



STAFF APPROVAL LETTER

500-SA-2014

Planet Blue

STEP 1

STAFF APPROVAL NOTIFICATION

This letter is notification that your request has been conceptually approved by Current Planning Services staff.

Additional review and permits may be required. Refer to Final Plan Review Submittal Requirements below.

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

PROJECT INFORMATION

LOCATION: 15147 N Scottsdale Rd
PARCEL: 215-56-414
Q.S.: 34-45
CODE VIOLATION #:

APPLICANT: Doug Cox
COMPANY: Bluearc Design
ADDRESS: 33 Music Sq Ste 106A Nashville, Tn 37203
PHONE: 615-227-7209

Request: Request approval for storefront modifications including the addition of a new steel canopy.

STIPULATIONS

1. The proposed storefront modifications and canopy shall be consistent with the storefront plan and elevations by Blu Arc, stamped approved by City staff 12/24/14.
2. No new exterior lighting is included in this approval.
3. All signs shall require separate review and permit.

Related Cases: 10-DR-2007#3

SIGNATURE: _____

Bryan Cluff, LEED AP
Planner

DATE APPROVED: 12/24/14

STEP 2

FINAL PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Owner/Builder form if applicable, and a permit application along with the following plan set(s) to the One-Stop-Shop for plan review:

ARCHITECTURAL: ☒ 4 sets of architectural plans and 1 additional site plan and elevation

**POLICY OF THE CITY OF SCOTTSDALE
ON APPEALS OF DEDICATIONS, EXACTIONS, OR ZONING REGULATIONS**

RIGHTS OF PROPERTY OWNER

In addition to other rights granted to you by the U.S. and Arizona Constitution, federal and state law and city ordinances or regulations, you are hereby notified of your right to appeal the following City actions relating to your property:

- 1) Any dedication or exaction which is required of you by an administrative agency or official of the city as a condition of granting approval of your request to use, improve or develop your real property. This appeal right does not apply to a dedication or exaction required as part of a city legislative act (for example a zoning ordinance) where an administrative agency or official has no discretion to determine the dedication or exaction.
- 2) The adoption or amendment of a zoning regulation that creates a taking of property in violation of Arizona and federal court decisions.

APPEAL PROCEDURE

The appeal must be in writing and specify the City action appealed and the date final action was taken, and it must be filed with or mailed to the hearing officer designated by the city within 30 days after the final action is taken. Address the appeal as follows:

Hearing Officer, C/O City Clerk

3939 Drinkwater Blvd.
Scottsdale, AZ 85251

- ❖ No fee will be charged for filing
- ❖ The City Attorney's Office will review the appeal for compliance with the above requirements, and will notify you if your appeal does not comply.
- ❖ Eligible appeals will be forwarded to the hearing officer, and a hearing will be scheduled within 30 days of receipt by the hearing officer of your request. Ten days notice will be given to you of the date, time and place of the hearing unless you indicate that less notice is acceptable to you.
- ❖ The city will submit a takings impact report to the hearing officer.
- ❖ In an appeal from a dedication or exaction, the City will bear the burden of proving that the dedication or exaction to be imposed on your property bears an essential nexus between the requirement and a legitimate governmental interest and that the proposed dedication or exaction is roughly proportional to the impact of the use, improvement or development you proposed.
- ❖ In an appeal from the adoption or amendment of a zoning regulation, the City will bear the burden of proving that any dedication or exaction requirement in the zoning regulation is roughly proportional to the impact of the proposed use, improvement, or development, and that the zoning regulation does not create a taking of property in violation of Arizona and federal court cases.
- ❖ The hearing officer must render his decision within five working days after the appeal is heard.
- ❖ The hearing officer can modify or delete a dedication or exaction or, in the case of an appeal from a zoning regulation, transmit a recommendation to the City Council.
- ❖ If you are dissatisfied with the decision of the hearing officer, you may file a complaint for a trial de novo with the Superior Court within 30 days of the hearing officer's decision.

If you have questions about this appeal process, you may contact:

City Manager's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2422

City Attorney's Office
3939 Drinkwater Blvd.
Scottsdale, AZ 85251
(480) 312-2405

Please be aware that City staff cannot give you legal advice. You may wish, but are not required, to hire an attorney to represent you in an appeal.

