



STAFF APPROVAL LETTER

283-SA-2014

Vice/Virtue (aka TYC)

STEP 1

STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

PROJECT INFORMATION

LOCATION: 7301 E Indian Pz
PARCEL: 173-41-260
Q.S.: 17-45
CODE VIOLATION #:

APPLICANT: Michael Rumpeltin
COMPANY: Brick & West Design
ADDRESS: 17 W North Ln Phoenix, AZ 85021
PHONE: 602-321-2478

Request: Approval of exterior modifications to an existing commercial building (Refer to case 83-DR-2011)

STIPULATIONS

1. Design, colors and materials for the exterior modifications shall be consistent with the plans and samples provided by Brick & West Design, with a staff approval date of 7/23/14.
2. No exterior lighting is approved as part of this submittal. Separate review and approval required.
3. No existing trees along Indian Plaza shall be removed or replaced as part of this project. New trees shall be fruitless Olive and shall be planted within the site boundary.
4. As part of the final plans submittal, the applicant shall demonstrate on the site plan how the new trees will be irrigated.
5. No signage is approved as part of this submittal. Separate review and approval required.

Related Cases: 283-SA-2014, 4-UP-2014, 18-ZN-2011, 83-DR-2011, 2-AB-2012, 353-SA-2012, 6-PP-2012, 159-SA-2014

SIGNATURE: 
Greg Bloemberg Senior Planner

DATE APPROVED: July 23, 2014

STEP 2

FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Owner/Builder form if applicable, along with the following plan set(s) to the One-Stop-Shop for plan review:

ARCHITECTURAL: ☒ 2 sets of architectural plans w/ structural calculations for the new canopies, 1 additional site plan and 1 additional elevation sheet

This plan set shall be reviewed by the following departments:

PLANNING:
BUILDING:

Staff Reviewer:
Greg Bloemberg or Counter Planner
TBD

**POLICY OF THE CITY OF SCOTTSDALE
ON APPEALS OF DEDICATIONS, EXACTIONS, OR ZONING REGULATIONS**

RIGHTS OF PROPERTY OWNER

In addition to other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) where an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decisions.

APPEAL PROCEDURE

The appeal must be in writing and specify the City action appealed and the date final action was taken, and it must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken. Address the appeal as follows:

Hearing Officer, C/O City Clerk

3939 Drinkwater Blvd.
Scottsdale, AZ 85251

- ❖ No fee will be charged for filing
- ❖ The City Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply.
- ❖ Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- ❖ The city will submit a takings impact report to the hearing officer.
- ❖ In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- ❖ In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- ❖ The hearing officer must render his decision within five working days after the appeal is heard.
- ❖ The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- ❖ If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial de novo with the Superior Court within 30 days of the hearing officer's decision.


If you have questions about this appeal process, you may contact:

City Manager's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2422

City Attorney's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2405

Please be aware that City staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

Pre-Application No.: 714 -PA- 11 Submittal Date: _____

	<h2>Development Review (Minor)</h2> <h3>(Administrative Staff Approval)</h3> <h4>Development Application Checklist</h4>
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Official Use:
City Staff Contact: Bloomberg Email: _____

Phone: _____

Project Name: BUILDING 'A'

Property's Address: 7301 E. INDIAN PLAZA

A.P.N.: _____

Property's Zoning District Designation: C-2/P3 DO

Application Request:

Owner: STOCKDALE CAPITAL

Applicant: MIKE RUMPELTIN

Company: STOCKDALE CAPITAL

Company: BRICK & WEST

Address: 4501 N. SCOTTSDALE RD #201

Address: 17 W. NORTH LN. PHOENIX

Phone: 602-740-8388

Fax: _____

Phone: 602-321-2478

Fax: _____

E-mail: MMORALES@STOCKDALECAPITAL.COM

E-mail: MIKE@BRICKANDWEST.COM

Submittal Requirements: Please submit materials requested below. All plans must be folded.

<input checked="" type="checkbox"/> Completed Application (this form) and Application Fee - \$ <u>87</u> (fee subject to change every July)	<input checked="" type="checkbox"/> Landscape Plan (<u>1</u> copy(ies) - indicate location of existing and new plants, location and dimension of paving, a plant palette with names, symbols, sizes, spacing & quantities, and open space/landscaping calculations.
<input checked="" type="checkbox"/> Affidavit of Authority to Act for Property Owner, letter of authorization, or signature below	<input type="checkbox"/> Cross Sections - for all cuts and fills applications
<input type="checkbox"/> Request for Site Visits and/or Inspections form	<input type="checkbox"/> Conceptual Grading & Drainage Plan - show existing, proposed drainage flows, channels, retention, etc.
<input type="checkbox"/> Context Aerial - with site highlighted	<input type="checkbox"/> Copy of Liquor License Application (for all bars or restaurants patio applications)
<input checked="" type="checkbox"/> Narrative - describing nature of request	<input type="checkbox"/> Airport Vicinity Development Checklist
<input type="checkbox"/> Homeowners or Property Owners Association Approval	<input type="checkbox"/> Floor Plan(s) - show additions, alterations, or new structures. The floor plan shall be dimensioned and clearly delineate existing and proposed construction.
<input checked="" type="checkbox"/> Color photographs of site - include area of request	<input type="checkbox"/> Exterior Lighting - provide cut sheets, details and photometrics for any proposed lighting.
<input checked="" type="checkbox"/> Site plan (<u>1</u> copy(ies) indicate the extent and location of additions, buildings and other structures, dimensions of existing and proposed structures, sidewalks, and/or driveways as well as any required setbacks.	<input checked="" type="checkbox"/> Other: <u>OK to combine w/ site plan</u>
<input type="checkbox"/> Material Samples - color chips, awning fabric, glazing, etc.	
<input checked="" type="checkbox"/> Elevation Drawings or Color Photo simulations (<u>1</u> copy(ies) - of additions, buildings, or other changes with materials and colors noted and keyed	

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2):

☒ Enhanced Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

☐ Standard Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov

BRICK & WEST

BRICK & WEST, LLC
Contact: Mike Rumpeltn
602.321.2478
brickandwest.com

30 May, 2014

City of Scottsdale Planning Department
Attn: Mr. Greg Bloomberg
7447 E. Indian School Rd
Scottsdale, AZ 85251

Re: Design Review Modifications for Building 'A' for TriYar Companies
SEC N. Buckboard Trail and E. Indian Plaza

Greg;

We are respectfully submitting drawings depicting the proposed changes to the exterior of the building at 7301 E. Indian Plaza (referred to previously as 'Building A' on behalf of TriYar Companies. We are proposing to make some minor modifications to the building's exterior to in conjunction with the tenant improvements of the existing building. Among them are changes to some of the exterior accent materials (metal and stone) that will complement the existing building's architecture as well as support the concept for the tenant improvements for the building. We have itemized, below, the proposed changes to the exterior of the building and included colored exterior elevations, a site plan, and a proposed architectural floor/site plan.

Should you have any questions, please feel free to contact me directly to discuss.

Proposed Exterior Modifications to existing shell building:

1. Re-clad existing split-face masonry piers at North, West, and East facades in white ledge stone (see photos on A201.1 Provided)
2. Re-clad existing 'rotunda' element (currently clad in dark brown/bronze metal) in white zinc cladding (see photos on A201.1 Provided)
3. Remove all existing metal canopies from North and West facades (see photos on A201.1 Provided)
4. Add new (non-fruiting) specimen olive trees at patio North, West, and East (see photos on A201.1 Provided)
5. Add new 'courtyard' entry (as part of exterior patio space) near NWC of building. Masonry walls with proposed vines, solid door clad in reclaimed barn wood (see proposed elevations on A201 Provided)
6. Install operable storefront windows (current shell building has no windows) in dark bronze anodized frames
7. Replace existing patio fence with black steel railing with white reclaimed barn wood slats (see photos on A201.1 Provided)
8. Add solid panel (reclaimed white barn wood) in the existing opening closest to the furthest south opening on the west facade (this will obscure view from ROW)

BRICK & WEST

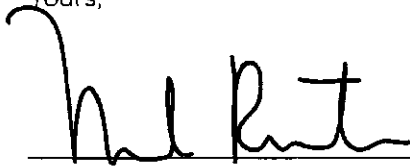
D E S I G N

- into restrooms) (see elevations on A201 Provided)
9. Add new hardwood flooring at exterior patio spaces
 10. Replace existing lighting at masonry piers with new energy efficient LED lighting.
Fixture will be follu compliant with City of Scottsdale requirements and dark sky requirements.

