

PLANS

GRADING AND DRAINAGE NOTES

1. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
2. GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING ON-SITE UTILITY LINES PRIOR TO EXCAVATION EFFORTS.
4. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWELLS, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS FOR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE MAINTAINED DURING CONSTRUCTION.
5. APPROVAL OF THESE PLANS SHALL NOT PREVENT THE CITY FOR REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF BY LAW OR ORDINANCE.
6. PRIOR TO THE START OF GRADING, A DUST CONTROL PERMIT (EARTH MOVING EQUIPMENT PERMIT) MUST BE OBTAINED FROM MARICOPA COUNTY DIVISION OF AIR POLLUTION CONTROL (602)507-6727.

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
2. THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL OF ENGINEERING DESIGNS. THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
4. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
5. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "GOLD DIRT" IF NECESSARY.
6. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
7. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE CITY'S BUILDING CODE.
8. SIGNAGE REQUIRES SEPARATE REVIEW AND PERMIT.

BASIS OF BEARING

BASIS OF BEARING FOR THIS SURVEY IS A BEARING OF NORTH 89°34'30" WEST, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE CILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. ACCORDING TO THE PLAT OF CAMELBACK PARK PLAZA, AS RECORDED IN BOOK 86, PAGE 13, MARICOPA COUNTY RECORDS, ARIZONA.

BENCHMARK

THE INTERSECTION OF CAMELBACK ROAD AND MILLER ROAD, A STONE IN A HANDHOLE, DOWN 1.45' CITY OF SCOTTSDALE CPS POINT 4234, ELEV = 1259.425, NAVD '88 DATUM.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED HEREIN.

ENGINEER

DATE

ENGINEER'S STATEMENT

THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS.

UNDERGROUND UTILITY NOTE

THE UTILITIES DEPICTED HEREON ARE BASED UPON THE FIELD SURVEY. CONTRACTOR TO CONTACT BLUE STAKE 48 HOURS PRIOR TO ANY ON-SITE CONSTRUCTION AND FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER	FT/FT	FOOT PER FOOT	SD	STORM DRAIN
B/C	BACK OF CURB	G	GUTTER	SF	SQUARE FEET
C	CONCRETE	IE	INVERT ELEVATION	SS	SANITARY SEWER
CATV	UNDERGROUND CABLE TV	IR	IRRIGATION	S/W	SIDEWALK
C	CENTERLINE	LF	LINEAR FEET	SY	SQUARE YARDS
CF	CUBIC FEET	LIE	LANDSCAPE IRRIGATION EASEMENT	TF	TOP OF FOOTING
CY	CUBIC YARD	ML	MATCH LINE	TW	TOP OF WALL
EA	EACH	NMPAE	NON-MOTORIZED PUBLIC ACCESS EASEMENT	UGFO	UNDERGROUND FIBER OPTIC
ESMT	EASEMENT	NTS	NOT TO SCALE	UGE	UNDERGROUND ELECTRIC
EX	EXISTING	P	PAVEMENT	UCT	UNDERGROUND TELEPHONE
EG	EXISTING GRADE	PDE	PUBLIC DRAINAGE EASEMENT	VCP	VITRIFIED CLAY PIPE
FF	FINISH FLOOR	P	PROPERTY LINE	VOL	VOLUME
FG	FINISH GRADE	PUE	PUBLIC UTILITY EASEMENT	VP	VOLUME PROVIDED
FL	FLOWLINE	PVC	PAVEMENT/CONCRETE	VR	VOLUME REQUIRED
WT	WOOD TURF	R/W	RIGHT OF WAY	W	WATER
		NMPAE	NON-MOTORIZED PUBLIC ACCESS EASEMENT		

FLOOD PLAIN DESIGNATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION
04013C	1695	H	9/30/05	ZONE X	DEPTHS OF LESS THAN 1'

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR FLOOD, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORM WATER REGULATION.

NO CONFLICT SIGNATURE BLOCK

UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
WATER	AZ AMERICAN WATER	CLIFF WAHLERS	(623) 445-2447	3/2012
ELECTRIC	APS	SCOTT TIMAR	(602) 493-4421	3/2012
FIBER OPTIC	COX COMMUNICATIONS	TRAVIS CURRY	(623) 328-3519	4/2012
TELEPHONE	CENTURYLINK	ESTHER MEDINA	(480) 768-4574	6/2012
ELECTRIC	SALT RIVER PROJECT	CRAIG ETEL	(602) 236-0682	3/2012
IRRIGATION	SALT RIVER PROJECT	SUSANA ORTEGA	(602) 236-5799	3/2012
GAS	SOUTHWEST GAS	NORMA JARDIN	(480) 730-3857	3/2012

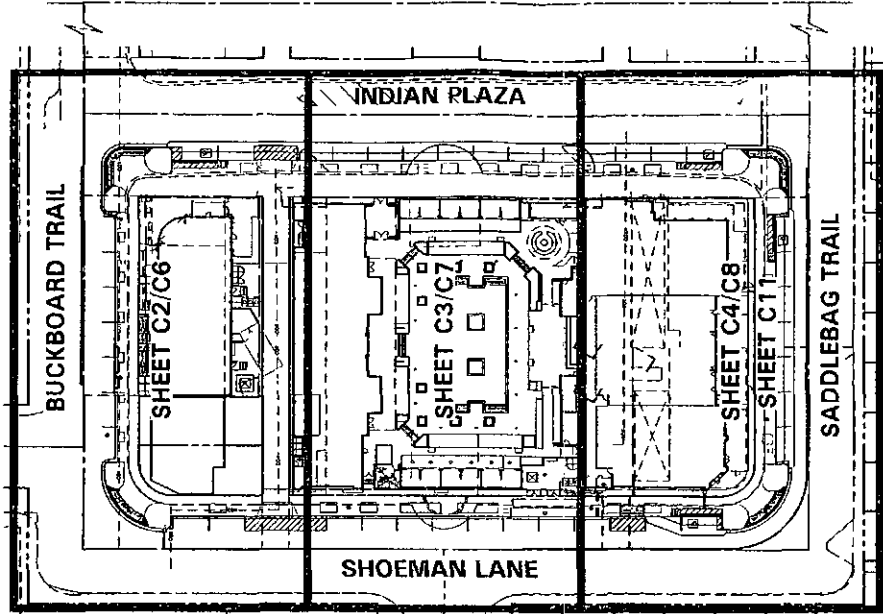
I, LARRY TALBOTT, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL OF THE UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY, AND ARE INCLUDED IN THIS SUBMITTAL. ALL PUBLIC AND PRIVATE UTILITY APPOINTMENTS NECESSARY TO SERVE THIS SITE, INCLUDING, BUT NOT LIMITED TO, TRANSFORMERS, CABLE BOXES, AND UTILITY PEDESTALS, SHALL BE PLACED SUCH THAT THEY DO NOT NEGATIVELY IMPACT THE USE OF ANY DEDICATED EASEMENTS OR RIGHTS-OF-WAY INCLUDING, BUT NOT LIMITED TO, STORM WATER STORAGE BASINS, SIGHT DISTANCE EASEMENTS, AND NAGS OR OTHER OPEN SPACE EASEMENTS.

SIGNATURE

DATE

GRADING & DRAINAGE PLANS FOR SCOTTSDALE RETAIL PLAZA

7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA
CAMELBACK ROAD



KEYMAP

SHEET INDEX

- COVER SHEET
- GRADING & DRAINAGE PLANS
- DEMOLITION PLAN
- UTILITY PLANS
- DETAILS
- TYPICAL SECTIONS
- PUBLIC SEWER LINE PLAN & PROFILE PLAN
- SIGNING & STRIPING PLAN

QUANTITIES

PAVING		WATER	
REMOVE & REPLACE AC PAVMT	1,854 SY	REMOVE & REPLACE AC PAVMT	202 SY
REMOVE & REPLACE AC PAVEMENT	3,293 SY	REMOVE & REPLACE CURB & GUTTER	5 LF
CONCRETE SIDEWALK	14,959 SF	REMOVE & REPLACE SIDEWALK	10 SF
SIDEWALK RAMP (C.O.S. 2232)	4 EA	6" D.J.P.	243 LF
SIDEWALK RAMP (C.O.S. 2235-2)	4 EA	WATER SERVICE LINE	225 LF
DRIVEWAY (C.O.S. 2250)	2 EA	IRRIGATION SERVICE LINE	59 LF
VALLEY GUTTER	488 LF		
CURB & GUTTER	500 LF		
BIKE RACK	6 EA		
CATCH BASIN (MAG 532, TYPE C)	1 EA		
STORM PIPE	7 LF		

EXISTING LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- MONUMENT LINE
- EASEMENT LINE
- CONTOUR
- WATERLINE
- SEWER LINE
- CABLE TELEVISION
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- STORM DRAIN
- FENCE LINE
- SEWER MANHOLE
- GAS TANK MANHOLE
- STORM DRAIN MANHOLE
- WATER MANHOLE
- WATER VALVE
- TRAFFIC SIGN
- TRAFFIC LIGHT
- TRAFFIC SIGNAL BOX
- TRAFFIC CAMERA
- TELEVISION BOX
- ELECTRICAL BOX
- TELEPHONE BOX
- LIGHT POLE
- TREE
- BUILDING

PROPOSED LEGEND

- EASEMENT LINE
- SEWER LINE
- WATER LINE
- FIRE LINE
- STORM LINE
- GRADE BREAK
- DIRECTION OF SLOPE
- STRAINER DRAIN
- SPOT ELEVATION
- CLEANOUT
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- BACKFLOW DEVICE
- WATER METER
- FDC
- VALVE & TAPPING SLEEVE
- SIGN
- SECTION CALLOUT
- SAWCUT

OWNER

EQUITY PARTNERS GROUP, LLC
4501 N. SCOTTSDALE ROAD, SUITE 201
SCOTTSDALE, ARIZONA 85251
PHONE (602) 748-8888
FAX (602) 748-8889
CONTACT SHAWN YARI

ARCHITECT

CAWLEY ARCHITECTS, INC.
730 NORTH 52ND STREET, SUITE #203
PHOENIX, ARIZONA 85008
PHONE (602) 393-5060
FAX (602) 393-5061
CONTACT GRANT BLUNT

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE (480) 991-3985
FAX (480) 991-3985
CONTACT LARRY TALBOTT

ZONING

C-2 WITH P-3 AND D-0 OVERLAYS
WEST ALLEY P-2

GROSS ACREAGE: 2.92± ACRES

NET ACREAGE: 1.91± ACRES

LEGAL DESCRIPTION

LOTS 23-25, FILE NO. CTA1109551
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
LOTS 23, 24 AND 25, CAMELBACK PARK PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 86 OF MAPS, PAGE 13.
LOT 62, FILE NO. CTA1109553
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
TRACTS C-G, FILE NO. CTA1109555
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
TRACT C, CAMELBACK PARK PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN 86 OF MAPS, PAGE 13, EXCEPT THE SOUTH 180 FEET AND EXCEPT THE NORTH 119 FEET AS MEASURED ALONG THE WEST LINE OF SAID TRACT C.
PARCEL NO. 2
TRACTS D, E, F AND G, CAMELBACK PARK PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN 86 OF MAPS, PAGE 13.
LOTS 63-65, FILE NO. CTA1109543
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
LOTS 63, 64 AND 65, CAMELBACK PARK PLAZA, ACCORDING TO BOOK 86 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA.
LOTS 26-28, FILE NO. CTA1109552
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
LOTS 26, 27 AND 28, CAMELBACK PARK PLAZA, ACCORDING TO BOOK 86 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA.
LOTS 66-67, FILE NO. CTA1109549
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
LOTS 66 AND 67, CAMELBACK PARK PLAZA, ACCORDING TO BOOK 86 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA.
LOTS 42-53, FILE NO. CTA1109554
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
PARCEL NO. 1
LOTS 42 THROUGH 53, INCLUSIVE, CAMELBACK PARK PLAZA, ACCORDING TO BOOK 86 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 2
THE SOUTH 180 FEET OF TRACT "C" CAMELBACK PARK PLAZA, ACCORDING TO BOOK 86 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA.

APPROVALS - M.C.E.S.D.

BY *Larry Talbott* DATE *7/16/12*
ENGINEER

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT

"IN ACCORDANCE WITH AAC R18-4-213, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME IN CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61"

CITY OF SCOTTSDALE APPROVAL

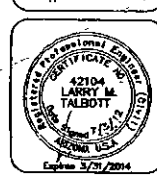
REVIEWED AND RECOMMENDED APPROVAL BY:			
PAVING	<i>Joseph D. Morris</i> 7/16/12	TRAFFIC	<i>Joseph D. Morris</i> 7/16/12
G&D	<i>D. Galt</i> 7/16/12	PLANNING	<i>[Signature]</i> 7/16/12
W&S	<i>Joseph D. Morris</i> 7/16/12	FIRE	<i>[Signature]</i> 7/16/12
RET WALLS	NA		
<i>Joseph D. Morris</i> 7/16/12		<i>[Signature]</i> 7/16/12	
ENGINEERING COORDINATION MANAGER (OR DESIGNEE)		DATE	

U (602)263-1100
1-800-STAKE-IT
SCOTTSDALE, ARIZONA

NO.	DATE	REVISION	BY

DESIGN BY LMT
DRAWN BY JCC
CHECKED BY LMT

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
7-480-991-3985



GRADING AND DRAINAGE PLANS
COVER
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

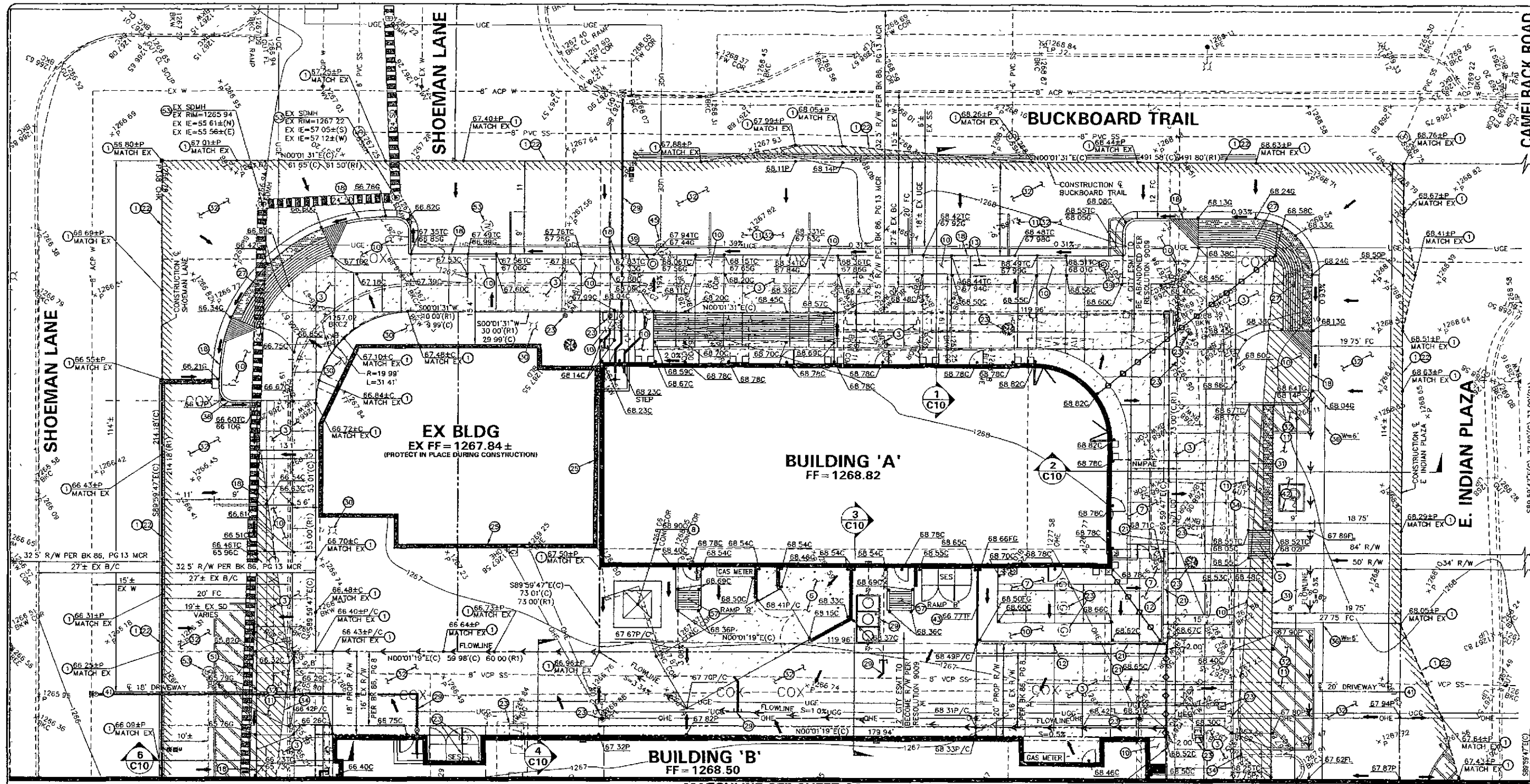
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.
LGEC117

SCALE
NTS

SHEET
C1

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45



CONSTRUCTION NOTES

- CONTRACTOR TO VERIFY ELEVATION OF EXISTING AC PVT, CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- BACKFILL PAVEMENT AND SURFACE REPLACEMENT PER MAG STD DTL 200, TYPE 'A' MATCH EXISTING AC PAVEMENT SECTION IN KIND.
- CONSTRUCT CONCRETE SIDEWALK WITH THICKNESS AND SPECIFICATIONS PER MAG STD DTL 230, AND C.O.S. SPEC 340.
- INSTALL HDPE DRAIN LINE AND APPURTENANCES. SIZE AND SLOPE PER PLAN.
- CONSTRUCT MID-BLOCK SIDEWALK RAMP PER C.O.S. STD DTL 2235-2. MODIFIED TO REMOVE ONE WING. DO NOT EXCEED 1:50 CROSS SLOPE AND 12:1 LONGITUDINAL SLOPE. GRADE PER PLAN.
- INSTALL REFUSE ENCLOSURE PER ARCHITECTURAL PLANS & C.O.S. STD DTL 2146-2. MODIFIED FROM STANDARD CITY OF SCOTTSDALE DETAIL PER ARCHITECTURAL TRASH ENCLOSURE PLAN. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONSTRUCT PATIO AREA PER ARCHITECTURAL PLANS.
- CONSTRUCT CONCRETE UTILITY PAD. SEE ELECTRICAL PLANS FOR DETAILS.
- INSTALL SHEDLINE 8" NICKEL BRONZE SQUARE STRAINER DRAIN WITH CAST IRON COLLAR OR APPROVED EQUIVALENT.
- LANDSCAPE OR PLANTER AREA. SEE APPROVED LANDSCAPE PLANS FOR IRRIGATION AND PLANT DETAILS.
- STRIPED PARKING LOT PER PLANS. SEE ARCHITECTURAL PLANS FOR ADA STRIPING AND SIGNAGE DETAILS. ALL ADA STRIPING AND SIGNAGE TO COMPLY WITH CURRENT ADA STANDARDS.
- INSTALL HANDRAIL AND/OR SAFETY RAIL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONSTRUCT BICYCLE PARKING RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- APPROXIMATE FINISH FLOOR STEP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED STEP LOCATION. SEE ARCHITECTURAL PLAN FOR STEP AND HANDRAIL DETAILS.
- NOT USED.
- TRANSITION CURB FROM 4" TO 6" PER PLAN.

- CONSTRUCT CURB AND GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
- TRANSITION PATIO AND SIDEWALK FROM FLUSH TO NOT FLUSH.
- PATIO AND SIDEWALK NOT FLUSH IN THIS AREA.
- PATIO AND SIDEWALK FLUSH IN THIS AREA.
- SAWCUT AND REMOVE EXISTING AC PAVEMENT 2' MIN. CURB/GUTTER AND/OR CONCRETE PAD PER PLAN. DISPOSE OF PER LOCAL CODES. REPLACE AC PAVEMENT PER MAG SPEC 321 AND 336, 340 AND C.O.S. STD DTL 2200 OR REPLACE IN KIND, WHICHEVER IS GREATER. SAWCUT LIMITS SHOWN ARE APPROXIMATE. MATCH EXISTING GRADE. SEE DEMOLITION PLAN FOR DETAILS.
- FINISH GRADE HIGHER THAN FINISH FLOOR. PROVIDE WATER PROOFING ON EXTERIOR WALL. LOCATION AND HEIGHT PER PLAN.
- PROTECT EXISTING BUILDING IN PLACE DURING CONSTRUCTION.
- POOL AND COURTYARD HARDSCAPE AREA. SEE LANDSCAPE AND POOL PLANS FOR DETAILS.
- CONSTRUCT SIDEWALK ACCESS RAMP PER C.O.S. STD DTL 2232, MODIFIED TO CONNECT RAMP SECTION THROUGH RADIUS. COORDINATE RAMP WITH ARCHITECTURAL PLANS. DO NOT EXCEED 50:1 CROSS SLOPE AND 12:1 LONGITUDINAL SLOPE. EXTEND BUILDING FOOTING AND STEM WALL PER PLAN.
- PROPOSED UTILITY LINE. SEE UTILITY PLANS FOR CONSTRUCTION DETAILS.
- PROTECT EXISTING UTILITY IN PLACE DURING CONSTRUCTION.
- CONSTRUCT COMBINATION CURB & SIDEWALK. SEE DETAIL 9 ON SHEET C9.
- CONSTRUCT PAVEMENT SECTION. MATCH EXISTING AC PAVEMENT, MIN 3" AC ON 6" ABC OR REPLACE IN KIND.
- CONSTRUCT RETAINING WALL AND/OR PLANTER WALL PER STRUCTURAL AND ARCHITECTURAL PLANS AS APPROVED IN 92-DR-2010 AND PLAN CHECK #4737-10. WALL ELEVATIONS PER PLAN.
- SITE VISIBLE TRIANGLE PER C.O.S. STANDARD.

- REMOVE EXISTING STORM PIPE AND DISPOSE OF DEBRIS PER LOCAL CODES.
- CONSTRUCT VALLEY GUTTER PER C.O.S. STD DTL 2240. WIDTH=6".
- SEE PUBLIC SEWER LINE PLAN AND PROFILE FOR CONSTRUCTION DETAILS.
- CONSTRUCT SINGLE CURB PER MAG STD DTL 222, TYPE 'A'.
- PEDESTRIAN POLE LIGHT. SEE ELECTRICAL PLANS FOR DETAILS.
- CONSTRUCT CURB OPENING CATCH BASIN PER MAG STD DTL 532, TYPE 'C' MODIFIED PER PLAN. OPENING AND ELEVATIONS PER PLAN.
- CONSTRUCT DRIVE WAY ENTRANCE PER C.O.S. STD DTL 2250. WIDTH PER PLAN.
- MAXIMUM 2% SLOPE IN ALL DIRECTIONS WITHIN ADA PARKING AREA.
- CONSTRUCT SCREEN WALL PER PLAN. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS. FOOTING ELEVATION PER PLAN.
- CONSTRUCT WALL KNOCKOUT. SEE DETAIL 5 ON SHEET C9.
- COORDINATE RELOCATION/ RIM MODIFICATION OF EXISTING MANHOLE WITH UTILITY OWNER.
- SPEAKER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- TACO BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONSTRUCT ACCESS RAMP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- BUILT IN BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- OUTDOOR SHOWER. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROTECT EXISTING STORM DRAIN IN PLACE DURING CONSTRUCTION.
- EXISTING CATCH BASIN TO BE REMOVED. DISPOSE OF DEBRIS PER LOCAL CODES.
- FRAME & COVER GRADE ADJUSTMENT PER C.O.S. STD DTL 2270.
- CONSTRUCT GROUTED RIPRAP.

- CONSTRUCT STORMCEPTOR MANHOLE. RIM AND ELEVATIONS PER PLAN.
- CONSTRUCT STEEL TUBE SCUPPER. SEE ARCHITECTURAL PLANS FOR DETAILS.
- YARD AND REFUSE ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONSTRUCT SIDEWALK ACCESS RAMP PER DETAIL 6 ON SHEET C9.
- CONSTRUCT WALL CUTOUT. SIZE OF OPENING PER PLAN.

NOTES

- NOT ALL NOTES ARE USED ON THIS SHEET.
- CONTRACTOR SHALL PROVIDE AND INSTALL NECESSARY FITTINGS AND APPURTENANCES TO COMPLETE PIPING SYSTEMS SHOWN.
- SIGNS REQUIRE SEPARATE APPROVAL AND PERMITS.
- RIP RAP SHALL BE INDIGENOUS NATIVE STONE.
- POOL, REQUIRE SEPARATE APPROVAL AND PERMITS.
- ALL EXISTING UNDERGROUND UTILITIES IN THE ALLEYWAY ARE TO BE RELOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION, TO THE SATISFACTION OF THE UTILITY COMPANIES.

