



STAFF APPROVAL LETTER

269-SA-2013

Sprint PH54XC138 - Reshma

STEP 1

STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

PROJECT INFORMATION

LOCATION: 10405 E McDowell Mountain
Ranch Rd
PARCEL: 217-17-001H
Q.S.: 35-53
CODE VIOLATION #:

APPLICANT: Dayna Bedney
COMPANY: Clear Blue Services LLC
ADDRESS: 11011 S 48Th St Ste 210 St Phoenix, AZ 850441732
PHONE: 602-426-9500

Request: Modifications to existing Sprint wireless communication facility.

STIPULATIONS

1. Proposed wireless communication facility shall be in conformance with the plans submitted by Sprint and Clear Blue Services with a date of 2/8/2013 and an approval date by City Staff of 9/25/2013.
2. Prior to final plan approval, and in conformance with Section 7.200.H of the Zoning Ordinance, the applicant shall submit a written report verifying that, at its maximum load, the WCF meets or exceeds the Federal Communication Commission's radio frequency safety standards. Submission of this report is required before communication operations can begin, and before the City's acceptance of any improvements or upgrades to the wireless communication facility.
3. No visible changes shall occur. New antennas, cables, RRH's and mounting hardware shall be fully screened within the existing elevator extension screening structure.
4. Obtain permits as required by the One Stop Shop.
5. Schedule a pre-construction meeting by contacting Inspection Services by calling 480-312-5750.
6. Change owner name on drawings to reflect actual property owner and not Sprint.

Related Cases: 269-SA-2013, 91-SA-2003

SIGNATURE: 
Keith Niederer

DATE APPROVED: September 25, 2013

STEP 2

FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Owner/Builder form if applicable, along with the following plan set(s) to the One-Stop-Shop for plan review:

ARCHITECTURAL: ☒ 4 sets of architectural plans and 1 additional site plan and elevation

This plan set shall be reviewed by the following departments:

PLANNING:
BUILDING:
FIRE:

Staff Reviewer:
Type in Reviewer
Type in Reviewer
Type in Reviewer

Reshma

Pre-Application No.: 386 -PA- 2013 Submittal Date: 9-12-13



Type 1 or 2 WCF Development Review (Minor)
(Administrative Staff Approval)
Development Application Checklist

Official Use:
 City Staff Contact: Keith Niederer Email: kniederer@scottsdaleaz.gov
 Phone: 480-312-2953

Project Name: PH 54XC 130 - Reshma
 Property's Address: 10405 E. McDOWELL MTN. RANCH RD., BESS A.P.N.: 217-17-001H
 Property's Zoning District Designation: C-2

Application Request:

Owner: <u>Whitestone Reit</u>	Applicant: <u>Dayna Bedney</u>
Company: <u>Melanie Richards</u>	Company: <u>Clear Blue Services</u>
Address: <u>2600 S. Gessner Rd. Ste 100</u>	Address: <u>11011 S. 48th St. Phoenix, AZ</u>
Phone: <u>Houston, TX 77063</u> Fax:	Phone: Fax:
E-mail:	E-mail:

Submittal Requirements: Please submit materials requested below. All plans must be folded.

☒ Completed Application (this form) and Application Fee – \$ <u>460.00</u> (fee subject to change every July)	☐ Landscape Plan (2) 24" x 36" folded. Indicate location of existing and new plants, location and dimension of paving, a plant palette with names, symbols, sizes, spacing & quantities, and open space/landscaping calculations.
☒ Affidavit of Authority to Act for Property Owner, letter of authorization, or signature below	☐ Material Samples – color chips, glazing, etc.
☐ Property Owners Association Input	☒ Site plan (2) 24" x 36" folded. Indicate the extent and location of antenna additions, buildings and other structures, including all equipment cabinets. Site plan shall indicate dimensions of existing and proposed structures, dimensions of existing and proposed ROW, setbacks and sight distance visibility triangles.
☒ Request for Site Visits and/or Inspections form	☒ Map showing other existing or planned WCF's that will be used by Provider making the application. (describe height, mounting style & number of antennas on WCF)
☒ Narrative – the WCF request. This shall include efforts made to minimize the visual impact of the antennas and equipment cabinets.	☒ Map of service area for proposed WCF
☒ Color photographs of site – include area of request	☒ Schedule a meeting with Keith Niederer 480-312-2953 when ready to submit this application.
☒ Photo simulations of proposed WCF. In ESL areas, include photosim from nearest single family lots.	☒ Other: <u>RF Report</u>
☒ Community Notification Documentation. Notify all property owners within 750 feet of site. Submit names and addresses of all properties that were notified, submit a copy of the letter that was sent and the date that letter was mailed. Letters shall be mailed at least 15 days prior to submittal.	
☒ Elevation Drawings or Color Photo simulations (2) 24" x 36" folded. – of new additions, buildings, screening, poles or other changes with materials and colors noted and keyed	

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2):

☒ **Enhanced Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

☐ **Standard Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature	Agent/Applicant Signature
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City of Scottsdale Cash Transmittal

94326

94326
25 00595134
09/12/13 PLN-1STOP
DSIMMONS HPDOB58004
9/12/2013 5:10 PM
\$460.00

Received From :

GOODMAN NETWORKS
6400 INTERNATIONAL PKWY STE 1000
PLANO, TX 75093

Bill To :

CLEAR BLUE SERVICES
11011 S 48TH ST
PHOENIX, AZ 85044

Reference #	386-PA-2013	Issued Date	9/12/2013
Address	10405 E MCDOWELL MOUNTAIN RANCH RD	Paid Date	9/12/2013
Subdivision	MCDOWELL MOUNTAIN RANCH RETAIL CENTER	Payment Type	CHECK
Marketing Name	Lot Number	Cost Center	
MCR	523-49	County	No
APN	217-17-001H	Gross Lot Area	0
Owner Information	NAOS Lot Area	Water Zone	
SPRINT	0	Water Type	
20301 N HAYDEN RD STE 110 RD STE A103	Net Lot Area	Sewer Type	
SCOTTSDALE, AZ 852553881	0	Meter Size	
928-777-0767	Number of Units	QS	35-53
	Density		
	1		

Code	Description	Additional	Qty	Amount	Account Number
3166	STAFF APPROVAL (MINOR-CASE)	PH54XC138	1	\$460.00	100-21300-44221

SIGNED BY DAYNA BEDNEY ON 9/12/2013

Total Amount **\$460.00**

(When a credit card is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

TO HAVE WATER METER SET - CALL 480-312-5650 AND REFER TO TRANSMITTAL # 94326

PH54XC138 NARRATIVE REPORT - SCOTTSDALE

REQUEST: Administrative Approval

PROPOSAL: Remove and replace battery cabinet of an existing wireless facility

LOCATION: 10405 E. McDowell Mountain Ranch Rd., Scottsdale, AZ 85259

APN: 217-17-001H

SIZE: 386 sq. ft. lease area, along with roof top antenna

APPLICANT: Clear Blue Services for Sprint

CONTACT PERSON: Dayna Bedney, 602.426.9500 Ext. 107, Planpickup@clearblueservices.com

PURPOSE OF REQUEST

This request for a modification of an existing wireless facility is intended to improve the sparse wireless coverage currently available at the site, as provided by Sprint FCC license. This existing facility is situated in a stealth tower located at the north east corner of building marked "Office Building" on the overall existing site plan.

DESCRIPTION OF PROPOSAL

Sprint is NOT proposing to change the overall height or to increase the foot print of the existing facility. Sprint is proposing to make minor change-outs of the antenna and an equipment cabinet to include the following:

- Remove (6) Existing Panel antennas (2 per sector)
- Install (3) New Panel Antennas (1 per sector)
- Retrofit (1) Existing MOD-Cell 4.0B Cabinet
- Install (1) New Fiber Distribution Box
- Remove Existing Sprint antenna Coaxial Cables
- Install (3) New Hybriflex fiber Optic Cables in Using Existing Coax Route
- Install (6) New 8RRH's
- Install (1) New GPS Antenna and Cable

RELATIONSHIP TO SURROUNDING PROPERTIES

The neighboring area is generally zoned commercial. The current use is consistent with the use regulations for the underlying zoning district. Zoning on the subject parcel is Commercial-2 and zoning of the surrounding properties is as follows:

North – R-4

South – R-4

East – R-4

West – O-S

LOCATION AND ACCESSIBILITY/CIRCULATION SYSTEM

All access is paved and existing. Ingress and egress will be off of McDowell Mountain Ranch Rd. With the exception of sporadic maintenance and service visits, the site will remain unmanned so there are no regular hours of operation nor will there be any new impacts on existing traffic patterns. The proposed technician parking space will be sufficient to handle all necessary parking onsite.

HOURS OF OPERATION

The proposed facility is self-operating and will operate 24 hours a day, 7 days a week; however, it will continue to be unmanned. Personnel will only be on site for periodic servicing and maintenance visits. The site will be connected to and monitored by a central switching center.

DEVELOPMENT PHASING

A typical site of this temporary nature has a one to two week construction schedule.

COMMUNITY FACILITIES/PUBLIC UTILITIES AND SERVICES

The site is served by a single meter 200 amp service. It does not require any potable water and does not generate any wastewater or solid waste. All necessary telco and electrical services will be run at ground level in rigid conduit on sleepers.

NOISE, LIGHT, NUISANCES, AND OTHER ENVIRONMENTAL CONSIDERATIONS

The proposed wireless communication facility will not use any water or generate any wastewater or solidwaste. There will be minimal technician service lighting on a timed switch at eight foot maximum within the equipment compound that will only be used during periodic servicing and maintenance. The proposed facility will not generate any noxious odors, and sounds and vibrations will be limited to small cooling fans within the equipment cabinets, within the equipment enclosure.

NEIGHBORHOOD IMPACT

Increasingly, wireless communication facilities are found to be compatible uses within residential and commercial zoning districts, especially when concealed or stealthed to mimic existing vertical elements in the environment. These facilities afford local residents enhanced service, including full utilization of their handheld device's capabilities, fewer dropped calls, more accurate locating abilities for public safety officials and first responders, and most importantly, reliable access to emergency services.

The existing facility will have no measurable impact on the surrounding neighborhood. The existing facility includes antenna located internal to a commercial campus, specifically located in a stealth tower and represents no additional aesthetic challenges to the area in general.



Clear Blue
Services

LETTER OF AUTHORIZATION

TO THE CITY OF SCOTTSDALE

APPLICATION FOR ZONING/USE/BUILDING PERMIT

The undersigned OWNER of the below described Property ("Owner"), does/do hereby appoint Alcatel Lucent and their vendor Clear Blue Services, on behalf of Sprint Spectrum, L.P., as agent for the purpose of consummating any application necessary to ensure its ability to use and/or construct improvements to the Property leased or licensed to it for the purpose of constructing a wireless communications facility. I understand that the application may be denied, modified or approved with conditions and that those conditions or modifications must be complied with prior to issuance of building permits. Owner hereby authorizes the employees of the City of Scottsdale to enter upon the Property during normal business hours as necessary to inspect the Property for the purpose of processing this application.

Property Located at: 10405 E. McDowell Mountain, Scottsdale AZ 85259 ("Property")

Assessor's Parcel Number: 217-17-001H

Owner's Name (print): Whitestone REIT Operating Partnership, LP

Signature (and title, if applicable) of Property Owner:

Name:

Melanie Richards

Name: (please print)

Melanie Richards

Title:

Property Manager

Date Executed:

2/27/13

Site Cascade ID #: PH54XC138

Site Name: Reshma

Near Neighbor Notification

August 14, 2013

Dear Scottsdale Neighbor:

Sprint, a wireless telecommunication carrier has an existing wireless communication facility in your area. Sprint is proposing to modify this existing wireless communication facility. Please be advised that the City of Scottsdale has received a request for an Administrative Approval for this modification.

This notice is being sent to surrounding property owners by the applicant, in order to facilitate any public participation in the review process for the project described below:

Address of Subject Property:

PH54XC138 - 10405 E. McDowell Mtn. Scottsdale, AZ 85259

Applicant: Clear Blue Services for Sprint

DESCRIPTION OF PROPOSAL

This request for a modification of an existing wireless facility is intended to improve service in the existing coverage area, as provided by Sprint's FCC license. This modification will NOT increase the height or foot print of the existing facility. Sprint's minor modifications include an exchange of the antenna and an exchange of ground equipment located in an existing enclosed compound.

Copies of the application and supporting documentation will be on file at the City of Scottsdale if you choose to review. If you have questions regarding this project, feel free to contact the Project Manager Dayna Bedney at (602) 426-9500 Ext. 107 or if you prefer, contact the City of Scottsdale Planner, Keith Niederer at (480) 312-7800.