All signage for the project will be by separate request, as a name has not yet been determined for the use.

Again, if you have any questions or require any additional information please do not hesitate to contact me directly.

Yours,

A handwritten signature in black ink, appearing to read 'Michael Rumpeltin', written over a horizontal line.

Michael Rumpeltin
Brick & West, LLC

attachments: G002/A101/A201/A200/A201.1 Plan Sheets
cc: file. George Pasquel, Monica Morales

BRICK & WEST™

BRICK & WEST, LLC
Contact: Mike Rumpeltin
602.321.2478
brickandwest.com

10 July, 2014

City of Scottsdale
Attn: Mr. Randy Grant
7447 E Indian School Rd
Scottsdale, AZ 85251

VIA PERSONAL DELIVERY

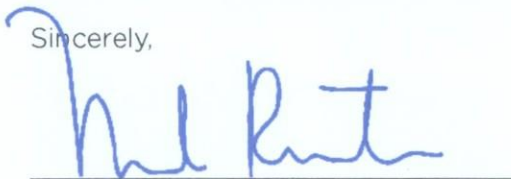
RE: 'Building A'

Dear Randy;

We are transmitting to you the information requested related to exterior modifications to 'Building A' at 7171 E. Indian Plaza.

1. Color for rigid metal awning at the SWC of the building along Buckboard Tr. Frazee CL 1616N 'Spiked' with an LRV of 33.
2. Sample of the proposed 'white' stone cladding at the exterior building piers (to replace the existing stone cladding)
3. Sample of the VM Zinc 'FlatLock' panel in 'Natural Zinc' to be used to replace the brown metal panels on the upper portion of the building at the round corner feature.
4. Detail, requested by Mr. Bloemberg, of the proposed overhang along the north and west sides of the building.

Sincerely,



Michael Rumpeltin
Brick & West, LLC

attachments:

cc: file. G. Pasquel, Monica Morales, Jason Morris

Bloemberg, Greg

From: Michael Rumpeltin <mike@brickandwest.com>
Sent: Tuesday, July 15, 2014 10:57 AM
To: Bloemberg, Greg
Cc: george@witheymorris.com
Subject: Re: Bldg. A - questions

--

michael rumpeltin
602.321.2478

On Jul 15, 2014, at 10:47 AM, "Bloemberg, Greg" <Gbloemberg@scottsdaleaz.gov> wrote:

Michael,

I'm trying to get this lingering thorn in my side out of my office. Couple of final questions/concerns I wanted to run by you:

1. I am still mildly concerned about replacing the cable suspended canopies with building mounted canopies. Shading is greatly reduced. That being said, I know the W Hotel is right across the street, so after 2:00, the hotel will be blocking the sun. I can live with it if your tenant can.

I think the rationale behind removing most of the existing canopies is to accommodate the specimen trees we will be planting at the patio, but yes the W does offer quite a bit of protection.

2. On your color renderings, what are the little yellow orbs??

Those were meant to represent some kind of lighting hung from the trees. Haven't quite worked out exactly what those will be yet, but maybe you could stipulate that we need to come back to show those to you if we choose to do them

3. Is there festoon lighting proposed for the patio?? If so, that is a concern and I am inclined to leave that off any sort of administrative approval.

Same comment as above

This whole proposal still makes me somewhat uneasy, but I've discussed it with Randy and am willing to process the Staff Approval if you can respond to the above questions/concerns.

We truly appreciate it Greg, I know this will ultimately make a great addition to the block as it is Shawn's intention to have this be the highest end of all of the nearby restaurants and bars.

Thanks.

Greg Bloemberg

Senior Planner

Current Planning

City of Scottsdale

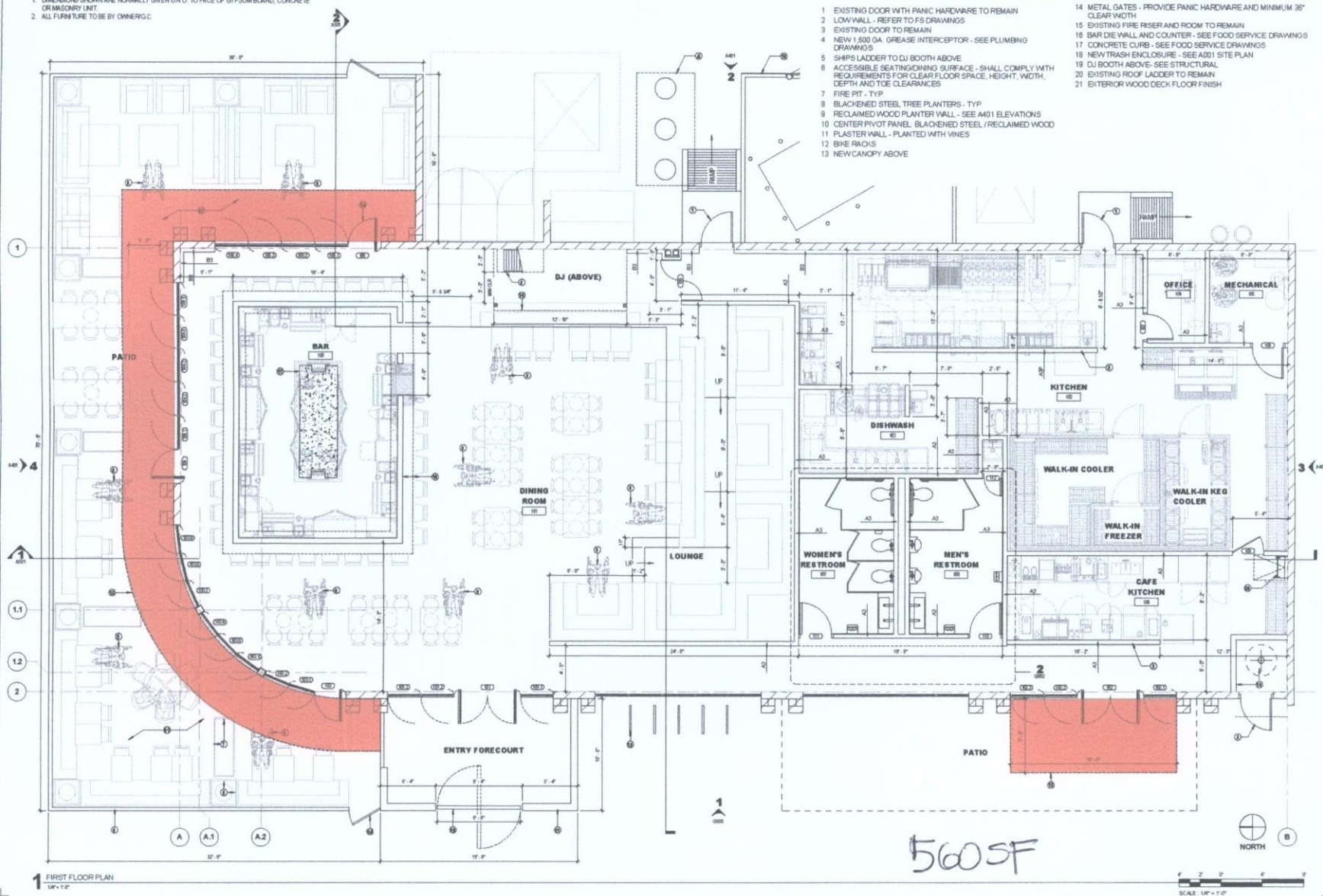
e-mail: gbloemberg@scottsdaleaz.gov

phone: 480-312-4306

1. DIMENSIONS SHOWN ARE NORMALLY GIVEN UN O. TO FACE OF GYPSUM BOARD, CONCRETE OR MASONRY UNIT.
2. ALL FURNITURE TO BE BY OWNER/G.C.