LEGEND

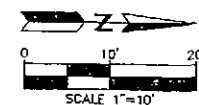
SEE SHEET C1

GENERAL NOTES

SEE SHEET C1

ABBREVIATION TABLE

SEE SHEET C1



GRADING AND DRAINAGE PLAN
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY

HE JOB NO.
LGEC117

SCALE
1"=10'

SHEET
C2

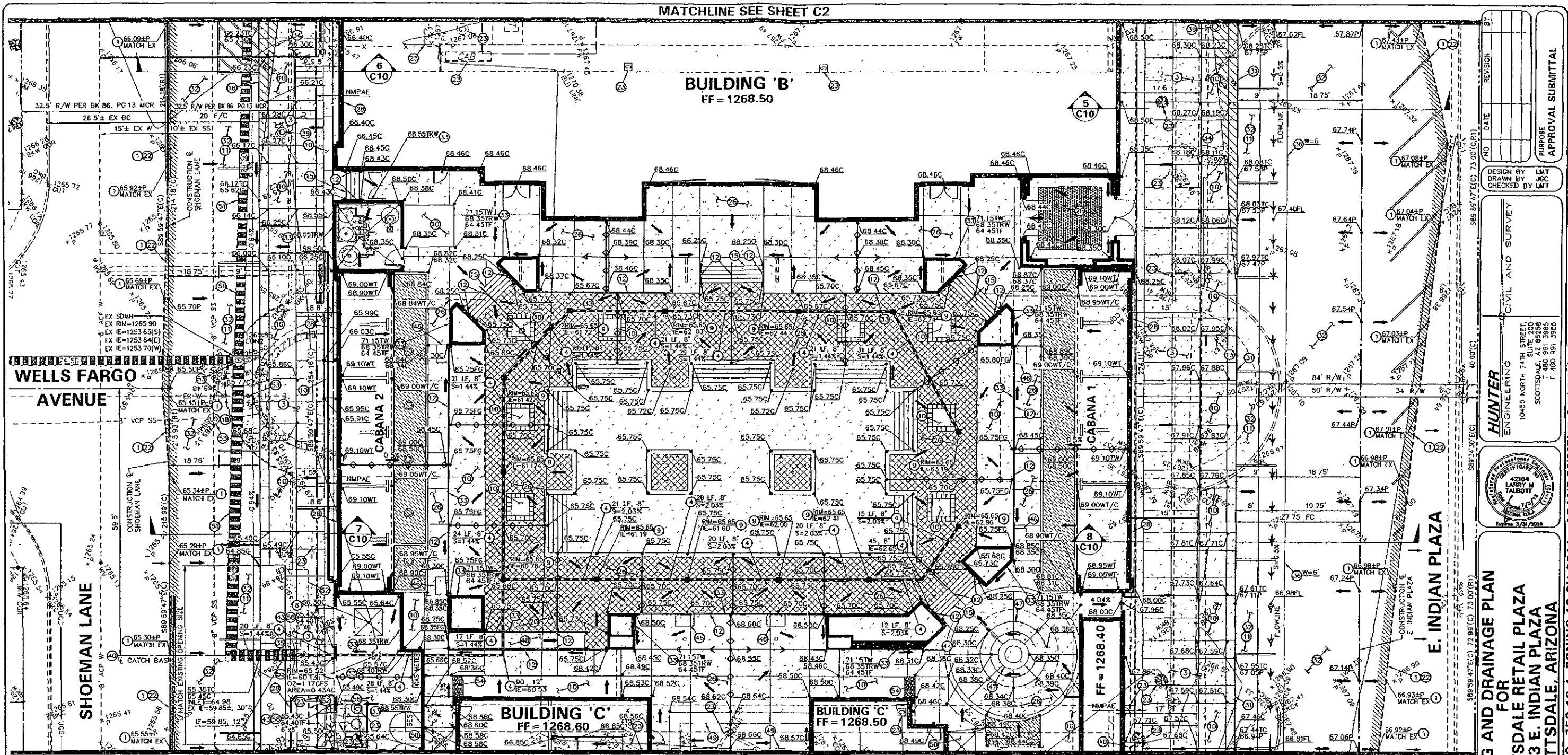
NO.	DATE	REVISION	BY

DESIGN BY
CHECKED BY

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3888
F 480 991 3886



CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, C.S. #17-45



CONSTRUCTION NOTES

- 1 CONTRACTOR TO VERIFY ELEVATION OF EXISTING AC PAVT, CURB OR SIDEWALK DE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 BACKFILL PAVEMENT AND SURFACE REPLACEMENT PER MAG STD DTL 200, TYPE 'A' MATCH EXISTING AC PAVEMENT SECTION IN KIND.
- 3 CONSTRUCT CONCRETE SIDEWALK WITH THICKNESS AND SPECIFICATIONS PER MAG STD DTL 230, AND C.O.S. SPEC 340.
- 4 INSTALL HDPE DRAIN LINE AND APPURTENANCES. SIZE AND SLOPE PER PLAN.
- 5 CONSTRUCT MID-BLOCK SIDEWALK RAMP PER C.O.S. STD DTL 2235-2, MODIFIED TO REMOVE ONE WING DO NOT EXCEED 1:50 CROSS SLOPE AND 12:1 LONGITUDINAL SLOPE. GRADE PER PLAN.
- 6 INSTALL REFUSE ENCLOSURE PER ARCHITECTURAL PLANS & C.O.S. STD DTL 2146-2, MODIFIED FROM STANDARD CITY OF SCOTTSDALE DETAIL PER ARCHITECTURAL TRASH ENCLOSURE PLAN. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 7 CONSTRUCT PATIO AREA PER ARCHITECTURAL PLANS.
- 8 CONSTRUCT CONCRETE UTILITY PAD. SEE ELECTRICAL PLANS FOR DETAILS.
- 9 INSTALL SHELTERED 8" NICKEL BRONZE SQUARE STRAINER DRAIN WITH CAST IRON COLLAR OR APPROVED EQUIVALENT.
- 10 LANDSCAPE OR PLANTER AREA. SEE APPROVED LANDSCAPE PLANS FOR IRRIGATION AND PLANT DETAILS.
- 11 STRIPE PARKING LOT PER PLANS. SEE ARCHITECTURAL PLANS FOR ADA STRIPING AND SIGNAGE DETAILS. ALL ADA STRIPING AND SIGNAGE TO COMPLY WITH CURRENT ADA STANDARDS.
- 12 INSTALL HANDRAIL AND/OR SAFETY RAIL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 13 CONSTRUCT BICYCLE PARKING RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 14 APPROXIMATE FINISH FLOOR STEP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 15 PROPOSED STEP LOCATION. SEE ARCHITECTURAL PLAN FOR STEP AND HANDRAIL DETAILS.
- 16 NOT USED.
- 17 TRANSITION CURB FROM 4" TO 6" PER PLAN.
- 18 CONSTRUCT CURB AND GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
- 19 TRANSITION PATIO AND SIDEWALK FROM FLUSH TO NOT FLUSH.
- 20 PATIO AND SIDEWALK NOT FLUSH IN THIS AREA.
- 21 PATIO AND SIDEWALK FLUSH IN THIS AREA.
- 22 SAWCUT AND REMOVE EXISTING AC PAVEMENT 2" MIN CURB/GUTTER AND/OR CONCRETE PAD PER PLAN. DISPOSE OF PER LOCAL CODES. REPLACE AC PAVEMENT PER MAG SPEC 321 AND 335, 340 AND C.O.S. STD DTL 2200 OR REPLACE IN KIND WHICHEVER IS GREATER. SAWCUT LIMITS SHOWN ARE APPROXIMATE. MATCH EXISTING GRADE.
- 23 SEE DEMOLITION PLAN FOR DETAILS.
- 24 FINISH GRADE HIGHER THAN FINISH FLOOR. PROVIDE WATER PROOFING ON EXTERIOR WALL. LOCATION AND HEIGHT PER PLAN.
- 25 PROTECT EXISTING BUILDING IN PLACE DURING CONSTRUCTION.
- 26 POOL AND COURTYARD HARDSCAPE AREA. SEE LANDSCAPE AND POOL PLANS FOR DETAILS.
- 27 CONSTRUCT SIDEWALK ACCESS RAMP PER C.O.S. STD DTL 2232, MODIFIED TO CONNECT RAMP SECTION THROUGH RADIUS. COORDINATE RAMP WITH ARCHITECTURAL PLANS. DO NOT EXCEED 50:1 CROSS SLOPE AND 12:1 LONGITUDINAL SLOPE. EXTEND DRAIN FOOTING AND STEM WALL PER PLAN.
- 28 PROPOSED UTILITY LINE. SEE UTILITY PLANS FOR CONSTRUCTION DETAILS.
- 29 PROTECT EXISTING UTILITY IN PLACE DURING CONSTRUCTION.
- 30 CONSTRUCT COMBINATION CURB & SIDEWALK. SEE DETAIL 9 ON SHEET C9.
- 31 CONSTRUCT PAVEMENT SECTION. MATCH EXISTING AC PAVEMENT, MIN 3" AC ON 6" ABC OR REPLACE IN KIND.
- 32 CONSTRUCT RETAINING WALL AND/OR PLANTER WALL PER STRUCTURAL AND ARCHITECTURAL PLANS AS APPROVED IN 92-DR-2010 AND PLAN CHECK #4737-10. WALL ELEVATIONS PER PLAN.
- 33 SITE VISIBLE TRIANGLE PER C.O.S. STANDARD.
- 34 REMOVE EXISTING STORM PIPE AND DISPOSE OF DEBRIS PER LOCAL CODES.
- 35 CONSTRUCT VALLEY GUTTER PER C.O.S. STD DTL 2240. WIDTH=6".
- 36 SEE PUBLIC SEWER LINE PLAN AND PROFILE FOR CONSTRUCTION DETAILS.
- 37 CONSTRUCT SINGLE CURB PER MAG STD DTL 222, TYPE 'A'.
- 38 PEDESTRIAN POLE LIGHT. SEE ELECTRICAL PLANS FOR DETAILS.
- 39 CONSTRUCT CURB OPENING CATCH BASIN PER MAG STD DTL 532, TYPE 'C' MODIFIED PER PLAN. OPENING AND ELEVATIONS PER PLAN.
- 40 CONSTRUCT DRIVE WAY ENTRANCE PER C.O.S. STD DTL 2250. WIDTH PER PLAN.
- 41 MAXIMUM 2% SLOPE IN ALL DIRECTIONS WITHIN ADA PARKING AREA.
- 42 CONSTRUCT SCREEN WALL PER PLAN. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS. FOOTING ELEVATION PER PLAN.
- 43 CONSTRUCT WALL KNOCKOUT. SEE DETAIL 5 ON SHEET C9.
- 44 COORDINATE RELOCATION/ RIM MODIFICATION OF EXISTING MANHOLE WITH UTILITY OWNER.
- 45 SPEAKER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 46 TACO BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
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- 50 PROTECT EXISTING STORM DRAIN IN PLACE DURING CONSTRUCTION.
- 51 EXISTING CATCH BASIN TO BE REMOVED. DISPOSE OF DEBRIS PER LOCAL CODES.
- 52 FRAME & COVER GRADE ADJUSTMENT PER C.O.S. STD DTL 2270.
- 53 CONSTRUCT GROUTED RIPRAP.

MATCHLINE SEE SHEET C4

- 54 CONSTRUCT STORMCEPTOR MANHOLE. RIM AND ELEVATIONS PER PLAN.
- 55 CONSTRUCT STEEL TUBE SCUPPER. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 56 YARD AND REFUSE ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 57 CONSTRUCT SIDEWALK ACCESS RAMP PER DETAIL 6 ON SHEET C9.
- 58 CONSTRUCT WALL CUTOFF. SIZE OF OPENING PER PLAN.

NOTES

- 1 NOT ALL NOTES ARE USED ON THIS SHEET.
- 2 CONTRACTOR SHALL PROVIDE AND INSTALL NECESSARY FITTINGS AND APPURTENANCES TO COMPLETE PIPING SYSTEMS SHOWN.
- 3 SIGNS REQUIRE SEPARATE APPROVAL AND PERMITS.
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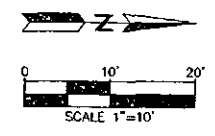
LEGEND

SEE SHEET C1

GENERAL NOTES

ABBREVIATION TABLE

SEE SHEET C1



NO. DATE REVISION BY

DESIGN BY LMT
DRAWN BY LMT
CHECKED BY LMT

CIVIL AND SURVEY

GRADING AND DRAINAGE PLAN
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

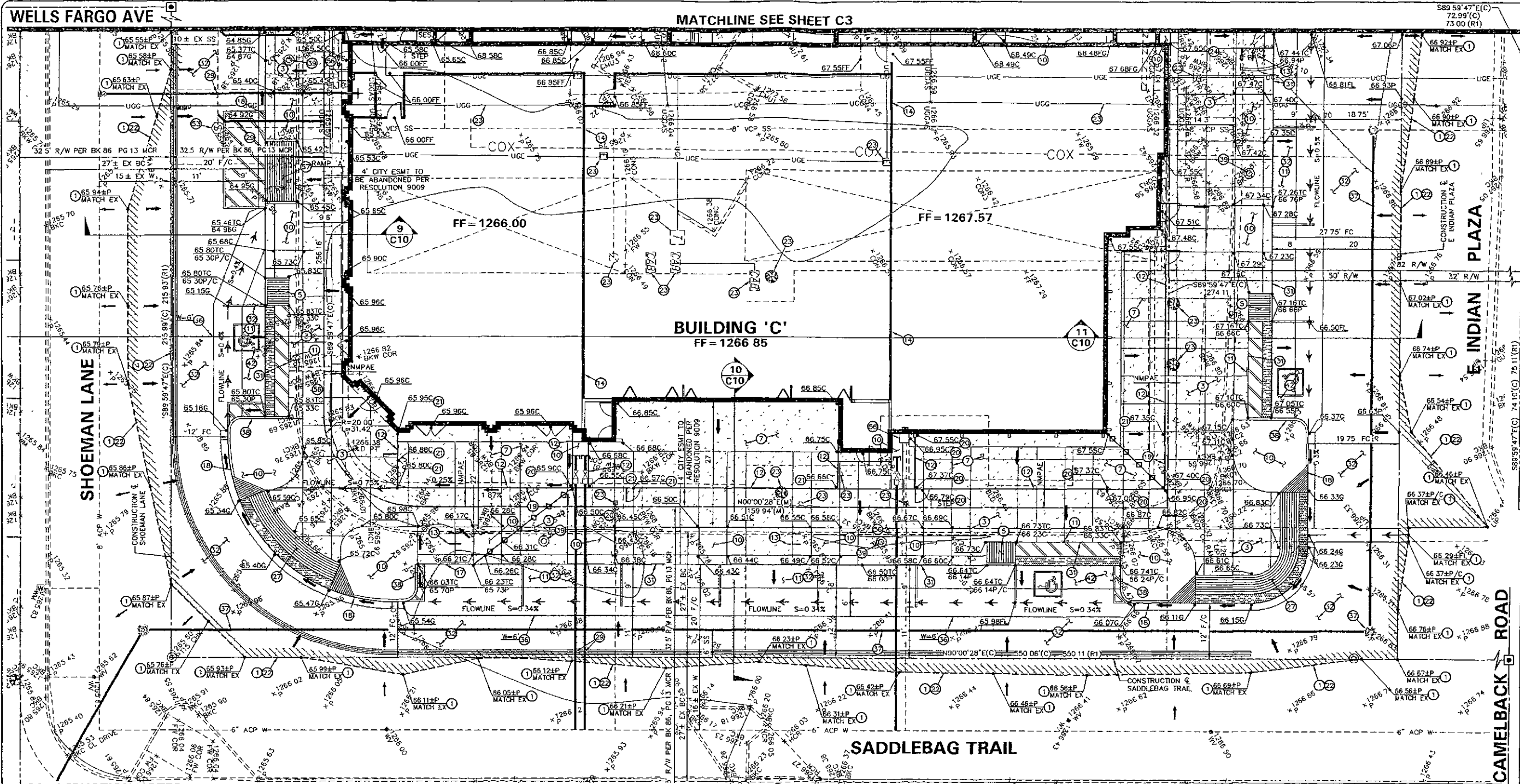
THE JOB NO.
LGC117

SCALE
1"=10'

SHEET
C3

PURPOSE
APPROVAL SUBMITTAL

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45



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- LEGEND**
- SEE SHEET C1
- GENERAL NOTES**
- SEE SHEET C1
- ABBREVIATION TABLE**
- SEE SHEET C1

BY: []
DATE: []
REVISION: []

DESIGN BY: []
DRAWN BY: []
CHECKED BY: []

CIVIL AND SURVEY
HUNTER ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
P 480.991.3585
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APPROVAL SUBMITTAL

GRADING AND DRAINAGE PLANS FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

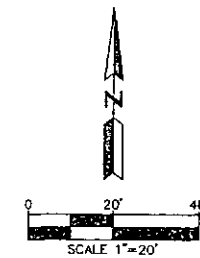
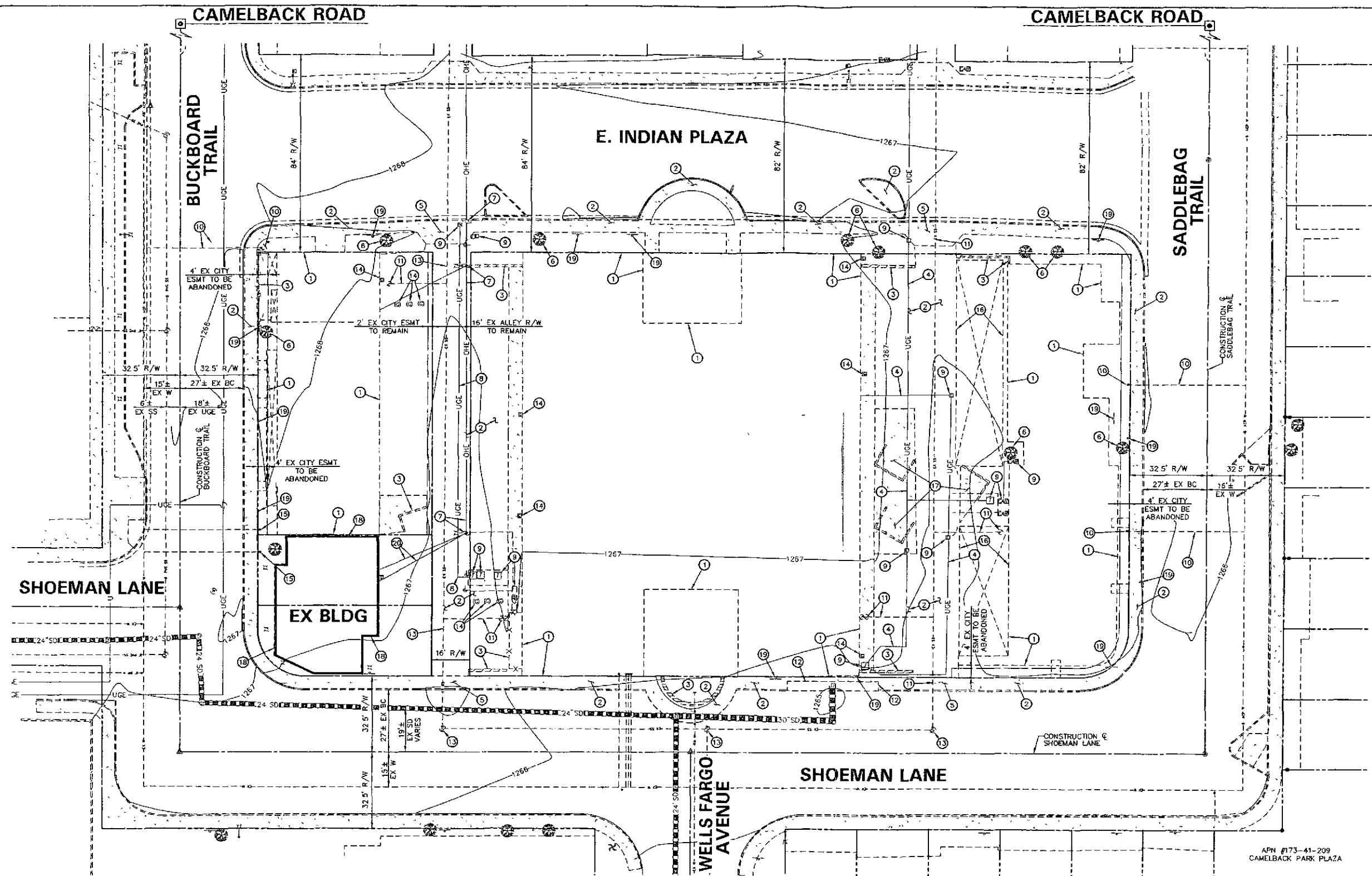
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO
LGECC17

SCALE
1"=10'

SHEET
C4

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, C.S. #17-45



DEMOLITION NOTES

- 1 DEMO EXISTING BUILDING/STRUCTURE AND/OR OVERHANG/CANOPY IN ITS ENTIRETY. DISPOSE OF DEBRIS PER LOCAL CODE. COORDINATE REMOVALS AND SHUT OFF AND REMOVAL OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2 DEMO EXISTING AC PAVEMENT SECTION, CONCRETE CURB, CONCRETE PATIO/SIDEWALK AND/OR DECORATIVE WALKWAY PER PLAN. DISPOSE OF PER LOCAL CODE. COORDINATE REMOVALS PRIOR TO CONSTRUCTION.
- 3 DEMO EXISTING CMU WALL/FENCE/GATE AND APPURTENANCES PER PLAN. DISPOSE OF PER LOCAL CODE. COORDINATE REMOVALS PRIOR TO CONSTRUCTION.
- 4 REMOVE AND/OR RELOCATE EXISTING UNDERGROUND UTILITY. DISPOSE OF PER LOCAL CODES. COORDINATE POWER SHUT-OFF AND UTILITY RELOCATION WITH UTILITY PROVIDER.
- 5 SAWCUT AND REMOVE EXISTING DRIVEWAY IN ITS ENTIRETY, 2" MIN. AC PAVEMENT, CURB/GUTTER AND CONCRETE PER PLAN. DISPOSE OF PER LOCAL CODES. SAWCUT LIMITS SHOWN ARE APPROXIMATE. SEE GRADING PLAN FOR AC, CURB AND SIDEWALK REPLACEMENT.
- 6 REMOVE AND/OR RELOCATE EXISTING PLANT/TREE/VEGETATION AND LANDSCAPING. COORDINATE WITH LANDSCAPE PLANS FOR SALVAGE AND/OR REMOVAL DETAILS PRIOR TO CONSTRUCTION.
- 7 REMOVE AND/OR RELOCATE EXISTING UTILITY POLE, LIGHT POLE AND APPURTENANCES. COORDINATE WITH THE UTILITY OWNER FOR ANY SHUT-OFF OR REMOVAL DETAILS.
- 8 PROTECT EXISTING UTILITIES IN PLACE AS REQUIRED. COORDINATE WITH UTILITY PROVIDER.
- 9 REMOVE AND/OR RELOCATE AS NECESSARY EXISTING ELECTRICAL CABINET, TRANSFORMER, CONTROL PANELS AND/OR ELECTRIC SERVICE IN THEIR ENTIRETY. DISPOSE OF PER LOCAL CODES. COORDINATE POWER SHUT-OFF AND UTILITY RELOCATION WITH UTILITY PROVIDER.

- 10 CONTRACTOR TO FIELD VERIFY, LOCATE AND REMOVE EXISTING ON-SITE WATER LINE, BACKFLOW DEVICE AND/OR METER AND APPURTENANCES IN THEIR ENTIRETY. DISPOSE OF PER LOCAL CODES. EXISTING WATER LINE TO BE ABANDONED AT MAIN.
- 11 CONTRACTOR TO FIELD VERIFY, LOCATE AND REMOVE EXISTING PUBLIC SEWER LINE IN ITS ENTIRETY. DISPOSE OF PER LOCAL CODES. SEE UTILITY PLANS FOR RE-ROUTING DETAILS.
- 12 REMOVE EXISTING CATCH BASIN. DISPOSE OF PER LOCAL CODES. SEE GRADING PLANS FOR STORM DRAIN REMOVAL AND/OR PROTECTION IN PLACE.
- 13 PROTECT EXISTING SEWER IN PLACE DURING CONSTRUCTION.
- 14 REMOVE EXISTING GAS LINE AND APPURTENANCES. DISPOSE OF PER LOCAL CODES. COORDINATE SHUT-OFF AND UTILITY RELOCATION WITH UTILITY PROVIDER.
- 15 PROTECT EXISTING WATER UTILITY IN PLACE. CONTRACTOR TO FIELD VERIFY AND LOCATE EXISTING WATER SERVICE AND APPURTENANCES.
- 16 REMOVE EXISTING COVERED PARKING STRUCTURE. DISPOSE OF PER LOCAL CODES.
- 17 REMOVE EXISTING TRASH ENCLOSURE STRUCTURE. DISPOSE OF PER LOCAL CODES.
- 18 PROTECT EXISTING BUILDING STRUCTURE IN PLACE.
- 19 REMOVE AND/OR RELOCATE EXISTING SIGN.
- 20 COORDINATE ELECTRICAL SERVICE TO EXISTING BUILDING.

GENERAL NOTES

SEE SHEET C1

LEGEND

SEE SHEET C1

NOTES

CONTRACTOR TO COORDINATE ALL DEMOLITION WITH GRADING, DRAINAGE AND UTILITY PLANS.