PH54XC138 - ASSESSORS 750 FOOT RADIUS MAILING LIST

Owner	MAIL_ADDR1	MAIL_ADD MAIL_CITY	MAIL_STAT	MAIL_ZIP	MAIL_COU	APN
DELORIE DANA L	10278 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714186
NAJIB MOHAMMAD Q/KHAN FAZILA A TR	10286 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714187
PECK DAVID I/SUSAN	153 PRYNNWOOD RD	LONGMEADOW	MA	1106 USA		21714188
BORCHARD MELISSA K	10302 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714189
MARTIN DAWN A/ROBYN L	10310 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714190
POLLOCK JOHN G/SUSAN W	9843 BAY MEADOW	BONITA SPRINGS	FL	34135 USA		21714191
NEUHAUSER DONNA TR	28633 CANYON RD	VALLEY CENTER	CA	92082 USA		21714192
GORMAN BRIAN/TRAN STEPHANIE	2808 PASEO LN	SAN JOSE	CA	95124 USA		21714193
SCOTTSDALE UNIFIED SCHOOL DISTRICT #48	3811 N 44TH ST	PHOENIX	AZ	850185420 USA		217140031
MCDONALD JOHN JAMES/BABOS NICOLE	10350 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714194
HEIN THOMAS R/MELISSA A	10358 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714195
LITMAN MORRIS/SANDRA/SOIBELMAN FELIX/CHLOE	8608 137TH ST NW	EDMONTON	AB	TSR0C6 CANADA		21714196
BENDER TIMOTHY/CAMERON	10374 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714197
BERTINI MARINO/SYLVA	2802 W AVENUE	OCEAN CITY	NJ	8226 USA		21714198
BARTNICKI PAUL G/JEANNINE M TR	10390 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714199
JURASZEK STEVE J/STACEY	10904 E ACOMA DR	SCOTTSDALE	AZ	85255 USA		21714200
BERGDOLL WILLIAM S/JO ANN	10406 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714201
ZILMAN GENNADY/VIOLET	15786 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714202
SCHWARTZ LOIS A	15804 N 104TH PL	SCOTTSDALE	AZ	85259 USA		21714203
VARON JEFFREY	11291 E BECK LN	SCOTTSDALE	AZ	85255 USA		21714204
IOANNIDIS JOHN/CORALIA	15853 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714205
BLASE AARON T/BELINDA G	15835 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714206
WEAVER BRAD D/DIANNA M	15817 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714207
JAMES MARY	1710 ST JONES RD	LINCOLN	NE	68506 USA		21714208
RUPP ROBERT A	15781 N 104TH PL	SCOTTSDALE	AZ	85259 USA		21714209
BECK ERIC/FRANCINE	15745 N 104TH PL	SCOTTSDALE	AZ	85259 USA		21714210
RANKIN KATHLEEN A	15727 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714211
ALEXANDER LAURA M	15709 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714212
DORN KAREN	10401 E MCDOWELL MOUNTAIN RANCH RD NO 2	SCOTTSDALE	AZ	85255 USA		21714213
KOSTARIDES MICHAEL A/BRIANNE	15673 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714214
BREEDING DAVID D/CHRISTINE M	15678 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714215
GOLDENSON PROPERTIES II LLC	12442 E POINSETTIA DR	SCOTTSDALE	AZ	85259 USA		21714216
LAULAINEN ROBIN E/ALAN B	15714 N 104TH PL	SCOTTSDALE	AZ	85259 USA		21714217
LIGGETT WILLIAM M/KATHRYN M	15732 N 104TH PL	SCOTTSDALE	AZ	85255 USA		21714218
ROGERS IOANNE C	15751 N 104TH PL	SCOTTSDALE	AZ	85259 USA		21714219
DALY MARGARET M/JAMES S TR	15759 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714220
MILLER ZONELL WEBSTER	15741 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714221
MCCUNE SUSAN	15723 N 104TH ST	SCOTTSDALE	AZ	85255 USA		21714222
DEL TORO EDUARDO/LINDA M	15705 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714223
BYRNE JUDITH	15687 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714224
FRIEDMAN ELLEN L	15669 N 104TH ST	SCOTTSDALE	AZ	85255 USA		21714225
HIONIS MARLENE M	15656 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714226
LEDUC MICHEL/ROMI	15674 N 104TH ST	SCOTTSDALE	AZ	85255 USA		21714227
WADHWANI ANIL/RESHMA	15692 N 104TH ST	SCOTTSDALE	AZ	85259 USA		21714228
ALM HOWARD K/JOANN E TR	15710 N 104TH ST	SCOTTSDALE	AZ	85255 USA		21714229
SANTI ARIZONA PROPERTIES LLC	4414 RIBERA ST	FREMONT	CA	94536 USA		21714230
JCK104 LLC	14446 N 106TH PL	SCOTTSDALE	AZ	85255 USA		21714231
BORELLO MICHAEL A/KINGSBOROUGH TIFFANY M	15764 N 104TH ST	SCOTTSDALE	AZ	85255 USA		21714232
MAYER LAWRENCE J/LYONS MAYER MICHELLE	10363 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714233
LAM IANIE CHUN-LAI	10355 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714234
WOOD GAIL L	10347 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21714235
EMERSON TAMARA T J	15711 N 103RD WAY	SCOTTSDALE	AZ	85259 USA		21714236
ZEITMAN LARRY/CANDY TR	2535 HUERTO CT	SAN JOSE	CA	95128 USA		21714237
COOLEN HARRY G/RICULTI-COOLEN ANITA	15675 N 103RD WY	SCOTTSDALE	AZ	85259 USA		21714238
PEFANIS HARRY/JANE	4103 UNIVERSITY	HOUSTON	TX	77005 USA		21714239
COOPET JOSEPH L JR/MEYER JACQUELINE L TR	9289 PARKSIDE DRAW	SAINT PAUL	MN	55125 USA		21714240
PRINISKI GEORGE S/PATRICIA A	10323 E TIERRA BUENA LANE	SCOTTSDALE	AZ	85259 USA		21714241
PARADIS NADIEEN	10315 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21714242
CHIN ASHLEY TR	10307 EAST TIERRA BUENA LANE	SCOTTSDALE	AZ	85255 USA		21714243
GUATNEY JAMES L/MARY T	1326 JANMAR RD	SHELLVILLE	GA	30078 USA		21714244
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA		21714246
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA		21714247
SCOTTSDALE CITY OF	7447 E INDIAN SCHOOL RD STE 205	SCOTTSDALE	AZ	85251 USA		21714969
VODEGEL CHRISTIAN F/NANCY L	10564 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21717566
TAYLOR KIT	10556 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA		21717567
MORGAN DAVID L/SHAMIRA N TR	10548 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21717568
FREIMARK ARNAR	4291 RIVERFIELD CT	RIVERSIDE	CA	925055709 USA		21717569
PETTIGREW STEVEN R	10532 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA		21717570
FEIN BARBARA	9487 E TRAILSIDE VIEW	SCOTTSDALE	AZ	852556009 USA		21717571
FAIRBANKS ERIC B	10529 E FIREWHEEL DR	SCOTTSDALE	AZ	85255 USA		21717572
CROOK JIM O/MARGARET R TR	10533 E FIREWHEEL DR	SCOTTSDALE	AZ	852590000 USA		21717573
KENNETH B IRVIN LIVING TRUST/ETAL	104 CRANBROOKE AVE	TORONTO	ON	MSM 1M5 CANADA		21717574
KUO MAU-JUNG/MAUREEN Y F TR	10541 E FIREWHEEL DR	SCOTTSDALE	AZ	85255 USA		21717575
WAGNER BRIAN FREDERICK TR/WAGNER DAWN M T TR	10531 E SALT BUSH DR	SCOTTSDALE	AZ	85255 USA		21717577
JACOBSEN ERIC ALLAN	10539 E SALT BUSH DR	SCOTTSDALE	AZ	85259 USA		21717578
KELLER DAVID C	10547 E SALT BUSH DR	SCOTTSDALE	AZ	85259 USA		21717579
PENNINGTON ROBERT D II/USA D	10555 E SALT BUSH DR	SCOTTSDALE	AZ	85255 USA		21717580
WHITESTONE RIT OPERATING PARTNERSHIP L P	2600 S GESSNER RD STE 500	HOUSTON	TX	77063 USA		21717001H
BAMBURAK CHRISTOPHER/KAREN G	10540 E FIREWHEEL DR	SCOTTSDALE	AZ	852598709 USA		21717690
FOLDES DANIEL M/MICHELLE K	10536 E FIREWHEEL DR	SCOTTSDALE	AZ	85255 USA		21717691
RICCI JAM/SHIELAE	10532 E FIREWHEEL DR	SCOTTSDALE	AZ	85255 USA		21717692
CONNELLY STEPHANIE	10528 E FIREWHEEL DR	SCOTTSDALE	AZ	85259 USA		21717693
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA		21717694
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA		21717697
RAPOPORT LOUBA/ALEXANDER/GELT ANNA/JACOB	13090 CRESCENT RD	SURREY	BC	V4P 1J8 CANADA		21717538
LASHLEY BROOKE	10520 E FIREWHEEL DR	SCOTTSDALE	AZ	85255 USA		21717539

BOYLE BLYDEN STOKES/FLORENCE E TR	8039 S MICHELE LN	TEMPE	AZ	85284 USA	21717540
SIMPSON TIMOTHY S/CYNTHIA M TR	10503 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA	21717541
EILERS MICHAEL/NICOLE/WILLIAMS PRINCE A/GORDA	10511 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA	21717542
SMILEY WILLIAM L/DEBRA J	10519 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA	21717543
ZANOSKY JAMES W/ANN M	10527 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA	21717544
WISSING SHAWN/TAUER USA M	10535 E TIERRA BUENA LN	SCOTTSDALE	AZ	852551903 USA	21717545
WALTER KENT C/JACLYN L	10543 E TIERRA BUENA LN	SCOTTSDALE	AZ	85255 USA	21717546
CRUM CHELSEA	10551 E TIERRA BUENA LN	SCOTTSDALE	AZ	85259 USA	21717547
ANDERSON ALAN/CHARLIE	10685 E TOPAZ DR	SCOTTSDALE	AZ	85258 USA	21717548
WHITROCK WILLIAM E/ANTOINETTE L	10567 EAST TIERRA BUENA LANE	SCOTTSDALE	AZ	852590000 USA	21717549
KUPKA WADE J	10295 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21765114
NELSON ERIC M/STALL EMILY E	10296 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21765115
SHARP JANET F	10290 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21765116
WAURO MICHELLE	10284 E HILLERY DR	SCOTTSDALE	AZ	852558906 USA	21765117
LEARY MICHAEL P	10278 E HILLERY DR	SCOTTSDALE	AZ	852558906 USA	21765118
BENMOUSSA KRISTYN J	10272 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21765119
SCHUETTE MARGIE G/YEAGLEY SUSAN K	10273 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765135
CALDER WENDI ANN TR	10281 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765136
SHEPHERD JOHN/KNEISLEY MARCIA	10289 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21765137
BLAKEMORE CAROL H	10802 E GREENWAY	SCOTTSDALE	AZ	85255 USA	21765138
MATTERN RICHARD F/ANNETTE L	10305 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765139
ALBERT AND MARISEL SCHWEITZER TRUST	13199 N 104TH PL	SCOTTSDALE	AZ	85260 USA	21765140
BARCELONA TRUST	10321 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765141
DELO LISA F	10345 E KAREN	SCOTTSDALE	AZ	85259 USA	21765142
COLTELLI JOSEPH E/SANDRA A	10353 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765143
HASTY TERESA L	10346 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765144
ROBERT AND AMANDA HASTY FAMILY TRUST	10401 E MCDOWELL MTN RANCH RD NO 2349	SCOTTSDALE	AZ	85255 USA	21765145
HALL SCOTT/ANGELA	11086 E BECK LN	SCOTTSDALE	AZ	85255 USA	21765146
JOHNSON PATRICIA	10322 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765147
PETER EWALD E/JUDITH S	5840 TOWN BAY DR APT 213	BOCA RATON	FL	33486 USA	21765148
KEVITT KRISTY B	10306 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765149
SIMCO KENNETH G/MARIE R	10290 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765150
STEMPER-BARTKUS CYNTHIA L TR	10282 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765151
HAROLD R TALUBMAN REVOCABLE FAMILY TRUST	10274 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21765152
SELEZNOV RONALD J	85 KENT RD	HUNTINGTON VALLEY	PA	19006 USA	21765169
NEMETZ CHRISTEL G TR	1109 S CHURCH RD	MT PROSPECT	IL	60056 USA	21765170
SCHIFF WILLIAM/KELLY JULIA ANN	10291 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765171
MOSLEY SARA	10307 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765172
MARRERO IVO L	10315 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765173
SCHADE JENNIFER	10323 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765174
HAWAZ AZHAR	10331 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765175
PENA CAREY M	10339 E CARIBBEAN	SCOTTSDALE	AZ	85255 USA	21765176
TANDYA ARDINI	8950 W OLYMPIC BLVD UNIT 208	BEVERLY HILLS	CA	90211 USA	21765177
TORRES ELMER E/ESTELA M	10355 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765178
VE & ME LLC	20319 N HATCH	COLBERT	WA	99005 USA	21765179
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765180
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765181
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765183
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765184
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765185
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSN	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21765186
KORNOVICH ROBERT M/CYNTHIA	10396 E CARIBBEAN LN	SCOTTSDALE	AZ	85259 USA	21765001
MCCORMACK DONNA J	10388 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765002
SUPERNAW SCOTT W/CHRIS S	10380 E CARIBBEAN LANE	SCOTTSDALE	AZ	85255 USA	21765003
HASHEM MICHAEL S	1644 W BETHANY HOME RD	PHOENIX	AZ	85013 USA	21765004
RATER DANNY W/DELIA M	10364 E CARIBBEAN LN	SCOTTSDALE	AZ	85259 USA	21765005
BELLESIA ALEXANDER A/FLORENCE S TR	10356 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765006
DELACA TIMOTHY S/LIZET BRIAN C	10348 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765007
KELLY MATTHEW D	10340 E CARIBBEAN LN	SCOTTSDALE	AZ	85259 USA	21765008
CORBETT JOANNE	10332 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765009
BURRUSS JUNE	10923 E LILLIAN LN	SCOTTSDALE	AZ	85255 USA	21765010
FRISBY JENNIFER D	10316 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765011
MYERS GARY W/PENNY P	10308 E CARIBBEAN LN	SCOTTSDALE	AZ	85259 USA	21765012
BORDEN LEE W/JUAREZ-BORDEN MELISSA K	10300 E CARIBBEAN LANE	SCOTTSDALE	AZ	85259 USA	21765013
CONDIE ELIZABETH A	10292 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765014
EDENS ERIC	10284 E CARIBBEAN LN	SCOTTSDALE	AZ	85255 USA	21765015
SPELOS ROBERT A/ARIANE	7537 KARLOR	SKOKIE	IL	60076 USA	21765075
ROBINSON DONALD M/CATHERINE L TR	6500 N 66TH PL	PARADISE VALLEY	AZ	85253 USA	21765076
APRIL FLORENCE WATT REVOCABLE TRUST	15179 N 102ND WY	SCOTTSDALE	AZ	852558909 USA	21765077
ROM RICHARD/JANET TR	15193 N 102ND WY	SCOTTSDALE	AZ	85255 USA	21765078
PESCATORE JAMES A/KAREN	15207 N 102ND WAY	SCOTTSDALE	AZ	85259 USA	21765079
OSTERHAUS RYAN J/LINDSAY L	15221 N 102ND WY	SCOTTSDALE	AZ	85255 USA	21765080
METERS MICHAEL A/EVELYN J	15235 N 102ND WY	SCOTTSDALE	AZ	85259 USA	21765081
WEHNER ADOLPH E/LYDIA A	15249 N 102ND WY	SCOTTSDALE	AZ	85255 USA	21765082
ZOLNDOORIAN MAHSHID	10615 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761089
BOLLMANN LIVING TRUST	10607 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85255 USA	21761090
LUNDQUIST JON TR	10599 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761091
GOUDY MARY ALICE/WILLMERING LOUISE	10591 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85255 USA	21761092
EGAN TIMOTHY PATRICK/ANA MARIA	10556 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85255 USA	21761093
DELL SUSAN DIANNE TR	44809 N 23RD ST	NEW RIVER	AZ	85087 USA	21761094
JOSE BARBARA	10572 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761095
ROWTON JOHN R/JOAN A	10580 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761096
MCDOWELL MOUNTAIN COMMUNITY	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21761922A
MCDOWELL MOUNTAIN COMMUNITY	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21761923
MCDOWELL MOUNTAIN COMMUNITY	2400 E ARIZONA BILTMORE CIR #1300	PHOENIX	AZ	85016 USA	21761924A
BURRIS ROBB S/KIMBERLY S	10588 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761097
ECKLER SUSAN E	10596 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85255 USA	21761098
CONGER JAMES E/MONICA	10604 E AUTUMN SAGE DR	SCOTTSDALE	AZ	85259 USA	21761099
KLEEMOLA THEODORE I/DECK NORMA J	4614 SHERLOCK DR	REGINA	SK	S4X 0B5 CANADA	21761100
CIMARRON HILLS HOMEOWNERS ASSOC	9362 E RAINTREE DR	SCOTTSDALE	AZ	85260 USA	21761934A