- 1 EXISTING DOOR WITH PANIC HARDWARE TO REMAIN
- 2 LOW WALL - REFER TO FS DRAWINGS
- 3 EXISTING DOOR TO REMAIN
- 4 NEW 1,500 G.A. GREASE INTERCEPTOR - SEE PLUMBING DRAWINGS
- 5 SHIPS LADDER TO DJ BOOTH ABOVE
- 6 ACCESSIBLE SEATING SURFACE - SHALL COMPLY WITH REQUIREMENTS FOR CLEAR FLOOR SPACE, HEIGHT, WIDTH, DEPTH AND TOE CLEARANCES
- 7 FIRE PIT - TYP
- 8 BLACHENED STEEL TREE PLANTERS - TYP
- 9 REFINISHED WOOD PLANTER WALL - SEE A401 ELEVATIONS
- 10 CENTER ISOT RAIL, BLACK SURFACE, RECLAIMED WOOD
- 11 PLASTER WALL - PLANTED WITH VINES
- 12 BIKE RACKS
- 13 NEW CANOPY ABOVE

- 14 METAL GATES - PROVIDE PANIC HARDWARE AND MINIMUM 36" CLEAR WIDTH
- 15 EXISTING FIRE RISER AND ROOM TO REMAIN
- 16 BAR DIE WALL AND COUNTER - SEE FOOD SERVICE DRAWINGS
- 17 CONCRETE CURB - SEE FOOD SERVICE DRAWINGS
- 18 NEW TRASH ENCLOSURE - SEE A001 SITE PLAN
- 19 DJ BOOTH ABOVE- SEE STRUCTURAL
- 20 EXISTING ROOF LADDER TO REMAIN
- 21 EXTERIOR WOOD DECK FLOOR FINISH



71V

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CERTIFICATION

NOT FOR
CONSTRUCTION

Building 'A' Tenant Improvement
Stockdale Capital

10-23-2014	10
2002.01	10

Drawn Project No.	
Drawn By Checked By	
Revision	

A101
FLOOR PLAN

NOTE PLANNING

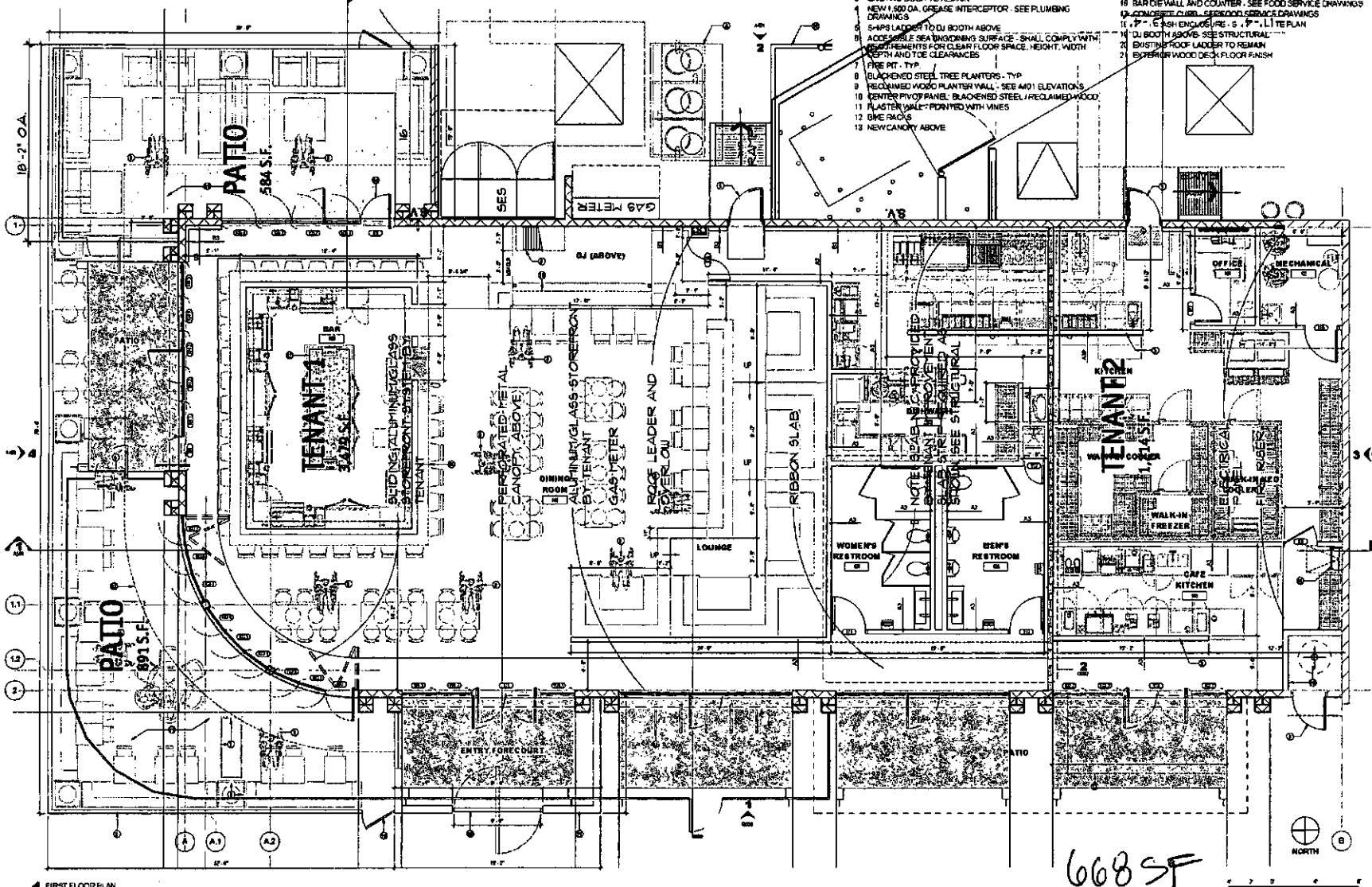
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2. ALL FURNITURE TO BE BY DINWIDDIE.

FLOOR PLAN KEYNOTES

1. EXISTING DOOR WITH PANIC HARDWARE TO REMAIN
2. LOW WALL - REFER TO FS DRAWINGS
3. EXISTING DOOR TO REMAIN
4. NEW 1,500 G.A. GREASE INTERCEPTOR - SEE PLUMBING DRAWINGS
5. SHIP LADDER TO DU BOOTH ABOVE
6. ACCESSIBLE SEA BOWDOING SURFACE - SHALL COMPLY WITH REQUIREMENTS FOR CLEAR FLOOR SPACE, HEIGHT, WIDTH, KICK AND TIE CLEARANCES
7. FINE RT. TYP
8. BLACKENED STEEL TREE PLANTERS - TYP
9. RECLAIMED WOOD PLANTER WALL - SEE 401 ELEVATIONS
10. CENTER PIVOT PANEL, BLACKENED STEEL / RECLAIMED WOOD
11. PLASTER WALL - POINTED WITH VINYL
12. ONE BACKS
13. NEW CANOPY ABOVE

FLOOR PLAN KEYNOTES

14. METAL GATES - PROVIDE PANIC HARDWARE AND MINIMUM 36" CLEAR WIDTH
15. EXISTING FIRE RISER AND ROOM TO REMAIN
16. BAR DIE WALL AND COUNTER - SEE FOOD SERVICE DRAWINGS
17. CONCRETE CURB - SEE FOOD SERVICE DRAWINGS
18. 1" x 6" ASH ENCLOSURE - 5' x 11' LIT PLAN
19. DU BOOTH ABOVE - SEE STRUCTURAL
20. EXISTING ROOF LADDER TO REMAIN
21. EXTERIOR WOOD DECK FLOOR FINISH