**IT IS THE DEMOLITION
CONTRACTOR'S RESPONSIBILITY
TO SECURE THE DEMOLITION
AND PEDESTRIAN PROTECTION
PERMITS**

**DEMOLITION PLAN
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA**

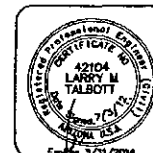
THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY

RE JOB NO.
LGE0117

SCALE
1"=20'

SHEET
C5

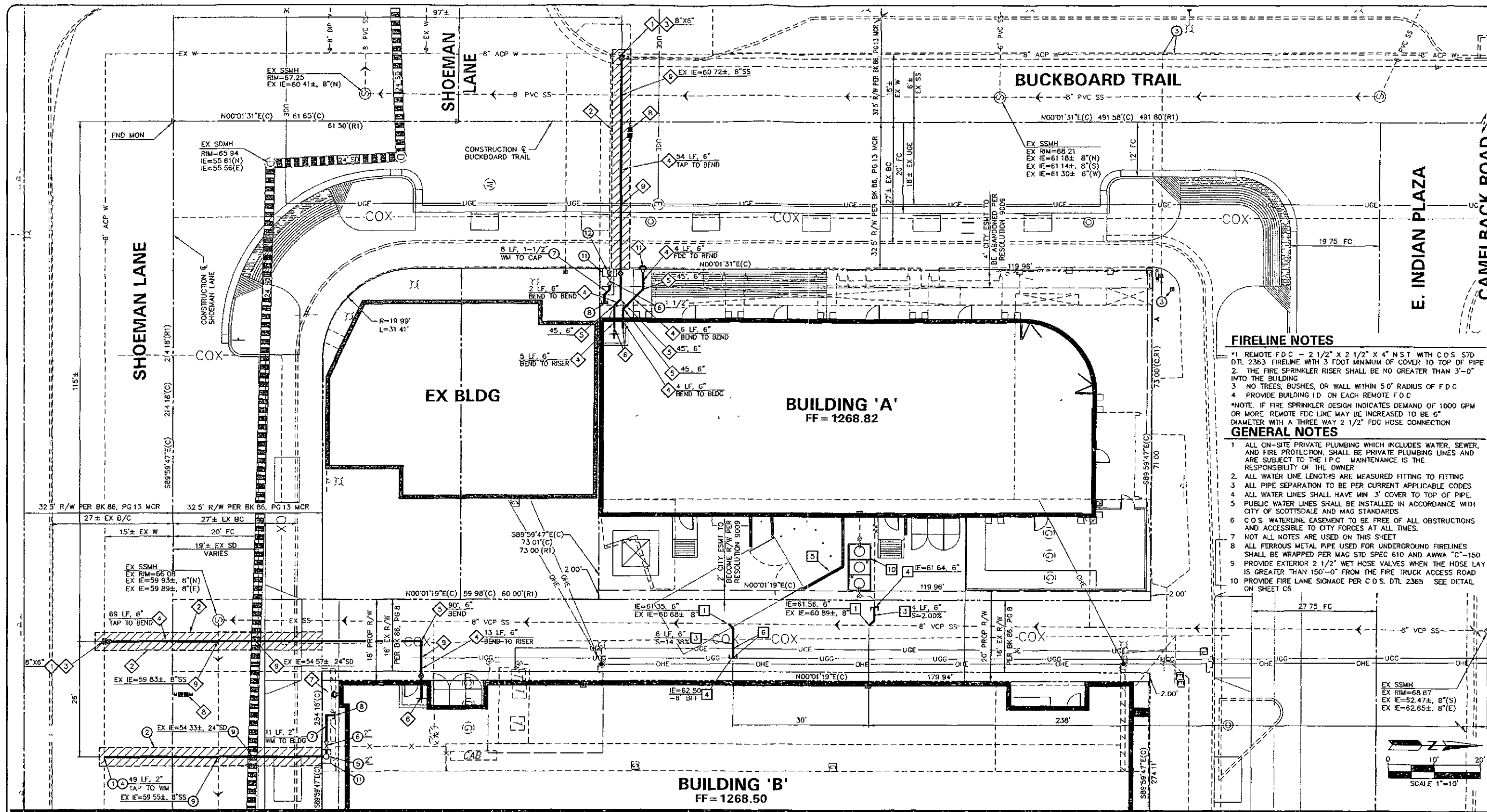
HUNTER
ENGINEERING
10400 NORTH 74TH STREET
SUITE 200
SCOTTSDALE, AZ 85258
T 480 981 3585
F 480 981 3586



NO.	DATE	REVISION	BY

PURPOSE
APPROVAL SUBMITTAL

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45

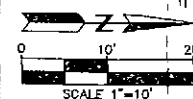


FIRELINE NOTES

1. REMOTE FDC - 2 1/2" x 2 1/2" x 4" NST WITH C.O.S. STD. DTL. 2363 FIRELINE WITH 3 FOOT MINIMUM OF COVER TO TOP OF PIPE INTO THE BUILDING.
 2. THE FIRE SPRINKLER RISER SHALL BE NO GREATER THAN 3'-0" IN THE BUILDING.
 3. NO TREES, BUSHES, OR WALL WITHIN 5'0" RADIUS OF F.D.C.
 4. PROVIDE BUILDING I.D. ON EACH REMOTE FDC.
- *NOTE: IF FIRE SPRINKLER DESIGN INDICATES DEMAND OF 1000 GPM OR MORE, REMOTE FDC LINE MAY BE INCREASED TO BE 6" DIAMETER WITH A THREE WAY 2 1/2" FDC HOSE CONNECTION.

GENERAL NOTES

1. ALL ON-SITE PRIVATE PLUMBING WHICH INCLUDES WATER, SEWER, AND FIRE PROTECTION, SHALL BE PRIVATE PLUMBING LINES AND ARE SUBJECT TO THE I.P.C. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
2. ALL WATER LINE LENGTHS ARE MEASURED FITTING TO FITTING.
3. ALL PIPE SEPARATION TO BE PER CURRENT APPLICABLE CODES.
4. ALL WATER LINES SHALL HAVE MIN. 3" COVER TO TOP OF PIPE.
5. PUBLIC WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF SCOTTSDALE AND MAG STANDARDS.
6. C.O.S. WATERLINE EASEMENT TO BE FREE OF ALL OBSTRUCTIONS AND ACCESSIBLE TO CITY FORCES AT ALL TIMES.
7. NOT ALL NOTES ARE USED ON THIS SHEET.
8. ALL FERROUS METAL PIPE USED FOR UNDERGROUND FIRELINES SHALL BE WRAPPED PER MAG STD. SPEC 610 AND AWWA "C"-150.
9. PROVIDE EXTERIOR 2 1/2" WET HOSE VALVES WHEN THE HOSE LAY IS GREATER THAN 150'-0" FROM THE FIRE TRUCK ACCESS ROAD.
10. PROVIDE FIRE LANE SIGNAGE PER C.O.S. DTL. 2365. SEE DETAIL ON SHEET C6.



WELLS FARGO AVE

MATCHLINE SEE SHEET C7

WATER MAIN CONSTRUCTION NOTES

1. CONTRACTOR TO POTHOLE AND VERIFY LOCATION AND SIZE OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. SAWCUT, REMOVE AND REPLACE EXISTING AC PAVEMENT, CURB AND/OR SIDEWALK. DISPOSE OF DEBRIS PER LOCAL CODES. REPLACE AC PAVEMENT PER MAG SPEC 321, 336, 340 AND C.O.S. STD. DTL. 2201 OR REPLACE IN KIND, WHICHEVER IS GREATER. REPLACE SIDEWALK TO THE NEAREST JOINT PER MAG STD. DTL. 230 AND C.O.S. SPEC 340. ALL TRENCH BACKFILL PER C.O.S. DTL. 2201.
3. REMOVE EXISTING WATER SERVICE AT THE MAIN PER C.O.S. REQUIREMENTS. METER SHALL BE REMOVED BY CITY FORCE ONLY. SEE DEMOLITION NOTE 9 ON SHEET C1. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONSTRUCT WATER SERVICE LINE CONNECTION PER C.O.S. STD. DTL. 2330. SIZE AND LENGTH OF PIPE PER PLAN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS. SEE DETAIL 4 ON SHEET C9.
5. CITY FORCES TO INSTALL WATER METER FOR DOMESTIC AND/OR IRRIGATION USE AFTER APPROPRIATE FEES HAVE BEEN PAID. METER SIZE PER PLAN.
6. INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR PER C.O.S. STD. DTL. 2354. SIZE PER PLAN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS. SEE DETAIL 3 ON SHEET C9.
7. INSTALL PVC OR COPPER WATER SERVICE LINE AND FITTINGS TO BUILDING PIPE LENGTH, SIZE AND FITTING ANGLE PER PLAN.
8. TERMINATE WATER LINE 5' FROM BUILDING CAP AND MARK LOCATION FOR BUILDING CONNECTION.
9. MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER MAG STD. DTL. 404 AND/OR C.O.S. DTL. 2372.
10. SEE LANDSCAPE PLANS FOR CONTINUATION OF IRRIGATION LINE AND DETAILS. BACKFLOW SCREENING PER C.O.S. REQUIREMENTS.
11. PROPOSED PUBLIC WATER EASEMENT.
12. CONTRACTOR TO UTILIZE EXISTING WATER SERVICE.

FIRELINE CONSTRUCTION NOTES

1. CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND MATERIAL OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. SAWCUT AND REMOVE AC PAVT, CURB AND SIDEWALK. SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD. DTL. 2200, REPLACE CURB AND SIDEWALK PER C.O.S. STD. DTL. 2220 AND 2230. TRENCH PER C.O.S. STD. DTL. 2201.
3. INSTALL TAPPING SLEEVE WITH VALVE PER MAG STD. DTL. 340. VALVE BOX AND COVER PER MAG STD. DTL. 391-1, TYPE "C". ADJUST FRAME AND COVER TO FINISH GRADE PER C.O.S. STD. DTL. 2270. SIZE PER PLAN.
4. INSTALL D.I.P. (CLASS 350) POLYWRAPPED PER C.O.S. STD. DTL. 2362-2. LENGTH AND SIZE PER PLAN. SEE DETAIL 1 ON SHEET C9. MINIMUM 3" COVER TO TOP OF PIPE.
5. INSTALL D.I. BEND WITH JOINT RESTRAINT PER MAG STD. DTL. 303-1 AND 303-2. SIZE AND ANGLE PER PLAN.
6. TERMINATE FIRELINE INSIDE BUILDING, TURN UP 90° TO FLANGE 6" ABOVE FINISHED FLOOR. SEE FIRE PROTECTION PLAN FOR CONTINUATION OF FIRELINE. COORDINATE WITH FIRE PROTECTION PLAN FOR SIZE AND CONTINUATION OF LINE INSIDE BUILDING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. INSTALL WALL MOUNTED FIRE DEPT. CONNECTION PER PLAN AND C.O.S. AND NFPA REQUIREMENTS. (FDC) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE CODE. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLAN. SEE DETAIL 1 ON SHEET C9.
8. INSTALL PAVEMENT MARKER FOR FIRE HYDRANT OR FDC PER C.O.S. DTL. 2363. SEE DETAIL 7 ON SHEET C9.
9. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER MAG STD. DTL. 404. CONTRACTOR TO LOCATE AND POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. MAINTAIN 1' MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER I.P.C.

11. INSTALL REMOTE FIRE DEPT. CONNECTION PER PLAN AND C.O.S. AND NFPA REQUIREMENTS. (FDC) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE CODE. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLAN. SEE DETAIL 8 ON SHEET C9.

PRIVATE SEWER CONSTRUCTION NOTES

1. CONTRACTOR TO POTHOLE AND VERIFY INVERT LOCATION AND SIZE OF EXISTING SEWER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. INSTALL SEWER BUILDING CONNECTION ONE-WAY CLEANOUT AND METER BOX PER MAG STD. DTL. 440-3.
2. SAWCUT AND REMOVE AC PAVT. DISPOSE OF PER LOCAL CODE. SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD. DTL. 2200.
3. INSTALL PVC (SDR-35) SEWER LINE. LENGTH, SIZE AND SLOPE PER PLAN.
4. TERMINATE SEWER LINE PER PLAN. CAP AND MARK LOCATION FOR BUILDING CONNECTION.
5. PROPOSED GREASE INTERCEPTOR. CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH PLUMBING PLANS.
6. PER MAG STD. DTL. 404 AND/OR C.O.S. STD. DTL. 2372, CONTRACTOR TO LOCATE AND POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. SEE PUBLIC SEWER LINE PLAN & PROFILE FOR CONSTRUCTION DETAILS.
8. INSTALL SEWER CLEANOUT PER MAG STD. DTL. 441.

NOTE

1. NOT ALL NOTES ON THIS SHEET ARE USED.
2. CONTRACTOR TO PROVIDE AND INSTALL NECESSARY PIPE, FITTINGS AND APPURTENANCES TO COMPLETE SYSTEMS SHOWN ON PLAN. COMPLY WITH MANUFACTURER INSTALLATION REQUIREMENTS.

GENERAL NOTES

SEE SHEET C1

ABBREVIATION TABLE

SEE SHEET C1

LEGEND

SEE SHEET C1

8. INSTALL PVC (SDR-35) WYE FITTING. SIZE AND ELEVATION PER PLAN.

10. SEE PLUMBING PLANS FOR CONSTRUCTION DETAILS.

11. ABANDON & REMOVE EXISTING SEWER LINE PER PLAN. DISPOSE OF DEBRIS PER LOCAL CODES.

NO.	DATE	REVISION	BY

DESIGN BY: LMT
DRAWN BY: JSC
CHECKED BY: LMT

CIVIL AND SURVEY

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
P: 480.931.3388
F: 480.931.3388

UTILITY PLAN FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

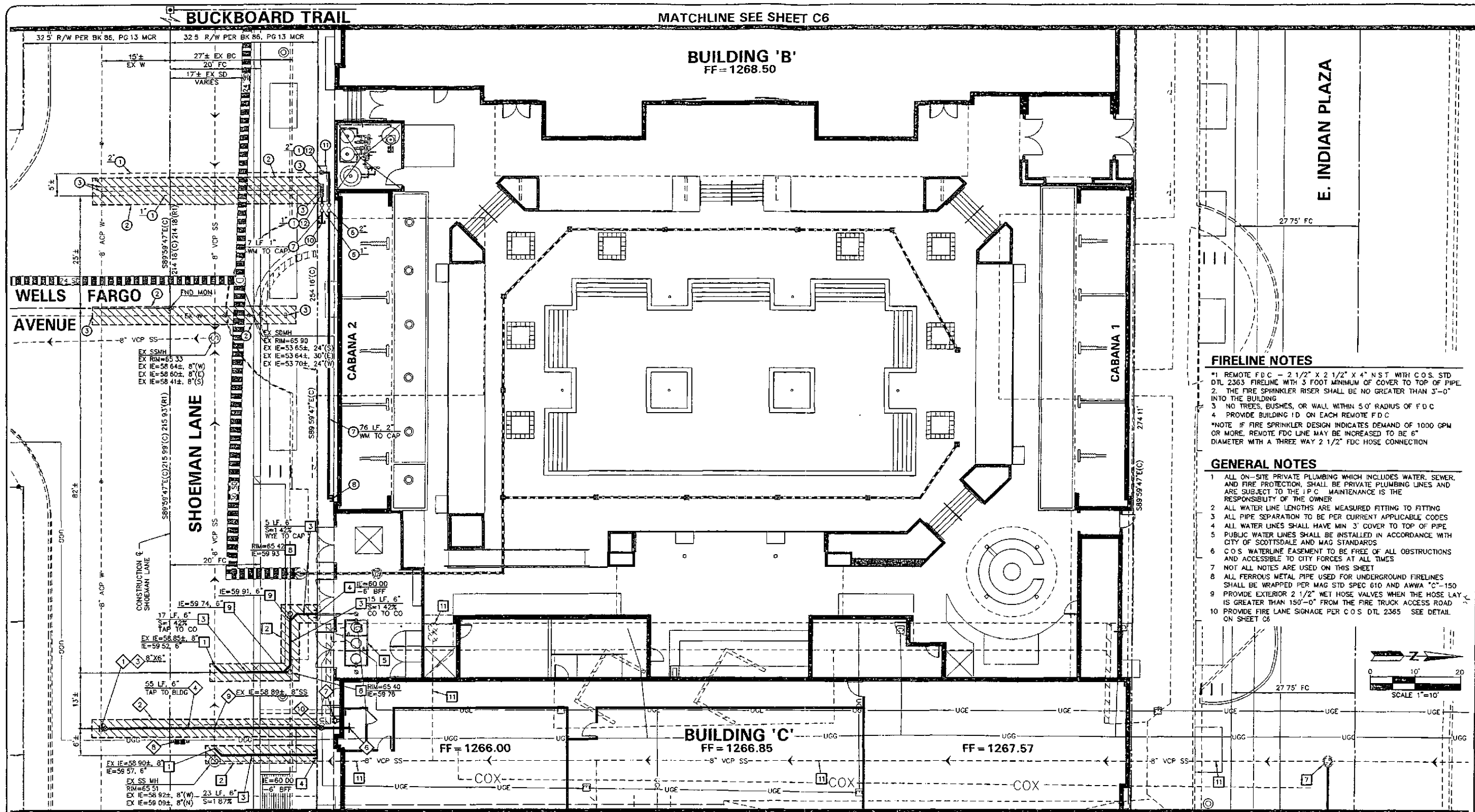
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: LGE117

SCALE: 1"=10'

SHEET **C6**

PURPOSE: APPROVAL SUBMITTAL

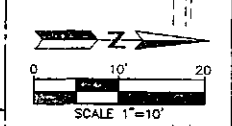


FIRELINE NOTES

- *1 REMOTE FDC - 2 1/2" X 2 1/2" X 4" NST WITH C.O.S. STD DTL 2363 FIRELINE WITH 3 FOOT MINIMUM OF COVER TO TOP OF PIPE.
- 2. THE FIRE SPRINKLER RISER SHALL BE NO GREATER THAN 3'-0" INTO THE BUILDING
- 3. NO TREES, BUSHES, OR WALL WITHIN 5' RADIUS OF FDC
- 4. PROVIDE BUILDING ID ON EACH REMOTE FDC
- *NOTE: IF FIRE SPRINKLER DESIGN INDICATES DEMAND OF 1000 GPM OR MORE, REMOTE FDC LINE MAY BE INCREASED TO BE 6" DIAMETER WITH A THREE WAY 2 1/2" FDC HOSE CONNECTION

GENERAL NOTES

- 1. ALL ON-SITE PRIVATE PLUMBING WHICH INCLUDES WATER, SEWER, AND FIRE PROTECTION, SHALL BE PRIVATE PLUMBING LINES AND ARE SUBJECT TO THE I.P.C. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER
- 2. ALL WATER LINE LENGTHS ARE MEASURED FITTING TO FITTING
- 3. ALL PIPE SEPARATION TO BE PER CURRENT APPLICABLE CODES
- 4. ALL WATER LINES SHALL HAVE MIN 3" COVER TO TOP OF PIPE
- 5. PUBLIC WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF SCOTTSDALE AND MAG STANDARDS
- 6. C.O.S. WATERLINE EASEMENT TO BE FREE OF ALL OBSTRUCTIONS AND ACCESSIBLE TO CITY FORCES AT ALL TIMES
- 7. NOT ALL NOTES ARE USED ON THIS SHEET
- 8. ALL FERROUS METAL PIPE USED FOR UNDERGROUND FIRELINES SHALL BE WRAPPED PER MAG STD SPEC 610 AND AWWA "C"-150
- 9. PROVIDE EXTERIOR 2 1/2" WET HOSE VALVES WHEN THE HOSE LAY IS GREATER THAN 150'-0" FROM THE FIRE TRUCK ACCESS ROAD
- 10. PROVIDE FIRE LANE SIGNAGE PER C.O.S. DTL 2365 SEE DETAIL ON SHEET C6



WATER MAIN CONSTRUCTION NOTES

- 1. CONTRACTOR TO POTHOLE AND VERIFY LOCATION AND SIZE OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION NOTIFY ENGINEER OF ANY DISCREPANCIES
- 2. SAWCUT, REMOVE AND REPLACE EXISTING AC PAVEMENT, CURB AND/OR SIDEWALK DISPOSE OF DEBRIS PER LOCAL CODES REPLACE AC PAVEMENT PER MAG SPEC 321, 336, 340 AND C.O.S. STD DTL 2201 OR REPLACE IN KIND WHICHEVER IS GREATER REPLACE SIDEWALK TO THE NEAREST JOINT PER MAG STD DTL 230 AND C.O.S. SPEC 340 ALL TRENCH BACKFILL PER C.O.S. DTL 2201
- 3. REMOVE EXISTING WATER SERVICE AT THE MAIN PER C.O.S. REQUIREMENTS METER SHALL BE REMOVED BY CITY FORCE ONLY SEE DEMOLITION NOTE 9 ON SHEET C1 NOTIFY ENGINEER OF ANY DISCREPANCIES
- 4. CONSTRUCT WATER SERVICE LINE CONNECTION PER C.O.S. STD DTL 2330 SIZE AND LENGTH OF PIPE PER PLAN CONTRACTOR TO COORDINATE WITH PLUMBING PLANS SEE DETAIL 4 ON SHEET C9
- 5. CITY FORCES TO INSTALL WATER METER FOR DOMESTIC AND/OR IRRIGATION USE AFTER APPROPRIATE FEES HAVE BEEN PAID METER SIZE PER PLAN
- 6. INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR PER C.O.S. STD DTL 2354 SIZE PER PLAN, CONTRACTOR TO COORDINATE WITH PLUMBING PLANS SEE DETAIL 3 ON SHEET C9
- 7. INSTALL PVC OR COPPER WATER SERVICE LINE AND FITTINGS TO BUILDING PIPE LENGTH, SIZE AND FITTING ANGLE PER PLAN
- 8. TERMINATE WATER LINE 5' FROM BUILDING CAP AND MARK LOCATION FOR BUILDING CONNECTION
- 9. MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER MAG STD DTL 404 AND/OR COS DTL 2372
- 10. SEE LANDSCAPE PLANS FOR CONTINUATION OF IRRIGATION LINE AND DETAILS BACKFLOW SCREENING PER COS REQUIREMENTS
- 11. PROPOSED PUBLIC WATER EASEMENT
- 12. CONTRACTOR TO UTILIZE EXISTING WATER SERVICE.

FIRELINE CONSTRUCTION NOTES MATCHLINE SEE SHEET C8

- 1. CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND MATERIAL OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS NOTIFY ENGINEER OF ANY DISCREPANCIES
- 2. SAWCUT AND REMOVE AC PAVT, CURB AND SIDEWALK SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD DTL 2200, REPLACE CURB AND SIDEWALK PER C.O.S. STD DTL 2220 AND 2230 TRENCH PER C.O.S. STD DTL 2201
- 3. INSTALL TAPPING SLEEVE WITH VALVE PER MAG STD DTL 340 VALVE BOX AND COVER PER MAG STD DTL 391-1, TYPE "C" ADJUST FRAME AND COVER TO FINISH GRADE PER C.O.S. STD DTL 2270 SIZE PER PLAN
- 4. INSTALL D.I.P. (CLASS 350) POLYWRAPPED PER C.O.S. STD DTL 2362-2. LENGTH AND SIZE PER PLAN SEE DETAIL 1 ON SHEET C9 MINIMUM 3" COVER TO TOP OF PIPE.
- 5. INSTALL D1 BEND WITH JOINT RESTRAINT PER MAG STD DTL 303-1 AND 303-2 SIZE AND ANGLE PER PLAN
- 6. TERMINATE FIRELINE INSIDE BUILDING, TURN UP 90° TO FLANGE 6" ABOVE FINISHED FLOOR SEE FIRE PROTECTION PLAN FOR CONTINUATION OF FIRELINE COORDINATE WITH FIRE PROTECTION PLAN FOR SIZE AND CONTINUATION OF LINE INSIDE BUILDING NOTIFY ENGINEER OF ANY DISCREPANCIES
- 7. INSTALL WALL MOUNTED FIRE DEPT. CONNECTION PER PLAN AND C.O.S. AND NFPA REQUIREMENTS (FDC) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE CODE. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLAN SEE DETAIL 1 ON SHEET C9
- 8. INSTALL PAVEMENT MARKER FOR FIRE HYDRANT OR FDC PER C.O.S. DTL 2363 SEE DETAIL 7 ON SHEET C9
- 9. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER MAG STD DTL 404 CONTRACTOR TO LOCATE AND POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION NOTIFY ENGINEER OF ANY DISCREPANCIES
- 10. MAINTAIN 1' MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER I.P.C.

