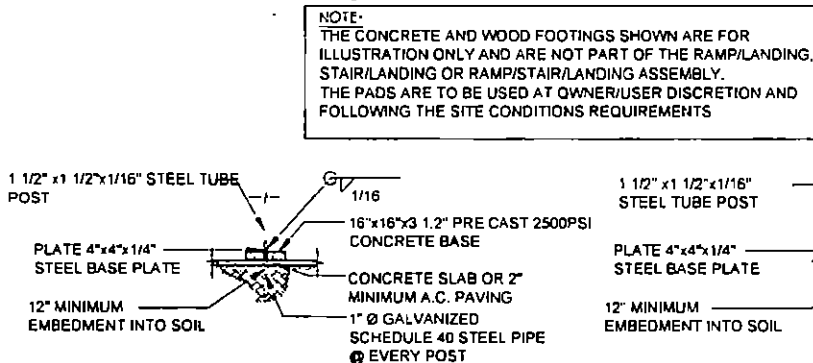
4 HANDRAIL SCALE: 3/4"=1'-0"



1"x1"x1/8" STEEL  
TUBE POST

4"x4"x1/4"  
STEEL BASE PLATE

5 TYP. FOOTING SCALE: 1/4"=1'-0"



1 1/2" x1 1/2"x1/16" STEEL TUBE  
POST

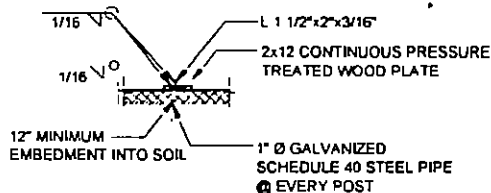
16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE SLAB OR 2"  
MINIMUM A.C. PAVING

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST

12" MINIMUM  
EMBEDMENT INTO SOIL

NOTE:  
THE CONCRETE AND WOOD FOOTINGS SHOWN ARE FOR  
ILLUSTRATION ONLY AND ARE NOT PART OF THE RAMP/LANDING,  
STAIR/LANDING OR RAMP/STAIR/LANDING ASSEMBLY.  
THE PADS ARE TO BE USED AT OWNER/USER DISCRETION AND  
FOLLOWING THE SITE CONDITIONS REQUIREMENTS



1 1/2" x1 1/2"x1/16" STEEL TUBE  
POST

2x12 CONTINUOUS PRESSURE  
TREATED WOOD PLATE

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

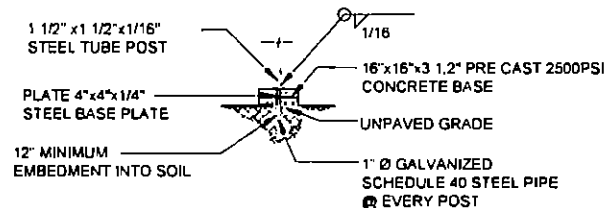
16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE SLAB OR 2"  
MINIMUM A.C. PAVING

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST

12" MINIMUM  
EMBEDMENT INTO SOIL

FOOTING AT GROUND MOUNT LANDING

6 FOOTINGS SCALE: 1/4"=1'-0"



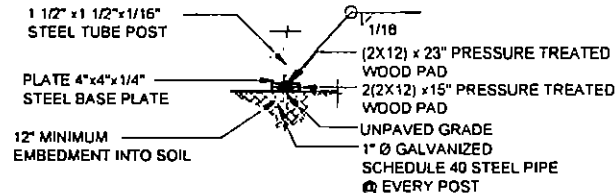
1 1/2" x1 1/2"x1/16" STEEL TUBE  
POST

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE SLAB OR 2"  
MINIMUM A.C. PAVING

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST

12" MINIMUM  
EMBEDMENT INTO SOIL



1 1/2" x1 1/2"x1/16" STEEL TUBE  
POST

2(2X12) x 23" PRESSURE TREATED  
WOOD PAD

2(2X12) x 15" PRESSURE TREATED  
WOOD PAD

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

16"x16"x3 1/2" PRE CAST 2500PSI  
CONCRETE SLAB OR 2"  
MINIMUM A.C. PAVING

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST

12" MINIMUM  
EMBEDMENT INTO SOIL



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OF R & S STAVARES ASSOCIATES, INC.