1 FIRST FLOOR PLAN
1/4" = 1'-0"

CONTRACT

71V

CERTIFICATE

NOT FOR CONSTRUCTION

Building A: Tenant Improvement
Stockdale Capital

10-20-2011

Revision

A101
FLOOR PLAN

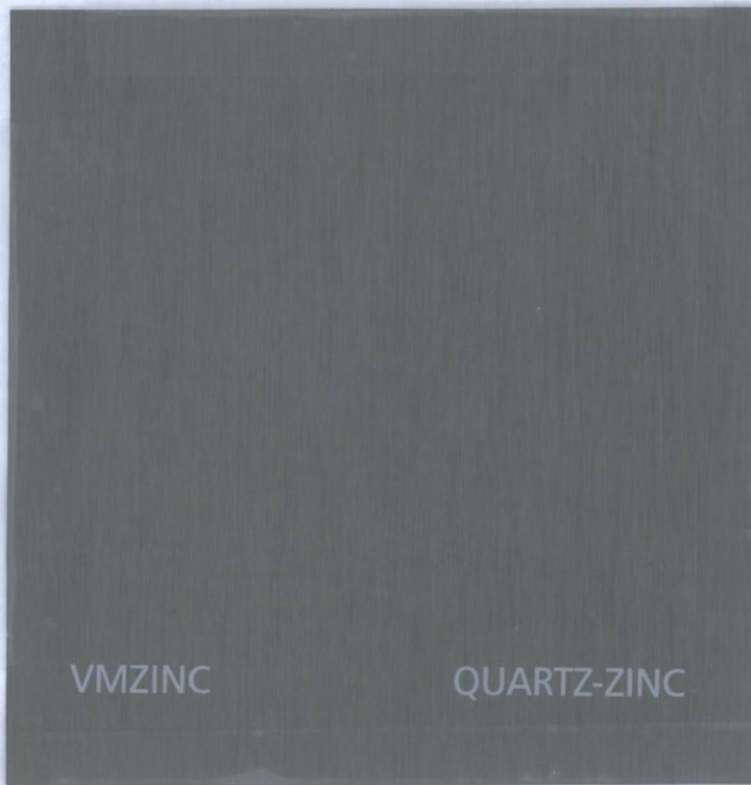
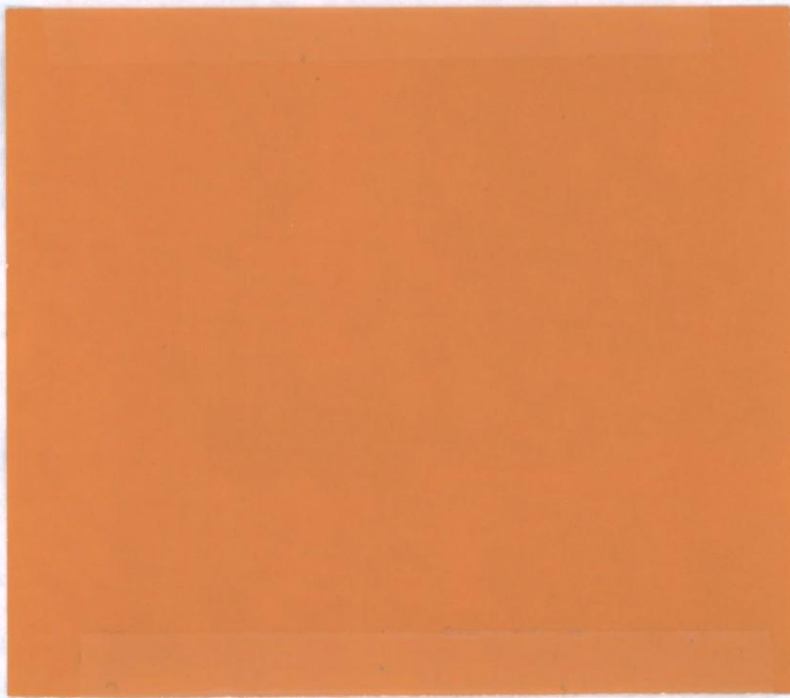
BRICK & WEST™

BRICK & WEST, LLC
Contact: Mike Rumpeltn
602.321.2478
brickandwest.com

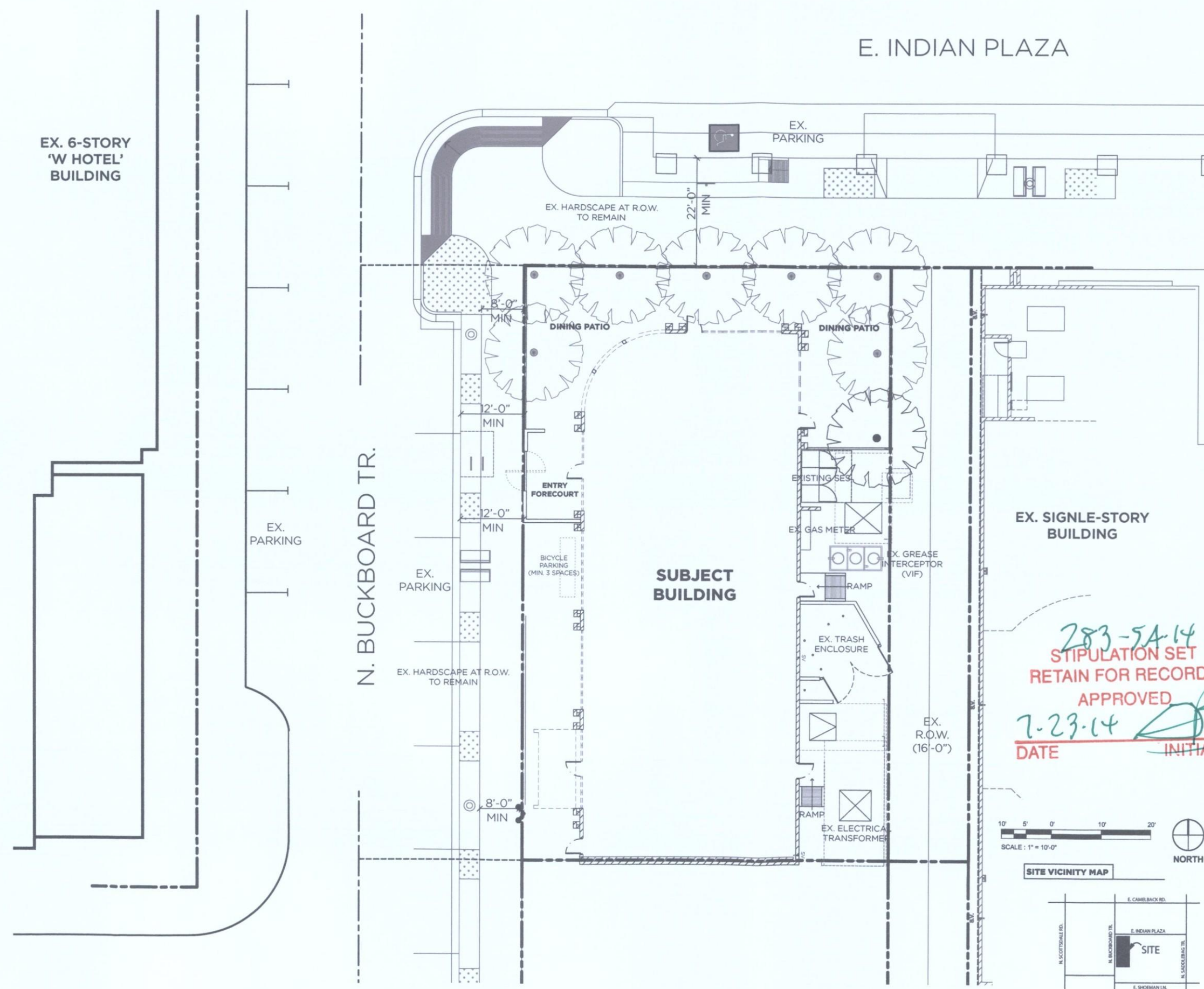
Photo of the existing 'Comoncy' awning in Los Angeles, CA. The same color scheme and design for the awning will be used at the Scottsdale location but we will fabricate ours from metal, not fabric.