CIMARRON HILLS HOMEOWNERS ASSOC	9362 E RAINTREE DR	SCOTTSDALE	AZ	85260 USA	21761938
CIMARRON HILLS HOMEOWNERS ASSOC	9362 E RAINTREE DR	SCOTTSDALE	AZ	85260 USA	21761939
CASTLE CHASE HOMEOWNERS ASSOCIATION INC	4645 E COTTON GIN LOOP	PHOENIX	AZ	85040 USA	21761173
CASTLE CHASE HOMEOWNERS ASSOCIATION INC	11022 S 51ST ST STE 201	PHOENIX	AZ	85044 USA	21761175
MOODY MITCHELL G TR	10498 E QUEENS WREATH LN	SCOTTSDALE	AZ	85259 USA	21761182
RATKUS MARCA K	900 JUNIPER RD	GLENVIEW	IL	60025 USA	21761183
SCOTT H ANDERSON AND JENNIFER L ANDERSTON TR	10486 E QUEENS WREATH LN	SCOTTSDALE	AZ	85255 USA	21761184
HARRISON MCAH M/PATRICIA D	10480 E QUEENS WREATH LN	SCOTTSDALE	AZ	85255 USA	21761185
DEROBERTS CLIFFORD/ADDIE R	10482 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761186
MEINERS GORDON/RYAN CONSTANCE	10476 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761187
SCHNORR MICHAEL W/POOLE DENISE M	10470 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761188
GRIFFIN JOHN B/JULIA M	10464 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761189
SOPER JOHN D	10458 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761190
KALUCKI TOBY L/TRACY	10452 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761191
COHEN MICHAEL/LIZA	10439 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761192
JAMES JENNIFER E	10445 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761193
HUGHES SUSAN Z/ROBERT C	3887 NW 9TH LP	CAMAS	WA	98607 USA	21761194
GIORDANO MILDRED	10457 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761195
LAURENCE TREVOR E/DIANA E	10463 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761196
KRACHT ANGELA D	10401 E MCDOWELL MTN RANCH RD NO 2-313	SCOTTSDALE	AZ	85255 USA	21761197
RISTIC REVOCABLE TRUST DATED MAY 11 2010	PO BOX 13871	SCOTTSDALE	AZ	85267 USA	21761198
RUBENSTEIN RICHARD/SUSAN	10481 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761199
FEES MARYCHRIS E/SCOTT E	4340 SHERBOURNE DR	SAN JOSE	CA	95124 USA	21761200
ANG LYE HIN/KHUAH LAY KEAN	13979 N 110TH ST	SCOTTSDALE	AZ	85255 USA	21761201
MCDONALD DAWN	10472 E HILLERY DR	SCOTTSDALE	AZ	85258 USA	21761202
SMONDS MARC/NAOMI	10466 E HILLERY DR	SCOTTSDALE	AZ	85260 USA	21761203
SU PI LIEN	26846 N 73RD ST	SCOTTSDALE	AZ	85266 USA	21761204
YAKIL HIVA/SAGHARI HEDIEH	10454 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761205
LUND CHARLES A	10448 E HILLERY DR	SCOTTSDALE	AZ	85258 USA	21761206
TANG ANDREW W/LI XUE ZHEN	10442 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21761207
WOZNAK KATHERINE/MCCALVIN CARRIE	17303 N 99TH PL	SCOTTSDALE	AZ	85255 USA	21761208
ROBERT P MURPHY TRUST	21 CONSTITUTION CIR	HOLLISTON	MA	1746 USA	21761209
LAMM RIKKI S	15239 N 104TH PL	SCOTTSDALE	AZ	85259 USA	21761210
GERINGER GEORGE F/DEBORAH A	15251 N 104TH PL	SCOTTSDALE	AZ	85255 USA	21761211
W & C KUEFNER FAMILY TRUST	15240 N 104TH PL	SCOTTSDALE	AZ	85255 USA	21761212
ROWEN KEITH L	442 ROLLING OAK DR	VACAVILLE	CA	95688 USA	21761213
CHELTON BRADLEY ALEXANDER	15216 N 104TH PL	SCOTTSDALE	AZ	85255 USA	21761214
KAPLAN NATHAN	10412 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761216A
SPIELMAN STUART H/ANNABEL B	PO BOX 683	LAWAI	HI	96765 USA	21761217A
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761425
DAMATO CHARLES L	10400 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761219
SALMON PAXTON/JILL L	10394 E HILLARY DR	SCOTTSDALE	AZ	85259 USA	21761220
BOTTIER BERNADETTE M	10406 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21761221
FIORIE STEPHEN R TR	10382 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761222
ONG DUC H	10376 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761223
TUCKER CLAYTON C	10370 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21761224
WIN SUN LIGHT LLC	10980 E BAHIA DR	SCOTTSDALE	AZ	85255 USA	21761226A
BOWERS ROBERT P/DESMOND PAMELA K	PO BOX 932	RANCHO MIRAGE	CA	92270 USA	21761227
WRIGHT CHRISTINE M/DAVID C JR	10411 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761228
FRIEDMAN JEFFREY CHARLES/LAURA ANN TR	3405 TORLANO CT	PLEASANTON	CA	94566 USA	21761229
JAY E AND LAURA M MENDELSON LIV TRUST	10423 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761230
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761426
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761427
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761428
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761429
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761430
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761431
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761432
15291 SCOTTSDALE LLC	1041 EGRET CT	WESTERVILLE	OH	43082 USA	21761650
KAPER BERTRAND/BETH	15279 N 105TH WY	SCOTTSDALE	AZ	85255 USA	21761651
JOHNSON WOODROW REED	10429 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21761231
LUCAS JEFFREY	10435 E HILLARY DR	SCOTTSDALE	AZ	85255 USA	21761232
RIFFE BRYAN D	10441 E HILLARY DR	SCOTTSDALE	AZ	85259 USA	21761233
GUPTA VINAY/M/SHALINI	10447 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761234
MAHENDRA DHANRAJ P/AMEETA D TR	10453 E HILLERY DR	SCOTTSDALE	AZ	85255 USA	21761235
CANTRELL AZ HOLDING I LLC TRUST	43426 N 44TH LN	PHOENIX	AZ	85087 USA	21761236
JAFFE GLENN H/STACEY L	10465 E HILLERY DR	SCOTTSDALE	AZ	85259 USA	21761237
NEUMANN PETER	15192 N 104TH WAY	SCOTTSDALE	AZ	85259 USA	21761238
DETKOS DANIEL F JR/SUSAN E	15180 N 104TH WAY	SCOTTSDALE	AZ	85259 USA	21761239
MONAHAN MATTHEW J/ELAINE M	15181 N 104TH WAY	SCOTTSDALE	AZ	85259 USA	21761243
DODRILL TRACEY LOU	15193 N 104TH WY	SCOTTSDALE	AZ	85259 USA	21761244
LEROY JAMES H/GOLLINGER JILL S	15267 N 105TH WY	SCOTTSDALE	AZ	85255 USA	21761652
HUNT ALICE ANITA	15255 N 105TH WY	SCOTTSDALE	AZ	85259 USA	21761653
WRIGHT LARRY D/LINDA L	10630 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761654
HAYMAN ALAN J/ANITA	6140 WESTMOOR RD	BLOOMFIELD	MI	48301 USA	21761655
HEINTZ STEPHAN C	10606 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761656
NISHIDA YUTAKA/KYOKO FUJITA TR	10582 E KAREN DR	SCOTTSDALE	AZ	85259 USA	21761657
BOUETTE LONNIE P	10570 E KAREN DR	SCOTTSDALE	AZ	85255 USA	21761658
STEWART K DAN REV TRUST/JUDITH I DAN REV TRUS	10558 E KAREN ST	SCOTTSDALE	AZ	85255 USA	21761659
CAVOLO FRANK A/LORI M	2821 N OCEAN BLVD APT 306	FT LAUDERDALE	FL	33308 USA	21761660
PRICE SARA FAY TR	15217 N 104TH WY	SCOTTSDALE	AZ	85255 USA	21761245
CARSILLO WEDNESDAY	15229 N 104TH WAY	SCOTTSDALE	AZ	85259 USA	21761246
ENGLANDER JEFFORD	15241 N 104TH WY	SCOTTSDALE	AZ	85255 USA	21761247
JOHNSON LESLIE	15253 N 104TH WY	SCOTTSDALE	AZ	85255 USA	21761248
ALLEN WALTER H/MELINDA L TR	15265 N 104TH WY	SCOTTSDALE	AZ	85255 USA	21761249
THOMPSON CYNDE W	16548 N 103RD WAY	SCOTTSDALE	AZ	85255 USA	21761250
NAKAYASU LYONS RICA	15289 N 104TH WY	SCOTTSDALE	AZ	85255 USA	21761251
SKGSP LLC	10486 E QUEENS WREATH LN	SCOTTSDALE	AZ	85255 USA	21761252
ESTRELLA INVESTMENTS LLC	24 WINDCASTLE DR	ST CHARLES	MO	63304 USA	21761253
MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC	2400 E ARIZONA BILTMORE CIR STE 1300	PHOENIX	AZ	85016 USA	21761451

MCDOWELL MOUNTAIN RANCH COMMUNITY ASSOC
MOSHIRAFSHAR KOUROSH
OSTERMANN GERALD A/TSUE A
FIDLER DAVID I

2400 E ARIZONA BILTMORE CIR STE 1300
15324 N 106TH PL
352 S YORK RD
8711 E PINNACLE PEAK RD

PHOENIX
SCOTTSDALE
ELMHURST
SCOTTSDALE

AZ
AZ
IL
AZ

85016 USA
85259 USA
60126 USA
85255 USA

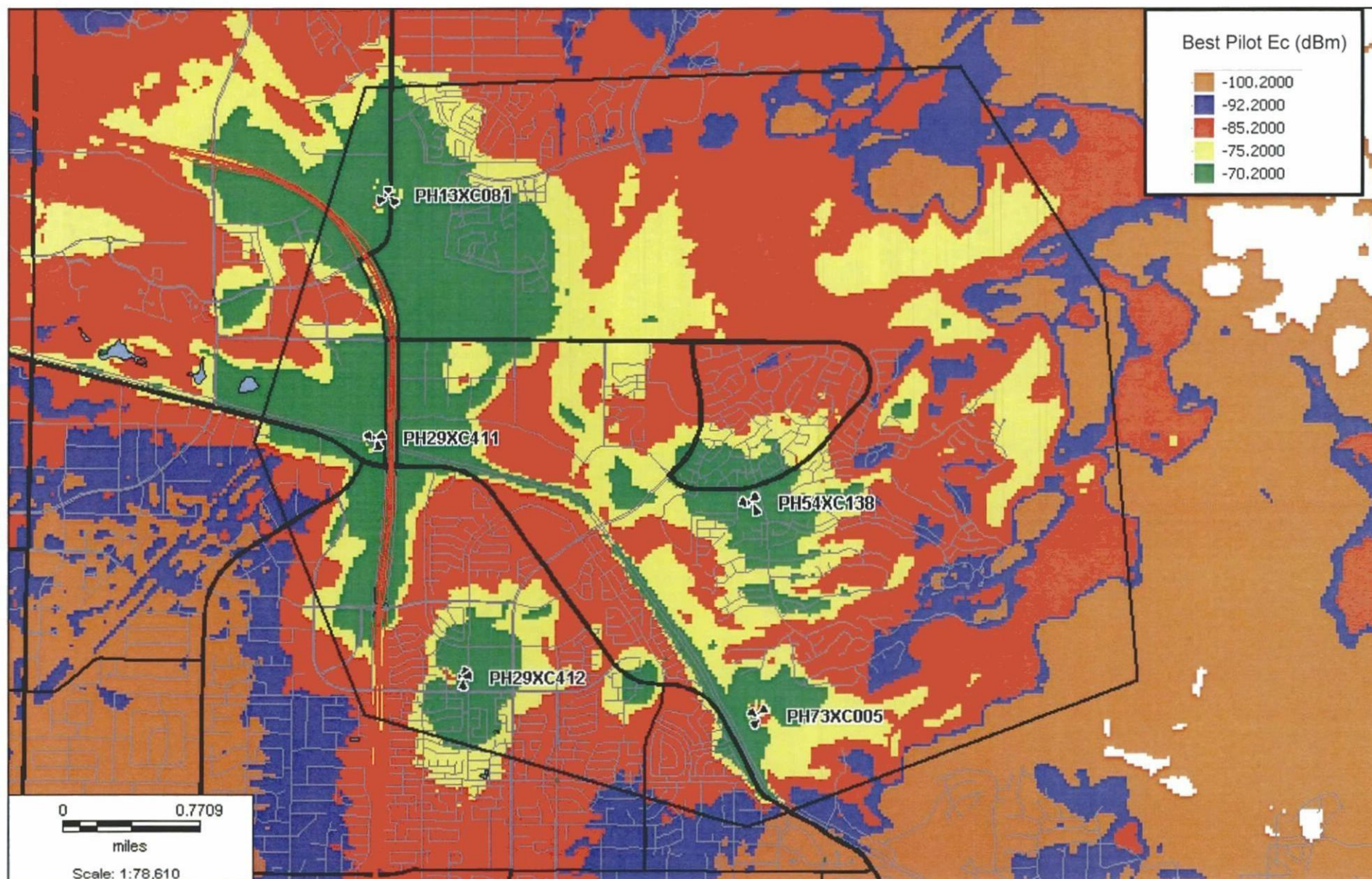
21761453A
21761691
21761692
21761693

NO PHOTOSIM

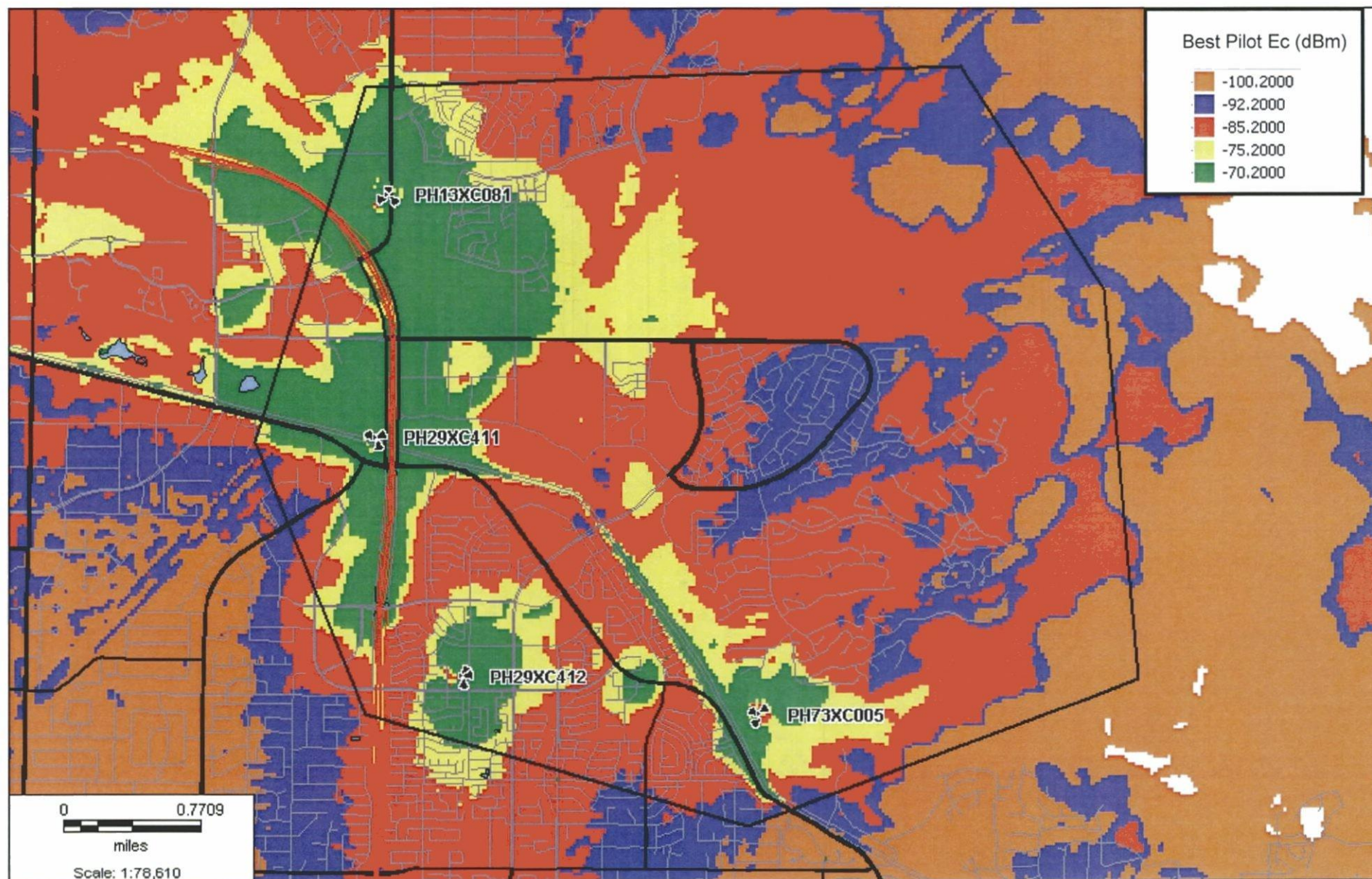
PH54XC138 – No visible change antenna completely
concealed

PH54XC138 Coverage Map With Vs Without Sites Study 3G1x (1900 MHz)

Single site Coverage : With site



Single site Coverage : Without site





Request for Site Visits and/or Inspections Development Application

This request concerns all property identified in the development application.

Pre-application No: 386 - PA - 2013

Project Name: PHS4XC138-RESUMA

Project Address: 10408 E. MCDOWELL MTN. RANCH RD., SCOTTSDALE, AZ 85255

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the development application.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the development application in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner/Property owners agent: TOD A. MILLER
Print Name

[Signature]
Signature

City Use Only:

Submittal Date: _____ Case number: _____

Planning, Neighborhood & Transportation Division
7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088



07.16.2012 11:59



07.16.2012 11:39



City of Scottsdale Cash Transmittal

93465

Received From :

CLEAR BLUE SERVICES
11011 S 48TH ST
PHOENIX, AZ 85044

Bill To :

CLEAR BLUE SERVICES
11011 S 48TH ST
PHOENIX, AZ 85044

Reference #	386-PA-2013	Issued Date	6/13/2013
Address	10405 E MCDOWELL MOUNTAIN RANCH RD	Paid Date	
Subdivision	MCDOWELL MOUNTAIN RANCH RETAIL CENTER	Payment Type	CHECK
Marketing Name		Cost Center	
MCR	523-49	County	No
APN	217-17-001H	Gross Lot Area	0
Owner Information		NAOS Lot Area	0
SPRINT		Net Lot Area	
20301 N HAYDEN RD STE 110 RD STE A103		Number of Units	1
SCOTTSDALE, AZ 852553881		Density	
928-777-0767		Water Zone	
		Water Type	
		Sewer Type	
		Meter Size	
		QS	35-53

Code	Description	Additional	Qty	Amount	Account Number
3180	PRE-APPLICATION / SA		1	\$87.00	100-21300-44221
3199	RECORDS PACKET FOR PREAPPS		1	\$21.00	100-21300-44221

SIGNED BY DAYNA BEDNEY ON 6/13/2013

Total Amount

\$108.00

(When a credit card is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

TO HAVE WATER METER SET - CALL 480-312-5650 AND REFER TO TRANSMITTAL # 93465

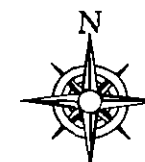
DIRECTIONS

10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259

△				
△				
△				
△				
△				
△				
△				
△				
△	02/08/13	PRELIMINARY CD#	JH	A

OVERALL EXISTING
SITE PLAN

A-1



FULL SCALE 1" = 60'
(22-34 SHEET ONLY)
60 0 60

HALF SCALE 1" = 120'
(11-12 SHEET ONLY)

- | | |
|---|------------------------|
|  | SURFACE ELEVATION |
|  | SECTION REFERENCE |
|  | ELEVATION REFERENCE |
|  | SUBJECT PROPERTY LINE |
|  | ADJACENT PROPERTY LINE |
|  | FIBER ROUTE |
|  | TELCO ROUTE |
|  | ELECTRICAL ROUTE |
|  | FENCE |
|  | (E) BUILDING |

T

AQL	ABOVE GRADE LEVEL
AWG	AMERICAN WIRE GAUGE
BCW	BARE COPPER WIRE
BTS	BASE TRANSCEIVER STATION
EG	EQUIPMENT GROUND
EGR	EQUIPMENT GROUND RING
(E)	EXISTING
(N)	NEW
GEN	GENERATOR
IGR	INTERIOR GROUND RING (HALO)
MAX.	MAXIMUM
MIN.	MINIMUM
MGB	MASTER GROUND BUSS
N.T.S.	NOT TO SCALE
OEM	ORIGINAL EQUIPMENT MANUFACTURER
RBS	RADIO BASE STATION
REF	REFERENCE
REQ	REQUIRED
RF	RADIO FREQUENCY
T.B.D	TO BE DETERMINED
T.B.R.	TO BE RESOLVED
TYP.	TYPICAL