REVISION

PROFESSIONAL STAMP



PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
FOOTINGS  
DETAILS

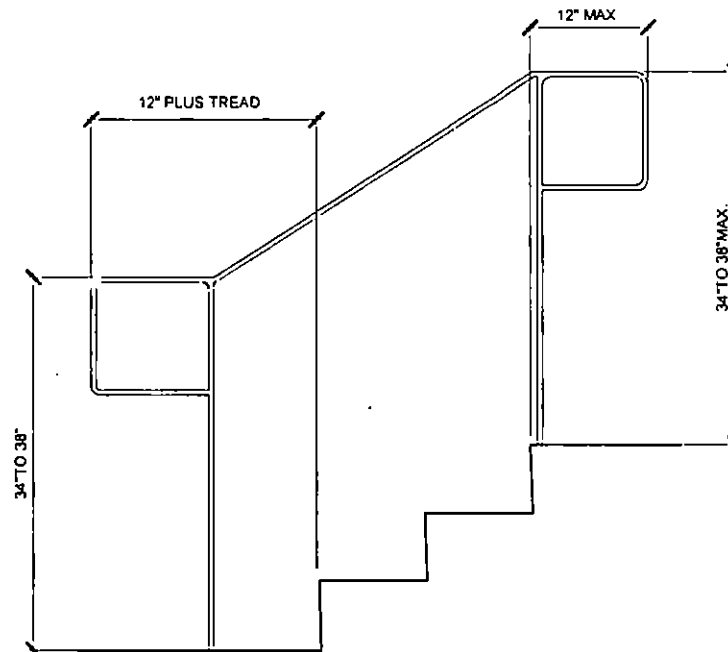
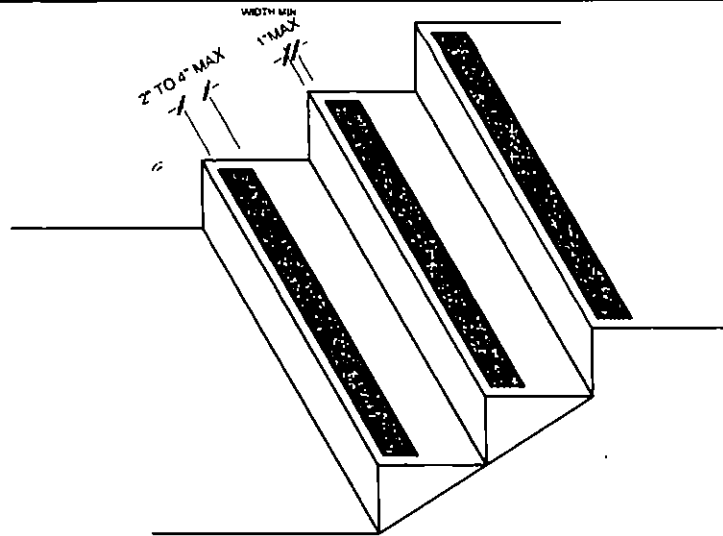
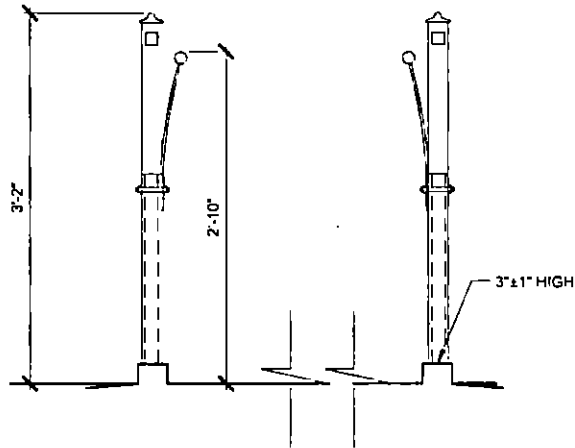
PROJECT  
NUMBER 10027