BRICK & WEST™
DESIGN



283-SA-14
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
1-23-14 
DATE INITIALS



Vice | Virtue

PROJECT DATA

PROJECT ADDRESS
7301 E. Indian Plaza
Scottsdale, AZ 85251

PROJECT DESCRIPTION
Tenant Improvement for new Restaurant Use
in existing shell building

ZONING
Existing Zoning: C-2/P-3 DO (Existing)

BUILDING DESCRIPTION
Existing single-story masonry and wood building

SITE AREA
8,757 SF (Net) .2 Ac.
13,615 SF (Gross) .31 Ac.

BUILDING AREA
4,692 SF (Net)

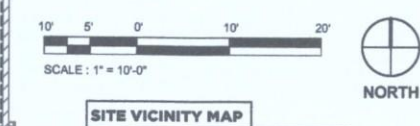
BUILDING HEIGHT
28 Feet (Existing and Proposed)

GENERAL NOTES

ALL INFORMATION CONTAINED IN THIS SITE PLAN IS BASED ON BACKGROUND DATA OBTAINED FROM THE MARICOPA COUNTY ASSESSOR, GOOGLE EARTH SATELLITE IMAGERY, AND FIELD VERIFICATION OF MAJOR DIMENSIONS. NO REPRESENTATION AS TO THE ACCURACY IS MADE BEYOND THE VERACITY OF THIS BACKGROUND DATA. NO SURVEY OR ALTA INFORMATION WAS PROVIDED TO PRIOR TO THE CREATION OF THIS DOCUMENT.

PARKING CALCULATIONS

Bar Use (Article IX, table 9.103.B)			
Bar Gross Area @ 1 space/120 SF			
4,693 SF / 120 = 39.10 spaces			
Bar Gross Patio (Less first 200 SF) @ 1 space/200 SF			
18,445 SF - 200 SF / 1445 SF/200 = 7.22 spaces			
TOTAL PARKING REQUIRED = (39.10 + 7.22) = 46.32			
P-3 Existing	6,123.92 SF	1/300 SF net site =	20.14 spaces
Downtown Parking Waiver per Section 9.104.H.2.c			
Historic Retail	3,860 sqft	Existing/300 =	12.87 spaces
Historic Restaurant	1,279 sqft	Existing/300 =	4.26 spaces
Total Downtown Parking Waiver per Section 9.104.H.2.c			17.13 spaces
Total P-3 Parking Credits and Downtown Overlay Parking Waiver			
= (20.14 + 17.13) =			37.27 spaces
Total Parking Required:	46.32 spaces - 37.27 spaces = 9.05 or		10 spaces
Total Parking Provided Onsite			0 Spaces
10 Spaces provided through a remote parking lease agreement			
Total bike parking required: 27 x 0.1 or 3 spaces or 2 racks			



SITE NOTES

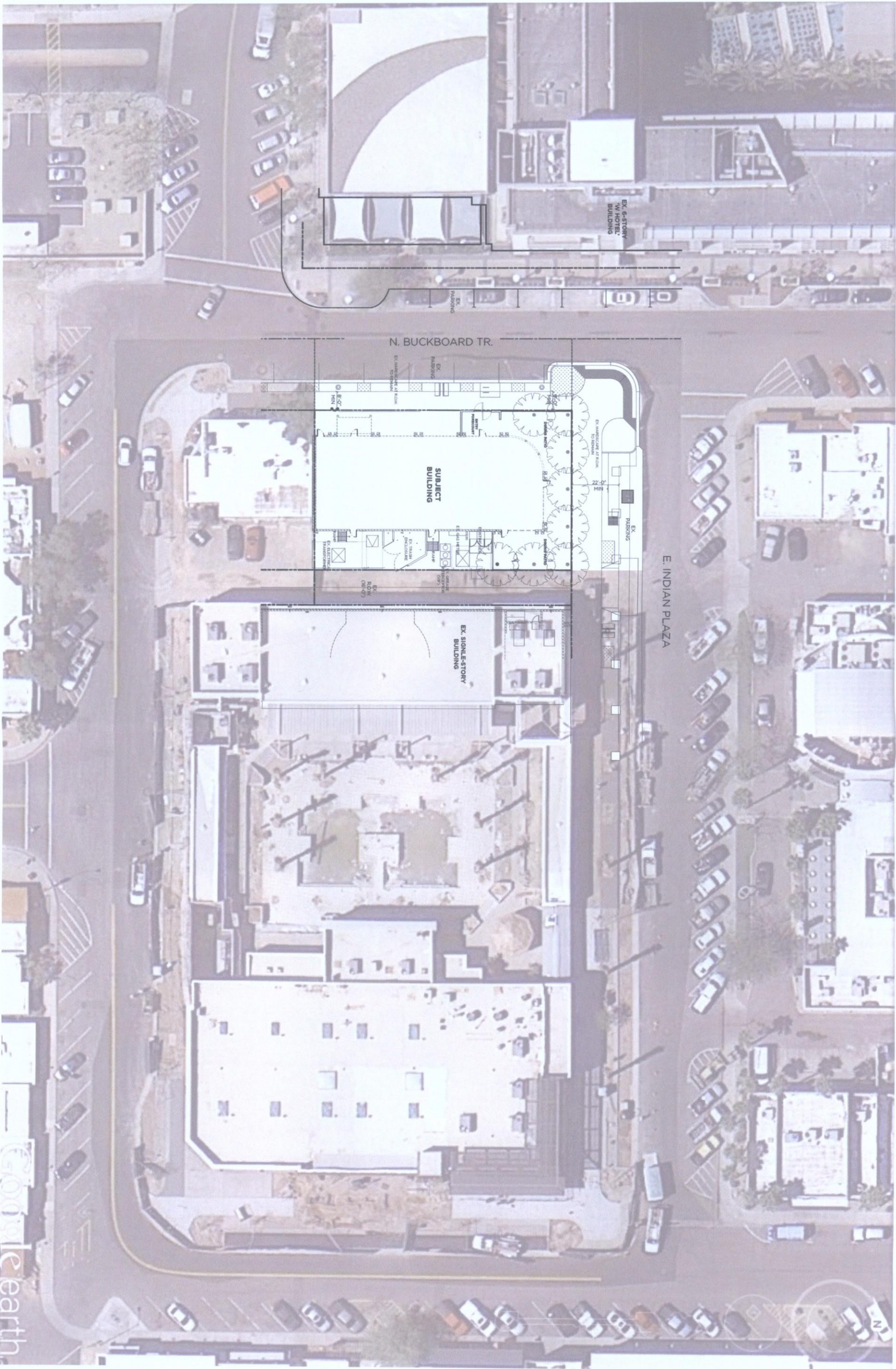
1. Development of this site will conform with all applicable codes and ordinances
2. No noise, odor, or vibration will be emitted at any level exceeding the general level of noise, odor, or vibration emitted by uses in the area outside of the site.
3. All outdoor artificial illumination devices shall be installed in conformance with the provisions of the zoning and building ordinances of the City of Scottsdale
4. All ramps must meet ADA accessibility guidelines (ADAAG) standards, 2% max. cross slopes, and 12:1 max longitudinal slopes
5. Any new lighting will be such that it does not produce more than one foot candle at property lines.