SIGNATURE: _____



Pre-Application Request

Development Application Type:		
Please check the appropriate box of the Type(s) of Application(s) you are requesting		
Zoning:	Development Review	Signs
☐ Text Amendment (TA)	☐ Development Review (Major) (DR)	☐ Master Sign Program (MS)
☐ Rezoning (ZN)	☒ Development Review (Minor) (SA)	☐ Community Sign District (MS)
☐ In-fill Incentive (II)	☐ Wash Modification (WM)	Other
☐ Conditional Use Permit (UP)	☐ Historic Property (HP)	☐ Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions	☐ General Plan Amendment (GP)
☐ Hardship Exemption (HE)	☐ Subdivisions (PP)	☐ In-Lieu Parking (IP)
☐ Special Exception (SX)	☐ Subdivision (minor) (MD)	☐ Abandonment (AB)
☐ Variance (BA)	☐ Perimeter Exceptions (PE)	☐ Other Application Type Not Listed
☐ Minor Amendment (MA)	☐ Lot Tie or Lot Line Adjustment	☐

Submittal Requirements: (fees subject to change every July)

☒ Pre-Application Fee: \$ 87

☒ Records Packet Fee: \$ N/A

Processed by staff. The applicant need not visit the Records desk to obtain the packet.

(Only required for ZN, II, UP, DR, PP, AB applications, or otherwise required by Staff)

☒ Application Narrative:

The narrative shall describe the purpose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.

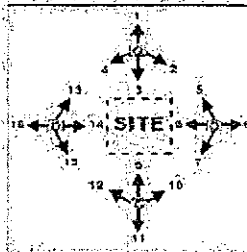
☒ Property Owner Authorization Letter

(Required for the SA and MS Pre-Applications)

☒ Site / Context Photographs

Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.

- Photos shall be taken looking in: towards the project site and adjacent to the site.
- Photos should show adjacent improvements and existing on-site conditions.
- Each photograph shall include a number and direction.
- Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines:
- Photos shall be provided 8 1/2 x 11 paper, max. two per page.



• The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.

• Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.

Additional Submittal Information

- ☒ Site Plan (two copies)
- ☐ Subdivision plan (two copies)
- ☐ Floor Plans (two copies)
- ☒ Elevations (two copies)
- ☐ Landscape plans (two copies)
- ☐ H.O.A. Approval letter
- ☐ Sign Criteria Regulations & Language (two copies)
- ☐ Material Samples – color chips, awning fabric, etc.
- ☐ Cross Sections – for all cuts and fills
- ☐ Conceptual Grading & Drainage Plan (three copies)
- ☐ Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- ☐ Boundary Survey (required for minor land divisions)
- ☐ Aerial of property that includes property lines and highlighted area abandonment request.
- ☐ One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

Planet Blue

Scottsdale Quarter

15147 N. Scottsdale Rd Ste H1-170

Scottsdale, AZ 85254

Project Narrative

A Tenant Improvement to an existing suite in the Scottsdale Quarter, Suite H1-170 for new mercantile store. The store will be comprise of 3 levels, no basement, for a total of 2182 square feet. The project is minor interior remodel of the finishes, merchandising fixtures; stock door, fitting rooms, as noted. The exterior changes proposed are to the store front doors, exterior signage, a new canopy and new aluminum storefront system as shown on A6 and A6.1.

VIA EMAIL

GLIMCHER

September 6, 2014

Planet Blue
Jacinto Romero
1653 12th Street, Santa Monica, CA 90404
(310) 396-1101 (ext. 106) |
jacinto@shopplanetblue.com

RE: Planet Blue
SCOTTSDALE QUARTER
SCOTTSDALE, AZ

Dear Mr. Romero:

This letter is notification that the Final Drawings for **PLANET BLUE** at **SCOTTSDALE QUARTER** are being returned **"Approved as Noted"**.

Nothing in this letter shall be construed to expand Landlord's scope of work beyond that called for in the Lease Agreement.

Tenant is responsible for code compliance for Tenant's work.

Any other comments as marked on this returned submission.

Please review the Tenant Handbook for all Tenant Store Working Drawing requirements. Please contact Fred Alleva, Operations Director at 480.270.8123, prior to commencement of tenant's construction. Please contact me with questions or concerns at 614.887.5657.