DRAWN BY ST CHECKED BY RT

DATE 03-05-2013

SHEET NO

A3.0



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#### REVISION



#### PROFESSIONAL STAMP



PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
RAMP  
&  
STAIRS

PROJECT  
NUMBER  
10027

DRAWN BY  
ST

CHECKED BY  
RT

DATE  
03-05-2013

SHEET NO

A3.1





**MEMORANDUM**

**To: Greg Bloemberg**

**From: Don Couvillion, SkySong Residential**

**RE: LEASING TRAILER NARRATIVE**

Here is our request for a permit for a temporary leasing office trailer to be placed at the SkySong Residential Site.

The request is for the placement of an 8-foot by 24-foot temporary office trailer on the Southeast Corner of SkySong Boulevard and 74<sup>th</sup> Street. The temporary office will be at this location for approximately 75 days, from August 1 through October 15. It will utilize temporary power and water from the existing job trailer that has been moved from an adjacent location.

The trailer will be wood sided, grey in color per the photo, and will have a full solid skirt around the base. It will be provided with ADA access via a ramp similar to the one shown in the attached drawing.

Thanks for your consideration. We appreciate your fast service.

## Context Aerial Photo

APN: 131-17-014F      Owner: ASUF SCOTTSDALE LLC (LEASE)  
Address: 1375 N SCOTTSDALE RD, AZ      Floor: 1





Owner: ASUF SCOTTSDALE LLC (LEASE)  
AZ Floor: 1

19

Skysong

Skysong

Photo 1  
↓

Photo 3  
↑

Photo 2  
←

DETAIL

74th St

## Color Site Photos





1.









3.

## Site Plan





0                      8                      16                      32



**Drawings/Photo Simulation**

- 1) RAMP SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1/12 (8% SLOPE)
- 2) THE MAXIMUM VERTICAL RISE OF RAMP RUN SHALL BE 30" MAXIMUM.
- 3) THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL AND THE SLOPE ON LANDINGS SHALL NOT BE STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL.
- 4) WHEN CHANGES IN DIRECTION OF TRAVEL OCCUR AT LANDINGS BETWEEN RAMP RUNS, THE LANDING SHALL BE 60"x60" MINIMUM
- 5) MANEUVERING CLEARANCE ON PULL SIDE OF DOOR SHALL BE 18" ON INTERIOR AND 24" EXTERIOR WITH 60" LANDING IN FRONT OF DOOR.
- 6) HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES. HANDRAILS SHALL BE PARALLEL WITH THE SURFACE AND PROJECT 12"
- 7) TOP OF HANDRAILS SHALL BE MOUNTED BETWEEN 33" AND 38" ABOVE THE SURFACE.
- 8) CLEARANCE BETWEEN RAIL AND WALL SHALL BE 1 1/2"
- 9) GUARD RAILS SHALL TO BE DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED @ ANY POINT AND ANY DIRECTION ALONG THE RAIL OR A UNIFORM LOAD OF 50#/L F APPLIED HORIZONTALLY TO THE GUARD HEIGHT
- 10) BALUSTERS ARE INDEPENDENTLY DESIGNED FOR A CONCENTRATE LOAD OF 200# APPLIED TO ONE SQUARE FOOT OF AREA.
- 11) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE MAXIMUM DIAMETER OF 1 1/4" MINIMUM AND 2" MAXIMUM.
- 12) GRIPPING SURFACE SHALL BE UNINTERRUPTED BY POSTS OR OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
- 13) HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.
- 14) ENDS OF HANDRAILS SHALL RETURN SMOOTHLY TO FLOOR, WALL OR POST
- 15) STEPS, RAMPS AND PLATFORMS SHALL BE DESIGNED FOR 100 PSF LIVE LOAD.
- 16) RAMPS EXCEEDING 10 FT IN LENGTH AND LANDING HAVING A DROP EXCEEDING 4 IN. SHALL BE PROVIDED WITH WHEEL GUIDE 2 TO 4 IN. ABOVE THE SURFACE OF RAMP AND LANDING
- 17) SUBMIT SHOP DRAWINGS FOR APPROVAL