DESIGNED BY:
BRICK & WEST, LLC
CONTACT: MICHAEL RUMPELTIN
E: MHR@BRICKANDWEST.COM

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Vice | Virtue
TriYar Companies
Contact: Shawn Yari
shyari@vityar.com

Date:	2014.06.05	Project Number:	1401
Drawn By:	MXR	Checked By:	MXR
Revision		Date	



1 CONTEXTUAL SITE PLAN/ AERIAL
NO SCALE

G003
CONTEXT
AERIAL

Context Site Plan/
Aerial Photo

Date:	2014.04.16
Project Number:	1401
Drawn By:	MXR
Checked By:	MXR
Revision	Date

2014.04.16
1401
MXR
MXR

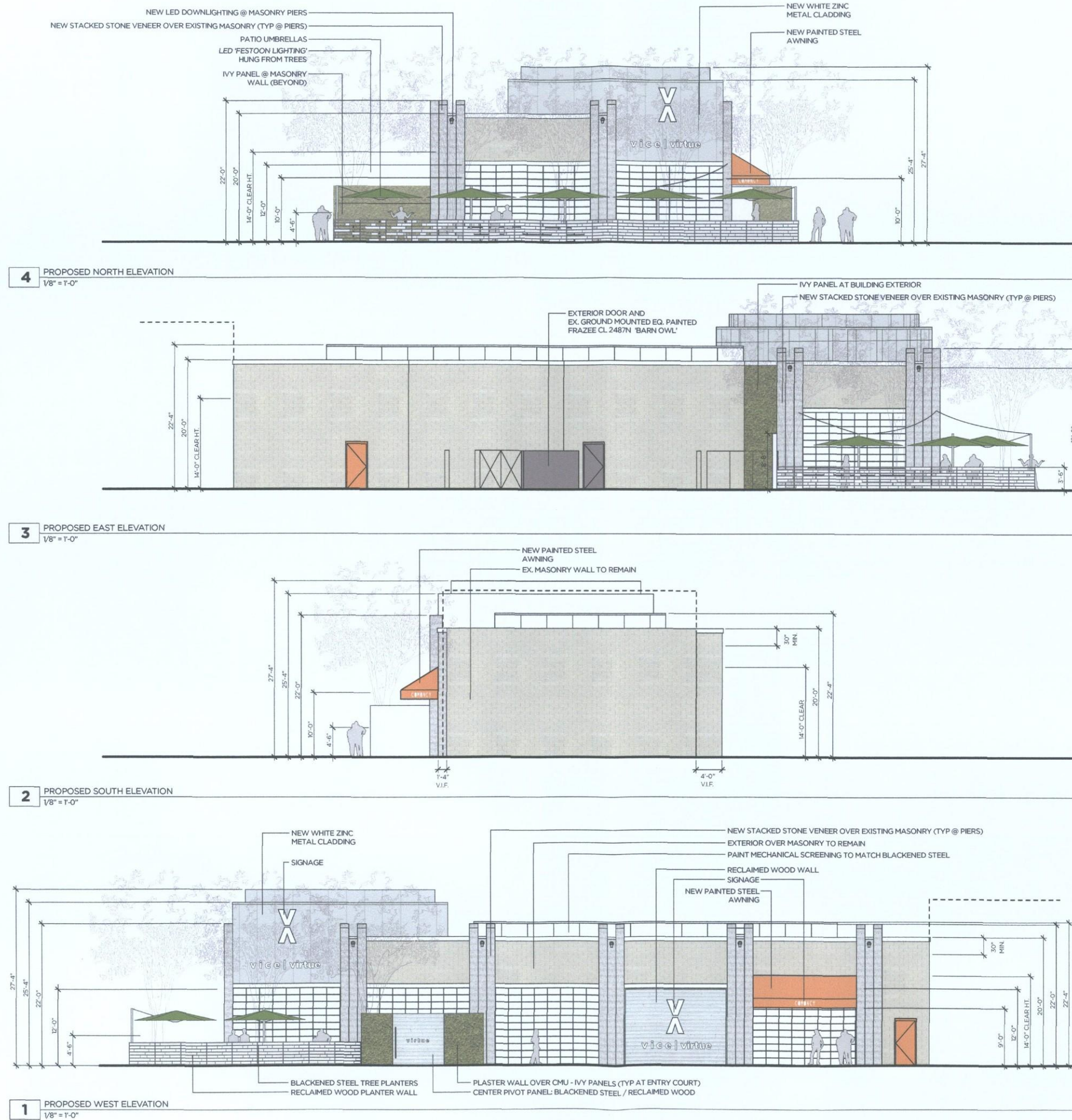
Vice | Virtue
TriYar Companies
Contact: Shawn Yari
shyari@tryar.com

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DESIGNED BY:
BRICK & WEST, LLC
CONTACT: MICHAEL RUMPELTIN
T 602.321.2478
E MIKE@BRICKANDWEST.COM

BRICK & WEST
DESIGN



283-5A-14
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
7-23-14
DATE INITIALS

Vice | Virtue
TriYar Companies
Contact: Shawn Yarr
shyarr@vtriar.com

2014.05.28 1401 MKR MKR
Date: Project Number:
Drawn By: Checked By:
Revision: Date:

Exterior Building Elevations
A201
EXTERIOR ELEVATIONS

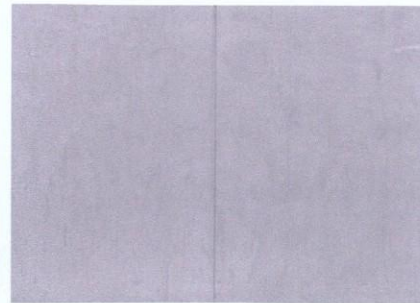
© 2013 BRICK & WEST
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DESIGNED BY:
BRICK & WEST, LLC
CONTACT: MICHAEL BLANKETIN
T 602.321.8478
E MIB@BRICKANDWEST.COM

BRICK & WEST
DESIGN



BROWN METAL TO BE REPLACED
WITH NEW WHITE ZINC METAL CLADDING



WHITE VM ZINC PANEL



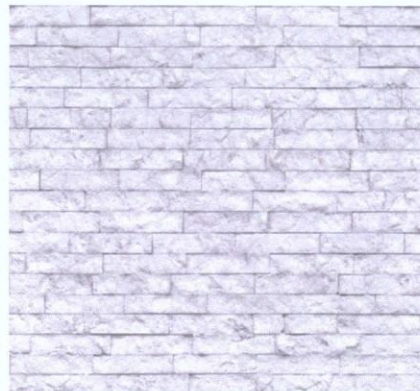
EXISTING METAL CANOPIES TO BE
REMOVED FROM BUILDING (TYP.)



NEW MATURE OLIVE TREES PROPOSED AT PATIO



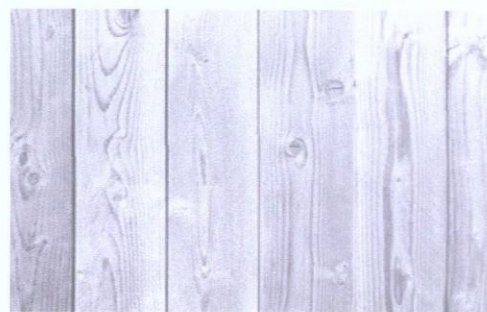
BROWN SANDSTONE TO BE REPLACED
WITH WHITE STACKED STONE



NEW WHITE STACKED STONE



NEW PATIO RAILING WILL BE SIMILAR BUT CONTAIN
WOOD SLATS INTEGRATED INTO METAL FRAME



WHITEWASHED WOOD SLATS @ PATIO RAILING



WOOD FLOORING AT PATIO

283-54-14
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
7-23-14
DATE INITIALS