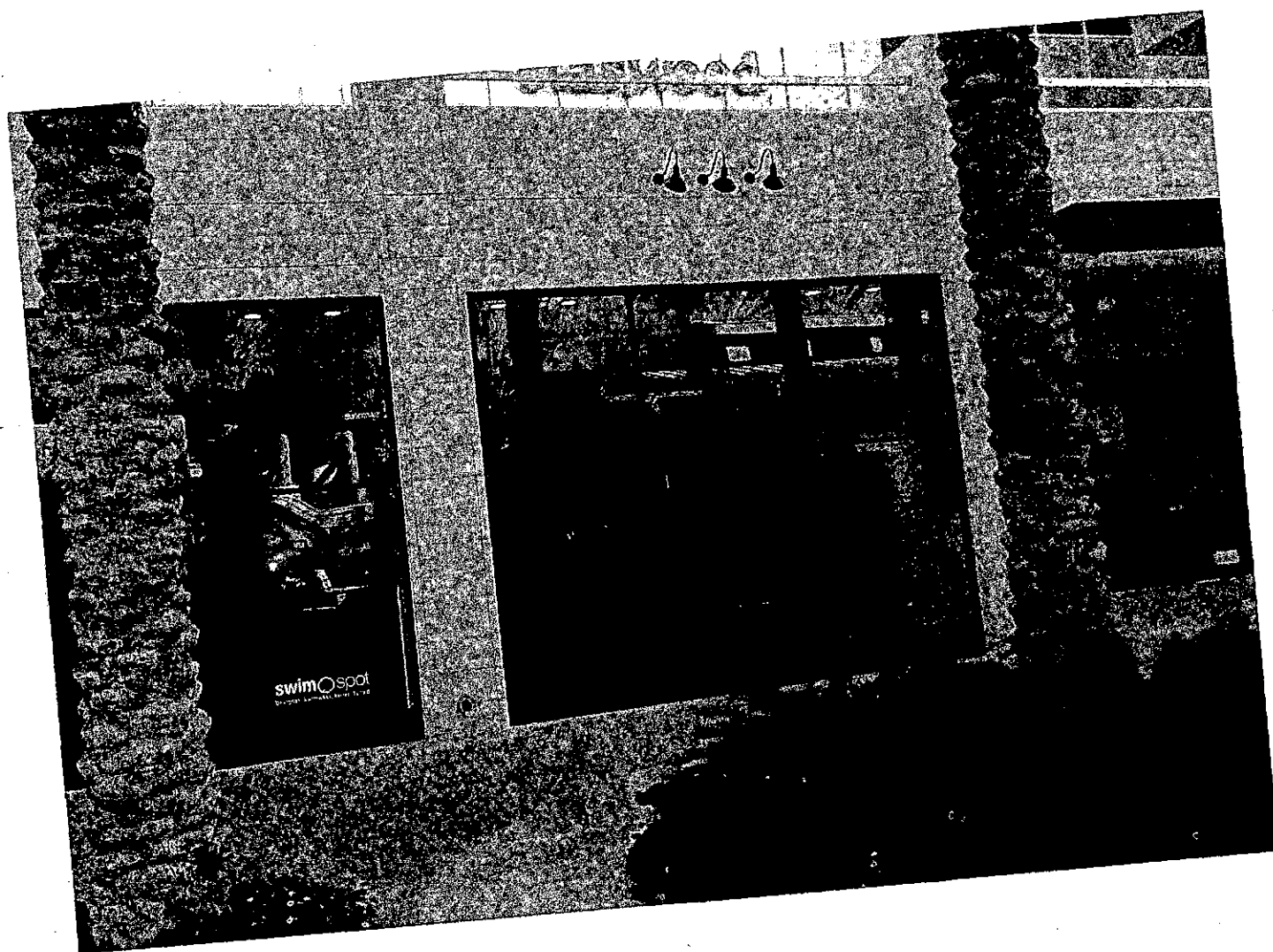
Sincerely,

KIERLAND CROSSING LLC


Alan Bogart
Project Manager

Enclosures

Cc: Tenant File
Mall Operations Director



POOR QUALITY ORIGINAL



POOR QUALITY ORIGINAL



Pre-Application Request

Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and City Staff to discuss a proposed Development Application, and the information and process that is necessary for City Staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with City Staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

Submittal:

The completed Pre-Application request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road. All checks shall be payable to "City of Scottsdale."

Scheduling

After the Pre-Application packet has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