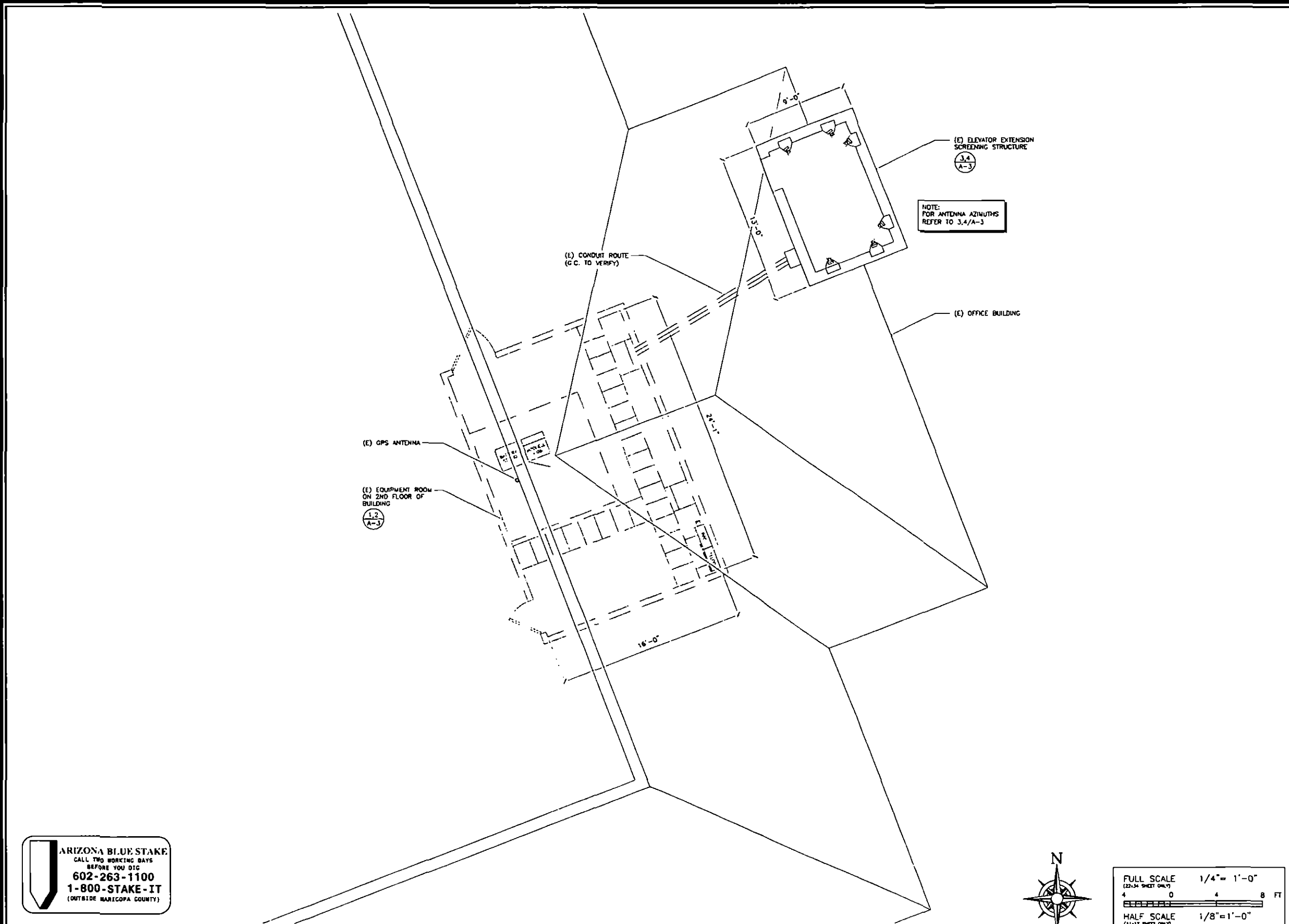
1

SITE PLAN RENDERING DERIVED FROM ASSESSOR'S
MAPS, GIS INFORMATION AND INFORMATION PROVIDED BY
THE CLIENT

T

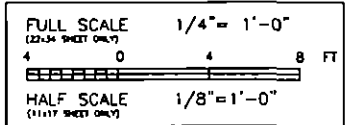
ARIZONA BLUE STAKE
CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

OVERALL EXISTING SITE PLAN

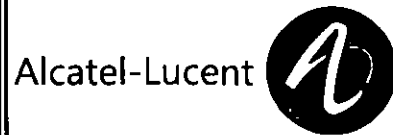



ARIZONA BLUE STAKE
 CALL TWO WORKING DAYS
 BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

EXISTING ENLARGED SITE PLAN



PREPARED FOR


Clear Blue
Services
11811 S. 48TH ST, STE 210
PHOENIX, AZ 85044 602-496-8008

RESHMA
PH54XC138

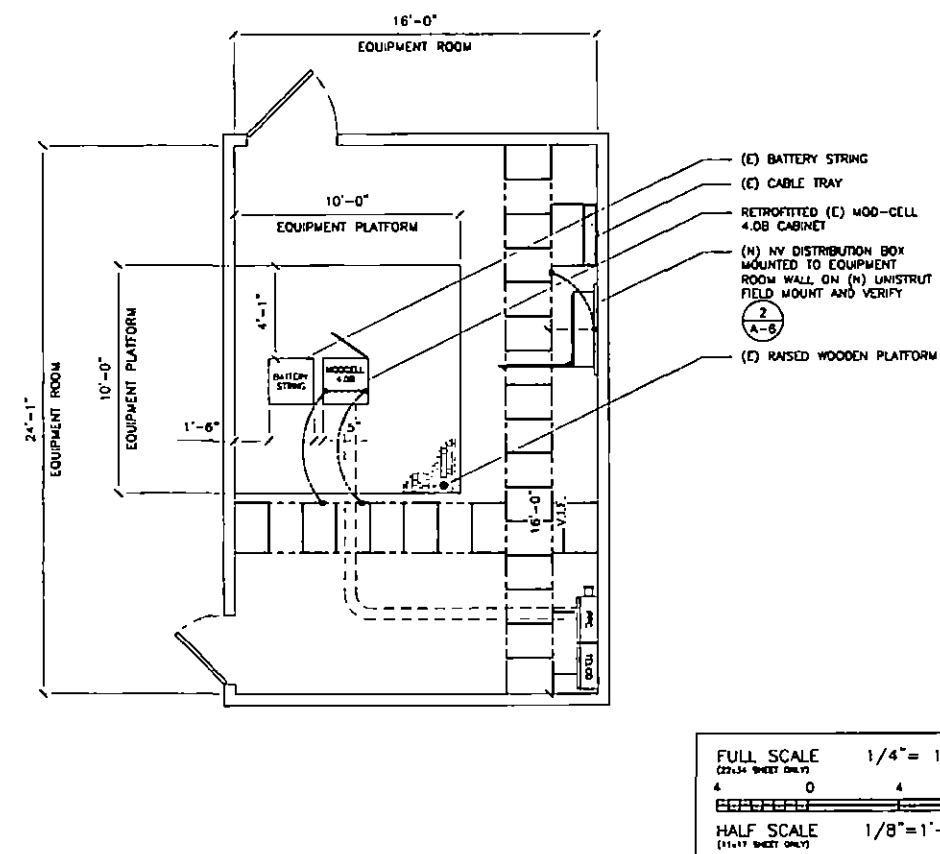
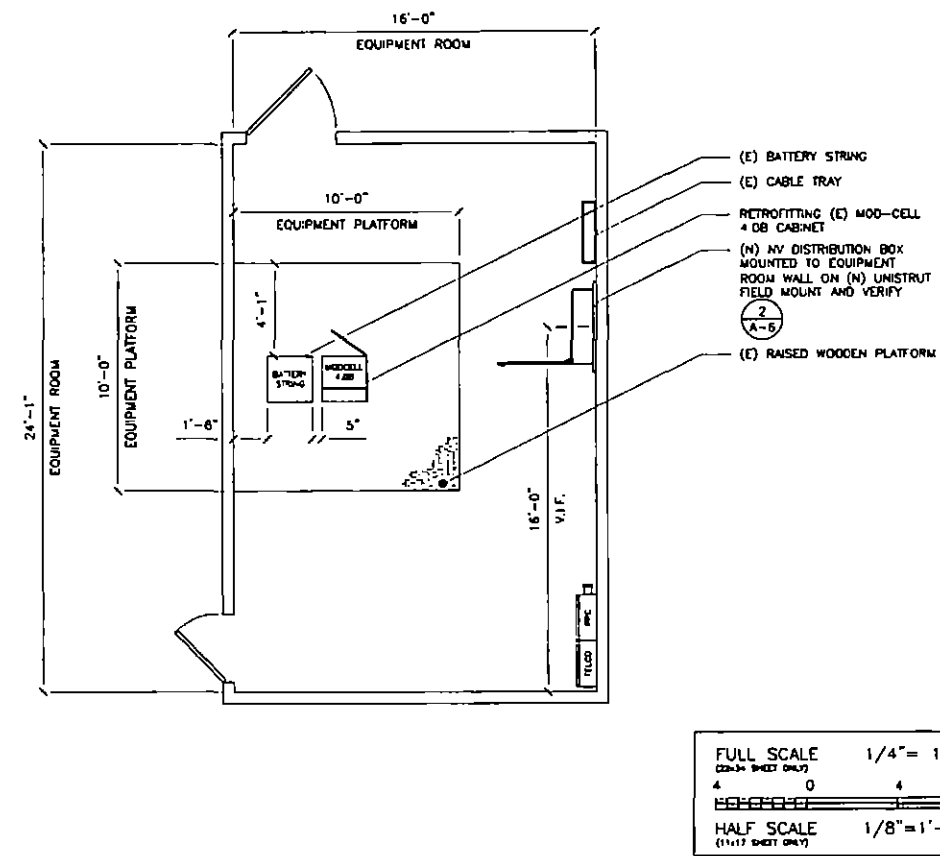
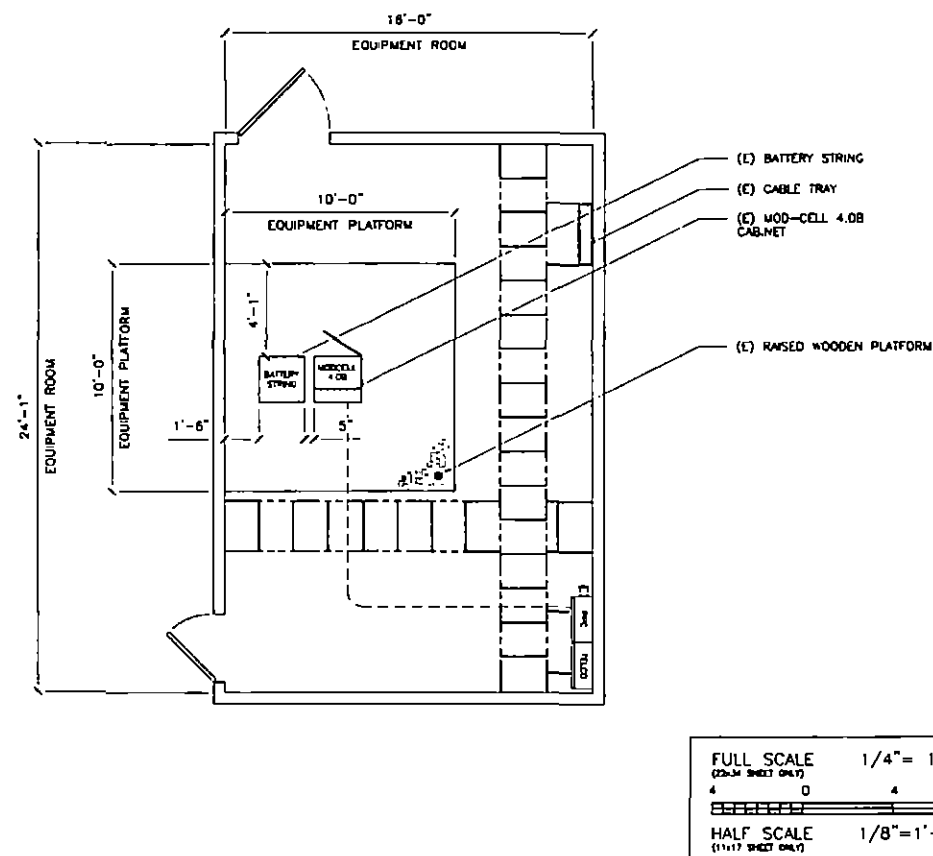
10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259

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△	02/08/13	PRELIMINARY CDS	JH	AL

PROFESSIONAL SEAL

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
A-2



PREPARED FOR

Sprint 

Alcatel-Lucent 



Clear Blue
Services
11811 S. 48TH ST., STE 210
PHOENIX, AZ 85044 602-476-8000

RESHMA
PH54XC138

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SCOTTSDALE, AZ 85259

				
				
				
				
				
				
				
	02/08/13	PRELIMINARY CDs	JH	AL

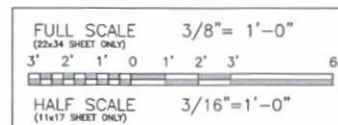
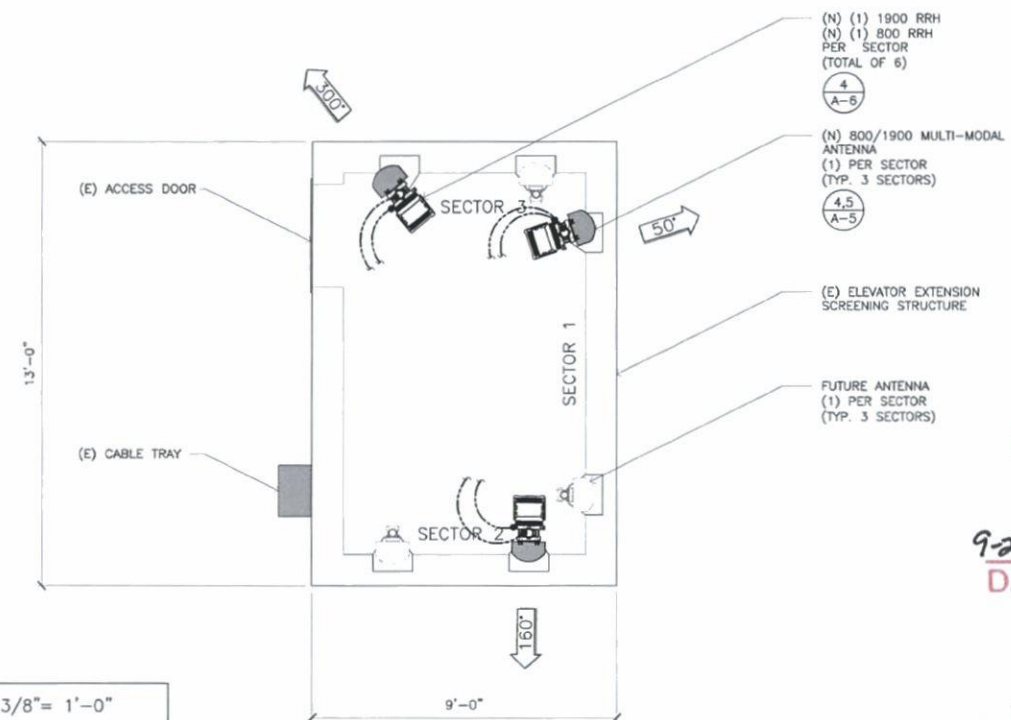
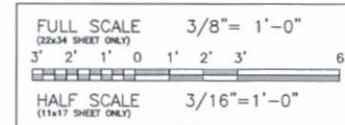
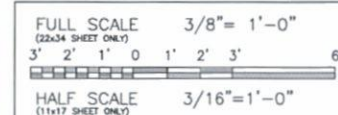
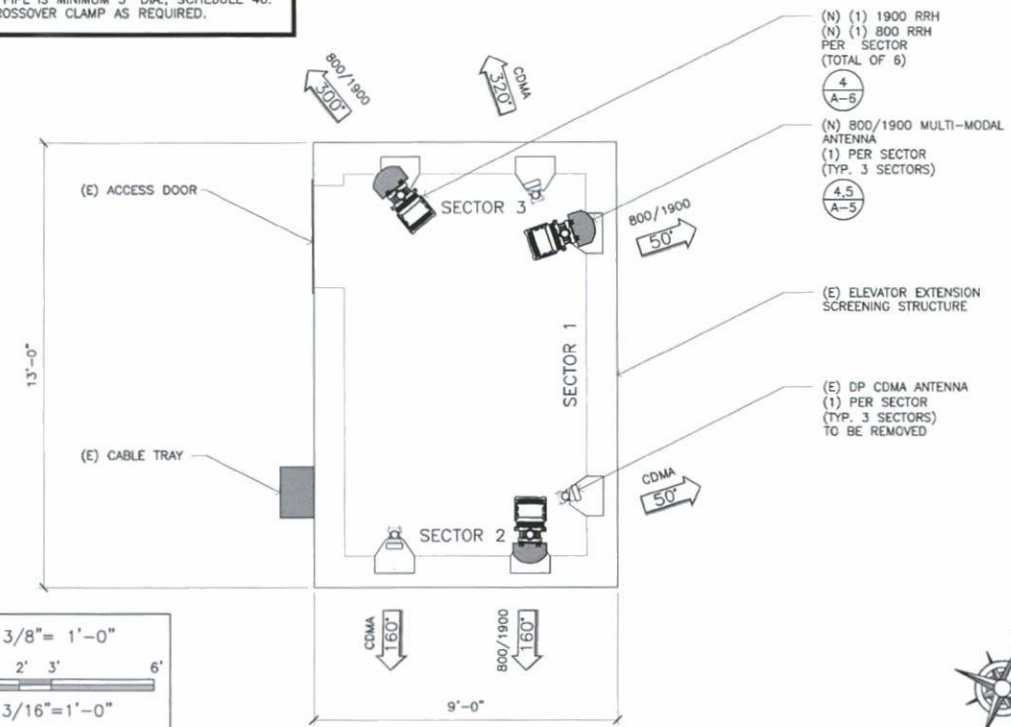
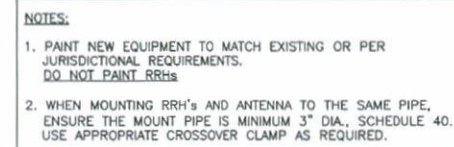
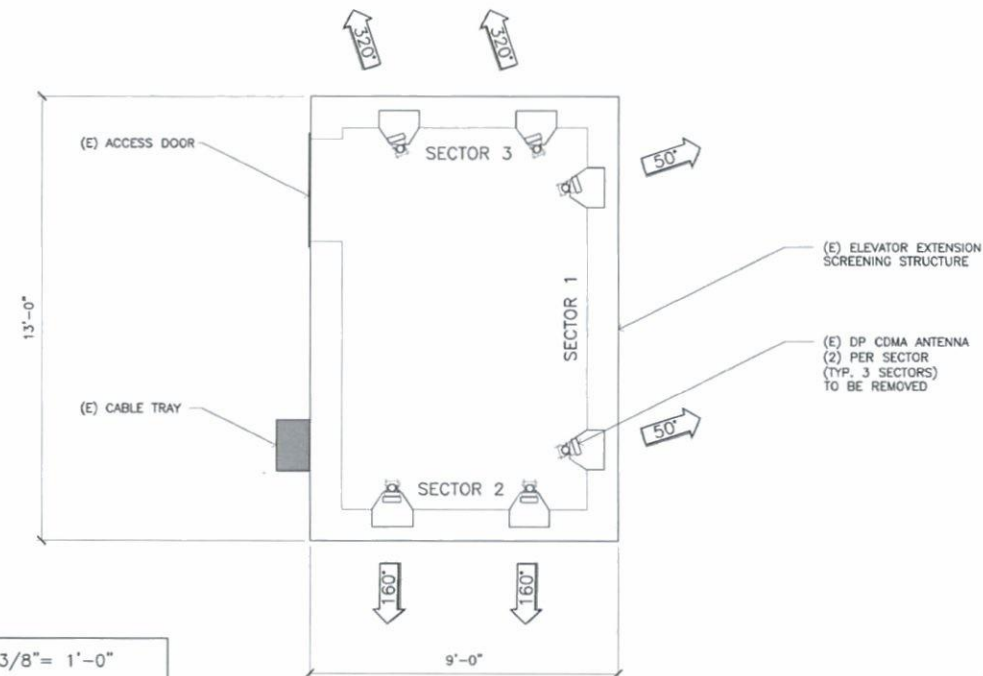
— PROFESSIONAL SEAL —