BRICK & WEST
DESIGN

DESIGNED BY:
BRICK & WEST, LLC
CONTACT: MICHAEL RUMPELTIN
T 602.321.2476
E MKE@BRICKANDWEST.COM

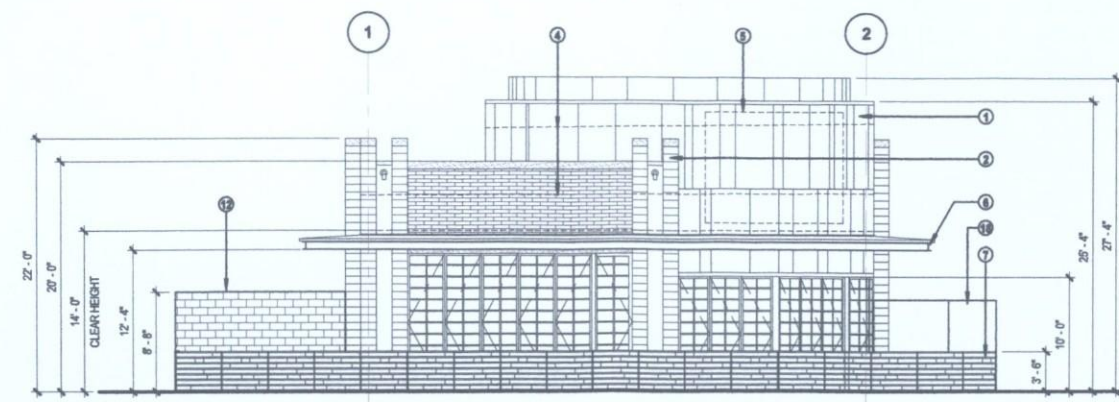
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Vice | Virtue
TriYar Companies
Contact: Shawn Van
shyan@triyar.com

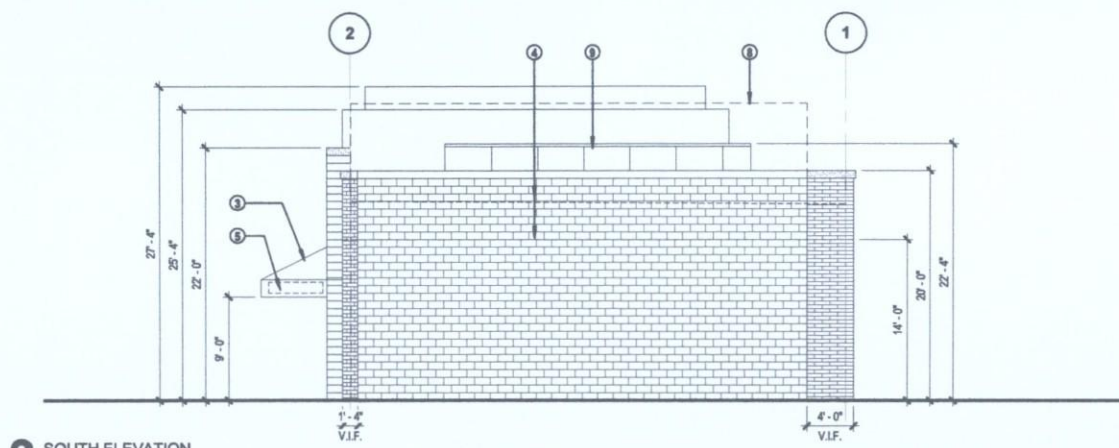
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1401
MVR
MVR
Date: Project Number:
Drawn By: MVR
Checked By: MVR
Revision: Date:

Exterior Building
Elevations

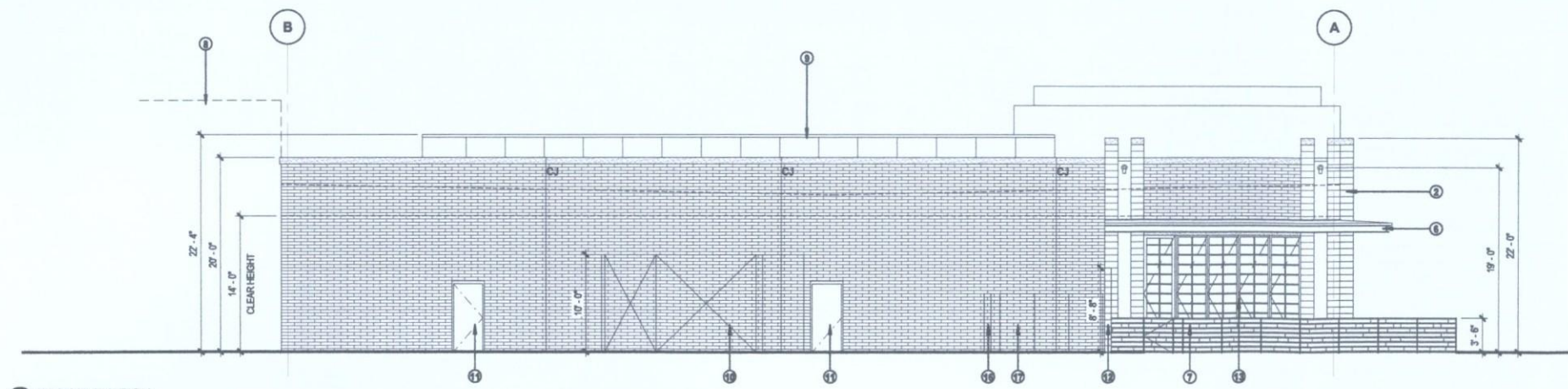
A201.1
EXTERIOR
PHOTOS



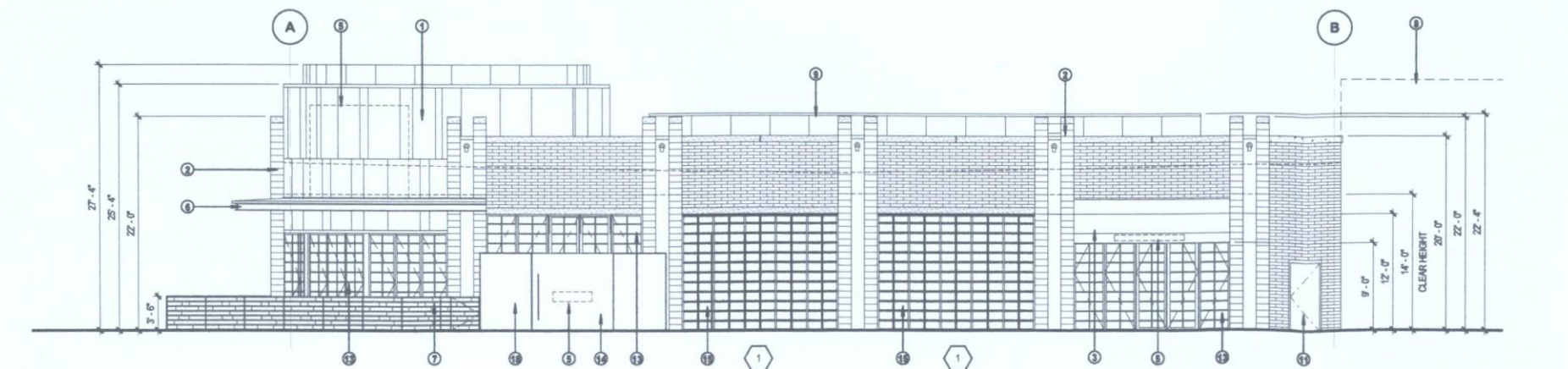
4 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

- 1 NEW WHITE ZINC METAL CLADDING
- 2 NEW STACKED STONE VENEER OVER EXISTING MASONRY (TYP @ PIERS)
- 3 NEW COLORED METAL AWNING
- 4 LINE OF ROOF BEYOND
- 5 SIGNAGE
- 6 NEW METAL CANOPY - SEE STRUCTURAL
- 7 RECLAIMED WOOD PLANTER WALL
- 8 LINE OF ADJACENT BUILDING
- 9 PAINT MECHANICAL SCREENING TO MATCH BLACKENED STEEL
- 10 NEW METAL PANEL TRASH ENCLOSURE - SEE A001 SITE PLAN
- 11 EXISTING DOOR TO REMAIN
- 12 NEW MASONRY SCREEN WALL
- 13 NEW GLASS DOORS - SEE DOOR SCHEDULE
- 14 CENTER PIVOT PANEL: BLACKENED STEEL / RECLAIMED WOOD
- 15 NEW STOREFRONT - SEE WINDOW SCHEDULE
- 16 EXISTING SITE WALL - SEE SITE PLAN
- 17 EXISTING SES- SEE SITE PLAN
- 18 PLASTER WALL PLANTED WITH VINES