# 1 RAMP NOTES

SCALE NTS

REFERENCE CBC 2010

## MATERIALS

DESIGN LOADS:  
LIVE LOAD- 100 PSF  
HANDRAIL IMPACT- 200 PSF

ROUND STEEL TUBE- ASTM A513 Fy= 35 KSI  
SQUARE STEEL TUB- ASTM A500 GR. B Fy= 46 KSI  
ALUMINUM SHEET- 3003-H22 Fy= 27 KSI Fcy= 21 KSI  
OR 5052-H34 Fy= 24 KSI Fcy=24 KSI

## WELDS

WELDING SHALL BE IN ACCORDANCE WITH AWS D 1.188  
USING E70XX ELECTRODES FOR STEEL

# 2 STRUCTURAL NOTES

SCALE NTS

## STAIR CONSTRUCTION NOTES

- 1) MANEUVERING CLEARANCE ON PULL SIDE OF DOOR SHALL BE 18" WITH 60" LANDING IN FRONT OF DOOR. ALL STEPS SHALL HAVE A UNIFORM RISER HEIGHT AND TREAD WIDTH. TREADS SHALL NOT BE LESS THAN 11" DEPTH AND 7" HIGH.
- 2) TREAD NOSING SHALL NOT BE ABRUPT. BOTTOM OF NOSING SHALL HAVE AN ANGLE NOT MORE THAN 30 DEGREES FROM HORIZONTAL PROJECTION AND SHALL NOT EXCEED 1 1/4". PER IBC 2006 SECTION 1009 STAIRS, PARAGRAPH 1009.3.3 PROFILE
- 3) THERE SHALL BE NO VARIATION EXCEEDING 3/16" DEPTH OF ADJACENT TREADS OR IN HEIGHT OF ADJACENT RISERS AND A TOLERANCE BETWEEN LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" IN ANY FLIGHT.
- 4) HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE A MINIMUM OUTSIDE DIMENSION OF 1 1/4" AND NOT GREATER THAN 2". FOR NON CIRCULAR HANDRAILS THE MINIMUM DIMENSION IS 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2 1/4" EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS HANDRAILS SHALL RETURN TO A WALL OR EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND SHALL EXTEND 12" PLUS ONE TREAD AT BOTTOM RISERS CLEAR SPACE BETWEEN THE WALL OR OTHER SURFACE SHALL BE A MINIMUM 1 1/2"
- 5) OPEN RISERS ARE NOT PERMITTED.
- 6) OUTDOOR STAIRS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON THE WALKING SURFACE.
- 7) STEPS, RAMPS AND PLATFORMS SHALL BE DESIGNED FOR 100 PSF LIVE LOAD.