SHEET TITLE

ENLARGED EQUIPMENT PLANS

SHEET NUMBER

A-3



EXISTING ANTENNA PLAN

4	INTERIM ANTENNA PLAN
---	----------------------

NOT USED

3	FINAL ANTENNA PLAN
---	--------------------

PREPARED FOR

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Alcatel-Lucent 



Clear Blue
Services

11011 S. 48TH ST., STE 210
PHOENIX, AZ 85044 602-426-6600

RESHMA
PH54XC138
10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259

— PROFESSIONAL SEAL —

STIPULATION SET
RETAIN FOR RECORDS
APPROVED

9-25-13
DATE

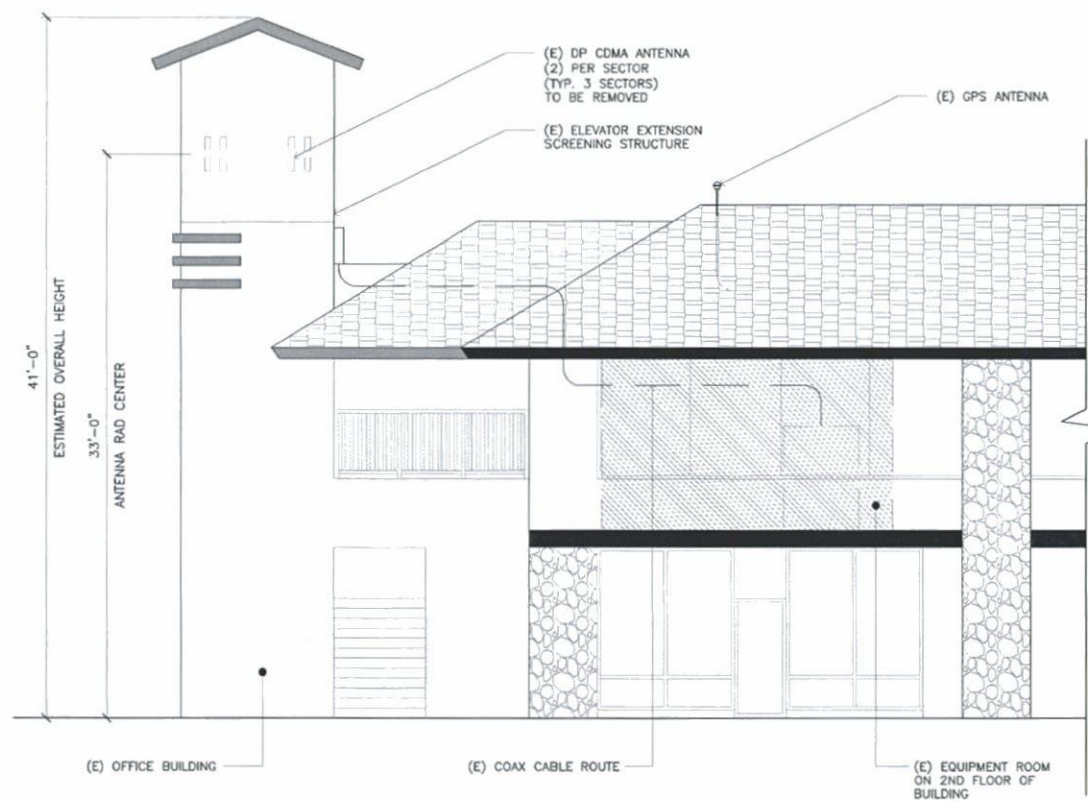
KN
INITIALS

SHEET TITLE

ANTENNA PLAN VIEWS

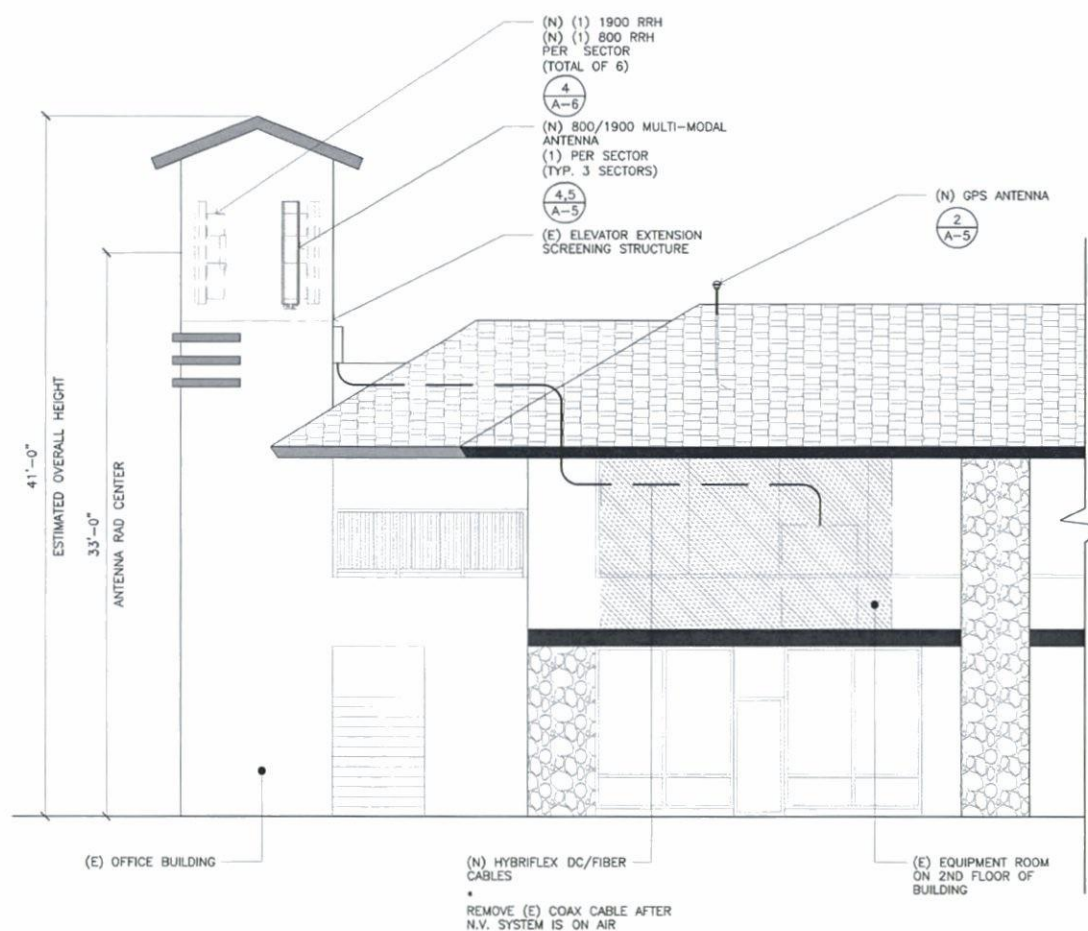
SHEET NUMBER

A-3



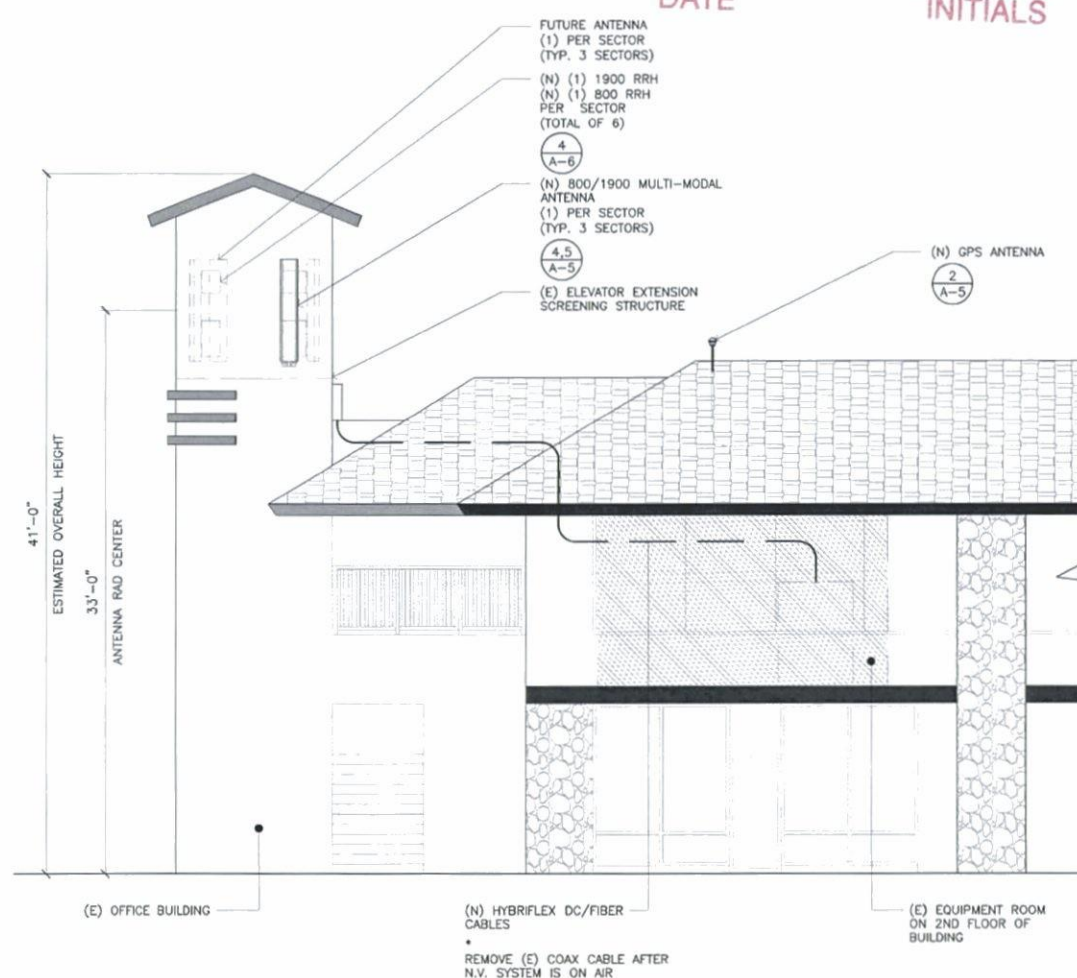
EXISTING NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0" | 3



INTERIM NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0" | 2



FINAL NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

NOTES:

1. PROJECT OWNER RESPONSIBLE FOR PROVIDING A GLOBAL/LOCAL STRUCTURAL STABILITY ANALYSIS OF EQUIPMENT ANCHORS, SUPPORTS & DESIGN/DETAILING OF ANY STRUCTURAL MODIFICATIONS/REINFORCEMENT REQUIRED THERETO. THIS DOCUMENT MUST BE COMPANIED BY PE STAMPED/SIGNED STRUCTURAL ASSESSMENT ANALYSIS REPORT.
2. PAINT NEW EQUIPMENT TO MATCH EXISTING OR PER JURISDICTIONAL REQUIREMENTS.
DO NOT PAINT RRHs
3. WHEN MOUNTING RRH's AND ANTENNA TO THE SAME PIPE, ENSURE THE MOUNT PIPE IS MINIMUM 3" DIA., SCHEDULE 40. USE APPROPRIATE CROSSOVER CLAMP AS REQUIRED.
4. STRUCTURAL NOTE FORTHCOMING PENDING STRUCTURAL ANALYSIS.

HYBRIFLEX NOTE:

RFS HYBRIFLEX ASSEMBLY

ANY INDOOR LOCATIONS (INCLUDING SHELTER ENTRANCE SITES)

RFS HYBRIFLEX MODEL # HB114-1-08U4-M5J

ALL OUTDOOR SITES

RFS HYBRIFLEX MODEL # HB114-1-08U4-M5F

STIPULATION SET
RETAIN FOR RECORDS
APPROVED

9-25-13

KN
INITIALS

ANTENNA INFORMATION PULLED
FROM PRELIMINARY PRODUCT DATA

992A DISTRIBUTED BASE STATION

7/16" D1N MALE CABLE CONNECTOR ON GPS JUMPER CABLE

CABLE ENTRY ASSEMBLY

SURGE SUPPRESSOR

7/16" D1N FEMALE CABLE CONNECTOR

COAXIAL CABLE SHIELD GROUNDING

JUMPER CABLE FOR GPS ANTENNA

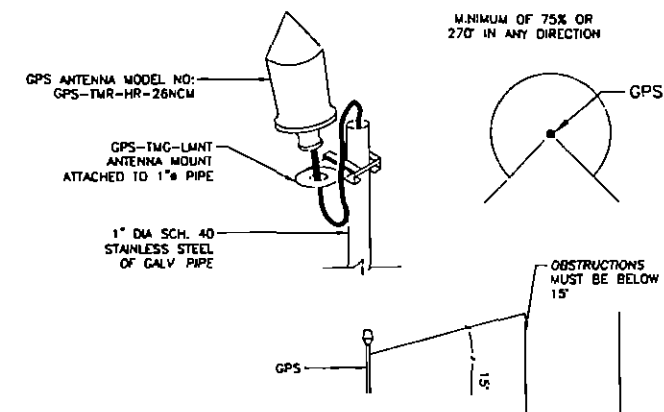
7/16" D1N MALE CABLE CONNECTOR ON GPS JUMPER CABLE

GPS ANTENNA CABLE

GROUND

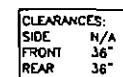
SUPPORT STRUCTURE

- THE JUMPERS ARE DESIGNED TO BE INSTALLED BEFORE/AFTER THE GPS SURGE.
- THE GPS SURGE NEEDS TO BE CONNECTING TO THE GROUND SYSTEM VIA A GROUND LEAD.

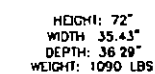


1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1" SCH. 40, GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END.
2. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MIN. OF 18", 8'-0" IF MOUNTING TO NEW MMBS-BBU) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE CUT PIPE END SHALL BE DEBURRED
2. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT IT IS WITHIN 2 DEGREES OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" OF LEVEL.
3. DO NOT SWEEP TEST GPS ANTENNA
4. ATTACH GPS MOUNTING PIPE TO NEW MMBS-BBU USING (4) 8MMx15MM SS BOLTS AND (4) 1" PIPE STRAPS. GPS TO BE MOUNTED A MIN. OF 2'-0" ABOVE MMBS-BBU CABINET.