BRICK & WEST
DESIGN

CONSULTANTS:



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1000 10th Ave
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Tel: 415.774.8254
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CERTIFICATION:

**NOT FOR
CONSTRUCTION**

Building 'A' Tenant Improvement
Stockdale Capital
Shawn Yari
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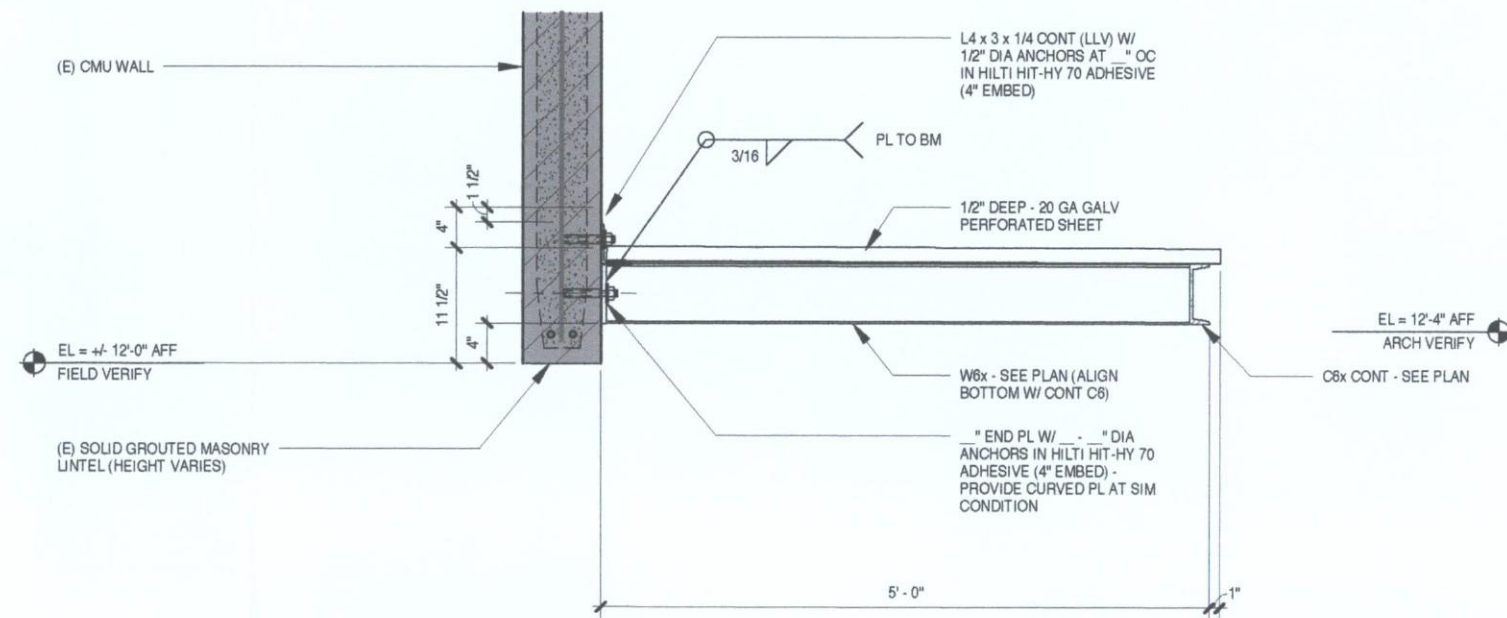
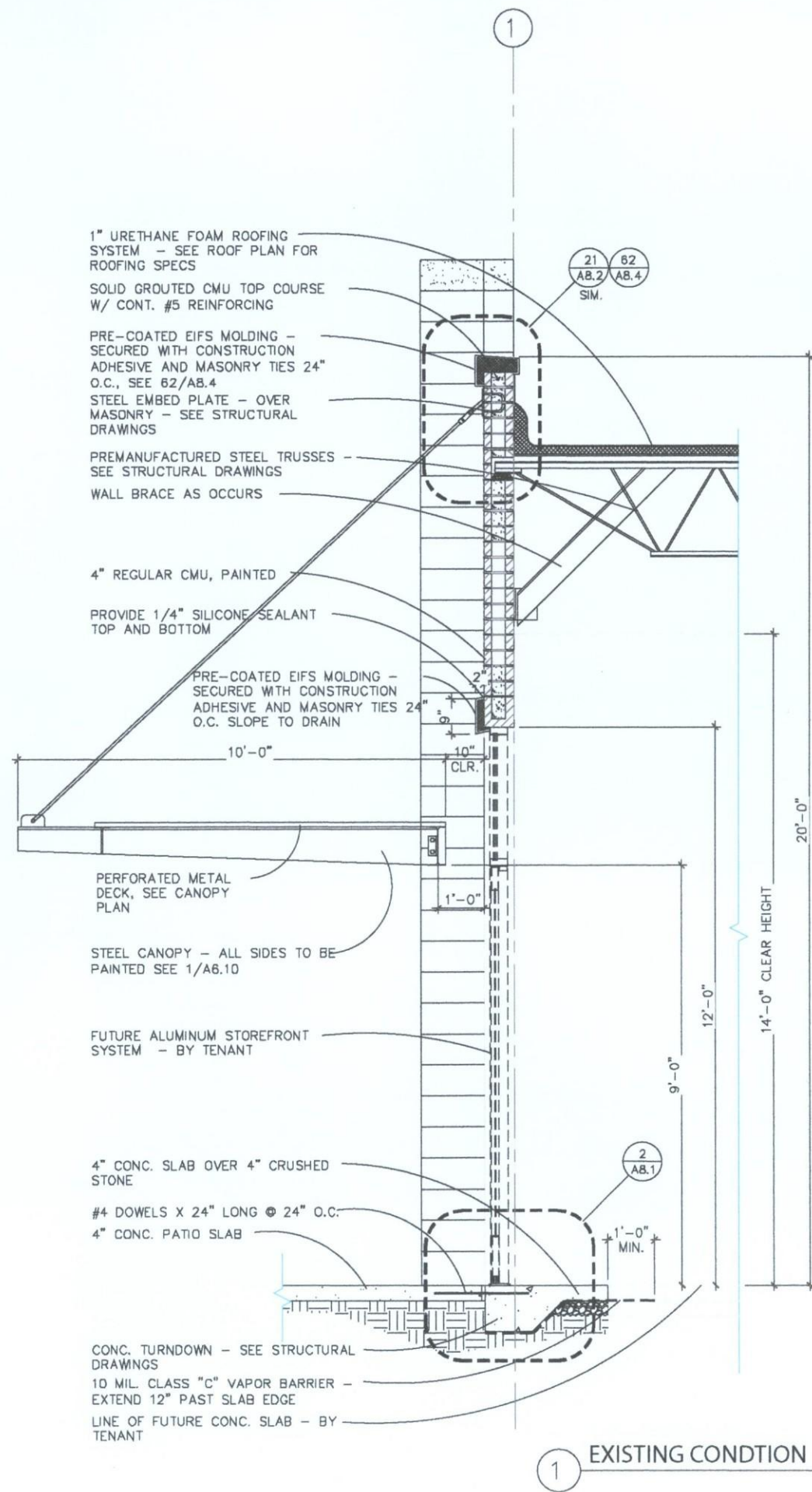
06-22-2014
2003.01
at at

Date
Project No.
Drawn By
Checked By

Revision Date

A401
ELEVATIONS

283-5414
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
7-23-14
DATE INITIALS



2 PROPOSED CONDITION

283-54-14
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
7-23-14
DATE INITIALS

CONSULTANTS:

CERTIFICATION:

NOT FOR
CONSTRUCTION

Building 'A' Tenant Improvement
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06-23-2014
2002.01

Date
Project No.

Revision

Date

Drawn By

Checked By