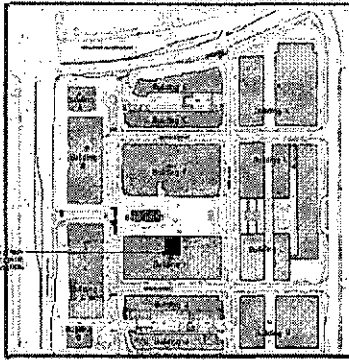
Project Name: <u>Planet Blue</u>	
Property's Address: <u>15147 N. Scottsdale Rd. Suite H1-170</u> APN: _____	
Property's Zoning District Designation: _____	
Property Details:	
☐ Single-Family Residential ☐ Multi-Family Residential ☒ Commercial ☐ Industrial ☐ Other	
Has a 'Notice of Compliance' been issued? ☐ Yes ☐ No If yes, provide a copy with this submittal	
Owner: <u>Jacinto Romero</u>	Applicant: <u>Doug Cox</u>
Company: <u>Planet Blue</u>	Company: <u>BLAZE DESIGN</u>
Address: <u>1653 12TH S. Santa Monica, CA</u>	Address: <u>33 MUSIC SQ W. STE. 106A NASHVILLE TN 37203</u>
Phone: <u>310.396.1101</u> Fax: _____	Phone: <u>615.227.7209</u> Fax: <u>615.228.7218</u>
E-mail: <u>jacinto@shopplanetblue.com</u>	E-mail: <u>dcox@blazedesign.com</u>
<u>Jacinto Romero</u> Owner Signature	<u>Doug Cox</u> Applicant Signature
Official Use Only	Submittal Date: <u>10-17-12</u> Application No.: <u>1003</u> -PA- <u>2014</u>
Project Coordinator: _____	

Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

LAND LORD APPROVAL

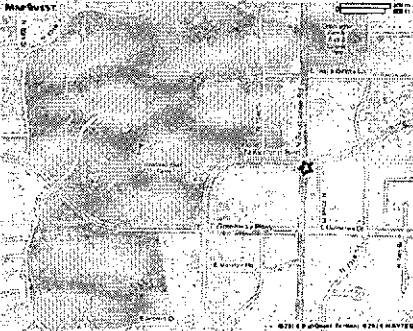
AREA KEY PLAN



Planet blue

SCOTTSDALE QUARTER
15147 North Scottsdale Road
Suite H1-170
Scottsdale, AZ 85254

VICINITY MAP



CODE DATA AND SQUARE FOOTAGE

BUILDING CODES: 2015 INTERNATIONAL BUILDING CODE WITH CITY OF SCOTTSDALE AMENDMENTS
2015 NATIONAL ELECTRICAL CODE
2015 AZ DOWNSIDE FIRE CODE
AS 403

CONSTRUCTION TYPE: 1-B FULLY SPRINKLED
OCCUPANCY: 1-B OFFICE
OF STORIES: 2 TOTAL, WITH NO INCREMENT - THIS SPACE IS ON THE GROUND LEVEL
22 WING: 22C

EXISTING LOAD CALCULATION	1-B	1-B	1-B	1-B
DEAD LOAD	1.75	1.75	1.75	1.75
LIVE LOAD	1.00	1.00	1.00	1.00
WIND LOAD	1.00	1.00	1.00	1.00
SEISMIC LOAD	1.00	1.00	1.00	1.00
OTHER LOADS	1.00	1.00	1.00	1.00

EXISTING REQUIRED: 48 OCCUPANTS 4.5 INCHES PER OCCUPANT - 8 INCHES
ONE DRY REQUIRED PERMANENT
SPACE OCCUPANT LOADS LESS THAN 10
EXISTING PROVIDED FOR A TOTAL WIDTH OF 14 INCHES

THIS PROJECT IS FOR A RETAIL TENANT SELLING ADULT APPAREL
ALTERATION OF SPRINKLERS REQUIRES SEPARATE PLANS AND PERMIT.
HAZARD OF CONTENTS CLASSIFICATION IS ORDINARY

SHEET INDEX

ARCHITECTURAL
AS 100 COVER SHEET
AS 101 GENERAL NOTES & DETAILS
AS 102 FINISHES & MATERIALS
AS 103 MECHANICAL
AS 104 ELECTRICAL
AS 105 PLUMBING
AS 106 FIRE PROTECTION
AS 107 SPECIALTIES
AS 108 STRUCTURAL
AS 109 OTHER

Approved ☐ Approved as Noted ☒
Not Approved ☐ Revise and Resubmit ☐

REVIEW IS FOR LANDLORD CRITERIA AS PER THE TENANT DESIGN PACKAGE INCLUDING DESIGN COMPATIBILITY, AESTHETIC AND SIGN CONSIDERATION. THIS SHOULD NOT BE CONSTRUED AS REVIEW OR APPROVAL FOR CODE COMPLIANCE, ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL ADEQUACY OR COMPLIANCE TO OCCUPANTS NEEDS.

Comments
Design Reviewed By: A. Bogart Date: 10/1/17
Arc/M/E By: _____ Date: _____

QUICK DEVELOPMENT CORP.