PRIVATE SEWER CONSTRUCTION NOTES

- 1. CONTRACTOR TO POTHOLE AND VERIFY INVERT LOCATION AND SIZE OF EXISTING SEWER MAIN PRIOR TO CONSTRUCTION NOTIFY ENGINEER OF ANY DISCREPANCIES INSTALL SEWER BUILDING CONNECTION ONE-WAY CLEANOUT AND METER BOX PER MAG STD DTL 440-3
- 2. SAWCUT AND REMOVE AC PAVT DISPOSE OF PER LOCAL CODE SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD DTL 2200
- 3. INSTALL PVC (SDR-35) SEWER LINE LENGTH, SIZE AND SLOPE PER PLAN
- 4. TERMINATE SEWER LINE PER PLAN CAP AND MARK LOCATION FOR BUILDING CONNECTION
- 5. PROPOSED GREASE INTERCEPTOR CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH PLUMBING PLANS
- 6. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER MAG STD DTL 404 AND/OR COS DTL 2372. CONTRACTOR TO LOCATE AND POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION NOTIFY ENGINEER OF ANY DISCREPANCIES
- 7. SEE PUBLIC SEWER LINE PLAN & PROFILE FOR CONSTRUCTION DETAILS
- 8. INSTALL SEWER CLEANOUT PER MAG STD DTL 441

NOTE

- 1. NOT ALL NOTES ON THIS SHEET ARE USED
- 2. CONTRACTOR TO PROVIDE AND INSTALL NECESSARY PIPE, FITTINGS AND APPURTENANCES TO COMPLETE SYSTEMS SHOWN ON PLAN COMPLY WITH MANUFACTURER INSTALLATION REQUIREMENTS

GENERAL NOTES

ABBREVIATION TABLE

LEGEND

- 9. INSTALL PVC (SDR-35) WYE FITTING SIZE AND ELEVATION PER PLAN
- 10. SEE PLUMBING PLANS FOR CONSTRUCTION DETAILS
- 11. ABANDON & REMOVE EXISTING SEWER LINE PER PLAN DISPOSE OF DEBRIS PER LOCAL CODES

UTILITY PLAN
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY

RE JOB NO
LGEC117

SCALE
1"=10'

SHEET
C7

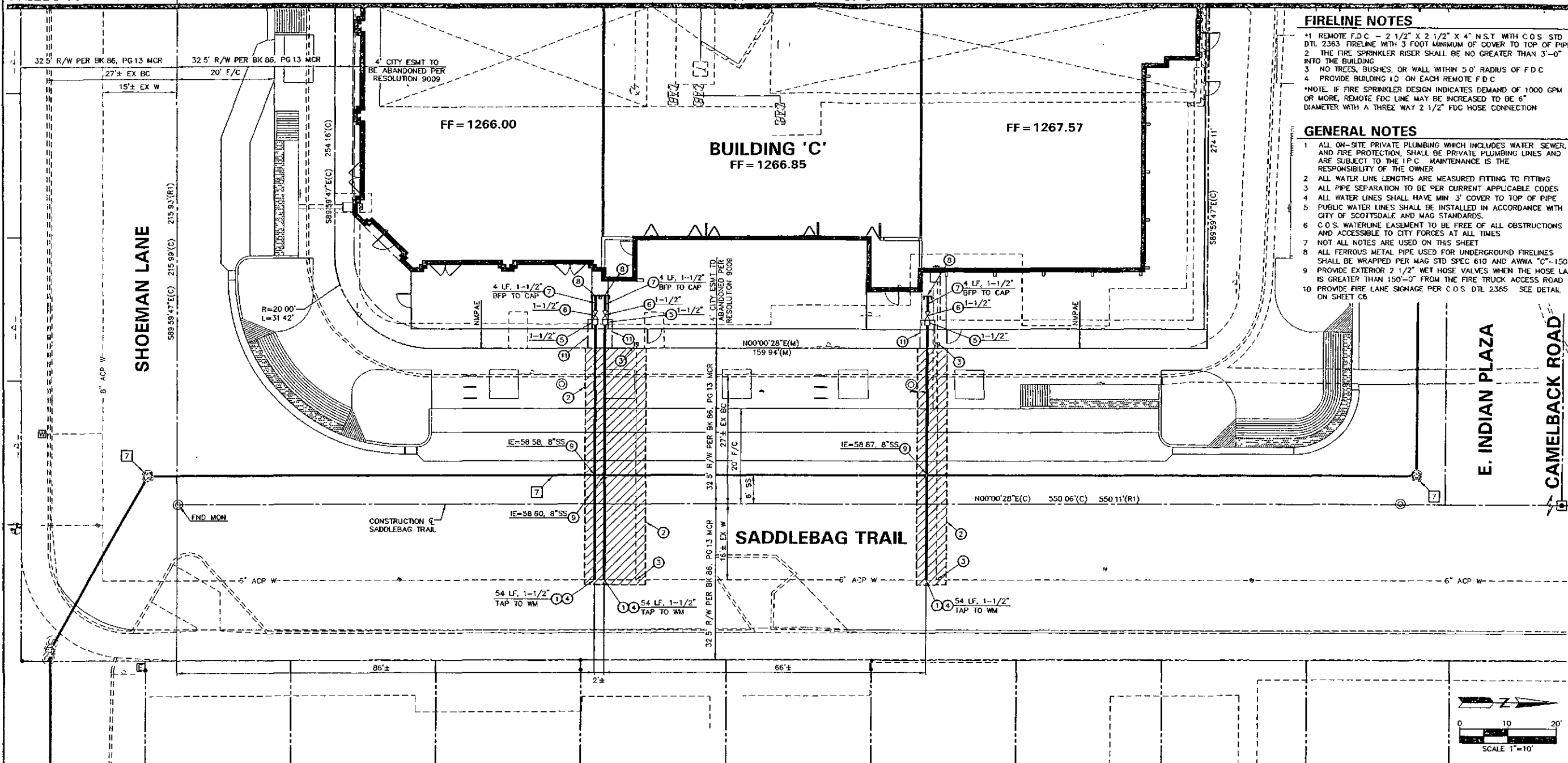
HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
P: 480.881.3888
F: 480.881.3888
DESIGN BY
DRAWN BY
CHECKED BY
PURPOSE
APPROVAL SUBMITTAL



CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45

WELLS FARGO AVE

MATCHLINE SEE SHEET C7



FIRELINE NOTES

1. REMOTE F.D.C. - 2 1/2" X 2 1/2" X 4" N.S.T. WITH C.O.S. STD. DTL. 2363 FIRELINE WITH 3 FOOT MINIMUM OF COVER TO TOP OF PIPE.
 2. THE FIRE SPRINKLER RISER SHALL BE NO GREATER THAN 3'-0" INTO THE BUILDING.
 3. NO TREES, BUSHES, OR WALL WITHIN 5.0' RADIUS OF F.D.C.
 4. PROVIDE BUILDING I.D. ON EACH REMOTE F.D.C.
- *NOTE: IF FIRE SPRINKLER DESIGN INDICATES DEMAND OF 1000 GPM OR MORE, REMOTE FDC LINE MAY BE INCREASED TO BE 6" DIAMETER WITH A THREE' WAY 2 1/2" FDC HOSE CONNECTION.

GENERAL NOTES

1. ALL ON-SITE PRIVATE PLUMBING WHICH INCLUDES WATER, SEWER, AND FIRE PROTECTION, SHALL BE PRIVATE PLUMBING LINES AND ARE SUBJECT TO THE I.P.C. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
2. ALL WATER LINE LENGTHS ARE MEASURED FITTING TO FITTING.
3. ALL PIPE SEPARATION TO BE PER CURRENT APPLICABLE CODES.
4. ALL WATER LINES SHALL HAVE MIN. 3' COVER TO TOP OF PIPE.
5. PUBLIC WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF SCOTTSDALE AND MAG STANDARDS.
6. C.O.S. WATERLINE EASEMENT TO BE FREE OF ALL OBSTRUCTIONS AND ACCESSIBLE TO CITY FORCES AT ALL TIMES.
7. NOT ALL NOTES ARE USED ON THIS SHEET.
8. ALL FERROUS METAL PIPE USED FOR UNDERGROUND FIRELINES SHALL BE WRAPPED PER MAG STD SPEC 610 AND AWWA "C"-150.
9. PROVIDE EXTERIOR 2 1/2" WET HOSE VALVES WHEN THE HOSE LAY IS GREATER THAN 150'-0" FROM THE FIRE TRUCK ACCESS ROAD.
10. PROVIDE FIRE LANE SIGNAGE PER C.O.S. DTL. 2365. SEE DETAIL ON SHEET C8.

NO.	DATE	REVISION	PURPOSE

DESIGN BY LMT
DRAWN BY JGC
CHECKED BY LMT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET
SUITE 100
SCOTTSDALE, AZ 85258
T 480 981 3985
F 480 981 3986



UTILITY PLAN
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY

HE JOB NO
LGEC117

SCALE
1"=10'

SHEET
C8

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PRELAT NO. 6-PP-2012, Q.S. #1745

WATER MAIN CONSTRUCTION NOTES

1. CONTRACTOR TO POT-HOLE AND VERIFY LOCATION AND SIZE OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. SAWCUT, REMOVE AND REPLACE EXISTING AC PAVEMENT, CURB AND/OR SIDEWALK. DISPOSE OF DEBRIS PER LOCAL CODES. REPLACE AC PAVEMENT PER MAG SPEC 321, 336, 340 AND C.O.S. STD. DTL. 2201 OR REPLACE IN KIND, WHICHEVER IS GREATER. REPLACE SIDEWALK TO THE NEAREST JOINT PER MAG STD. DTL. 230 AND C.O.S. SPEC 340. ALL TRENCH BACKFILL PER C.O.S. DTL. 2201.
3. REMOVE EXISTING WATER SERVICE AT THE MAIN PER C.O.S. REQUIREMENTS. METER SHALL BE REMOVED BY CITY FORCE ONLY. SEE DEMOLITION NOTE 9 ON SHEET C1. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONSTRUCT WATER SERVICE LINE CONNECTION PER C.O.S. STD. DTL. 2330. SIZE AND LENGTH OF PIPE PER PLAN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS. SEE DETAIL 4 ON SHEET C9.
5. CITY FORCES TO INSTALL WATER METER FOR DOMESTIC AND/OR IRRIGATION USE AFTER APPROPRIATE FEES HAVE BEEN PAID. METER SIZE PER PLAN.
6. INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR PER C.O.S. STD. DTL. 2354. SIZE PER PLAN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS. SEE DETAIL 3 ON SHEET C9.
7. INSTALL PVC OR COPPER WATER SERVICE LINE AND FITTINGS TO BUILDING. PIPE LENGTH, SIZE AND FITTING ANGLE PER PLAN.
8. TERMINATE WATER LINE 5' FROM BUILDING. CAP AND MARK LOCATION FOR BUILDING CONNECTION.
9. MAINTAIN MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER MAG STD. DTL. 404 AND/OR C.O.S. DTL. 2372.
10. SEE LANDSCAPE PLANS FOR CONTINUATION OF IRRIGATION LINE AND DETAILS. BACKFLOW SCREENING PER C.O.S. REQUIREMENTS.
11. PROPOSED PUBLIC WATER EASEMENT. 12. CONTRACTOR TO UTILIZE EXISTING WATER SERVICE.

FIRELINE CONSTRUCTION NOTES

1. CONTRACTOR TO POT-HOLE AND VERIFY LOCATION, SIZE AND MATERIAL OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. SAWCUT AND REMOVE AC PAVT, CURB AND SIDEWALK. SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD. DTL. 2200, REPLACE CURB AND SIDEWALK PER C.O.S. STD. DTL. 2220 AND 2230. TRENCH PER C.O.S. STD. DTL. 2201.
3. INSTALL TAPPING SLEEVE WITH VALVE PER MAG STD. DTL. 340. VALVE BOX AND COVER PER MAG STD. DTL. 391-1 TYPE "C". ADJUST FRAME AND COVER TO FINISH GRADE PER C.O.S. STD. DTL. 2270. SIZE PER PLAN.
4. INSTALL D.I.P. (CLASS 350) POLYWRAPPED PER C.O.S. STD. DTL. 2362-2. LENGTH AND SIZE PER PLAN. SEE DETAIL 1 ON SHEET C9. MINIMUM 3' COVER TO TOP OF PIPE.
5. INSTALL D1 BEND WITH JOINT RESTRAINT PER MAG STD. DTL. 303-1 AND 303-2. SIZE AND ANGLE PER PLAN.
6. TERMINATE FIRELINE INSIDE BUILDING. TURN UP 90° TO FLANGE 6" ABOVE FINISHED FLOOR. SEE FIRE PROTECTION PLAN FOR CONTINUATION OF FIRELINE. COORDINATE WITH FIRE PROTECTION PLAN FOR SIZE AND CONTINUATION OF LINE INSIDE BUILDING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. INSTALL WALL MOUNTED FIRE DEPT. CONNECTION PER PLAN AND C.O.S. AND NFPA REQUIREMENTS. (FDC) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE CODE. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLAN. SEE DETAIL 1 ON SHEET C9.
8. INSTALL PAVEMENT MARKER FOR FIRE HYDRANT OR FDC PER C.O.S. DTL. 2363. SEE DETAIL 7 ON SHEET C9.
9. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER MAG STD. DTL. 404. CONTRACTOR TO LOCATE AND POT-HOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. MAINTAIN 1' MINIMUM VERTICAL SEPARATION BETWEEN CROSSING UTILITY LINES PER I.P.C.

11. INSTALL REMOTE FIRE DEPT. CONNECTION PER PLAN AND C.O.S. AND NFPA REQUIREMENTS. (FDC) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE CODE. COORDINATE SIZE AND LOCATION WITH FIRE PROTECTION PLAN. SEE DETAIL 8 ON SHEET C9.

PRIVATE SEWER CONSTRUCTION NOTES

1. CONTRACTOR TO POT-HOLE AND VERIFY INVERT LOCATION AND SIZE OF EXISTING SEWER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. INSTALL SEWER BUILDING CONNECTION ONE-WAY CLEANOUT AND METER BOX PER MAG STD. DTL. 440-3.
2. SAWCUT AND REMOVE AC PAVT. DISPOSE OF PER LOCAL CODE. SAWCUT LIMITS SHOWN ARE APPROXIMATE. REPLACE AC PAVT PER C.O.S. STD. DTL. 2200.
3. INSTALL PVC (SDR-35) SEWER LINE. LENGTH, SIZE AND SLOPE PER PLAN.
4. TERMINATE SEWER LINE PER PLAN. CAP AND MARK LOCATION FOR BUILDING CONNECTION.
5. PROPOSED GREASE INTERCEPTOR. CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH PLUMBING PLANS.
6. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER MAG STD. DTL. 404 AND/OR C.O.S. STD. DTL. 2372. CONTRACTOR TO LOCATE AND POT-HOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. SEE PUBLIC SEWER LINE PLAN & PROFILE FOR CONSTRUCTION DETAILS.
8. INSTALL SEWER CLEANOUT PER MAG STD. DTL. 441.
9. INSTALL PVC (SDR-35) WYE FITTING. SIZE AND ELEVATION PER PLAN.
10. SEE PLUMBING PLANS FOR CONSTRUCTION DETAILS.
11. ABANDON & REMOVE EXISTING SEWER LINE PER PLAN. DISPOSE OF DEBRIS PER LOCAL CODES.

NOTE

1. NOT ALL NOTES ON THIS SHEET ARE USED.
2. CONTRACTOR TO PROVIDE AND INSTALL NECESSARY PIPE, FITTINGS AND APPURTENANCES TO COMPLETE SYSTEMS SHOWN ON PLAN. COMPLY WITH MANUFACTURER INSTALLATION REQUIREMENTS.

GENERAL NOTES

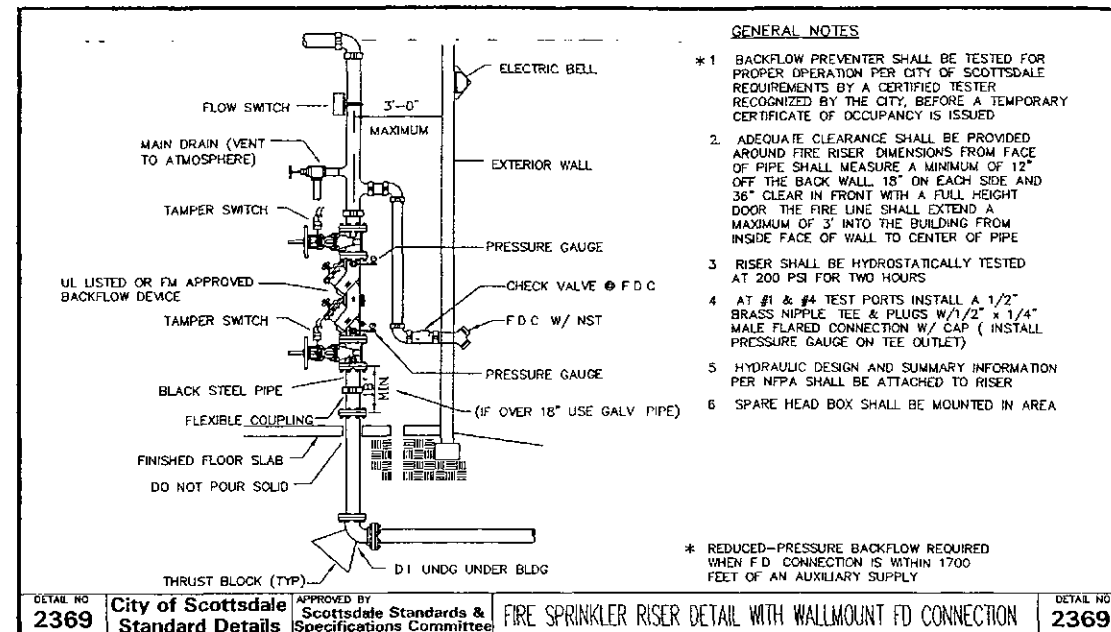
1. SEE SHEET C1.
2. SEE SHEET C1.

ABBREVIATION TABLE

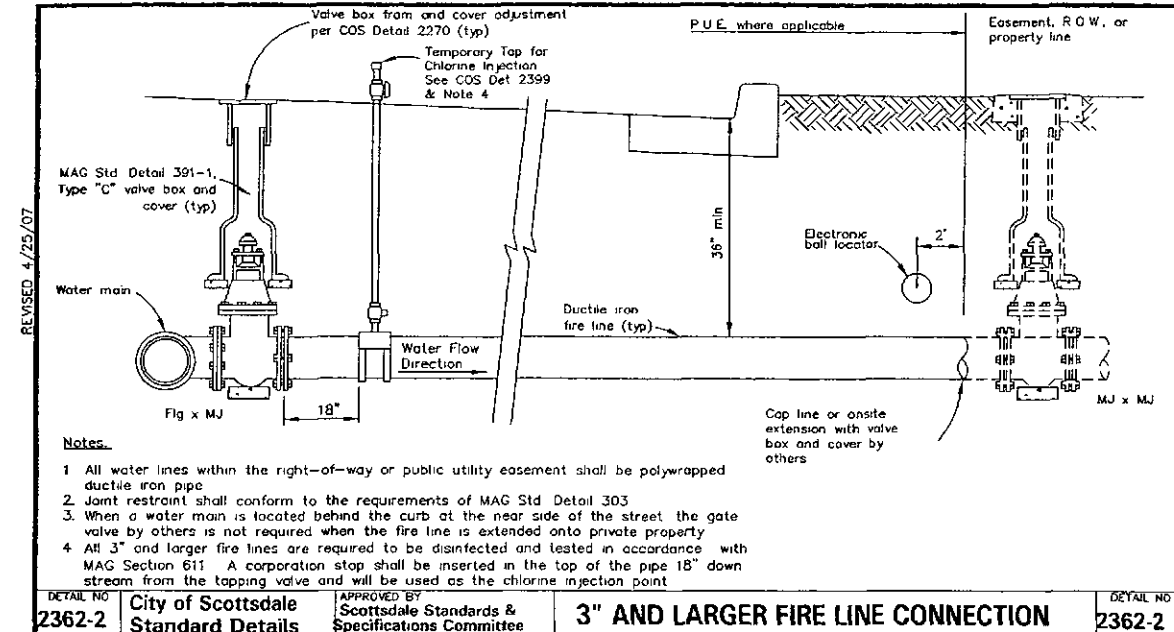
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LEGEND

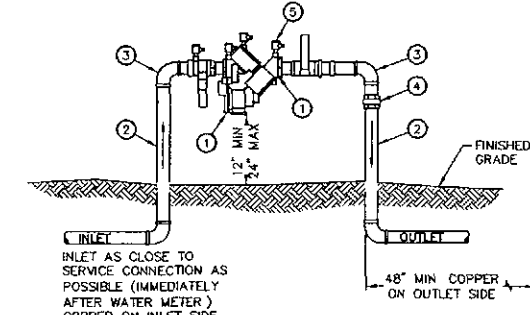
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2. SEE SHEET C1.



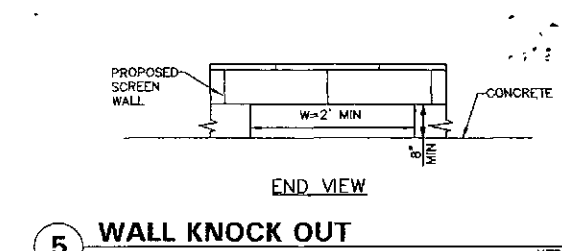
DETAIL NO. 2369 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee FIRE SPRINKLER RISER DETAIL WITH WALLMOUNT FDC CONNECTION DETAIL NO. 2369



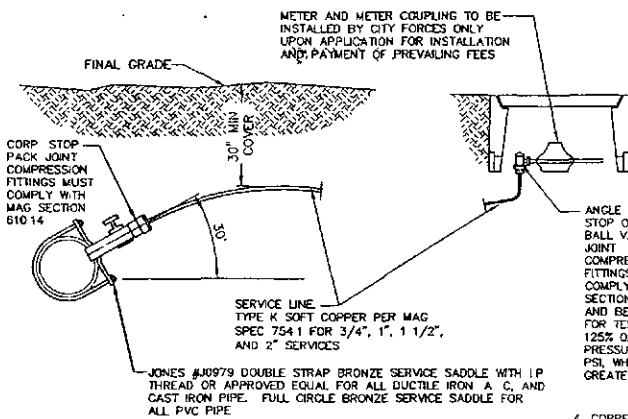
DETAIL NO. 2362-2 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee 3" AND LARGER FIRE LINE CONNECTION DETAIL NO. 2362-2



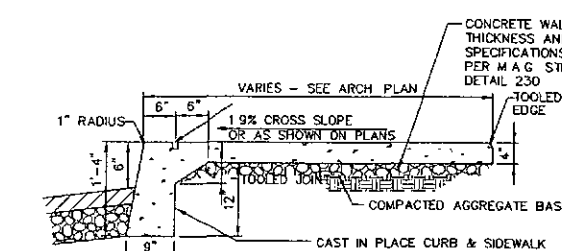
- MATERIAL LIST**
1. APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, BALL VALVES INCLUDED
 2. PIPE SPOOL, TYPE "L" HARD COPPER, 3/4" THRU 2 1/2"
 3. 90 ELL, COPPER 3/4" THRU 2 1/2"
 4. PIPE UNION BRASS OR COPPER
 5. TEST COCKS WITH BRASS PLUGS OR ADAPTERS WITH CAPS INSTALLED (4 REQUIRED)



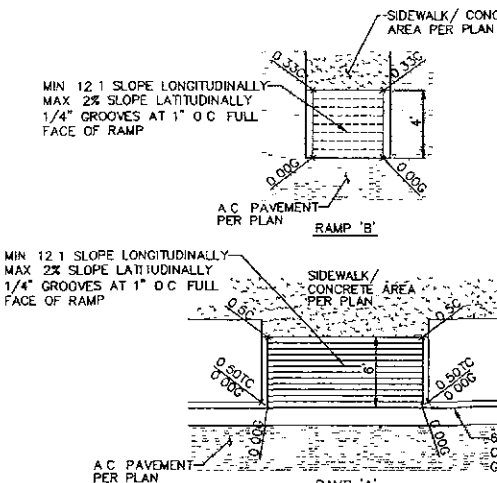
- GENERAL NOTES**
1. CONTACT THE CITY OF SCOTTSDALE WATER AND WASTEWATER OPERATIONS, BACKFLOW PREVENTION 312-5668, FOR LATEST LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES OR CERTIFIED TESTERS.
 2. BACKFLOW PREVENTERS MUST BE TESTED BY A CERTIFIED TESTER BEFORE FINAL APPROVAL IS ISSUED.
 3. COPPER FITTINGS SHALL BE CONNECTED WITH LEAD FREE SOLDER JOINTS.
 4. FINISHED GRADE UNDERNEATH THE BACKFLOW PREVENTER SHALL BE AT 95% COMPACTION.
 5. ALL NIPPLES TO BE COPPER OR BRASS.
 6. PIPING UNDER THE CITY RIGHT OF WAY MUST BE TYPE "K" COPPER.
 7. CALL FOR UNDERGROUND INSPECTION BEFORE BACKFILLING TRENCH.