# 3 STAIR CONSTRUCTION NOTES

SCALE NTS

- 1) MANEUVERING CLEARANCE ON EXTERIOR PULL SIDE OF DOOR SHALL BE 24" MINIMUM WITH 60" MINIMUM LANDING IN FRONT OF DOOR.
- 2) HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES. HANDRAILS SHALL BE PARALLEL WITH THE SURFACE AND PROJECT 12" ON TOP OF RISER AND 12" PLUS 1 TREAD AT BOTTOM RISER AT RAMPS WHERE HANDRAIL ARE NOT CONTINUOUS BETWEEN RUNS THE HANDRAIL SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MINIMUM BEYOND TOP AND BOTTOM RAMPS
- 3) TOP OF HANDRAILS SHALL BE MOUNTED BETWEEN 33" AND 38" ABOVE THE SURFACE.
- 4) CLEARANCE BETWEEN RAIL AND WALL SHALL BE A MINIMUM OF 1 1/2".
- 5) GUARD RAILS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED @ ANY POINT AND ANY DIRECTION ALONG THE RAIL OR A UNIFORM LOAD OF 50#/L F APPLIED HORIZONTALLY @ GUARD HEIGHT.
- 6) BALUSTERS ARE INDEPENDENTLY DESIGNED FOR A CONCENTRATED LOAD OF 200# APPLIED TO ONE SQUARE FOOT OF AREA.
- 7) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 1/4" MINIMUM AND NOT GREATER THAN 2" MAXIMUM.
- 8) GRIPPING SURFACE SHALL BE UNINTERRUPTED BY POSTS OR OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
- 9) HANDRAILS SHALL NOT ROTATE IN THERE FITTINGS
- 10) ENDS OF HANDRAILS SHALL RETURN SMOOTHLY TO FLOOR, WALL OR POST.

# 4 RAILING NOTES

SCALE NTS

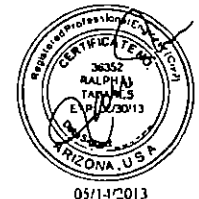


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## REVISION



## PROFESSIONAL STAMP



PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
NOTES

PROJECT  
NUMBER  
10027

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CHECKED BY  
RT

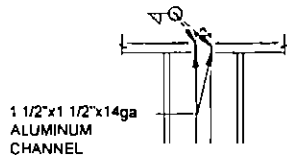
DATE  
03-05-2013

SHEET NO

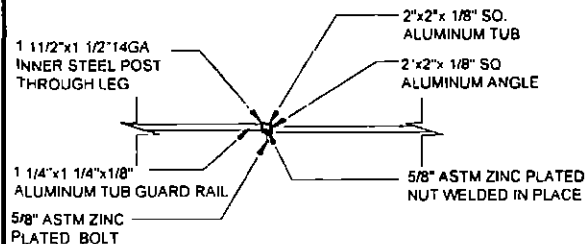
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1 1/2"x1 1/2"x14ga  
ALUMINUM  
CHANNEL



1 1/2"x1 1/2"x14ga  
INNER STEEL POST  
THROUGH LEG

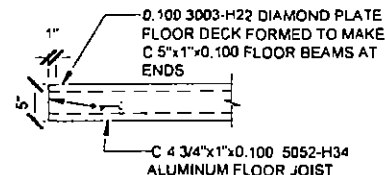
1 1/4"x1 1/4"x1/8"  
ALUMINUM TUB GUARD RAIL

5/8" ASTM ZINC  
PLATED BOLT

2"x2"x 1/8" SO.  
ALUMINUM TUB

2"x2"x 1/8" SO  
ALUMINUM ANGLE

5/8" ASTM ZINC PLATED  
NUT WELDED IN PLACE



C 4 3/4"x1"x0.100 5052-H34  
ALUMINUM FLOOR JOIST

1 RAILING CONNECTION

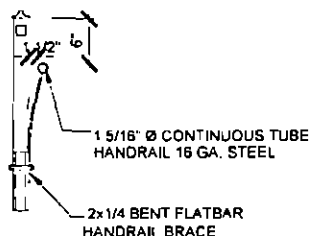
SCALE: 3/4"=1'-0"

2 DECK CONNECTION

SCALE: 1/2"=1'-0"

3 FORMED FL JOIST DECK CONNECTION

SCALE: 3/4"=1'-0"

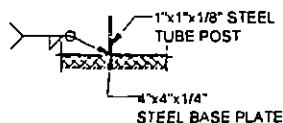


1 5/16" Ø CONTINUOUS TUBE  
HANDRAIL 16 GA. STEEL

2x1/4 BENT FLATBAR  
HANDRAIL BRACE

4 HANDRAIL

SCALE: 3/4"=1'-0"