ANTENNA INFORMATION PULLED
FROM PRELIMINARY PRODUCT DATA

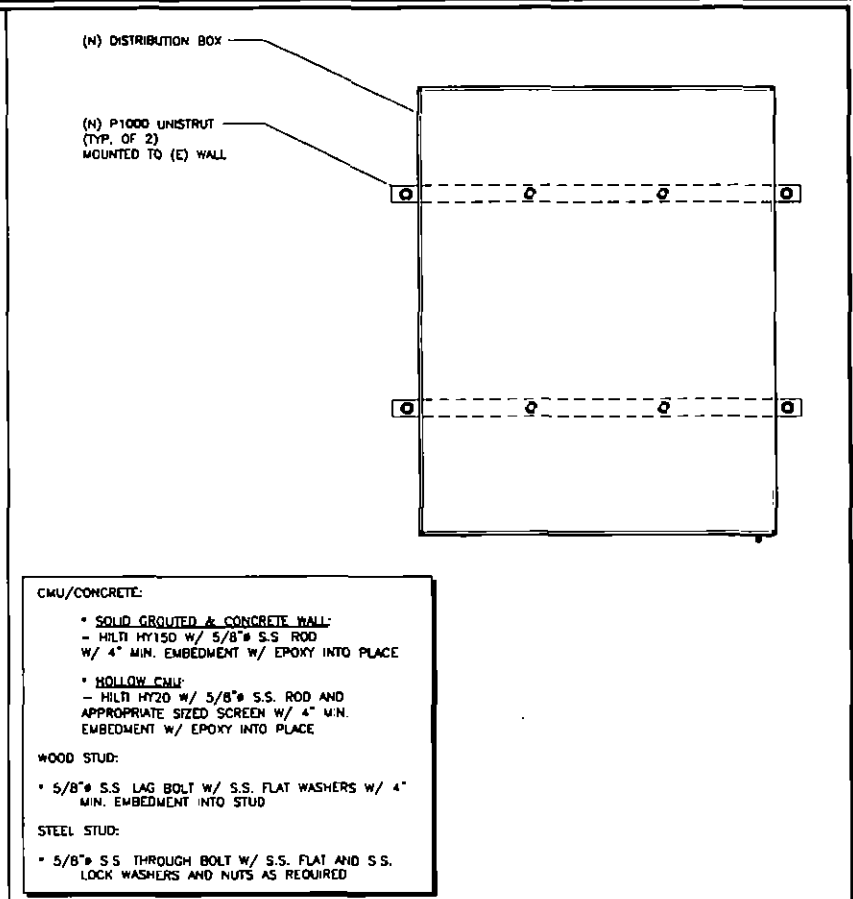
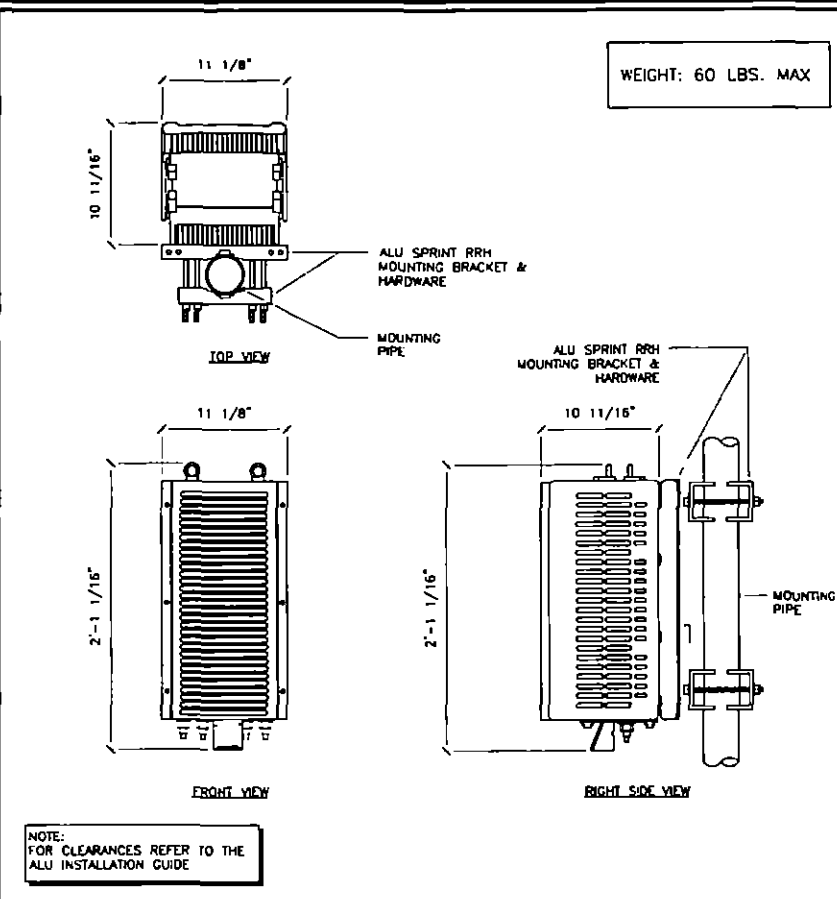


CLEARANCES.	
SIDE	6"
FRONT	38"
REAR	38"

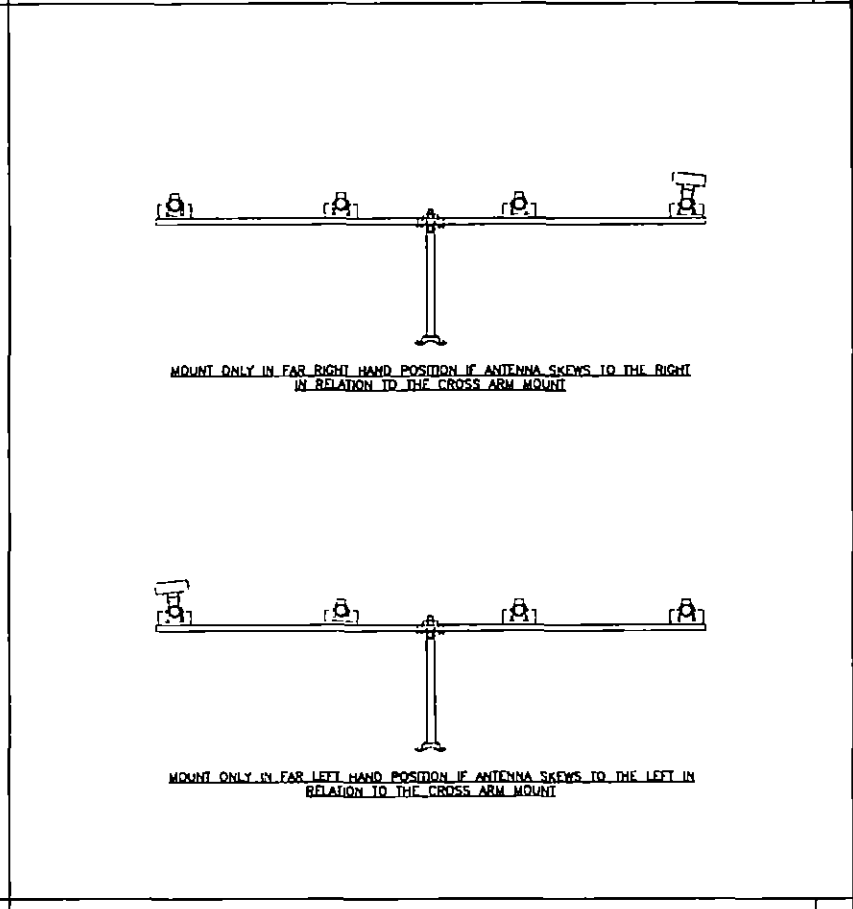
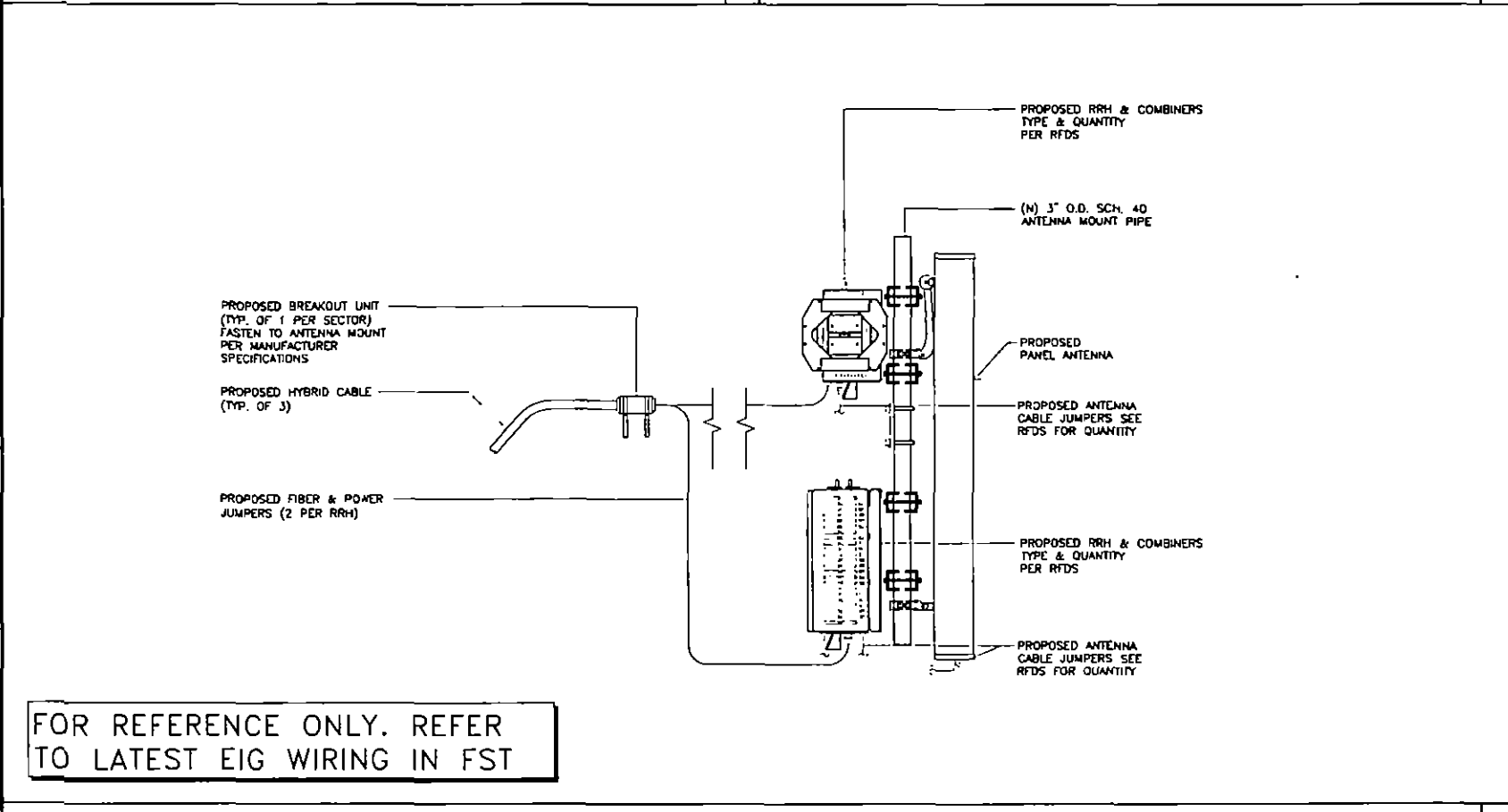


A-5



NOT USED 5 1900 Mhz RRH DETAIL N.T.S. 4 DISTRIBUTION MOUNTING DETAIL N.T.S. 2



ANTENNA & RRH MOUNT DETAIL N.T.S. 3 MULTI-MODAL SKEWED ANTENNA POSITIONING DETAIL N.T.S. 1

PREPARED FOR

Sprint

Alcatel-Lucent

Clear Blue
Services

12011 E. 49TH ST. STE 210
PHOENIX, AZ 85044 602-498-8008

RESHMA
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SCOTTSDALE, AZ 85259

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PROFESSIONAL SEAL

SHEET TITLE

**CONSTRUCTION
DETAILS**

SHEET NUMBER

A-6

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL LOCAL AND STATE CODE, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
2. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY FOR REQUIREMENTS OF POWER SERVICE LINE TO THE METER BASE. POWER SERVICE REQUIREMENT IS COMMERCIAL AC NOMINAL 120/208 VOLT OR 120/240 VOLT, SINGLE PHASE WITH 200 AMP RATING.
3. CONTRACTOR SHALL COORDINATE WITH LOCAL TELEPHONE COMPANY FOR SERVICE LINE REQUIREMENTS TO TERMINATE AT THE PPC CABINET.
4. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC METER BASE AND 200A DISCONNECT SWITCH PER SITE PLAN AND DETAIL DRAWINGS. THE METER BASE SHOULD BE LOCATED IN A MANNER WHERE ACCESSIBLE BY THE LOCAL POWER COMPANY.
5. LOCAL POWER COMPANY SHALL PROVIDE 200 AMP ELECTRIC METER. CONTRACTOR SHALL COORDINATE INSTALLATION OF METER WITH LOCAL POWER COMPANY.
6. WIRE SHALL BE AS FOLLOWS, #10 OR SMALLER WIRE SHALL BE 75°C RATED SOLID COPPER, WITH THHN/THWN AWG INSULATION. #8 AND LARGER WIRE SHALL BE 75°C RATED STRANDED COPPER, WITH THHN/THWN AWG INSULATION. INDOOR CONDUCTORS SHALL BE INSTALLED IN EMT UNLESS NOTED OTHERWISE. OUTDOOR CONDUCTORS SHALL BE INSTALLED IN RIGID METALLIC CONDUIT UNLESS NOTED OTHERWISE. CONDUCTORS THAT ARE IN CONDUIT OUTDOORS OR UNDERGROUND SHALL BE RATED THHN/THWN-2 OR XHHW-2 FOR FEEDER CONDUCTORS. WHERE EMT IS ALLOWED OUTDOOR IT SHALL BE UTILIZED WITH LISTED COMPRESSION FITTINGS. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
7. ALL TELCO CONDUIT LINES SHALL BE 4" SCH. 40 PVC CONDUIT UNLESS OTHERWISE INDICATED. THE TELCO CONDUIT FROM THE PPC SHALL BE ROUTED AND TERMINATED AT DESIGNATED TELCO DEMARCATION OR 2-FEET OUTSIDE FENCED AREA, NEAR UTILITY POLE (IN FENCED AREA), OR END CAP OFF AND PROVIDE MARKER STAKE PAINTED BRIGHT ORANGE WITH DESIGNATION FOR TELCO SERVICE.
8. CONDUITS INSTALLED AT PCS EQUIPMENT ENDS PRIOR TO THE EQUIPMENT INSTALLATION SHALL BE STUBBED AND CAPPED AT 6" ABOVE GRADE OR PLATFORM. IF SERVICE LINES CAN'T BE INSTALLED INITIALLY, PROVIDE NYLON PULL CORD IN CONDUITS.
9. THE SPRINT CABINET, INCLUDING 200 AMP LOAD PANEL AND TELCO PANEL, SHALL BE PROVIDED BY OWNER AND INSTALLED BY THE CONTRACTOR. CONTRACTOR IS TO INSTALL BREAKER(S) NOT PROVIDED BY MANUFACTURER SEE PANEL SCHEDULE ON THIS SHEET FOR BREAKER REQUIREMENTS. NEW BREAKERS SHALL HAVE SCC RATINGS GREATER THAN AVAILABLE FAULT CURRENT AT LOAD CENTER.
10. LOCATION OF ELECTRIC METER AND SERVICE DISCONNECT SWITCH TO BE PROVIDED BY GENERAL CONTRACTOR.
11. #2 WIRE TO BE UTILIZED IN ELECTRIC SERVICE RUNS EXCEEDING 100'.
12. CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTORS FUNCTIONS, THE SCORE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT, SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
13. LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO ROUGH-IN.
14. THE CONDUIT RUNS AS SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATION AND ROUTING SHALL BE PER EXISTING FIELD CONDITIONS.
15. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.