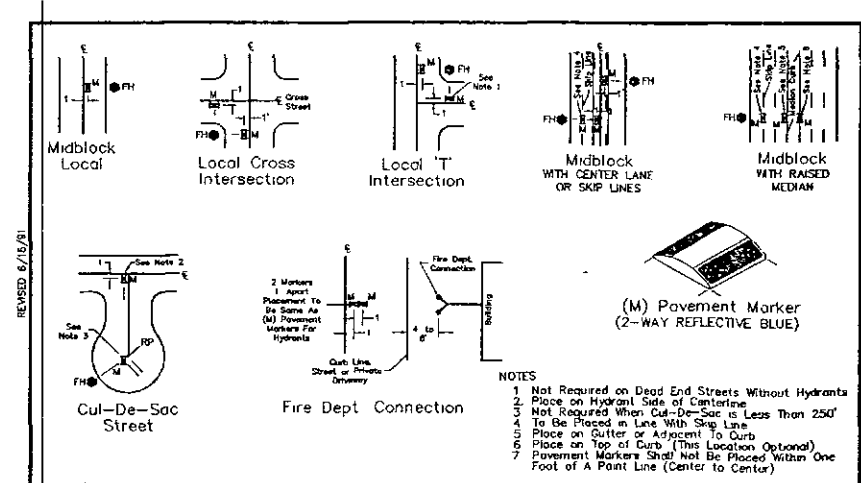
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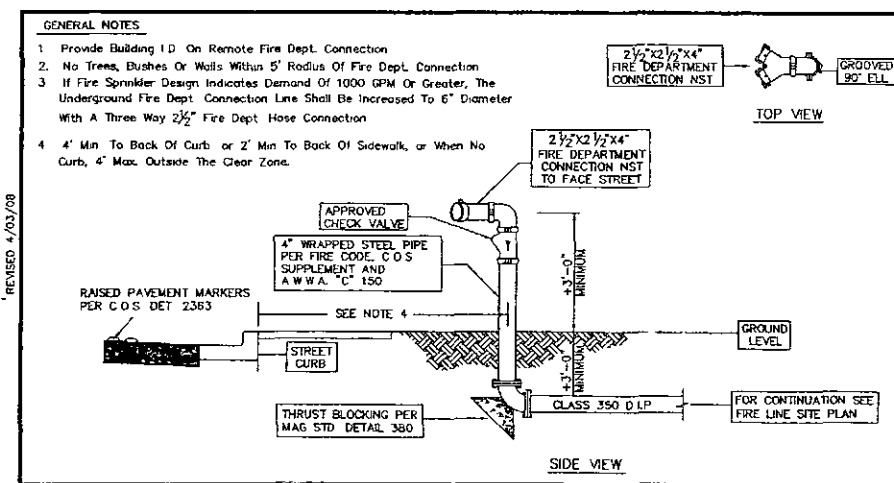
DETAIL NO. 2300 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee COMBINATION CURB/SIDEWALK DETAIL NO. 2300



DETAIL NO. 2367 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee SIDEWALK ACCESS RAMP DETAIL NO. 2367



DETAIL NO. 2363 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee PAVEMENT MARKER DETAIL C.O.S. 2363 DETAIL NO. 2363



DETAIL NO. 2367 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee REMOTE FIRE DEPARTMENT CONNECTION DETAIL C.O.S. 2367 DETAIL NO. 2367

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
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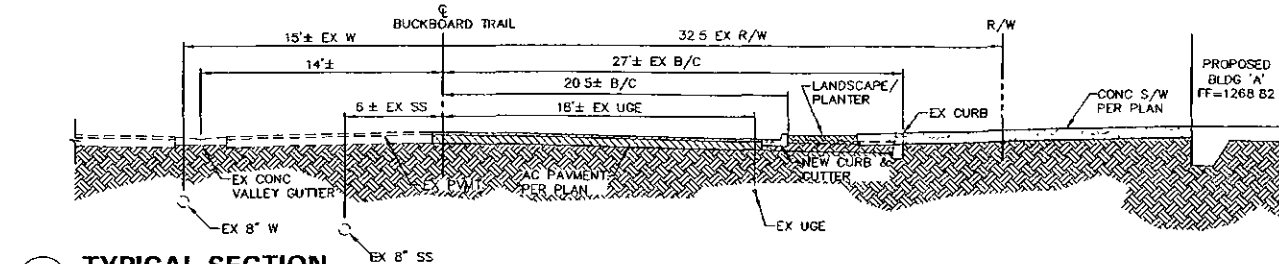
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DRAWN BY JCC
CHECKED BY LMT

PURPOSE APPROVAL SUBMITTAL

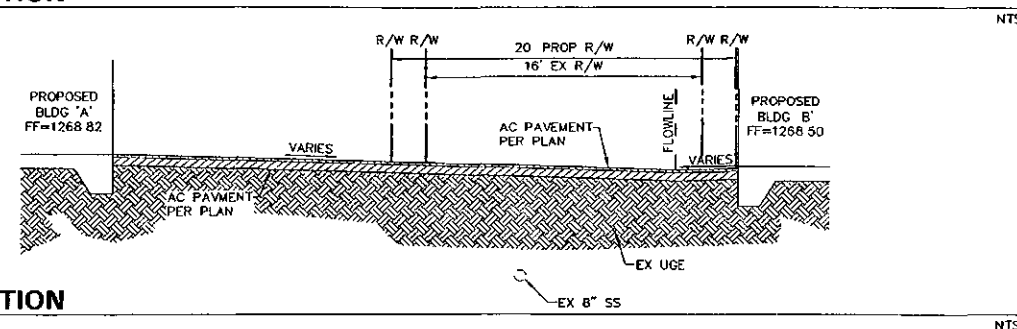
DETAILS FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY

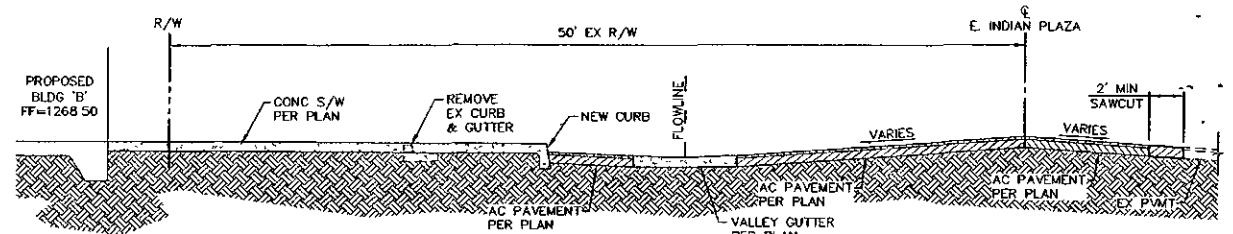
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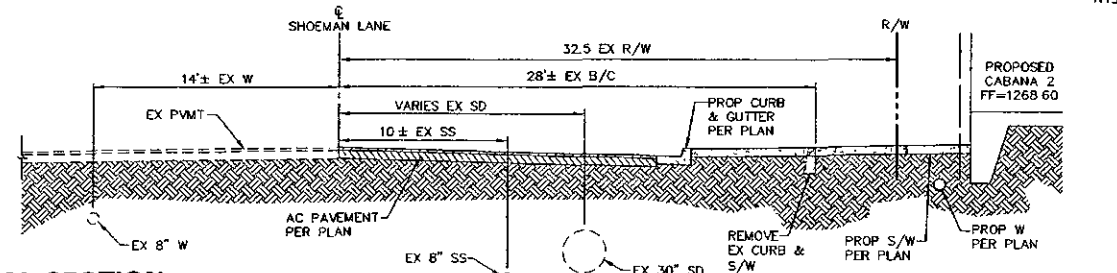
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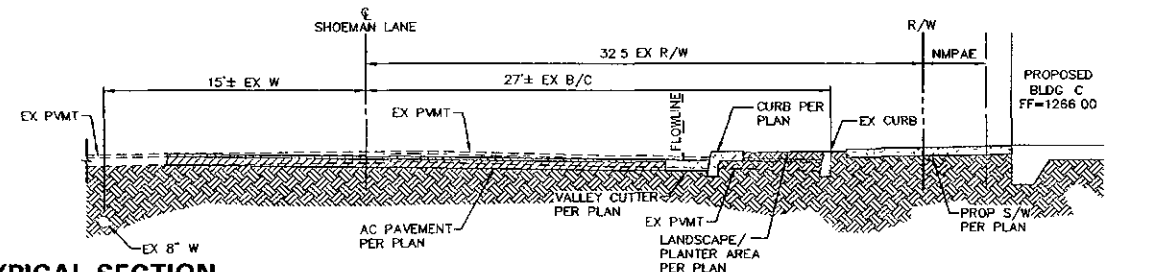
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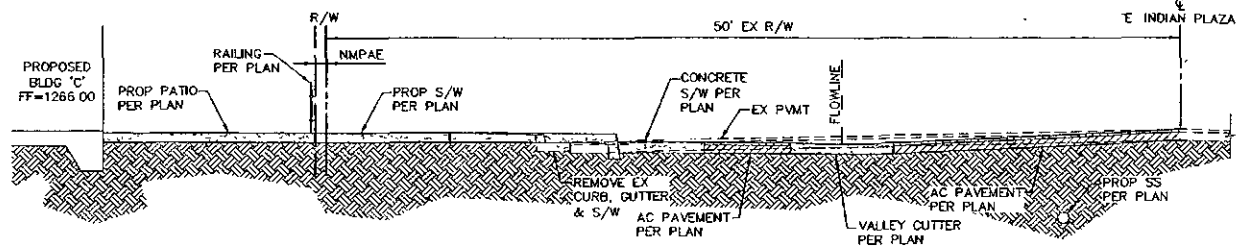
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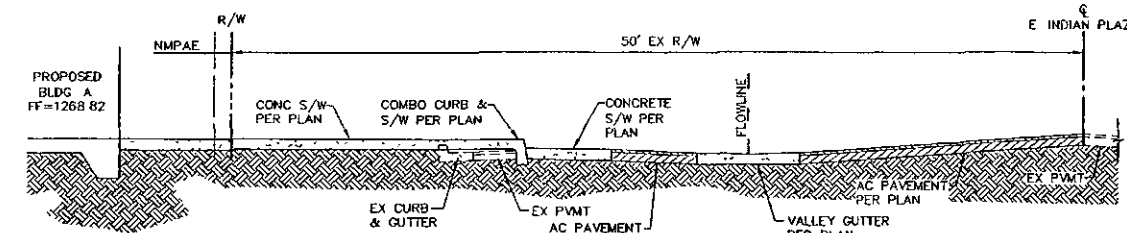
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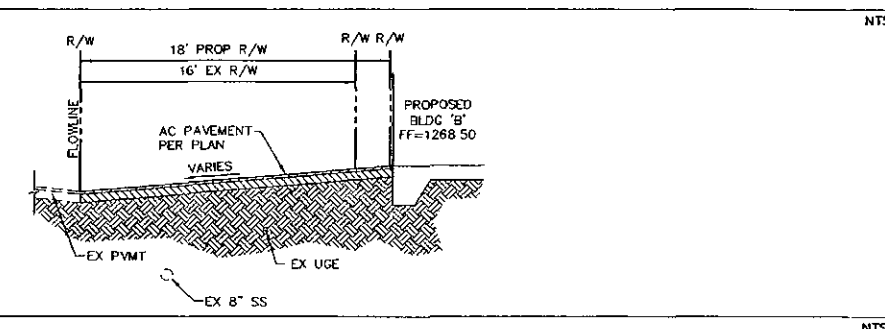
9 TYPICAL SECTION



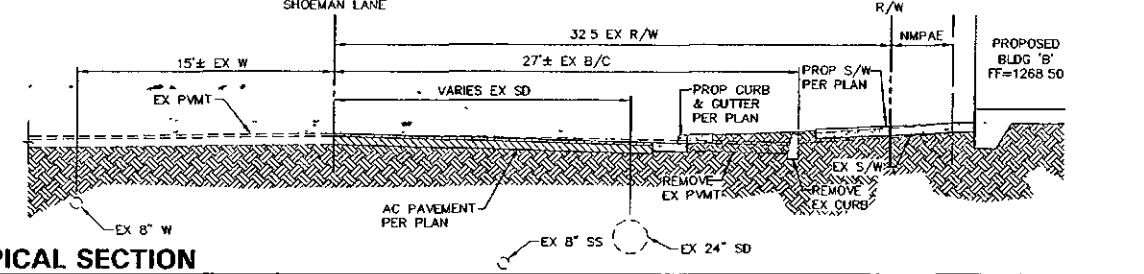
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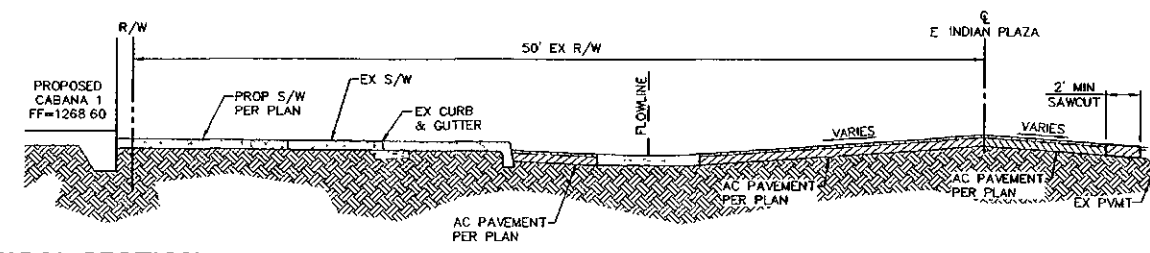
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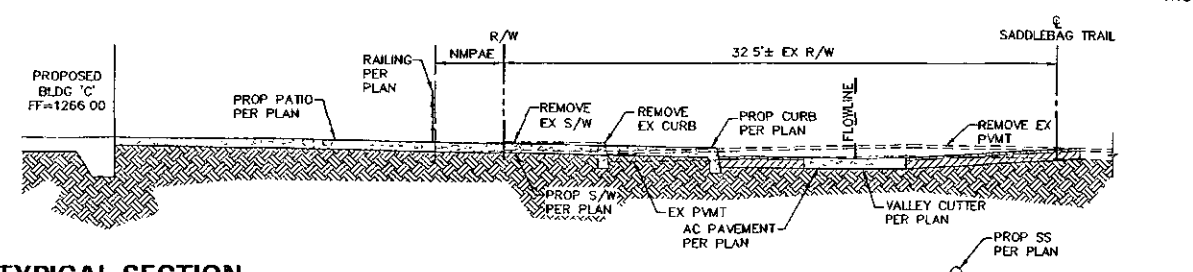
4 TYPICAL SECTION



6 TYPICAL SECTION



8 TYPICAL SECTION



10 TYPICAL SECTION

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DRAWN BY JOC
CHECKED BY LMT

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CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
P 480.991.3366
F 480.991.3366



TYPICAL SECTIONS
FOR
SCOTTSDALE RETAIL PLAZA
7333 E INDIAN PLAZA
SCOTTSDALE, ARIZONA

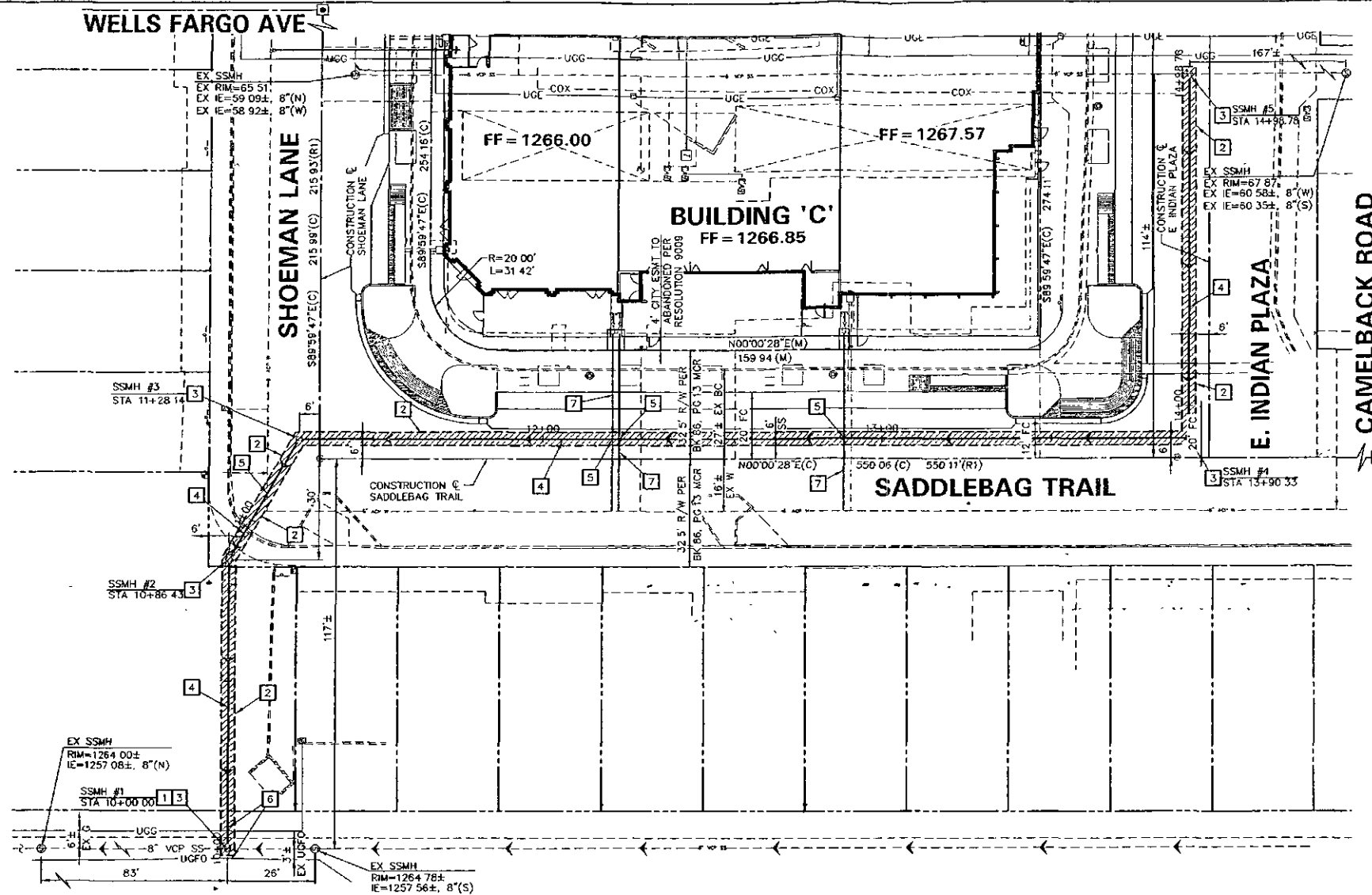
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MUNICIPALITY

HE JOB NO
LGEC117

SCALE
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C10

CASE NO. 83-DR-2011 PLAN CHECK NO. 766-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45



SEWER CONSTRUCTION NOTES

1. CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT ELEVATION OF EXISTING SEWER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. INSTALL MANHOLE AND CONNECT PROPOSED SEWER SERVICE. INVERT PER PLAN.
2. SAWCUT, REMOVE AND REPLACE EXISTING AC PAVEMENT, CURB, SIDEWALK AND/OR VALLEY GUTTER PER PLAN. DISPOSE OF DEBRIS PER LOCAL CODES. REPLACE AC PAVT PER MAG SPEC 321, 336, 340 AND C.O.S. STD DTL 2201 OR REPLACE IN KIND, WHICHEVER IS GREATER. REPLACE SIDEWALK TO THE NEAREST JOINT PER MAG STD DTL 230 AND C.O.S. SPEC 340. REPLACE CURB IN KIND PER MAG STD DTL 220. REPLACE VALLEY GUTTER IN KIND PER MAG STD DTL 240. MATCH EXISTING GRADE. ALL TRENCH BACKFILL PER COS DTL 2201.
3. INSTALL SEWER MANHOLE PER MAG STD DTL 420 AND C.O.S. REQUIREMENTS. COVER PER MAG STD DTL 424 & C.O.S. STD DTL 2421. RIM AND INVERT PER PLAN. ADJUST RIM PER C.O.S. STD DTL 2270.
4. INSTALL PVC (SDR-35) SEWER LINE. LENGTH, SIZE AND SLOPE PER PLAN. 3' MINIMUM COVER REQUIRED.
5. MAINTAIN 2' MIN VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES. WATER AND SANITARY SEWER SEPARATION/PROTECTION PER MAG STD DTL 404-1, 404-2, AND 404-3 WHEN REQUIRED. PROTECT EXISTING UTILITY IN PLACE DURING CONSTRUCTION.
6. MAINTAIN MINIMUM VERTICAL CLEARANCE BETWEEN CROSSING UTILITY LINES PER C.O.S. STD DTL 2372. CONTRACTOR TO LOCATE AND POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. PROTECT EXISTING UTILITY IN PLACE DURING CONSTRUCTION.
7. SEE UTILITY PLANS FOR CONSTRUCTION DETAILS.

GENERAL NOTES

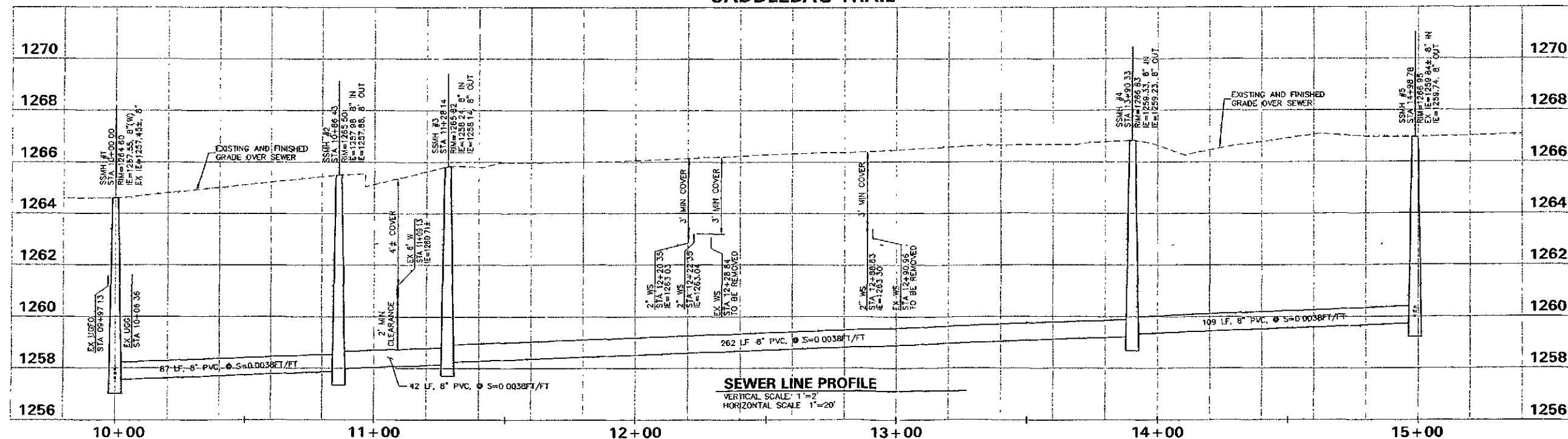
SEE SHEET C1

LEGEND

SEE SHEET C1

NOTE

1. NOT ALL NOTES ARE USED ON THIS SHEET.
2. CONTRACTOR TO POTHOLE AND VERIFY EXACT LOCATION AND INVERT OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE VERTICAL REALIGNMENT OF PROPOSED UTILITY PER MAG STD DTL 370 & AAWC STD DTL 370-1, AS NECESSARY. NOTIFY ENGINEER OF ANY DISCREPANCIES.



SADDLEBAG TRAIL

SEWER LINE PROFILE

VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=20'

PUBLIC SEWER LINE PLAN & PROFILE
FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

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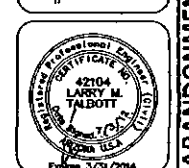
SCALE
1"=20'

SHEET
C11

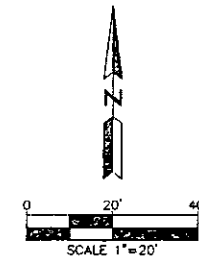
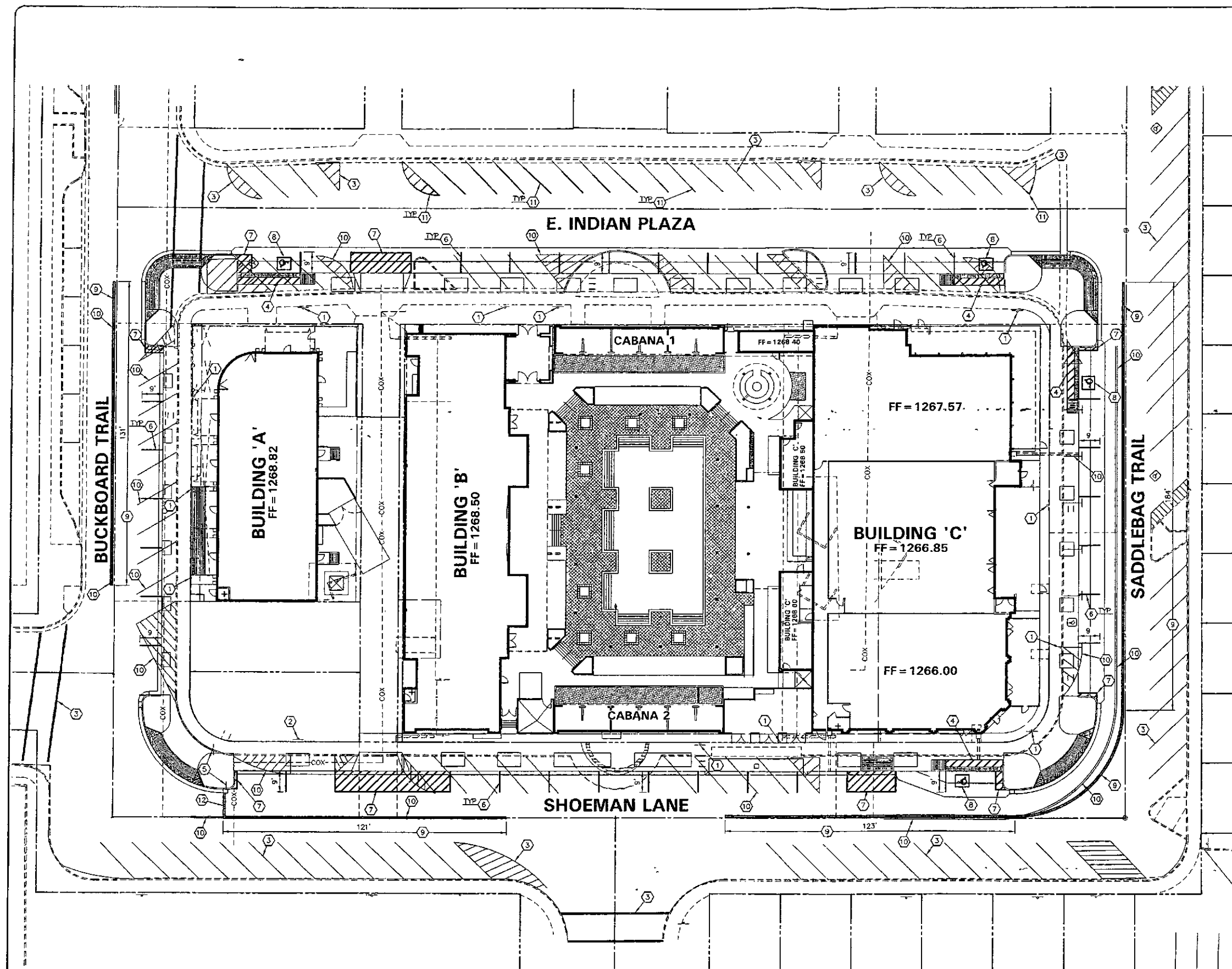
NO	DATE	REVISION	BY

DESIGN BY LMT
DRAWN BY JMS
CHECKED BY LMT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 981 3585
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CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45