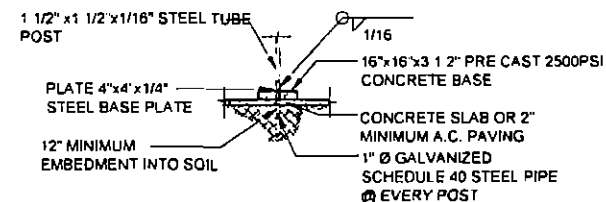


1" x 1" x 1/8" STEEL  
TUBE POST

4" x 4" x 1/4"  
STEEL BASE PLATE

5 TYP. FOOTING

SCALE: 1/4"=1'-0"



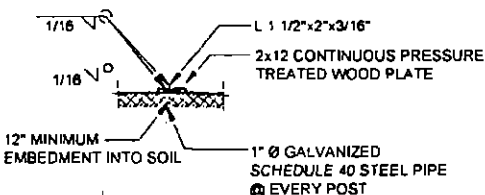
1 1/2" x 1 1/2" x 1/16" STEEL TUBE  
POST

16" x 16" x 3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

4" x 4" x 1/4"  
STEEL BASE PLATE

CONCRETE SLAB OR 2"  
MINIMUM A.C. PAVING

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST



1 1/2" x 1 1/2" x 1/16" STEEL TUBE  
POST

2x12 CONTINUOUS PRESSURE  
TREATED WOOD PLATE

4" x 4" x 1/4"  
STEEL BASE PLATE

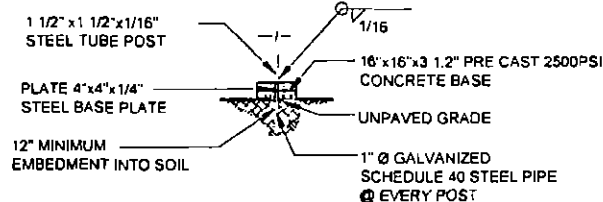
1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST

FOOTING AT GROUND MOUNT LANDING

6 FOOTINGS

SCALE: 1/4"=1'-0"

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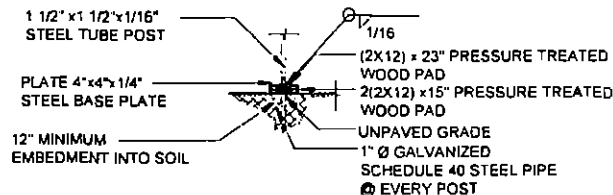
1 1/2" x 1 1/2" x 1/16" STEEL TUBE  
POST