10. ALL CONDUITS SHALL BE RMC WITH ENDS MADE IN ACCORDANCE WITH NEC TABLE 348-10. NO RIGHT ANGLE DEVICE OTHER THAN STANDARD CONDUIT ELBOWS WITH 12" MINIMUM INSIDE SWEEPS FOR ALL CONDUITS 2" OR LARGER.
17. ALL CONDUIT TERMINATIONS SHALL BE PROVIDED WITH PLASTIC THROAT INSULATING GROUNDING BUSHINGS.
18. ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES AND CABINETS WITH APPROVED PLASTIC TAGS, ACTION CRAFT, BRADY, OR APPROVED EQUAL.
19. ALL MATERIAL SHALL BE NEW AND HAVE A U.L. LABEL.
20. CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION TO CONFLICTS. VERIFY WITH MECHANICAL CONTRACTOR AND COMPLY AS REQUIRED.
21. ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN NOT HAND WRITTEN.
22. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, STARTERS, AND EQUIPMENT CABINETS.
23. THE CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS DOCUMENT ANY AND ALL WIRING AND EQUIPMENT CONDITIONS AND CHANGES WHILE COMPLETING THIS CONTRACT. SUBMIT AT SUBSTANTIAL COMPLETION.
24. ALL DISCONNECT SWITCHES AND OTHER CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL, FIELD LOCATIONS FED FROM (NO EXCEPTIONS.) PROVIDE SAMPLE FOR CONSTRUCTION MANAGER'S APPROVAL.
25. ALL ELECTRICAL DEVICES AND INSTALLATIONS OF THE DEVICES SHALL COMPLY WITH (ADA) AMERICANS WITH DISABILITIES ACT AS ADOPTED BY THE APPLICABLE STATE.
26. PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS OR RISERS THROUGH BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS WITHOUT CONSTRUCTION MANAGERS APPROVAL. SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE PACKED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FILL FOR FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THIS PURPOSE.
27. ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT (NEW AND EXISTING) SHALL BE FIELD VERIFIED WITH THE OWNER'S REPRESENTATIVE AND EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN OF CONDUIT AND WIRE. ALL EQUIPMENT SHALL BE PROPERLY CONNECTED ACCORDING TO THE NAMEPLATE DATA FURNISHED ON THE EQUIPMENT (THE DESIGN OF THESE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND SOME EQUIPMENT CHARACTERISTICS MAY VARY FROM DESIGN AS SHOWN ON THESE DRAWINGS)
28. LOCATION OF ALL OUTLET, BOXES, ETC., AND THE TYPE OF CONNECTION (PLUG OR DIRECT) SHALL BE CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
29. BURIED METALLIC CONDUITS AND ELBOW SHALL BE WRAPPED WITH MOISTURE RESISTANT TAPE. TAPE SHALL BE 2 INCHES WIDE, 20 MIL THICK, SHALL BE 1/2 LAPPED TO ACHIEVE TWO LAYERS. EXTEND 8" BEYOND ELBOWS AND 8" ABOVE SURFACE.-

PANEL CAPACITY (kVA):	48.0	CONNECTED LOAD (kVA):	12.2
PANEL LOADING (100% non-cont. load) (kVA):	12.2		
PANEL LOADING (125% continuous load) (kVA):	0.0		
PANEL LOADING (TOTAL) (kVA):	12.2		
SPARE CAPACITY (kVA):	35.8		

Site Number		AC POWER PANEL No. 1 (PROPOSED)										Site Number	
PH540C138		120/240 VOLTS, 1-PHASE, 3-WIRE, 200A											
MAIN BREAKER RATING (A):		200										SYSTEM VOLTAGE (V):	
DESCRIPTION		VA	END	BKR	POSN	L1	L2	SYSTEM BKR	END	VA	DESCRIPTION		
REC 1		1200	nc	30	1	1201		7	50	c	1	SURGE	
		1200	nc		2		1201	8		c	1		
REC 2		1200	nc	30	3	2400		9	30	nc	1200	REC 5	
		1200	nc		4		2400	10		nc	1200		
REC 3, 4		2400	nc	30	5	2580		11	15	nc	180	GFCI	
		2400	nc	30	6			12	10			Fan (OFF)	
PHASE TOTALS (VA)						6181		6001					
PANEL TOTAL (VA)						52		50					
		CURRENT PER P											
		12184											
Amperes/phase cannot exceed main breaker rating Legend c = continuous, nc = non-continuous													

PANEL LOADING (125% continuous load) (kVA)	0.0
PANEL LOADING (TOTAL) (kVA)	12.2
SPARE CAPACITY (kVA)	35.8

NONE	3
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NONE	2
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NONE	
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E-1

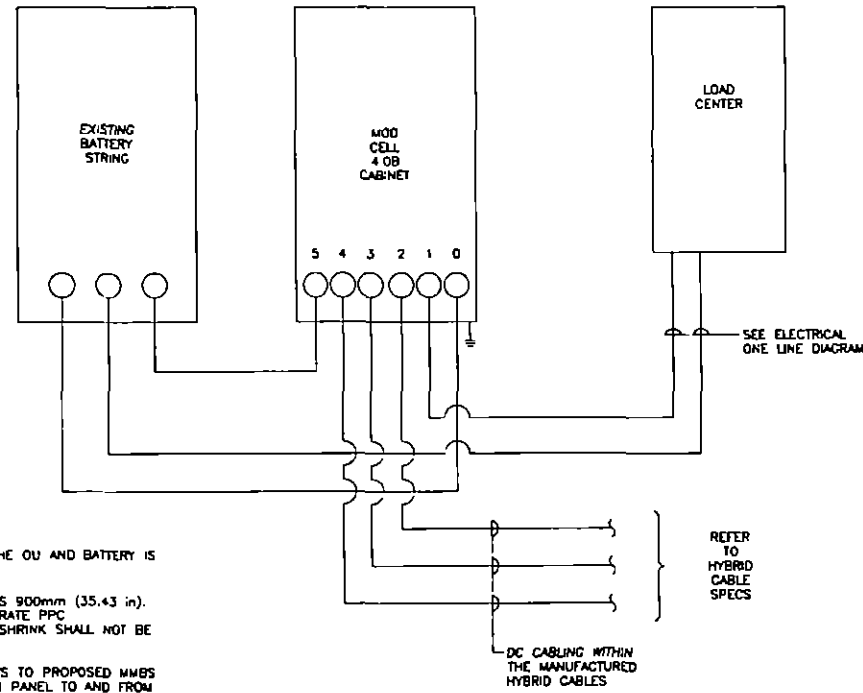
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PROFESSIONAL SEAL

SHEET TITLE
DC POWER ONE-LINE
DIAGRAM & DETAILS

SHEET NUMBER
E-2

MMBS PORT LAYOUT	
CONDUIT NO.	USAGE
0	BATTERY
1	AC/GROUND
2	RRH SECTOR 1
3	RRH SECTOR 2
4	RRH SECTOR 3
5	BATTERY

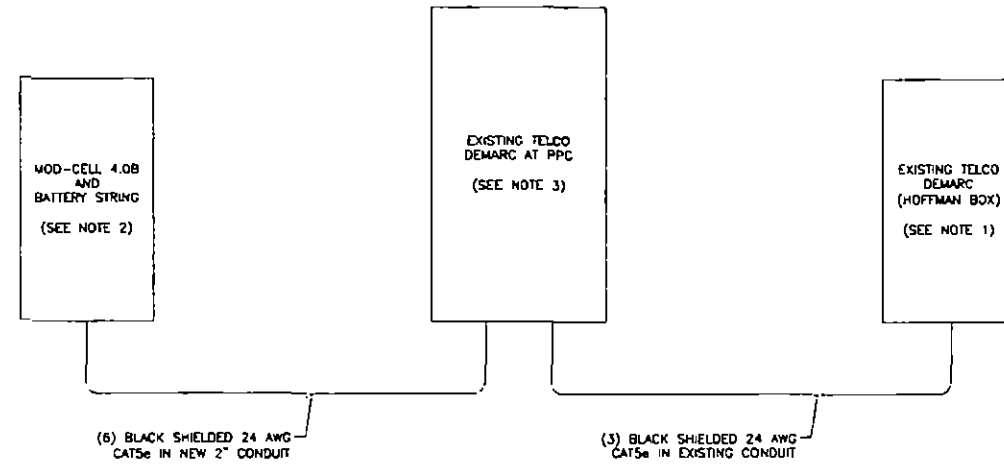


- DC POWER ELECTRICAL NOTES:
1. MINIMUM CABLE LENGTH BETWEEN THE OU AND BATTERY IS 70MM (2.75 in)
 2. MAXIMUM CABLE LENGTH DISTANCE IS 900mm (35.43 in). WEATHER PROOFING SHALL INCORPORATE PPC WEATHERPROOFING TAPE KIT, COLD SHRINK SHALL NOT BE USED.
 3. ROUTE DC CONDUCTORS IN CONDUITS TO PROPOSED MMBS CABINET 48VDC POWER DISTRIBUTION PANEL TO AND FROM EXISTING BATTERY STRING.
 4. -48 VDC CABLES BETWEEN PROPOSED MMBS CABINET & RRH'S ARE FACTORY ASSEMBLED AND EQUIPPED WITH ONE PRE-TERMINATED END.
 5. ALL FIELD INSTALLED DC CABLING SHALL BE TYPE RHH/RHW AND SHALL BE UL THERMOSET INSULATED.

REFER TO HYBRID CABLE SPECS

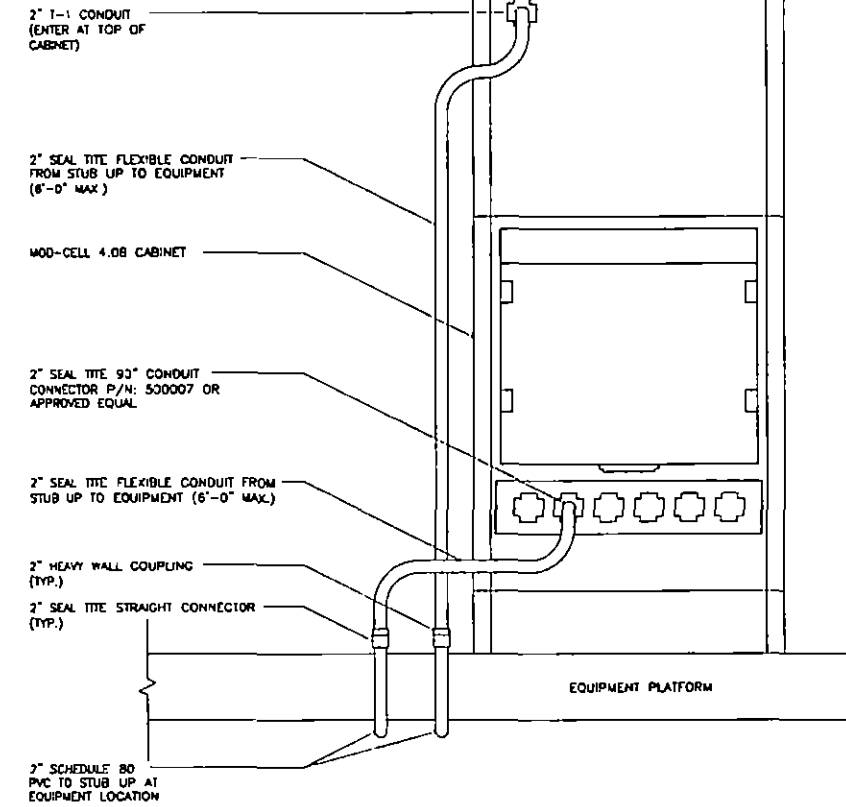
DC CABLING WITHIN THE MANUFACTURED HYBRID CABLES

NOT USED 4 DC POWER DIAGRAM NONE 2

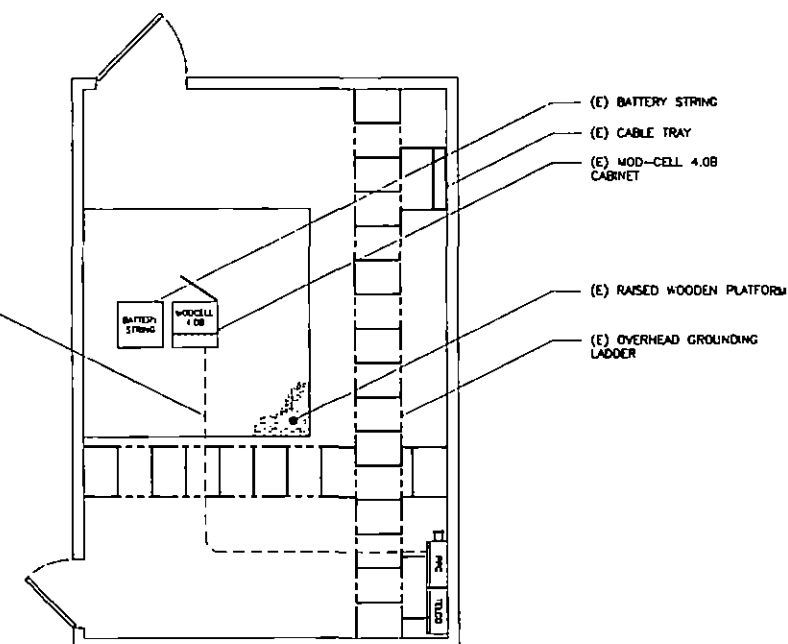


- NOTES:
1. CONTRACTOR TO INSTALL NEW 66 BLOCK IN EXISTING HOFFMAN BOX AT SITES MAIN TELCO DEMARC.
 2. CONTRACTOR SHALL INSTALL RJ-45 ENDS AS REQUIRED ON ALL RUNS OF CAT5e INTO MOD-CELL 4.0B AND BATTERY STRING
 3. CONTRACTOR TO INSTALL NEW 66 BLOCK IN EXISTING TELCO BOX NEXT TO EXISTING PPC CABINET.

TELCO RISER DETAIL NONE 3 EQUIPMENT POWER CONDUIT CONNECTIONS (MOD-CELL) N.T.S. 1



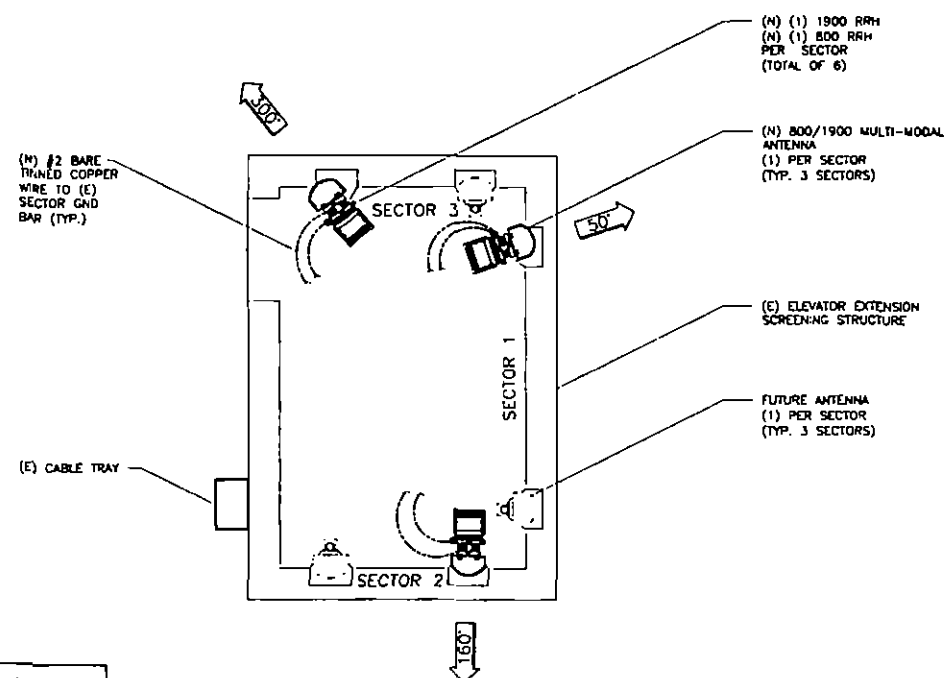
10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259



FULL SCALE $1/4" = 1'-0"$
(25:1 SCALE RATIO)
4 0 4 8

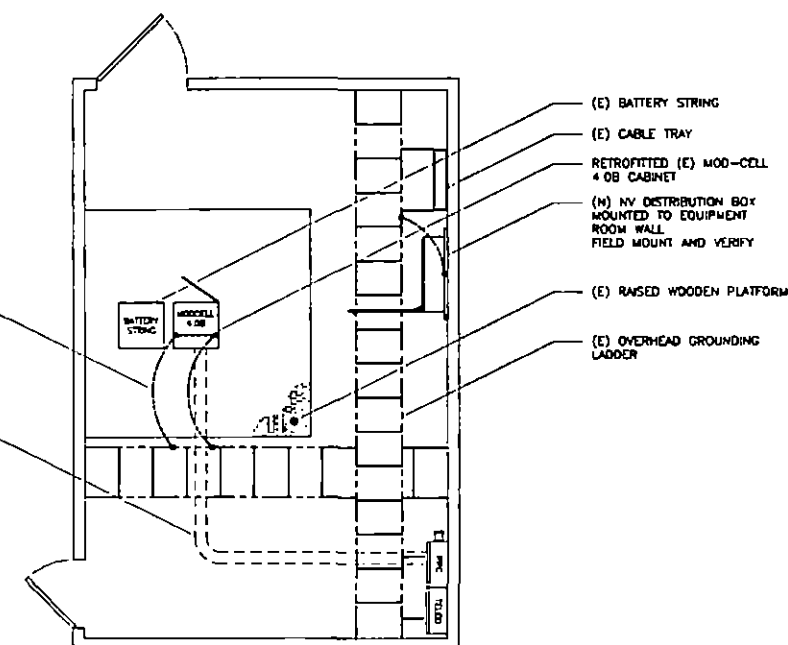
HALF SCALE $1/8" = 1'-0"$
(12:1 SCALE RATIO)

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(N) #2 BARE TINNED COPPER
WIRE TO (E) OVERHEAD
GROUNDING LADDER (TYP)

(N) POWER & TELCO ROUTE _____
(E) CONDUIT & CONDUCTOR CAN
BE RE-USED IF IT MEETS OR
EXCEEDS CUSTOMER SPEC &
NEC/IBC REQUIREMENTS



FULL SCALE $1/4" = 1'-0"$
(24:36 INCHES ON 1")



HALF SCALE $1/8" = 1'-0"$
(48:36 INCHES ON 1")



FULL SCALE $3/8" = 1'-0"$
(22x34 sheet only)

3' 2' 1' 0 1' 2' 3' 6'

HALF SCALE $3/16" = 1'-0"$
(11x17 sheet only)

NONE	
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PROFESSIONAL SEAL

SHEET TITLE

CONDUIT ROUTING
/GROUNDING

SHEET NUMBER

E-3

10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY EXOTHERMIC WELDS. EXOTHERMIC WELDS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED: WELDS, SOLDERING, METAL, TOOLS, ETC. SHALL BE EXOTHERMIC WELDED AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC WELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF GALVITE (WHITE) PAINT OR SILVERBRITE (ALUMINUM).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
4. GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY SPRINT STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5-OHMS.
5. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 1. ONE (1) COPY TO OWNER REPRESENTATIVE
 2. ONE (1) COPY TO ENGINEER
 3. ONE (1) COPY TO KEEP IN ORIGINAL ENCLOSURE
6. ALL RADIO EQUIPMENT AND UTILITY CABINET GROUND LEADS TO BE #2 AWG STRANDED GREEN JACKETED FROM BUSS TERMINAL.
7. FOR ADDITIONAL GROUNDING NOTES SEE GENERAL NOTE SHEETS
8. ALL ANTENNA MOUNT GROUNDS SHALL BE #2 AWG STRANDED GREEN JACKETED CABLE. GROUNDS SHALL BE BLACK FROM MFR.
9. ALL GROUND WIRES FROM GROUND BARS TO GROUND SHALL BE #2 AWG SOLID BARE AS REQUIRED.
10. ALL ABOVE GROUND WIRES SHALL BE GREEN JACKETED ALL GROUND WIRE'S PENETRATING INTO GROUND AND BELOW SHALL BE SOLID BARE.