CONSTRUCTION NOTES

- 1 REMOVE EXISTING SIGN COORDINATE WITH C.O.S. FORCES FOR REMOVAL AND DISPOSAL DETAILS
- 2 PROTECT EXISTING SIGN IN PLACE DURING CONSTRUCTION
- 3 EXISTING STRIPING TO REMAIN IN PLACE
- 4 INSTALL SIGN PER SIGN POST INSTALLATION DETAIL COS STD DTL 2131
- 5 REMOVE & RELOCATE EXISTING SIGN
- 6 4" SOLID WHITE LINE
- 7 NO PARKING AREA 4" SOLID WHITE LINE AT 4" OFF CENTER
- 8 HANDICAPPED PARKING PAVEMENT MARKING SYMBOL PER ADA STANDARD DESIGN
- 9 4" DOUBLE SOLID WHITE LINE
- 10 OBLITERATE EXISTING STRIPING PER PLAN AND C.O.S. REQUIREMENTS
- 11 REPLACE EXISTING STRIPING IN KIND
- 12 12" SOLID WHITE LINE

GENERAL STRIPING NOTES

- 1 ALL PAVEMENT MARKINGS, SIGNING, AND CONSTRUCTION SHALL CONFORM TO ARIZONA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS AND SPECIFICATIONS UNLESS OTHERWISE SPECIFIED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," LATEST EDITION
- 2 TRAFFIC CONTROL SHALL CONFORM TO THE CITY OF PHOENIX "TRAFFIC BARRICADE MANUAL" AND/OR AS DIRECTED BY THE CITY PUBLIC WORKS INSPECTOR
- 3 SIGNS SHALL BE INSTALLED ON TELESAR POSTS PER COS STANDARD DETAIL NO. 2131
- 4 ALL SIGNS THAT ARE REMOVED AND NOT REINSTALLED SHALL BE SALVAGED AND DELIVERED TO THE CITY OF SCOTTSDALE CORPORATION YARD AT 9191 E. SAN SALVADOR (SCOTTSDALE)
- 5 ALL LANE STRIPING, CROSSWALKS, AND CHEVRONS SHALL BE 0.060" (60 MIL) HOT-SPRAYED THERMOPLASTIC, UNLESS NOTED OTHERWISE ON THE PLANS
- 6 ALL PAVEMENT SYMBOLS, ARROWS AND LEGENDS SHALL BE TYPE 1 PRE-FORMED PAVEMENT MARKINGS
- 7 RAISED PAVEMENT MARKERS (RPM'S) SHALL BE USED ON ALL STRIPED STREETS. (RPM'S) SHALL BE INSTALLED PER COS STANDARD DETAIL NO. 2132 AND ADOT STANDARD DRAWING 4-M-2.02, WITH A CITY APPROVED BITUMINOUS ADHESIVE
- 8 ALL EXISTING PAVEMENT MARKINGS WHICH CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY SANDBLASTING, HYDROBLASTING, OR GRINDING PRIOR TO THE INSTALLATION OF NEW PAVEMENT MARKINGS. REMOVALS SHALL BE TO THE SATISFACTION OF THE CITY INSPECTOR
- 9 ALL EXISTING PAVEMENT MARKINGS WHICH CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY SANDBLASTING, APPROXIMATELY EVERY 350-400 FEET ALONG THE LENGTH OF THE PROJECT, APPROXIMATELY 5 FEET FROM THE BACK OF CURB ANGLED 45 DEGREES FROM THE ROADWAY BAND TO STREET LIGHT POLES WHEN FEASIBLE
- 10 UTILIZE STREET POLES FOR SIGN MOUNTING WHENEVER POSSIBLE
- 11 STOP SIGNS (R1-1) ARE TO BE MINIMUM 30"x30" MINIMUM SIZE
- 12 ALL LANE DIMENSIONS ARE FROM THE CENTER OF THE STRIPE TO CENTER OF THE STRIPE

NO.	DATE	REVISION	BY

DESIGN BY LMT
 DRAWN BY JCC
 CHECKED BY LMT

HUNTER
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 10450 NORTH 74TH STREET, SUITE 200
 SCOTTSDALE, AZ 85258
 T 480 981 3965
 F 480 981 3966



SIGNING & STRIPING PLAN FOR
SCOTTSDALE RETAIL PLAZA
7333 E. INDIAN PLAZA
SCOTTSDALE, ARIZONA

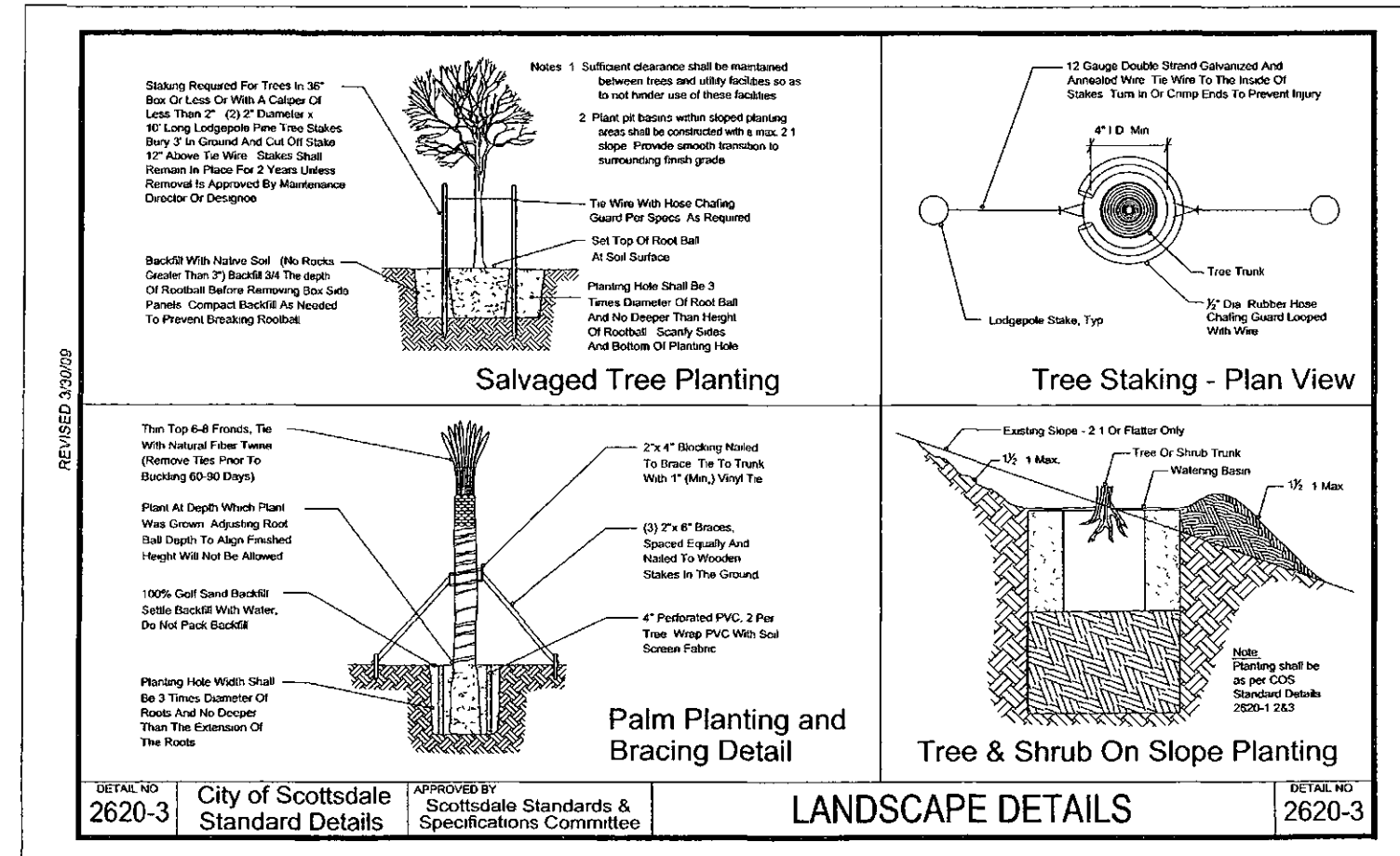
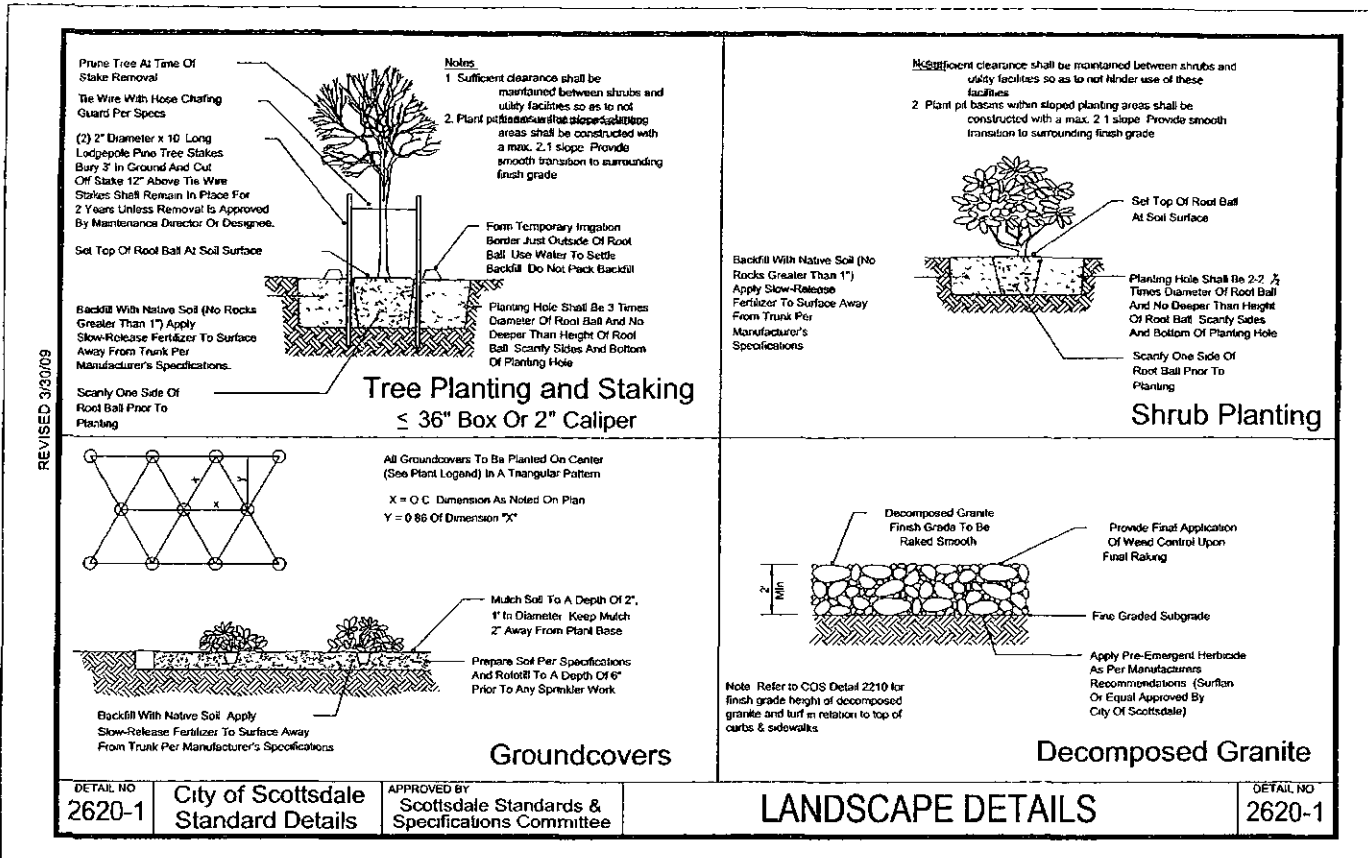
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THE JOB NO.
 LGEC117

SCALE
 1"=20'

SHEET
C12

CASE NO. 83-DR-2011 PLAN CHECK NO. 756-12-4, ZONING 18-2N-2011, ABANDONMENT CASE NO. 2-AB-2012, PREPLAT NO. 6-PP-2012, Q.S. #17-45



CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY

SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS AREA WITHIN SAFETY TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS
SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS

SEE ARCHITECTURAL FOR BIKE RACK DETAILS

SIGNS REQUIRE SEPARATE APPROVALS & PERMITS

SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY

A MINIMUM OF 50 PERCENTAGE OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL GRADE ADJACENT TO THE TRUNK

RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF

AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS GROUND COVERS SHALL NOT EXCEED DIMENSIONS OF MORE 7' FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND / OR COVERAGE

PRIOR TO ESTABLISHED WATER SERVICE, NON RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF 10 ACRE-FEET PR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE W/ SECTIONS 49-154 through 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE

AREAS WITHIN THE S.V.T IS TO BE CLEAR OF LANDSCAPING SIGNS, AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION

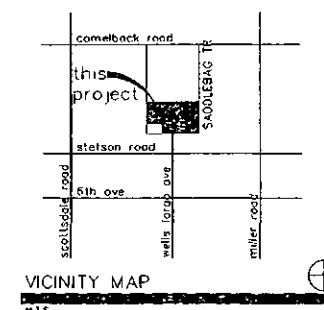
LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

83-DR-11
CASE NUMBER

APPROVED
DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT OF OCCUPANCY IS ISSUED

Case No: 83 - DR - 2011



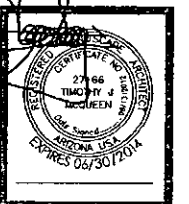
TJ McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
8433 East Cholla St.
Scottsdale, Arizona 85260
PH (602) 265-0320 FX (602) 266-6619



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602 383 5060



SCOTTSDALE
RETAIL PLAZA

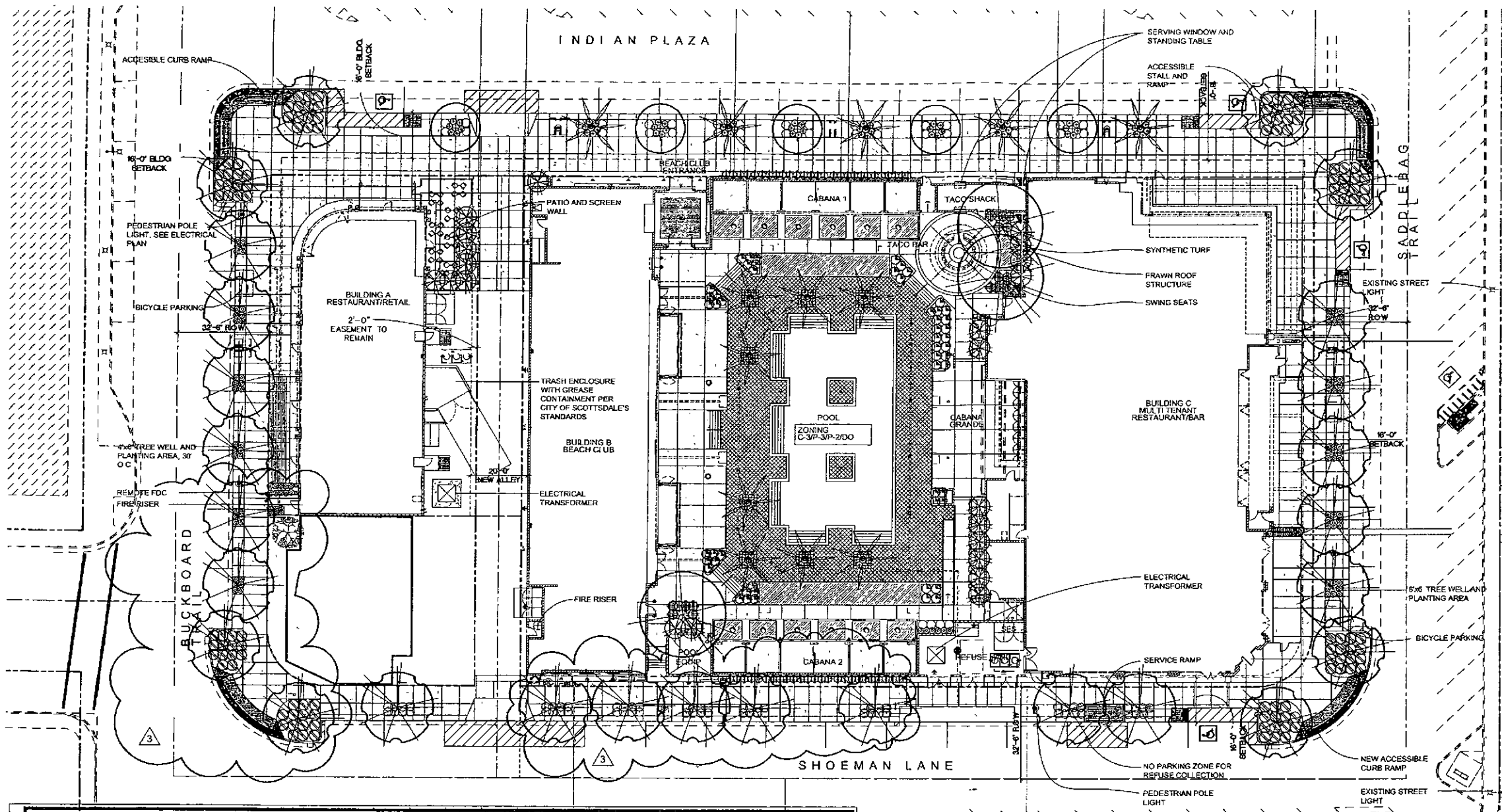
NWC OF
SHOEMAN LANE &
SADDLEBAG TRAIL
SCOTTSDALE
ARIZONA

DATE
06 13 12

LGE
DESIGN BUILD
740-N. 52nd St.
Phoenix, AZ
480-966-4003

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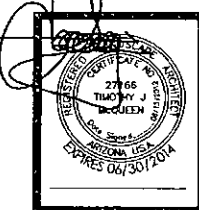
Project SRPP1
COVER SHEET
La.01
of FIVE



- ### LANDSCAPE LEGEND
- OLEA EUROPAEA 'SWAN HILL' (MULTI)
'FRUITLESS' OLIVE TREE
36" BOX (QTY - 3)
 - PARKINSONIA FLORIDA
DESERT MUSEUM
36" BOX (QTY - 28)
 - PHOENIX DACTYLIFERA
DATE PALM
25' TRUNK FT. (STRAIGHT DIAMOND CUT
MATCHING EXACT) (QTY - 13)
 - ULMUS PARVIFOLIA
CHINESE EVERGREEN ELM
36" BOX (QTY - 5) (MATCHING)
 - FICUS MICROCARPA
FUCAS (HEDGE)
15 GALLON (QTY - 22)
 - AGAVE VILMORIANA
OCTOPUS AGAVE
15 GALLON (QTY - 117)
 - BOUGAINVILLEA 'LA JOLLA'
BUSH BOUGAINVILLEA
5 GALLON (QTY - 53)
 - BOUGAINVILLEA 'BARBARA KARST'
BOUGAINVILLEA
5 GALLON (TRELLIS TRAINED) (QTY - 3)
 - EQUISETUM HYEMALE
HORSETAIL REED
5 GALLON (QTY - 109)
 - BUXUS MICROPHYLLA
DWARF JAPANESE BOXWOOD
5 GALLON (QTY - 108)
 - MUEHLENBERGIA CAPILLARIS
REGAL MIST
5 GALLON (QTY - 18)
 - LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (QTY - 124)
 - LANTANA MONTEVIDENSIS
'PURPLE' TRAILING LANTANA
1 GALLON (QTY - 53)
 - MATCH W HOTEL (SADDLEBACK BROWN)
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



730 N 52nd Street
Suite 203
Phoenix, AZ 85008
602.383.5060



SCOTTSDALE
RETAIL PLAZA

NWC OF
SHOEMAN LANE &
SADDLEBAG TRAIL
SCOTTSDALE
ARIZONA

DATE
06.13.12

city comments
06-04-2012

LGE
DESIGN/BUILD
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Phoenix, AZ
480.966.4001

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The site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of this site. All design shown here is solely conceptual.

Project SRP11

Landscape Plan

La.02
of FIVE

Saguaro Planting Type A Use Golf Sand Or 1/4" Minus Decomposed Granite To Backfill Planting Hole. Backfill 1/2 Of Pit, Then Compact. Root Prune All Shredded Or Damaged Roots And Dust Entire Root Structure With Wettable Sulphur (1.5 ML Min.) And Steptomycin Spray At Planting Site. Root Ball Minimum Size Shall Be 24" With A Minimum Root Length Of 6" On All Sides. 3 Tree Braces, Spaced Equally. Braces To Remain In Place For One Year Min. 6 - 1 Gallon Emitters In 1/4" Hoop Distribution Run Once A Month 24 To 48 Hours For One Year. Planting Hole Width Shall Be 3 Times Diameter Of Roots And No Deeper Than The Extension Of The Roots.	Ocotillo Planting NOTE: Water weekly through the summer. Plant At Depth Which Plant Was Grown. Planting Mix To Be 1/3 Golf Sand And 2/3 Specified Soil. Pack The Backfill Mix. Do Not Use Water To Settle Backfill Mix. Planting Hole Width Shall Be 3 Times Diameter Of Roots And No Deeper Than The Extension Of The Roots. Use 6" to 8" Rocks To Anchor Roots. Root Prune All Shredded Or Damaged Roots And Dust Entire Root Structure With Wettable Sulphur (1.5 ML min.) At Planting Site.
Saguaro Planting Type B Use Golf Sand Or 1/4" Minus Decomposed Granite To Backfill Planting Hole. Backfill 1/2 Of Pit, Then Compact. Root Prune All Shredded Or Damaged Roots And Dust Entire Root Structure With Wettable Sulphur (1.5 ML Min.) And Steptomycin Spray At Planting Site. Root Ball Minimum Size Shall Be 24" With A Minimum Root Length Of 6" On All Sides. 4" x 8" Dense Foam And Carpet Padded, 8" Above Natural Grade, And Nailed To Braces. Steel Band Fastened With 2 Large Staples Per Brace. 6 - 1 Gallon Emitters In 1/4" Hoop Distribution Run Once A Month 24 To 48 Hours For One Year. Planting Hole Width Shall Be 3 Times Diameter Of Roots And No Deeper Than The Extension Of The Roots.	Cactus Planting NOTE: Water weekly through the summer. Maintain original growing orientation. Plant At Depth Which Plant Was Grown. Planting Mix To Be 1/3 Golf Sand And 2/3 Specified Soil. Pack The Backfill Mix. Do Not Use Water To Settle Backfill Mix. Planting Hole Width Shall Be 3 Times Diameter Of Roots And No Deeper Than The Extension Of The Roots. Use 6" to 8" Rocks To Anchor Roots. Root Prune All Shredded Or Damaged Roots And Dust Entire Root Structure With Wettable Sulphur (1.5 ML min.) At Planting Site.