PROJECT SUMMARY
THIS PROJECT IS AN INTERIOR REMODEL TO AN EXISTING RETAIL TENANT WITHIN A FREE-STANDING SHOPPING CENTER. ELECTRICAL, DISTRIBUTION, LIGHTING AND POWER INSTALLATION, MECHANICAL SYSTEMS AND MECHANICAL, RESTROOM, SPRINKLER, ELEVATOR AND HEADS, WATER SUPPLY, SANITARY SERVICE AND ALL INTERIOR STRUCTURAL, COLUMNS AND INTERIOR PARTITIONS ARE EXISTING AND SHALL REMAIN.
TENANT SCOPE OF WORK SHALL BE: NEW INTERIOR PARTITIONS, NEW MECHANICAL SYSTEMS, NEW RESTROOM, NEW FITTING ROOMS, NEW EXTERIOR CANOPY, NEW EXTERIOR SIGNAGE, NEW ALUMINUM ENTRANCE SYSTEM AND ENTRY DOORS.

PARKING SHALL BE PROVIDED IN CONFORMANCE WITH THE SHOWN PARKING ANALYSIS FOR SCOTTSDALE QUARTER APPROVED WITH DATE 1-14-2009

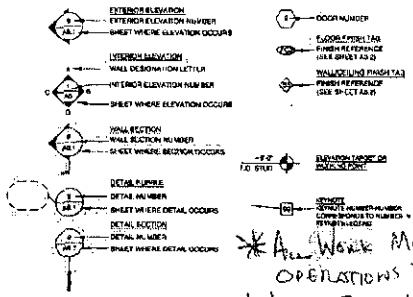
ALL WORK REQUIRE SEPARATE PERMITS AND APPROVALS
NO EXTERIOR VEHICLES ON DISPLAY SHALL BE ALLOWED
ALL EXTERIOR MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SITED TO THE RIGHT OF THE TALLEST UNIT OR ROOFER WALL THAT MATCHES THE ARCHITECTURAL COLOR AND COMMUNICATION EQUIPMENT SHALL BE SITED BY A SLOPED WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 10' HIGHER THAN THE TALLEST UNIT.
ALL EQUIPMENT, UTILITIES OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING, LEAVING NO TRACE OF FORM, COLOR AND TEXTURE.

RESPONSIBILITY CHART

T= TENANT C= GEN. CONTRACTOR (GC) L= LANDLORD (LL) E= EXISTING

ITEM	T	C	L	E
1.0000 COVER SHEET				
1.0100 GENERAL NOTES				
1.0200 FINISHES & MATERIALS				
1.0300 MECHANICAL				
1.0400 ELECTRICAL				
1.0500 PLUMBING				
1.0600 FIRE PROTECTION				
1.0700 SPECIALTIES				
1.0800 STRUCTURAL				
1.0900 OTHER				
2.0000 MECHANICAL				
2.0100 MECHANICAL SYSTEMS				
2.0200 MECHANICAL EQUIPMENT				
2.0300 MECHANICAL PIPING				
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8.0700 OTHER SPECIALTIES				
8.0800 OTHER STRUCTURAL				
8.0900 OTHER OTHER				

SYMBOL LEGEND



PROJECT TEAM DIRECTORY

CLIENT: Planet Blue
15147 North Scottsdale Road
Scottsdale, Arizona 85254
Tel: (480) 366-1101 / 1106 / 1107
Email: planetblue@planetblue.com

ARCHITECT: Blake Design, LLC
30147 North Scottsdale Road, Suite 100
Scottsdale, Arizona 85254
Tel: (480) 366-1101 / 1106 / 1107
Email: bdesign@blakedesign.com

ENGINEER: CDM
15147 North Scottsdale Road, Suite 100
Scottsdale, Arizona 85254
Tel: (480) 366-1101 / 1106 / 1107
Email: cdm@cdm.com

GENERAL CONTRACTOR: JACOBI BUILDERS
15147 North Scottsdale Road, Suite 100
Scottsdale, Arizona 85254
Tel: (480) 366-1101 / 1106 / 1107
Email: jacobibuilders@jacobibuilders.com

*All Work Must be Coordinated Onsite w/ Property Operations Team.
*As Is Deal. C.L. is performing No Work. - Tenant Accepts Premises in its Existing Condition.