16" x 16" x 3 1/2" PRE CAST 2500PSI  
CONCRETE BASE

4" x 4" x 1/4"  
STEEL BASE PLATE

UNPAVED GRADE

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST



1 1/2" x 1 1/2" x 1/16" STEEL TUBE  
POST

2(2x12) x 23" PRESSURE TREATED  
WOOD PAD

2(2x12) x 15" PRESSURE TREATED  
WOOD PAD

4" x 4" x 1/4"  
STEEL BASE PLATE

UNPAVED GRADE

1" Ø GALVANIZED  
SCHEDULE 40 STEEL PIPE  
@ EVERY POST



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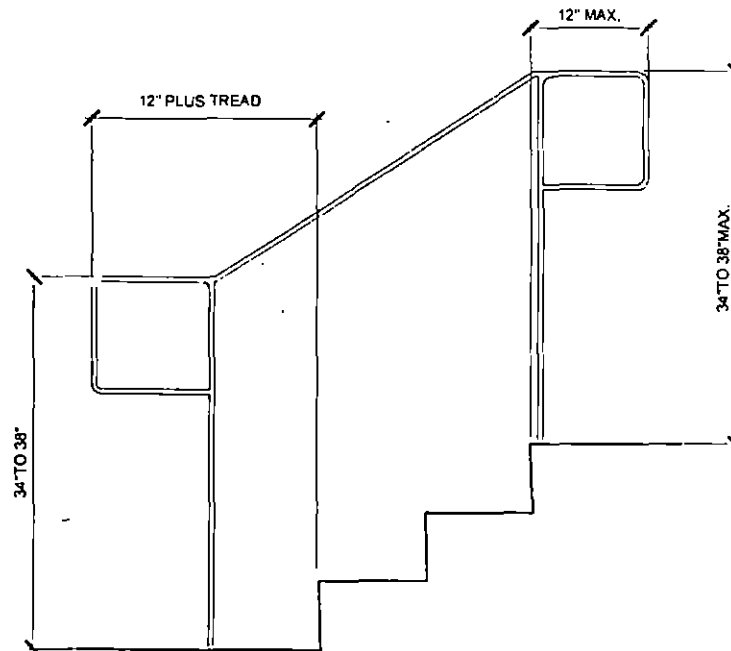
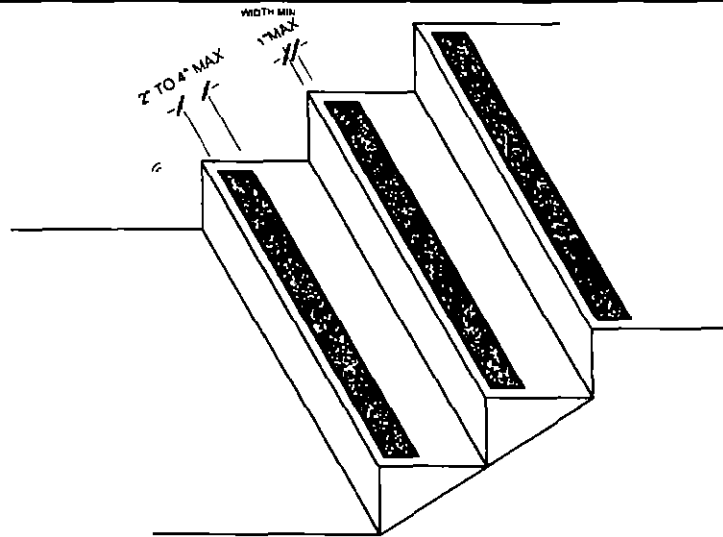
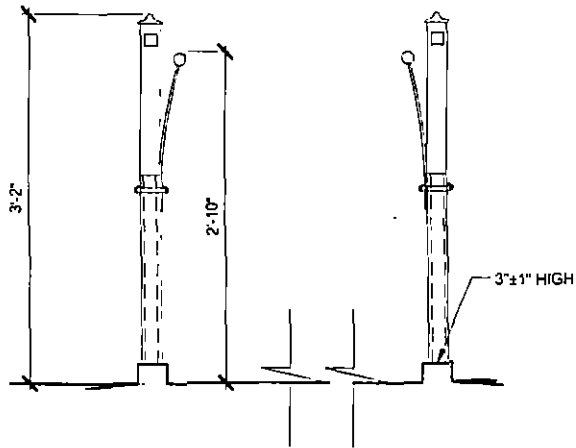



PROJECT TITLE  
ADA COMPLETE  
ACCESS  
STAIRS WITH RAMP

SHEET TITLE  
FOOTINGS  
DETAILS

PROJECT  
NUMBER 10027  
DRAWN BY ST CHECKED BY RT  
DATE 03-05-2013  
SHEET NO

A3.0






**R & S TAVARES ASSOCIATES**  
REGISTERED PROFESSIONAL ENGINEERS - CIVIL  
 6015 W. BELL RD. SUITE 100  
 MESA, ARIZONA 85205  
 PHONE: 480.835.1111 FAX: 480.835.1112  
 WWW.RANDSTAVARES.COM

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REVISION
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PROFESSIONAL STAMP



05/14/2013

PROJECT TITLE

**ADA COMPLETE ACCESS STAIRS WITH RAMP**

SHEET TITLE

**RAMP & STAIRS**

PROJECT NUMBER	
10027	
DRAWN BY	CHECKED BY
ST	RT
DATE	
03-05-2013	
SHEET NO	
A3.1	