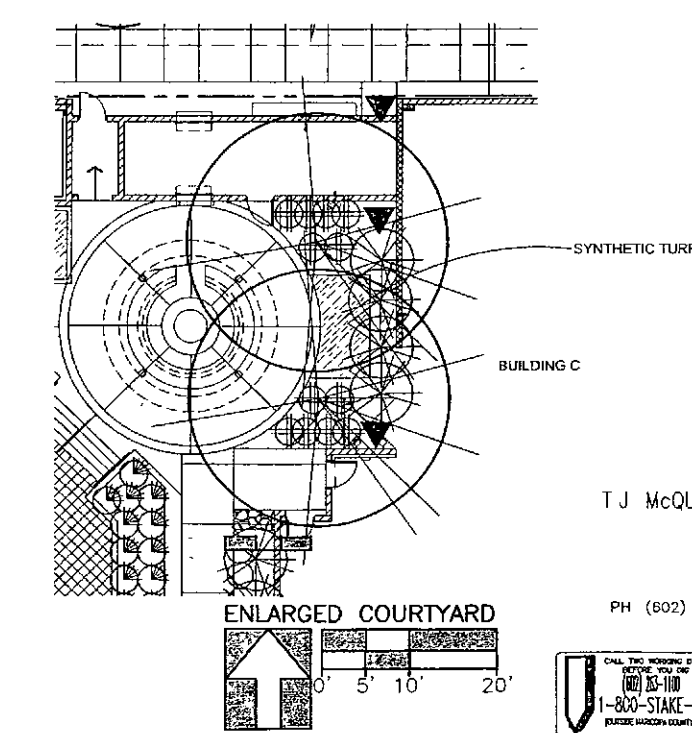
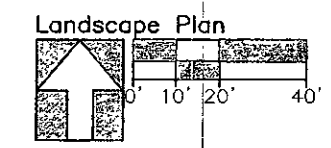
DETAIL NO
2620-2

City of Scottsdale
Standard Details

APPROVED BY
Scottsdale Standards & Specifications Committee

LANDSCAPE DETAILS

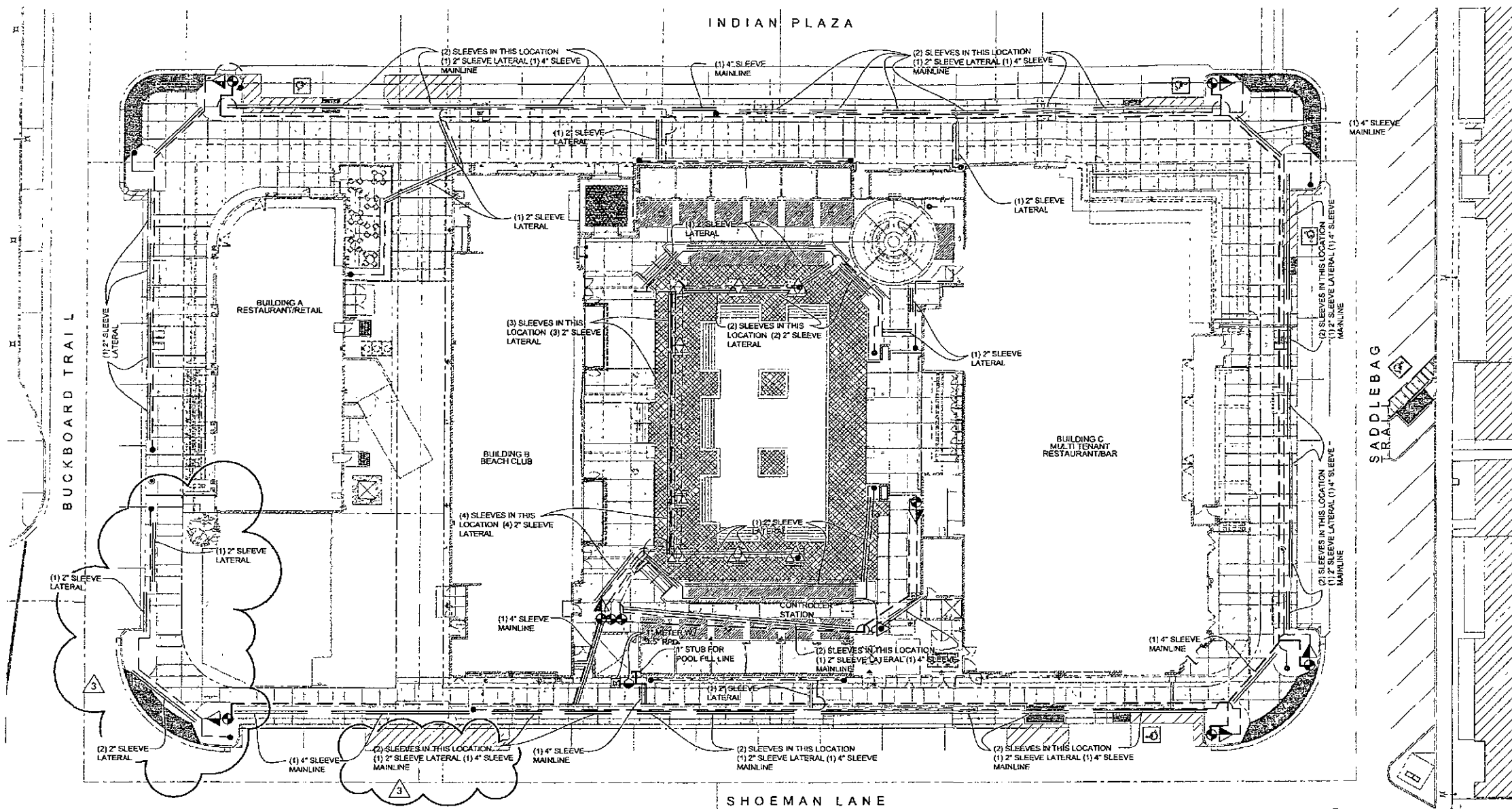
DETAIL NO
2620-2



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
8433 East Cholla St.
Scottsdale, Arizona 85260
PH (602) 265-0320 FX (602) 266-8619



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CLARITY NOTE.
FOR GRAPHIC CLARITY THE EMITTERS HAVE NOT BEEN SHOWN
VERIFY EMITTER COUNT WITH PLANT COUNT AND EMITTER SCHEDULE
NOT ALL IRRIGATION SLEEVES ARE SHOWN ON PLANS FOR GRAPHIC
CLARITY. SLEEVES ARE NOTED ON PLANS FOR QTY AND LOCATION
EACH LATERAL LINE IS TO RECEIVE A FLUSH CAP

PLACE ALL IRRIGATION EQUIPMENT IN CLOSEST ADJACENT
LANDSCAPE ISLANDS
THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL SLEEVES PER
THE FOLLOWING SCHEDULE
MAIN LINE 4" SCH 40 PVC
DRIP LATERAL 2" SCH 40 PVC

EMITTER SCHEDULE		
PLANT SIZE	GA. PER HR.	EMITTER SIZE
36" BOX	6	(1) ML-210
24" BOX	4	(1) ML-210
15 GALLON	4	(1) ML-210
5 GALLON	1	(1) SL-210
1 GALLON	1	(1) SL-210

NOTES
EMITTER SIZING AND QUANTITIES MAY VARY DEPENDING ON SOIL
TYPE AND CLIMATE CONDITIONS VERIFY PRIOR TO BID. ALL
NON-METALIC WATER AND IRRIGATION PIPING LARGER THAN
2" REQUIRE MIN. 18 AWG INSULATED COPPER TRACER WIRE
SUITABLE FOR DIRECT BURIAL
THE IRRIGATION CONTRACTOR MAY SUBSTITUTE
(1) MULTI EMITTER FOR (6) SINGLE EMITTERS IN
GROUND AREAS AS LONG AS DIST. TUBING DOES
NOT EXCEED 5 FT.

IRRIGATION LEGEND

- 1" LANDSCAPE METER
- FEBCO 825-YA-1 5" R.P. ASSY
W/ CAGE PAINTED TO MATCH BUILDING
- HUNTER IBV-101G-1 CONTROL VALVE
- SENNINGER PMR-MF PRESSURE REGULATOR
W/ AG PRODUCTS "Y" STRAINER
- HUNTER ICC-1200-M 12 STATION CONTROLLER
(POWER PER GENERAL CONTRACTOR)
- BOWSMITH ML-210 EMITTER
- BOWSMITH SL-210 EMITTER
- CLASS 200-1 5" MAINLINE (SCH40)
- CLASS 200-3/4" LATERAL LINE (DRIP)
- CLASS 200-3/4" LATERAL LINE (BUBBLER)
- AG PRODUCTS SELF FLUSHING ENDCAP
- SCH 40 PVC SLEEVE
4" AT MAINLINE
2" AT LATERAL LINE
- TORO 500 SERIES BUBBLER

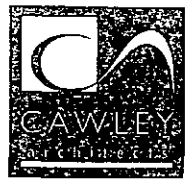
PIPE SCHEDULE

PIPE SIZE	GPM	PIPE CLASS
1/2"	0-5	315
3/4"	6-10	200
1"	11-15	200
1 1/4"	16-25	200
1 1/2"	26-35	200
2"	36-	200

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602.383.5060



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RETAIL PLAZA

NWC OF
SHOEMAN LANE &
SADDLEBAG TRAIL
SCOTTSDALE
ARIZONA

DATE

06.13.12

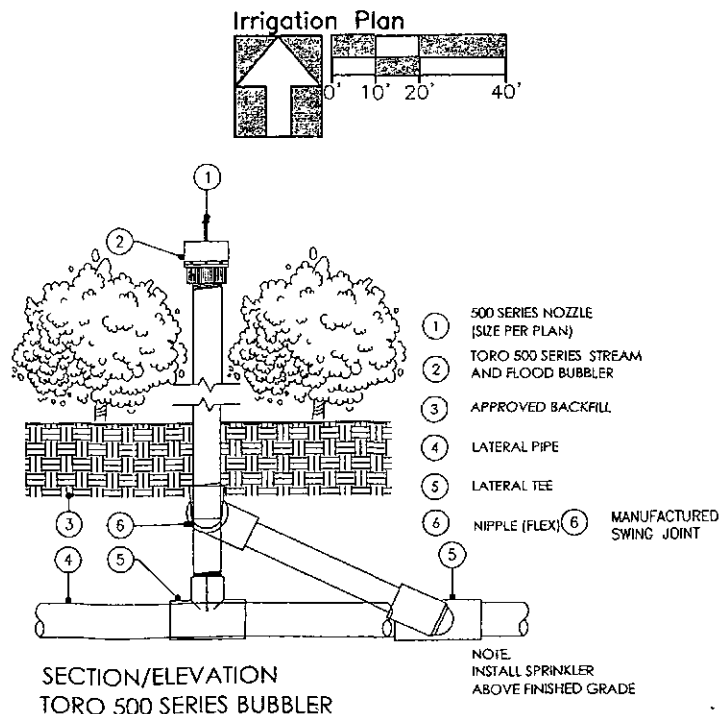
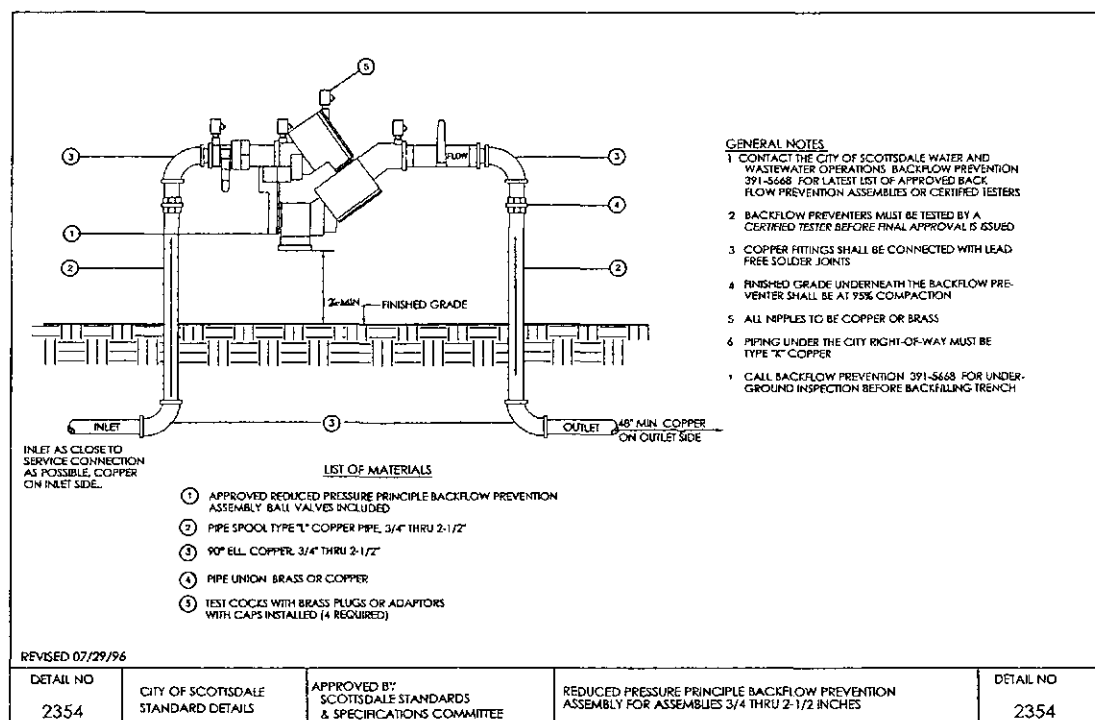
city comments
06-04-2012

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Phoenix, AZ
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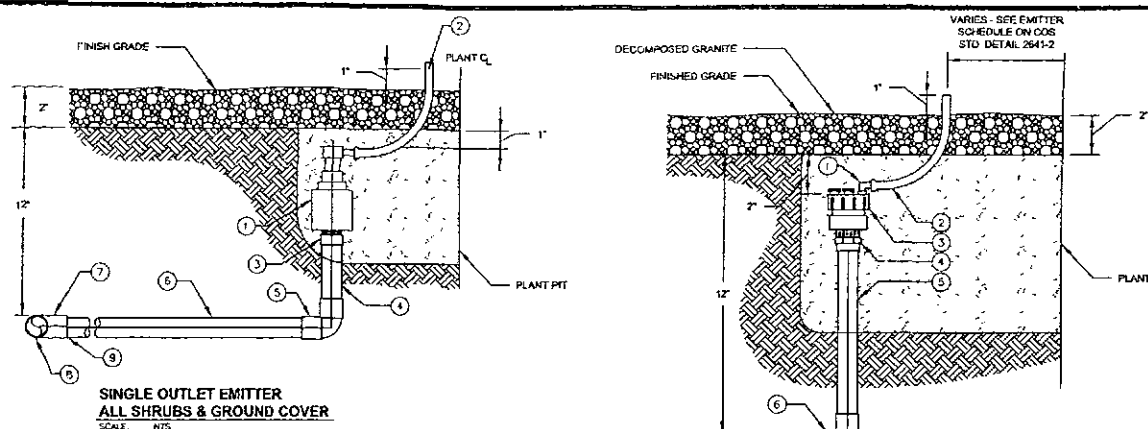
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and data presented herein represents an
instrument of service provided in
connection with the design-build phased
development agreement for the
exclusive use of LGE Design Build.
Any other use or release of these
drawings may result in civil damages.

The site plan has been prepared without
the benefit of a survey. Discrepancies may
not be accurate or fully reflect all
dimensions, data, etc. which may affect
the design and usability of the site. All
design shown here is strictly conceptual.

Project SRP1
Irrigation Plan
La.03
of FIVE



REVISED 3/3/09



LIST OF MATERIALS

- 1 BOWSMITH SL 200 SERIES SINGLE PORT EMITTER OR APPROVED EQUAL. LOCATE ON UPHILL SIDE OF PLANT CENTERLINE.
- 2 1/4" POLYETHYLENE FLEX HOSE EMITTER TUBING (8" MAX.)
- 3 1/2" PVC SCH 40 MALE ADAPTOR
- 4 AG PRODUCTS 1/2" I.P.S. FLEXIBLE VINYL PVC PIPE OR APPROVED EQUAL
- 5 1/2" PVC SCH 40 90° ELBOW
- 6 1/2" PVC CL 315 PIPE
- 7 1/2" PVC SCH 40 FITTING
- 8 PVC CL 315 FOR 1/2" LATERALS. PVC CL 200 FOR LATERALS GREATER THAN 1/2"
- 9 INSTALL BUSHING AS REQUIRED

NOTES

- 1 PIPE CEMENT & PRIMER SHALL BE USED FOR FLEXIBLE AND RIGID PIPE CONNECTIONS
- 2 POLYETHYLENE EMITTER TUBING EMISSION POINTS SHALL BE EQUALLY SPACED AND LOCATED TO DIRECT WATER FLOW TO THE PERIMETER OF THE DRIP LINE
- 3 NUMBER OF OPENINGS AND EMITTER TUBES REQUIRED IS BASED ON PLANT SIZE (SEE COS STD DET 2641-2)
- 4 MAXIMUM EMITTER TUBING LENGTH = 6 FEET
- 5 NO EMITTER LATERALS OR PIPING SHALL BE INSTALLED THROUGH OR BEHIND PLANT PITS. MINIMUM DISTANCE BETWEEN PLANT PIT PERIMETER AND PIPING SHALL BE 12"

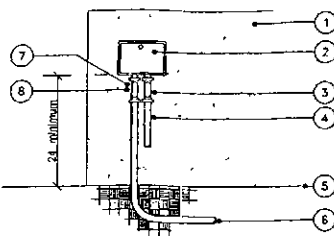
LIST OF MATERIALS

- 1 SWIVEL OUTLET 90° ELBOW
- 2 1/4" POLYETHYLENE FLEX HOSE EMITTER TUBING (8" MAX.)
- 3 BOWSMITH ML 200 SERIES MULTI-PORT EMITTER OR APPROVED EQUAL. LOCATE ON UPHILL SIDE OF PLANT C
- 4 1/2" PVC SCH 40 MALE ADAPTOR
- 5 AG PRODUCTS 1/2" I.P.S. FLEXIBLE VINYL PVC PIPE OR APPROVED EQUAL
- 6 1/2" PVC SCH 40 FITTING

DETAIL NO 2641-1 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee SINGLE & MULTI-OUTLET EMITTERS DETAIL NO 2641-1

NOTES

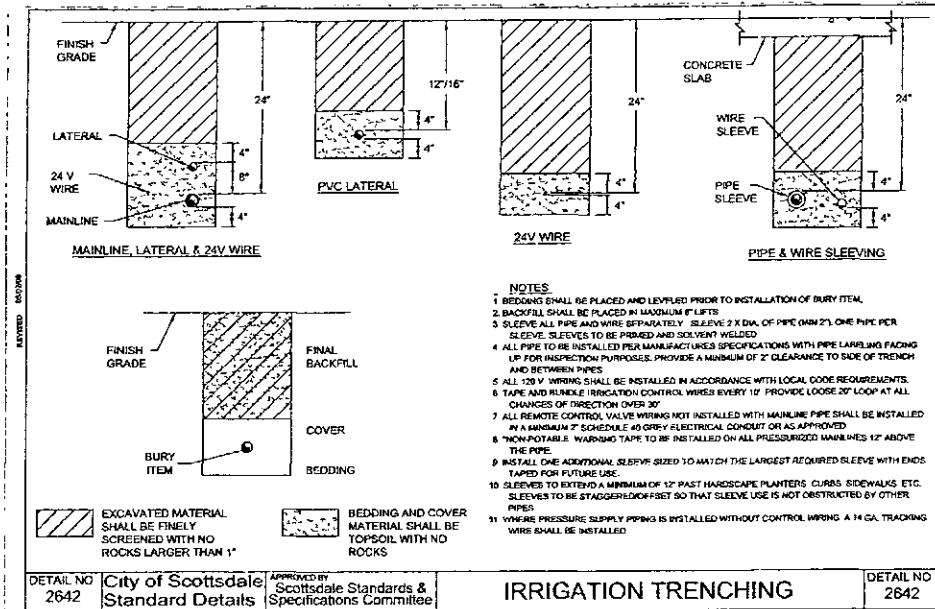
ALL WIRING INSTALLED PER LOCAL CODES
SEE CONTROLLER MANUAL FOR MOUNTING INSTRUCTIONS
THE IRRIGATION CONTRACTOR IS TO SUPPLY 2 KEYS AND INSTRUCTION MANUAL TO OWNER



- 1 WALL OR BUILDING
- 2 WALL MOUNTED CONTROLLER
- 3 1" JUNCTION BOX
- 4 120V POWER AND GROUND SOURCE BY GENERAL CON UNLESS OTHERWISE NOTED
- 5 FINISH GRADE
- 6 STEEL CONDUIT TO 18" POST SWEEP
- 7 DIRECT BURIAL WIRES TO CONTROL VALVE
- 8 COMMON WIRE CONNECTIONS

CONTROLLER DETAIL

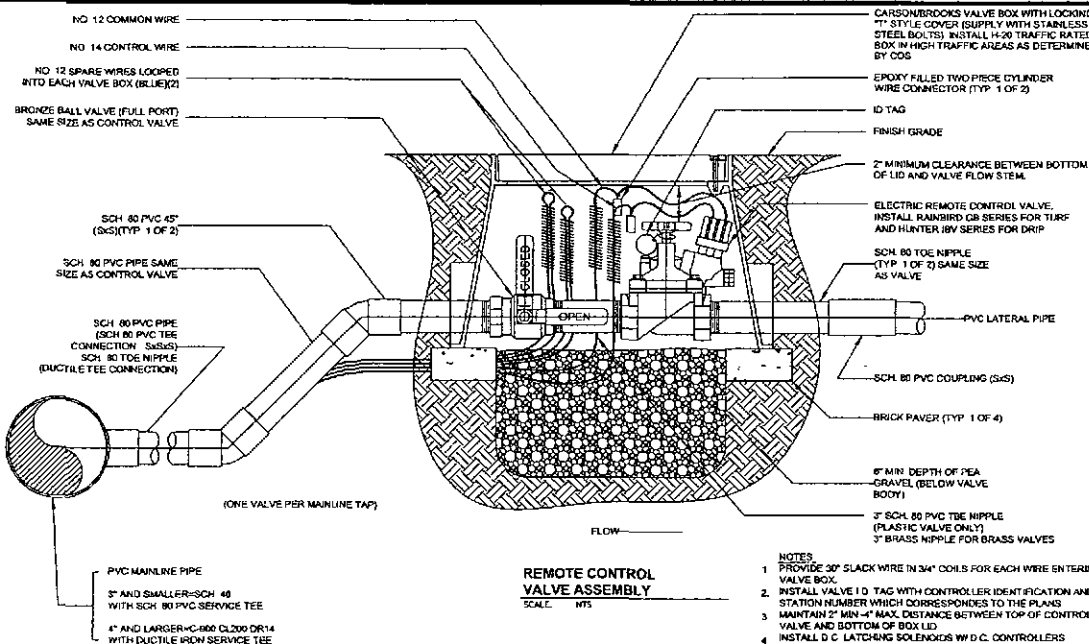
WALL MOUNTED
NOT TO SCALE



NOTES

- 1 BEDDING SHALL BE PLACED AND LEVELED PRIOR TO INSTALLATION OF BURY ITEM.
- 2 BACKFILL SHALL BE PLACED IN MAXIMUM 6" LIFTS
- 3 SLEEVE ALL PIPE AND WIRE SEPARATELY. SLEEVE 2" X DIA. OF PIPE (MIN 2"). ONE PIPE PER SLEEVE. SLEEVES TO BE PRIMED AND SOLVENT WELDED
- 4 ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH PIPE LAYING FACING UP FOR INSPECTION PURPOSES. PROVIDE A MINIMUM OF 2" CLEARANCE TO SIDE OF TRENCH AND BETWEEN PIPES
- 5 ALL 120 V. WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. TAPE AND RUNDLE IRRIGATION CONTROL WIRES EVERY 12" PROVIDE LOOSE 20" LOOP AT ALL CHANGES OF DIRECTION OVER 90°
- 6 ALL REMOTE CONTROL VALVE WIRING NOT INSTALLED WITH MAINLINE PIPE SHALL BE INSTALLED IN A MINIMUM 2" SCHEDULE 40 GRYV ELECTRICAL CONDUIT OR AS APPROVED
- 7 NON-POTABLE WARNING TAPE TO BE INSTALLED ON ALL PRESSURIZED MAINLINES 12" ABOVE THE PIPE
- 8 INSTALL ONE ADDITIONAL RESERVE SIZED TO MATCH THE LARGEST REQUIRED SLEEVE WITH ENDS TAPED FOR FUTURE USE.
- 9 SLEEVES TO EXTEND A MINIMUM OF 12" PAST HARDSCAPE PLANTERS, CURBS, SIDEWALKS, ETC. SLEEVES TO BE STAGGERED OR SET SO THAT SLEEVE USE IS NOT OBSTRUCTED BY OTHER PIPES
- 10 WIRE PRESSURE SUPPLY PIPING IS INSTALLED WITHOUT CONTROL WIRING. A 14 GA. TRACKING WIRE SHALL BE INSTALLED

DETAIL NO 2642 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee IRRIGATION TRENCHING DETAIL NO 2642



REMOTE CONTROL VALVE ASSEMBLY

SCALE NTS

NOTES

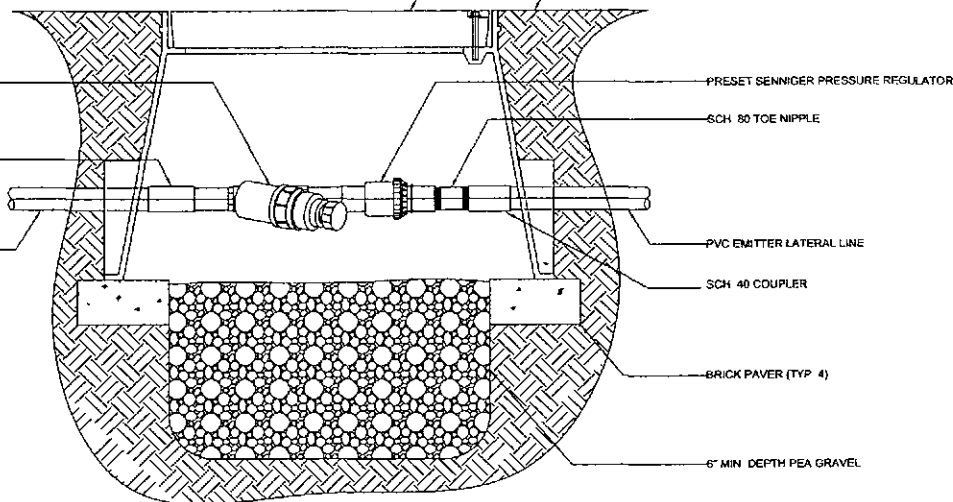
- 1 PROVIDE 30" SLACK WIRE IN 3/4" COILS FOR EACH WIRE ENTERING VALVE BOX
- 2 INSTALL VALVE I.D. TAG WITH CONTROLLER IDENTIFICATION AND STATION NUMBER WHICH CORRESPONDS TO THE PLANS
- 3 MAINTAIN 2" MIN. MAX. DISTANCE BETWEEN TOP OF CONTROL VALVE AND BOTTOM OF BOX LID
- 4 INSTALL D.C. LATCHING SOLENOIDS W/ D.C. CONTROLLERS FOR BRASS CONTROL VALVES. INSTALL 3" BRASS TIE NIPPLE BETWEEN BALL VALVE AND CONTROL VALVE

DETAIL NO 2654 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee REMOTE CONTROL VALVE AND SOLAR CONTROLLER MASTER VALVE ASSEMBLY DETAIL NO 2654

INLINE WYE FILTER W/ 150 MESH STAINLESS STEEL SCREEN AND FLUSHING CAP. PROVIDE ROOM FOR SCREEN REMOVAL. AGRICULTURAL PRODUCTS INC. "SPIN CLEAN" MODEL OR APPROVED EQUAL

SCH 40 PVC FEMALE ADAPTER (SLIP X THREAD)

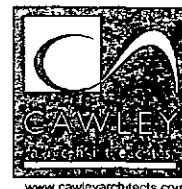
CLASS 200 PVC DRIP LATERAL LINE FROM CONTROL VALVE. CLASS 315 FOR 1/2" LINE



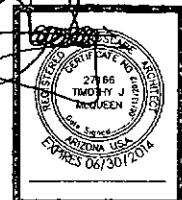
DRIP FILTER & PRESS. REG. ASSEMBLY

SCALE NTS

DETAIL NO 2647 City of Scottsdale Standard Details APPROVED BY Scottsdale Standards & Specifications Committee DRIP FILTER & PRESSURE REGULATOR DETAIL NO 2647



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T.J. McQUEEN & ASSOCIATES, INC.
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Project SRF
La.04
of FIVE

UNDERGROUND SPRINKLER SYSTEM

Part 1 - General

1.01 WORK INCLUDED

- The work included under these specifications shall consist of the furnishing of all labor, materials, permits, tools and equipment necessary for the complete installation of a sprinkler irrigation system in accordance with the following specifications and accompanying drawings.
- It is the intent of these drawings and specifications to form a guide for a complete installation, and although some items may not be specifically noted, but are reasonably necessary for a complete installation, they shall be furnished under this contract. Sprinklers shall be located and spaced so that adequate coverage of the area will be provided under normal to heavy (100%) coverage. The system shall efficiently and evenly irrigate all areas and shall be complete in every respect, ready for operation by the Owner.
- It is the responsibility of the Irrigation Contractor to provide 100% coverage to all landscape areas.