33 Music Square West
Suite 106A
Nashville, Tennessee 37203
915.227.7258 P
915.228.7218 F



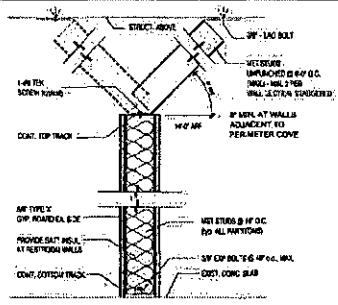
Planet blue

SCOTTSDALE QUARTER
15147 North Scottsdale Rd.
Suite H1-170
Scottsdale, AZ 85254

Project No.: 15147-01
Drawn By: JAC
Checked By: JAC
Issue Date: 10/1/17
Revision: 1

COVER SHEET

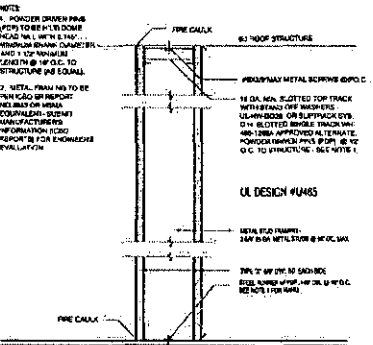
Sheet No.: **A0**



25 GAUGE 3\"/>

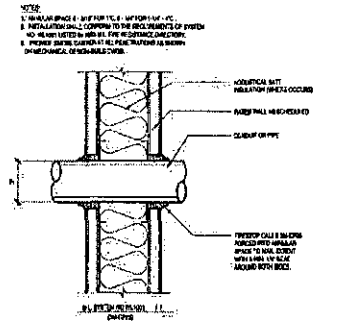
2 TYP. CEILING HT. PARTITION

NTS



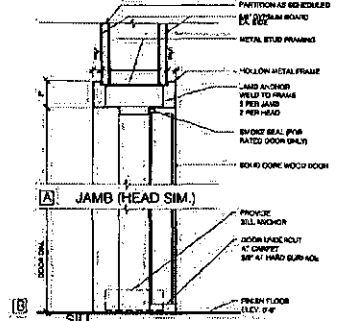
3 TYP. RATED DEMISING WALL SECTION

1 1/2\"/>



4 TYP. CONDUIT THRU RATED WALL

3\"/>



5 TYP. DOOR HEAD/JAMB/SILL

3\"/>

CONTRACTOR INFORMATION

1. THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON INFORMATION FURNISHED FROM VARIOUS SOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

IT IS VERY IMPORTANT THAT ALL PAINTED SURFACES RECEIVE (1) PRIMER COAT AND (2) FINISH COATS. G.C. TO COORDINATE.

GENERAL NOTES

1. G.C. SHALL STRICTLY ADHERE TO ALL REQUIREMENTS AS DESCRIBED IN THE DRAWINGS.
2. G.C. SHALL COORDINATE ALL WORK WITH THE ARCHITECT AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND THE NATIONAL ELECTRICAL CODE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

1 RESTROOM H.C. SIGNAGE

1 1/2\"/>



32 Music Square West
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North Las Vegas, NV 89130
702.733.7700
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SCOTTSDALE QUARTER
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Suite H-170
Scottsdale, AZ 85254

Project No.: 15147-01
Drawing No.: 15147-01-01
Revision: 15147-01-01-01

GENERAL NOTES & DETAILS

A0.1

	HEAD JAMB	THRESHOLD	HANDRAIL	SIZE	SPECIFICATION	
1			1	8" x 10"	ENTRY DOOR, HOLLOW METAL, HOLLOW FRAME - GLASS, ALUMINUM FRAME	NEW ROOM
2				24" x 78"	RESTROOM DOOR: - BOLD CORN INCE DOOR, HOLLOW METAL FRAME - PAINT DOOR - PAINT DOOR FRAME	EXISTING FRAME
3	10"	10"	1	24" x 78"	STUDIO DOOR, HOLLOW METAL, HOLLOW FRAME - BOLD CORN WOOD DOOR, HOLLOW METAL FRAME - PAINT DOOR - PAINT DOOR FRAME	NEW ROOM
4	NOT USED				NOT USED	
5					EXIT DOOR: - HOLLOW METAL CORN, HOLLOW METAL FRAME - PAINT DOOR - PAINT DOOR FRAME - DOOR & FRAME BOB NOT RATED	EXISTING FRAME

NOTE: GC SMALL DOOR COORDINATE W/ SMALL REGARDING REAR DOOR COORDINATION REQUIREMENTS. SMOOBS AND INSTALL TO GC

[illegible]