1. UTILIZE THE TOWER STRUCTURE STEEL FOR DISSIPATING THE LIGHTING ENERGY. THE TOWER BUSS BAR FOR ANTENNA GROUNDING SHALL BE DIRECTLY FASTENED TO THE STEEL STRUCTURE WITH STAINLESS STEEL HARDWARE AND/OR ANGLE ADAPTORS (E.G. PIRROD/VALMONT - PART NO 187105 OR EQUIVALENT, WITHOUT "CHERRY" INSULATORS) THIS TYPE OF INSTALLATION SPECIFICALLY PRECLUDES THE USE OF INSULATORS BETWEEN THE TOWER STRUCTURE AND THE BUSS BARS AND DOES NOT ALLOW ANY DRILLING OR WELDING TO THE TOWER.

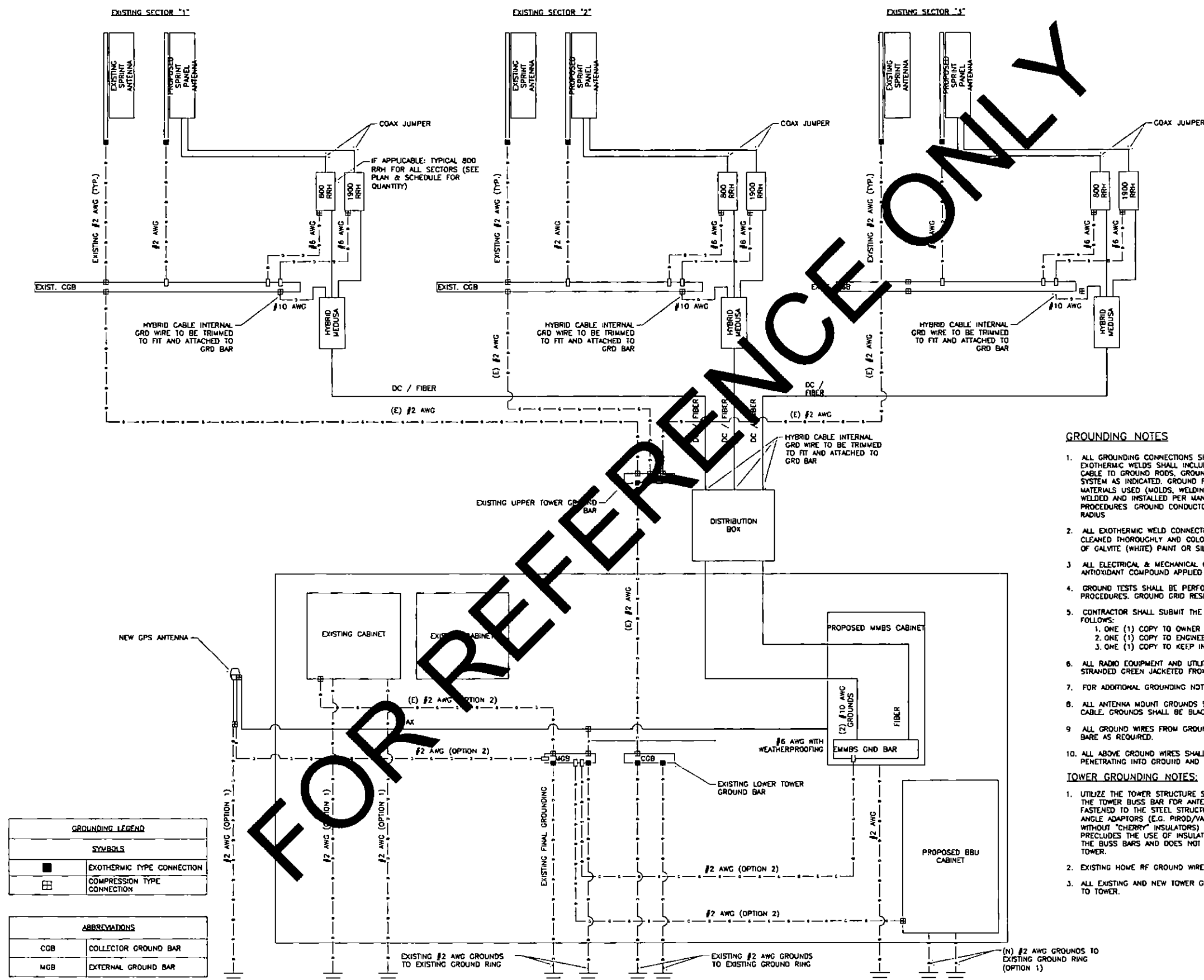
2. EXISTING HOME RF GROUND WIRES & CHERRY ISOLATORS TO BE REMOVED
3. ALL EXISTING AND NEW TOWER GROUND BARS TO BE MECHANICALLY ATTACHED TO TOWER

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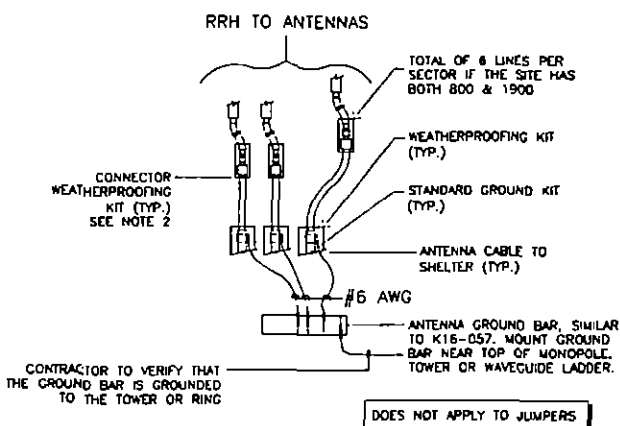
SHEET NO.

GROUNDING RISER DIAGRAM & NOTES

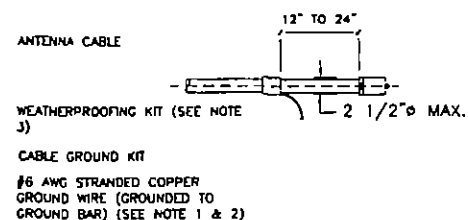
E-4



1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHERPROOFING SHALL BE ANDREWS. (TYPE & PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER)

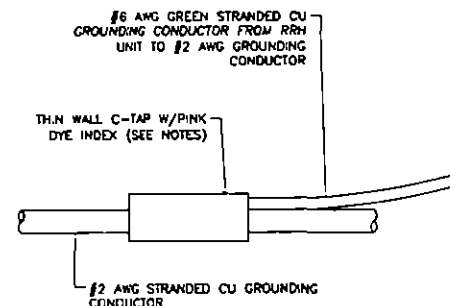


TYPICAL COAX GROUNDING TO ANTENNA GROUND BAR N.T.S.

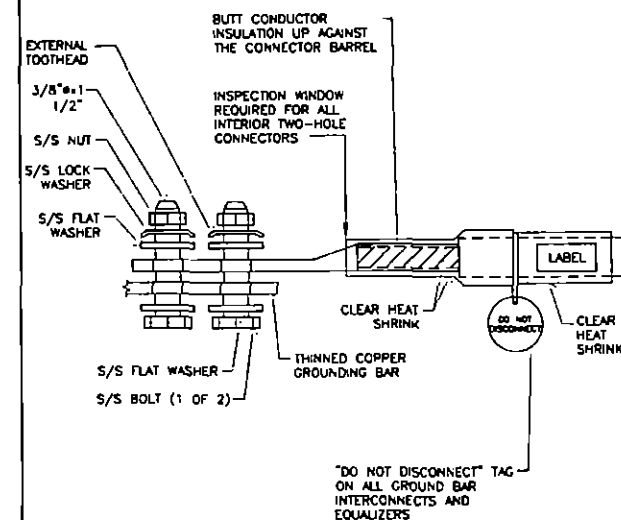


CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE ANDREW SUREGROUND TYPE KIT WITH TWO-HOLE LUG.
3. WEATHER PROOFING SHALL INCORPORATE PPC WEATHERPROOFING TAPE KIT. COLD SHRINK SHALL NOT BE USED.



1. CONTRACTOR TO SURROUND COMPLETED CONNECTION W/
WEATHERPROOFING TAPE TO ENSURE WEATHERPROOF CONNECTION.



TWO HOLE LUG	N.T.S.	3
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Sprint 

Alcatel-Lucent 

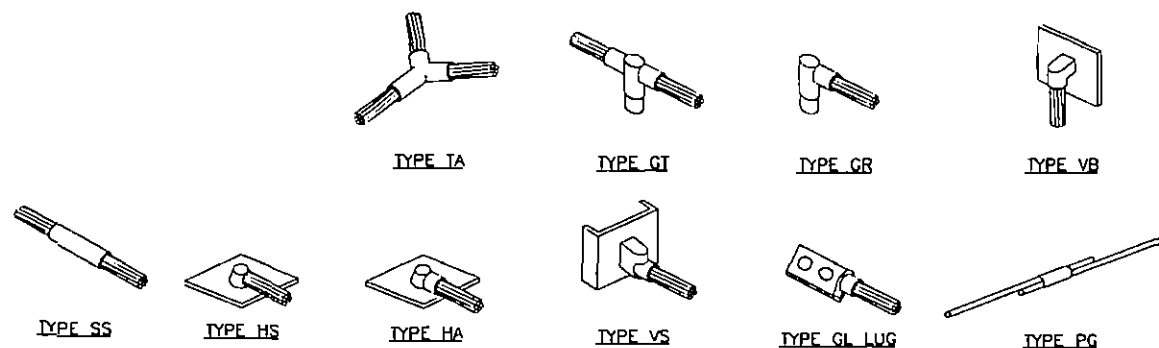


Clear Blue
Services

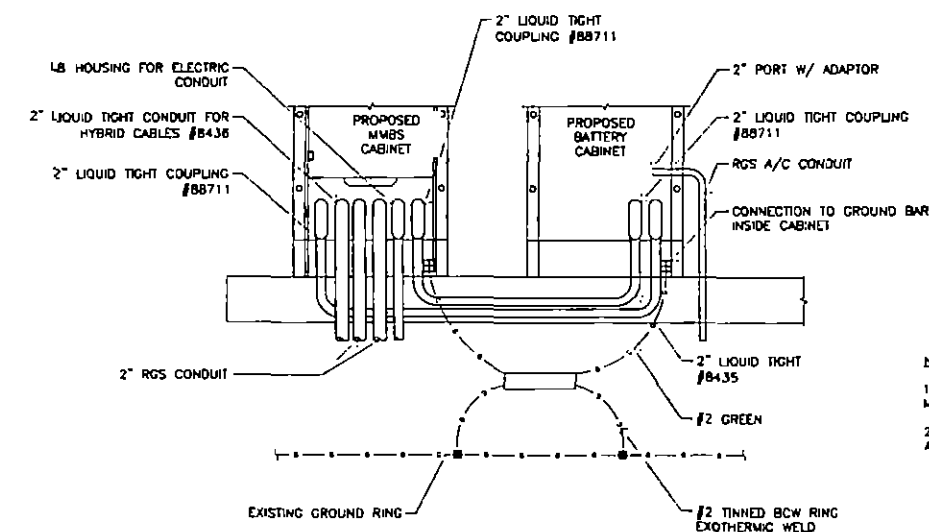
11011 & 48TH ST, STE 210
PHOENIX, AZ 85044 152-174-0000

RESHMA
PH54XC138

10405 E. MCDOWELL MTN.
SCOTTSDALE, AZ 85259



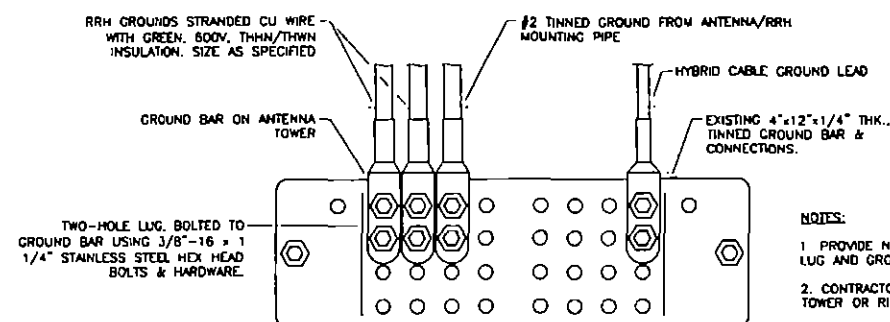
TYPICAL EXOTHERMIC WELD CONNECTIONS



NOTE:

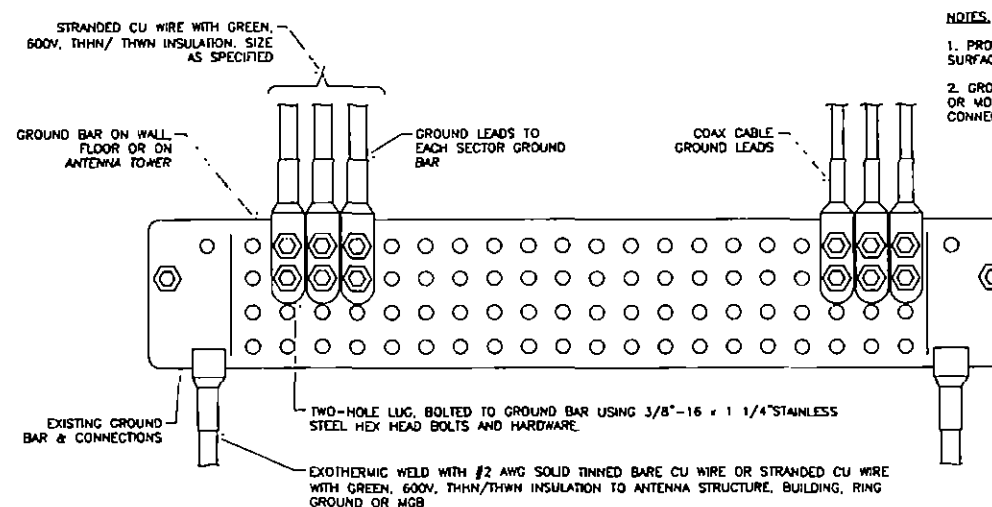
1. DIAGRAMMATIC LAYOUT ONLY. MAY VARY.
2. INFORMATION OBTAINED FROM ALL

CABINET GROUND SCHEMATIC



1. PROVIDE NO-OX GREASE AT CONTACT SURFACE BETWEEN LUG AND GROUND BAR
2. CONTRACTOR WILL VERIFY BUSS BAR GROUNDING TO THE TOWER OR RING.

SECTOR GROUND BAR CONNECTIONS



1. PROVIDE NO-OX GREASE AT CONTACT SURFACE BETWEEN LUG AND GROUND BAR
2. GROUND BARS AT BOTTOM OF TOWERS OR MONOPOLES SHALL USE EXOTHERMIC CONNECTION

TOWER MASTER GROUND BAR CONNECTIONS

N.T.S.	
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PROFESSIONAL SEAL

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

E-5