1.02 CONTRACTOR'S QUALIFICATIONS

- Installers shall be licensed irrigation contractors with experience in the installation of automatic underground lawn sprinkling systems. All work shall be performed in a professional workmanlike manner by mechanics skilled in the trade.
- The contractor is responsible for any damage to any existing conditions until final acceptance of his work.

- The Contractor shall obtain all permits from, pay required fees to, and arrange any necessary inspections by any government agency having jurisdiction over the work.

1.03 VERIFICATION OF DRAWINGS AND SPECIFICATIONS

- It shall be the Contractor's responsibility to carefully examine the drawings and specifications, and to visit the site in order to check existing conditions prior to bidding. Any conflict or error shall be immediately brought to the attention of the Landscape Architect for interpretation or instructions. Otherwise any changes necessary to meet existing conditions, shall be made at the Contractor's expense.
- It is the Irrigation Contractor's responsibility to verify water pressure, water source, and size in the field prior to construction. Should a discrepancy exist between design pressure and the field pressure the Landscape Architect shall be notified immediately.

1.04 WORKING CONDITIONS

- The Contractor shall confine his operations to the areas allotted to him by the Owner, for his work for material and equipment storage.
- The Contractor shall continuously maintain a constant supervision, satisfactory to the Owner on the work during progress, with authority to act for the Contractor in all matters pertaining to the work.
- The Contractor shall not assign, nor subcontract any portion of this work without written approval by the Owner.
- The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.
- The Contractor shall coordinate his work with that of the other trades, so as to avoid any conflict, and carry the installations to a rapid completion without any unnecessary delays.

Part 2 - PRODUCTS

2.01 PIPING

- All pressure main piping on the supply side of the zone valves, shall be class 200 PVC with integrally formed bell-lip couplers. All fittings shall be solvent welded, schedule 40 PVC.
- All lateral piping on the discharge side of the zone valves, 2" and under shall be class 200 PVC. Fittings shall be schedule 40 PVC material. 1/2" PVC to be class 315.
- All plastic to metal shall be made with PVC schedule 40 male adapters or PVC schedule 80 nipples. Joint compound for such connections shall be Permatex Type 1 Teflon tape or a prior approved equivalent.
- Where pipes are installed under roads, drives, parking areas or walks, schedule 40 PVC sleeves shall be provided for the lines. In planting areas, where cutbacks might damage shallow plastic piping protective sleeves must be provided, unless copper tubing is installed. Flares in flower beds and shrubbery shall be schedule 80 PVC.

2.02 SPRINKLER HEADS

- Emitter heads shall be on PVC laterals or prior approved equivalent.

2.03 AUTOMATIC CONTROLLER

- Unit features shall include mechanical time control design, adjustable time setting up to 60 minutes per station, 24-hour clock, 14-day calendar and automatic rapid response. Unit shall be UL listed and shall operate on 120 volt, 1 phase, 60 Hertz power. General Contractor to bring power to controller. Irrigation Contractor to hardwire to controller per detail.

2.04 QUICK-CLOSURE VALVES

- Furnish and install where shown on the drawings quick-closure with union and hose end, 3/4" size or prior approved equivalent. They shall be mounted on one inch (1") copper swing joint runs, and the top shall be set flush with the top of the planter, furnish and deliver to the Owner double-lug coupler key complete with one inch (1") hose swivel for connecting to the above valves. Also furnish two (2) basket cover keys.

2.05 ELECTRICAL CONTROL CABLE

- All electrical control and ground wire shall be irrigation control cable of size as required. All wiring to be used for controlling this automatic control system shall be Type "UL" 600 volt, stranded, or solid copper single conductor wire with PVC insulation and bare UL approved for direct underground burial feeder cable.
- All control or "hot" wires shall be an olive color and all common or "ground" wire shall be or another color (white).
- Verifications of wire types and installation procedures shall be checked to conform to local codes.
- All electric control cable shall be of size as determined by the equipment manufacturer and shall be installed in the piping trenches wherever possible and in the manner recommended by the manufacturer. Running slack in the wire. Exposed joints in the wire may be protected by making 5 or 6 turns of the wire around a piece of 1/2 inch pipe. Where it is necessary to run wire in a separate trench, the wire shall be a minimum cover of twelve (12) inches.

Part 3 - INSTALLATION

3.01 PROTECTION OF UTILITIES, IRRIGATION SYSTEM, ETC.

- The Contractor shall verify the location of all utilities and note location of utilities, irrigation piping and underground obstructions. The contractor shall be responsible for the cost of repairing buried conduit, cables or pipelines damaged during the installation of the irrigation system.
- The Contractor shall clearly mark and maintain markers showing locations of irrigation system wiring and piping installed in order that other contracting may avoid damage to this work.
- The Contractor shall take necessary precautions to protect site conditions and plant materials which are to remain. Should damage be incurred, Contractor shall repair damage to its original condition or furnish and install equal replacement at his expense.
- The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.

3.02 EXCAVATION

- The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenches used on the site shall be of an approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm bearing surface for laying the pipe. When necessary Contractor must provide backfills and rights for public protection. Minimum depth of cover shall be at least twenty four (24) inches for the main piping, and of least twelve (12) inch for the lateral branch lines.

3.03 PIPE INSTALLATION

- All pipe lines shall be installed in the locations and of the sizes indicated, and of the materials specified. Parallel piping may be installed in the same trench. Piping shall be laid accurately to the line and grade required, with full uniform bearing on the trench bottom. No piping shall be laid on soft, or other unstable material. No direct contact, with other pipes or structures, will be permitted or crossing. Lateral of piping shall be laid clear of trench bottom before installation and shall be kept clean by means of plugged or capped ends after lowering into the trench. The supply main lines shall be flushed out and tested for leaks, with control valves in place, before backfilling the joints. All lateral piping sections shall be flushed out before sprinkler heads are attached. All pipe shall be installed in strict accordance with recommendations of the manufacturer. This shall apply to Unbrack blocking, handling, storage, depth of cover, maximum distance testing, etc.
- Under existing drives or sidewalks, the Contractor shall either cut out concrete and replace it to the former condition or install the pipe by boring or jacking under the area, per details to be at a 24" depth.

3.04 BACKFILLING

- As soon as the work has been installed, inspected and accepted, all excavations and trenches shall be filled and water settled with the earth materials, free from clods, rocks, or other unsuitable substances. Trenches must be left flush with adjacent finished grade or floor compaction to the original depth of the soil. Flooding of trenches will be permitted downstream of zone valves. Care shall be taken to place any preliminary fill and fertilized soil in the top portion of the trench, and subsoil will not be allowed in the top six (6) inches of the backfill.

3.05 SPRINKLER HEADS

- Sprinklers shall be set plumb and level with the top of locations shown on the drawings. In lawn areas where grass has not been established, the heads shall be installed in temporary areas at least three (3) inches above the grade. After the turf is established, the Contractor shall, within ten (10) days after notification, lower the heads to their permanent positions flush with the finished grade. This division is left to Contractor until overture area to set them evenly of grade - never below.

3.06 AUTOMATIC VALVES

- Each sprinkler zone shall be operated by automatic electric valves in the areas indicated on the drawings. Each valve shall be provided with a ball-in pressure regulator capable of holding a steady downstream pressure, regardless of fluctuations in the main supply pressure. The valve shall be installed where shown and supplied with a tag in which the valve's zone number shall be plainly marked.
- All valves to be in valve boxes valve boxes to have a pre-ground stamp per detail.
- Each valve shall be housed in an amber valve box, or prior approved equivalent. Place valve boxes in an orderly fashion in the lawn place valve boxes in such a manner that mowing and weeding can easily be performed.

3.07 WATER SUPPLY

- Connection shall be made to the sprinkler outside the building as shown on the drawings.
- Water meter to be supplied by general contractor. Unless otherwise noted.

3.08 ELECTRICAL WORK

- The Electrical Contractor will provide a single source of electrical power for the irrigation system as shown on the drawings. The underground Sprinkler System Contractor shall furnish and install complete and properly operating of the required electrical work for the lawn irrigation system. This shall include all power and control wiring along with switches, safety switches, relays, transformers, fuses, conduit, wiring devices, etc. required for a properly

operating system

- All electrical work shall be done in accordance with the National Electrical Code and local ordinances.
- All wire connections of remote control wires (other than buried in control boxes) and of all wire splices shall be left with sufficient "slack" so that in case of repair the wire branch or splice may be brought to the surface without disconnecting the wires.
- Each remote control wire or group of remote control wires which are to be connected to one station of a controller shall have wire also as shown in the wiring diagrams on the drawings or as specified. All remote control wires, which are to be connected to the same controller, shall be connected to a common ground wire to be run along with the drawings or as specified. Each individual controller shall have a separate common ground wire system entirely independent of the common ground wire system of all other controllers. Only these remote control wires which are being controlled by one specific controller shall be connected to that controller's common ground wire system.

3.09 TESTING

- After all supports, anchors, and test blocks are in place, the test shall be tested at a pressure of 150 psi for 30 minutes. Should any leaks be found, they shall be repaired and the test repeated until satisfactory. Zone lines shall be tested at 80 psi in the manner. After testing, the system shall be thoroughly flushed out before the heads may be installed. Upon control test and after performance is determined to be satisfactory, the Contractor shall, at his option, either do not function according to the manufacturer's data shall be replaced with sprinklers that do or the Contractor shall be otherwise corrected to provide satisfactory performance. Final adjustment to the sprinkler heads and automatic equipment will be done by the Contractor upon completion of the installation to the satisfaction of the Landscape Architect. Minor adjustment from then on shall be made by the Owner's Maintenance Staff.

3.10 DRAWINGS OF RECORD

- The Contractor shall provide and keep up to date a complete "as-built" record set of plans which shall be corrected to show any changes from the original drawings. These record drawings shall show location of all control lines, valves, valve boxes, main lines, flush caps, controllers, and any substitutions as well as any deviation in piping or location of buried wires, etc. with accurate dimensions indicated.
- After completion of the sprinkler installation, the Contractor shall deliver to the Owner three prints of the correct and completed "as-built" set of drawings, along with three bound instruction folders covering the equipment installed. Contractor shall present the above information as a condition precedent to his completion payment.

3.11 GUARANTEE

- Within ten (10) days after the Contractor's notification that the sprinkler installation is complete, the Landscape Architect will inspect the system and, if necessary, submit a "punch list" to the Contractor. Acceptance by the Landscape Architect of these corrections will signify final acceptance by the Owner.
- The entire sprinkler system shall be guaranteed for a period of one year from this final acceptance date. The Contractor shall promptly replace without cost to the Owner any defective materials of faulty workmanship which may develop within this guarantee period, including restoration of any property damaged during repairs. He shall also be responsible for damages resulting from leaks which may occur in the piping system installed by him, and he shall repair at his expense, all damages so caused, in a manner satisfactory to the Owner. However the Contractor shall not be held liable for damages caused by strikes, fire, weather, violence or theft, acts of God, acts of other contractors, or any other cause beyond the control of the Contractor.
- It will be the Owner's responsibility to maintain the system in working order during the guarantee period, performing necessary minor maintenance. Landscaping shall protect the sprinkler heads, protecting against vandalism and preventing damage during the landscape maintenance operation.
- The Contractor shall service the system at the Owner's request during the guarantee period, and shall be paid for work performed which is not covered by the guarantee, in accordance with a predetermined schedule of fees.

LANDSCAPING

Part 1 - GENERAL

1.01 WORK INCLUDED

- The work included under these specifications shall consist of the furnishing of all labor, material, permits, tools and equipment necessary for the complete installation of the landscaping materials as shown on the drawings and as described in the following specifications.

1.02 QUALITY ASSURANCE

- For standard products, the manufacturer's analysis will be acceptable. For all other materials analysis shall be by a recognized laboratory.
- Analysis shall be made in accordance with the current methods of the Association of Official Agricultural Chemists.
- Soils shall be analyzed for their composition and fertility in maintaining plant growth and health.

- All plants furnished under this specification shall be from nursery grown stock, and they shall meet the ARIZONA NURSERY ASSOCIATION of the American Association of Nurserymen, Inc. requirements as to sizing, grading, and quality. Plant materials specified shall conform with the nomenclature of STANDARDIZED PLANT NAMES, Second Edition. The Landscape Architect reserves the right to reject all plant material based on overall appearance and quality regardless of specifications.

- Plants of the species specified shall be furnished in the variety, size, grade and quality indicated. Specifications and planting plans shall be strictly adhered to and no changes or substitutions will be allowed prior to bidding without written permission of the Landscape Architect or Owner's Representative.

- By submitting a proposal and accepting award of the Contract, the Contractor acknowledges that he has investigated the supply of planting stock available and has obtained firm commitments from his suppliers regarding delivery of the specific plant materials as required for completion of the project.

- All plant materials shall be grown in accordance with good horticultural practices and shall bear evidence of proper nursery care and growing conditions similar to those in the locality of the project for at least two years. They shall have been previously transplanted or root pruned according to standard nursery practice and inspected by State Plant Quarantine.

- All plants shall be freshly dug. No heated in plant or plants from cold storage will be accepted. Plants shall be typical of their species or variety and have healthy and vigorous well branched and hard dense foliage when in leaf. All plants including root systems, shall be free of disease, disfiguring insects, unsound, insect pests, eggs or larvae, dead or broken branches, bark diseases, and have healthy well developed root systems. The root system of container grown plants shall be sufficiently developed to take the earth into upon removal of the container.

- Planting, sodding and seeding shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.

1.03 SUBMITTALS

- Submit a soil fertility test of the planting soil for approval by the Landscape Architect prior to delivery of soil to the project site. Test reports shall indicate the location of the source for soil.
- Upon completion of the work, submit a schedule satisfactory to the Landscape Architect for the maintenance of all plant materials.

Part 2 - PRODUCTS

2.01 SOIL

- Approved nursery grade cultivated grass soil, species and outline as indicated on the drawings with strong fibrous root system, free from stones and burned or bare spots.

2.02 PLANTING SOIL FOR PLANT PITS AND BEDS

- Fertile, friable natural loam containing a liberal amount of humus, capable of sustaining vigorous plant growth. The pH value of the planting soil shall not be higher than 7.5 or lower than 5.5. It shall be free of any admixture of natural stones, lumps, clods or hard pieces, roots, sticks, and other extraneous matter. Do not use planting soil for planting operations while in a frozen or muddy condition.

2.03 PEAT

- Acceptable peat moss consisting of at least 75% organic content of natural occurrence. It shall be brown, clean, low in content of mineral and woody materials, mildly acidic, and granular or bread-crumbed.

2.04 FERTILIZER

- Commercial Fertilizer: A complete fertilizer conforming to F-50-P-24-K-1 Type I, Grade A, part of the elements of which are derived from organic sources containing the following percentages by weight:
10% nitrogen
10% phosphoric acid-or-10% phosphoric acid
10% potash

2.05 WATER

- Shall be furnished by the Owner. The Contractor shall furnish all necessary hose, equipment, attachments and accessories for the adequate irrigation of all planted areas as may be required to complete the work as specified.

2.06 PLANT MATERIAL

- All old obstructions and cuts shall be completely collected over. All shrubs shall be measured when their branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch or root up to top.
- Shrubs shall be matched specimens from single block source.
- Evergreen trees not fully branched from top to bottom will be rejected, and those with terminal leaders extending twelve (12) inches in length will also be rejected. During the spring planting season, any evergreen plant delivered with new growth in an obstructed stage of coming out, will be rejected.
- Plants shall not be pruned before delivery. Trees which have broken or cracked leaders, or multiple leaders which specified will be rejected. Trees with bark abrasions, sunscald, disfiguring knots, or fresh cuts of limb over 1 1/4 inches which have not completely healed will be rejected. Plants shall be freshly dug or container grown. Heated in plants or plants from cold storage will not be accepted.
- Plants shall be true to species and variety and shall conform to measurements specified on the drawings. Plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase contract price. If larger plants are specified, ball of size shall be increased proportionately with the size of the plant.
- Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Architect. Proof must be submitted that use of material equivalent in size or variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing.
- It shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for over in plant quantities. If plant counts occur on plant layout, it is for the convenience of the contractor

only. Verify plant counts with plan. In case of discrepancy, plan shall govern.

- Each plant shall be properly identified with legible waterproof tags securely fastened. Tags shall remain on the plants until after final acceptance and then be promptly removed by the Contractor.

Part 3 - INSTALLATION

3.01 INSPECTION OF PLANT MATERIAL

- Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect's inspection may be made at any time. Such inspection shall not constitute the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of ball or roots, diseases, insects, and latent defects or injuries. Rejected plants must be immediately removed from the project site.

3.02 DIGGING AND HANDLING

- Digging shall be done the same manner of planting and shall be done by hand so as not to injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspection has been made and the plants or samples approved.
- Dig balled and burlapped (DB) plants with firm, unbroken natural balls of earth of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mud-filled balls will be accepted. No plants moved with a ball will be accepted if the ball is crushed or broken before or during planting operations.
- Roots or balls of all plants shall be adequately protected of all lines from excessive exposure to wind, sun, rain, hail, etc. Balled and burlapped plants shall cover the entire ball with burlap and be protected with soil and well protected with soil, wet moss and other acceptable material. Bare rooted plants shall be planted or headed-in immediately upon delivery.
- All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health or render it unfit for use shall be rejected. No plant shall be loaded with wire or rope of any type so as to damage the bark or break branches.

3.03 TIME OF PLANTING

- The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscaping work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.
- Any plant material installed during typical off seasons (not summer months or freezing winter months) shall be done at the Contractor's own risk. The Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.

3.04 PLANTING OPERATIONS

- General
 - The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.
 - The Contractor shall be responsible for any damage to utilities construction, allow construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.
 - Minimum all branch or grade stakes for work under other Sections until their removal is approved by the Landscape Architect.
 - The Contractor shall stake plant location, shrub pits and other planting areas and secure the Landscape Architect's approval before commencing operations.
 - Unless otherwise directed by Landscape Architect, installation of plant on drawings is to be interpreted as including digging of holes, furnishing plant of specified size, work of planting, mulching, watering, staking, wrapping and watering.

B. Plant Pits and Beds

- Plant pits shall be excavated with vertical sides, large enough to allow twelve (12) inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12) inches planting soil under the ball when the plant is set at the proper depth.
- Planting pit bottom for all lines and shrub shall be as follows:
 - 2/3 parts by volume of soil and 1/3 parts by volume of peat moss.
 - One part 16-20-0 per cubic yard of mix.
- Planting pits shall be backfilled with prepared backfill and be water settled to a grade sufficient that in the setting of the plant, the finish grade level after settlement will be the same as that of which plants were grown. Agriform (cellulose) to be used with each planting (six for 36-inch hole, three for 18 inch, two for 15 gallon, and one for 1 gallon).

C. Installation

- Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2) inches below the finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.
- Backfill layer of planting soil to the level of the ball. Backfill around ball with planting soil in six to eight (6-8) inch lifts, each thoroughly tamped and pushed to top of pit. Avoid air pockets. Remove all roots and wires from tops and sides of balls. No burlap shall be pulled out from under the balls.
- Plants supplied in containers shall be installed immediately upon being removed from their containers. Removal of plants from containers shall be in a manner that will not disturb the root system of the soil in which they were grown and the plants be removed from the containers immediately after removal from the containers.
- Before install bare root plants, planting soil shall be placed and compacted to a depth of twelve (12) inches to the bottom of the plant pit. The plants shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully placed and compacted around the roots so as to leave no air spaces.

D. Pruning, Wrapping, Mulching, Staking and Spraying

- Pruning
 - Plants shall not be pruned prior to delivery unless Landscape Architect gives written permission.
 - Pruning will occur only at time of planting and according to standard horticultural practice and of the recommendation of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty percent (33%) of total plant as necessary to remove dead or injured limbs and branches and to compensate for loss of leaves resulting from transplanting. Do not cut leaders.
 - Remove all dead wood, suckers, and broken or badly bruised branches.
 - Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made flush leaving no splits.
 - Cuts over 1/2 inch diameter shall be pointed over with approved tree paint. Paint shall cover all exposed cambium or willow as other exposed living tissue. Injured cambium and bruises and scars shall be treated with a fungicide and removed. Smooth and above wounds so as not to catch water. Treat wound with paint.
- Staking and Guying
 - Stake or guy all trees per detail. Trees which blow down, even seasonally or are otherwise injured because of improper loading shall be replaced at Contractor's expense.
- Spraying
 - All ground cover and non-lawn areas shall be treated with pre-emergent.
- Decomposed Granite
 - Prior to placing, the area shall be totally free of weeds using chemical control. Apply a pre-emergent control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated area to a depth of two (2) inches. After placing and grading, lightly water to remove fine material from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergent control according to manufacturer's recommendations.
 - Decomposed granite shall be "Weathered Grade" in color 1/2 inch when in place shall be free from lumps or balls of clay and not contain excessive coating, calcium, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.
 - Weathered - Decomposed Granite
 - Install rock to a depth as indicated on the plans (typically two inches thick).
 - Weathered - Berms
 - Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.
 - Cleaning Up
 - Keep all areas of this project in a clean neat and orderly condition at all times. Trash burning and disposal shall not be done on the site. Prior to acceptance full of area of the work in a finished condition acceptable to the Landscape Architect.

3.05 OBSTRUCTIONS BELOW GROUND

- In the event that rock or underground construction work or obstructions are encountered in the excavation of plant pits, alternate locations may be selected by the Landscape Architect, where locations cannot be changed, remove the obstructions (but not the rock) to a depth of not less than six (6) inches below the required pit depth.
- Proper drainage of plant pits is necessary. Bring subsurface conditions permitting the retention of water in planting pits for more than twenty-four hours to that attention of the Landscape Architect with proposals for corrections. If all conditions indicate modifications as directed by Landscape Architect, the changes required will not increase the contract price.
- The Contractor is responsible for any damage to underground utilities resulting from landscape operations and bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Report damage immediately to Landscape Architect who shall approve repairs before they are buried.

3.06 MAINTENANCE

- Protect and monitor plant material (trees, shrubs, groundcover, lawn and weeds) immediately after planting. Maintenance fee is provided for sixty (60) days from acceptance by the Landscape Architect. At the end of sixty (60) days the Landscape Architect may extend the maintenance period if during that period the maintenance is not acceptable. Maintenance includes watering, weeding, mulching, fertilizing, lightening and pruning of trees, removal of dead material, resetting plants to proper grade or upright positions and restoration of the planting source and other construction work until acceptance.

3.06 INSPECTION FOR ACCEPTANCE

- Inspection of the landscaping work to determine completion of contract work, exclusive of the possible replacement of plants, will be made by the Landscape Architect at the conclusion of the maintenance period.
- Acceptance After Inspection, the Contractor will be notified in writing by the Landscape Architect of acceptance of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are any deficiencies in the work, the Contractor will be notified in writing by the Landscape Architect of the deficiencies.
- Upon acceptance made by the Landscape Architect, the Contractor maintenance is terminated and the guarantee period begins.

3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE

- The guarantee is for a period of one year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material, lawns, transplants, and sodding plant material.
- At the end of the guarantee period, the Landscape Architect shall inspect all guaranteed work for final acceptance. Request shall be received at least ten (10) calendar days before anticipated date for final inspection. Upon final inspection and reinspection of replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect and notify in writing to Owner on to final acceptance of plantings. Contractor shall replace without cost to Owner as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous thriving condition as determined by Landscape Architect at end of guarantee period. Plants shall be true of stand or young seedlings and shrubs, etc. shall bear foliage of normal density, size and color. Replacements shall closely match original specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting. Replacement shall be subject to all requirements of the Specification.
- Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.

Part 4 - MISCELLANEOUS AND GENERAL NOTES

4.01 FINISH GRADING AND GRADING

- The General Contractor to provide Landscape Contractor finish grade within +.01 of +.01 as shown on the civil grading plan and landscape plan.
- All mounding, berms and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.

4.02 GENERAL NOTES

- The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county and local laws, ordinances, regulations, rules and regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.
- The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings shall immediately be brought to the attention of the Landscape Architect.

NOTES:

- Field locate all irrigation equipment in landscape areas - some times are schematic.
- Coordinate programs to avoid station overlap.
- Reduce radius as necessary to prevent driveway on turf and shrub sprays.
- Size and provide schedule 40 PVC sleeves (approx. twice diameter of pipe) under all walkways, footcops, curbs & drives as necessary on all irrigation equipment, at a depth of 24" below grade.
- Contractor shall install all equipment as per manufacturer's specifications and as per city codes.
- Any substitutions are to be approved by the Landscape Architect.
- Length of pipe to be no greater than five (5)