1. ALL DOOR HARDWARE MUST BE NON COMPLAINT.
2. DOORHOLDERS SHALL BE NO HIGHER THAN 4' 8" A.F.F. EDGE TO BE BEVELED WITH A SLIGHT RADIUS NOT GREATER THAN 1/8".
3. DOOR HARDWARE SHALL BE MOUNTED BETWEEN 2' TO 4' ABOVE THE FLOOR AND BE OPERABLE WITH A MAX. FORCE OF 5 LBS. FOR INTERIOR DOORS.
4. ACCESSIBLE DOORS MUST BE A MINIMUM 32" W X 80" H WITH CLEAR OPENING WIDTH OF 32".
5. PROVIDE 18" MIN. CLEAR SPACE AT THE STRIKE SIDE/REAR SIDE OF INTERIOR DOORS AND 24" MIN. CLEAR SPACE AT THE STRIKE SIDE/REAR SIDE OF DOORS WITH CLOSERS.
6. ADJUST SPRING TO OPERATE DOOR TO BE A SLIGHT LAG AT EXTERIOR DOORS, SLIGHT LAG AT INTERIOR DOORS AND SLIGHT LEAD AT GLASS DOORS.

DOOR NOTES

[illegible]

1. GENERAL CONTRACTOR TO ASSESS CONDITIONS OF ALL (B) LOCKS. REPLACE AN NECESSARY.
2. SUBMIT THREE (3) COPIES OF HARDWARE PRODUCT DATA AND HARDWARE SCHEDULES FOR APPROVAL. OWNERS REVIEW PRIOR TO THE PURCHASE OF HARDWARE.
3. REVIEW ALL REMAINS ON SITE WITH OWNER.
4. VERIFY SADDLE, TOPS, FINISH & MATCH TO FRAME SIZE. VERIFY OFFSET TO SITE CONDITIONS.

CODE	MATERIAL	MANUFACTURE	DESCRIPTION
(1)	STAINED WOOD DOOR	FARNETT	COLOR: PINKS - HARNERS WHITE, WHITE GRAIN & PROGRESS: 3' ELEVATED, HARNER LENGTH 20 INCH, AND HARNER (HARNER) WHITE WOOD
(2)	COLOR: BRIGHT WALL RESTROOM	AMSTERDAM	TYPE: STAINLESS COLOR: LIGHT WHITE WALL, SIZE: 1/2" X 1/2" X 1/2" WALLS, LUM. MOUNTED, WHITE WALL, NO THRESHOLD AT RESTROOM
(3)	PAINT: NO. 1 STORAGE	AMSTERDAM	TYPE: STAINLESS, DOUBLE, STAINLESS STEEL COLOR: 1/2" X 1/2" X 1/2" DARK GRAY NOTE: 1/2" X 1/2" X 1/2"
(4)	WOOD BARE - SALES	HOPE DEPOT HOPE	1/2" X 1/2" X 1/2" PLYWOOD SUPPLIED & 1/2" TALLER BY PG. PART: 1/2" X 1/2" X 1/2"
(5)	PAINT: NO. 1 RESTROOM	AMSTERDAM	COLOR: NO. 1 PLYWOOD WHITE TYPE: DISCONTINUED (WHITE)
(6)	PAINT: WALLS BATH RESTROOM	MARTIN (FARNETT)	COLOR: NO. 1 PLYWOOD WHITE TYPE: DISCONTINUED (WHITE)
(7)	PAINT: WALLS BATH RESTROOM	MARTIN (FARNETT)	COLOR: NO. 1 PLYWOOD WHITE TYPE: DISCONTINUED (WHITE)
(8)	GYPSUM BOARD		1/2" THICK, WHITE, LUM.

[illegible]

33 Music Square West
Box 1058
Nashville, Tennessee 37203
815.227.7208 p
815.228.7218 f



Planet blue

SCOTTSDALE QUARTER
15147 North Scottsdale Rd
Suite H1-170
Scottsdale, AZ 85254

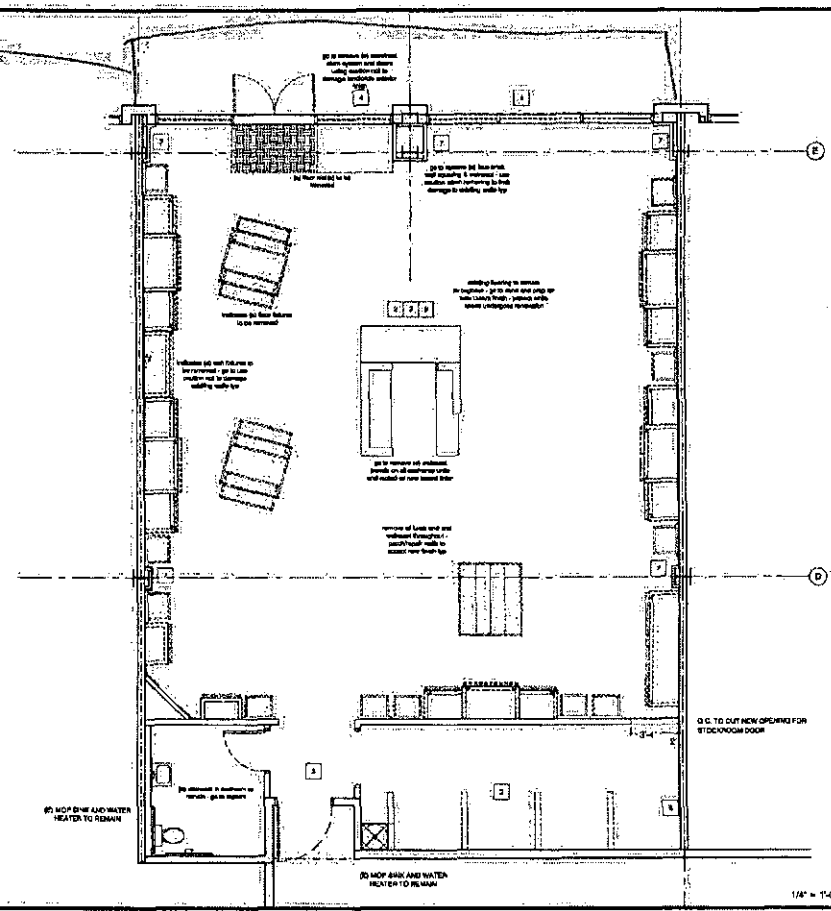
Project No.:	03-131
Drawn By:	JSA
Checked By:	UQ
Issued Date:	09-30-11
Revised:	None

FINISH & DOOR SCHEDULES

100

A0.2

*Tenant Must Provide
Temporary Construction
Barrier for Pen Shopfront
Center Stairwells -
Landing Grapples*



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Planet blue

SCOTTSDALE QUARTER
15147 North Scottsdale Rd.
Suite H11-170
Scottsdale, AZ 85254

Project No.	43.13.14
Owner	JAC
Engineer	CCC
Issue Date	08.16.14
Revision	Rev. Date

Demolition is to be done by established demolition methods and subcontracted to demolition with no exception. All demolition is done in accordance with the demolition plan and specifications. Demolition is to be completed in a timely manner and in accordance with the demolition plan and specifications.

Sheet Title:
DEMOLITION PLAN

Sheet No.:
A1

1 DEMOLITION PLAN

DEMOLITION KEY NOTES

1. REMOVE STONE FURNITURE AND DEMOLISH BACK TO FACE OF THE EXISTING TYP. DYP. DO.
2. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
3. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
4. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
5. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
6. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
7. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
8. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
9. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.
10. DO NOT REMOVE OR DESTROY EXISTING WALLS OR PARTS THEREOF.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
2. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
3. CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURES AND DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

4. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED AND IMMEDIATELY REMOVE FROM SITE.
5. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
6. PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE AUTHORITIES HAVING JURISDICTION. PROTECT ALL EXISTING FINISHES AND ITEMS TO REMAIN. WHERE CONDITIONS TO REMAIN ARE EFFECTED BY DEMOLITION, RELOCATION, NEW CONSTRUCTION, ETC., THE CONTRACTOR SHALL REPAIR, PATCH, RETRUSH, OR REPLACE SAID ITEMS AS REQUIRED TO MATCH EXISTING AT NO CHARGE TO THE OWNER.

LEGEND

- (1) WALL TO REMAIN
- (2) WALL / ARC TO BE REMOVED
- (3) DOOR TO BE REMOVED

1. ALL CHANGES AND AMENDMENTS TO THIS PAGE OF RAIL
10. R.

2. "RETRACT ALL E-2 AND AMENDMENTS AND RETURN TO FORMER
WHEN CONDITIONS TO REMAIN ARE AFFECTED BY
THE CONTRACTOR'S RELEASED FROM OBLIGATION. THE
THE CONTRACTOR SHALL REPAIR PAVEMENT, REPAIR OR REPLACE
THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN EXISTING AND ALL CHANGES
TO THE OWNER.

3. ALL DISBURSEMENTS MUST BE MADE ON THE WORK/INVOICE
PAID MUST BE CHECKED FOR ACCOUNT AND ALL
PAID MUST BE IN FULL TO THE CONTRACTOR'S
ATTENTION

4. ALL PAINTS SHALL BE PROPERLY MIXED AND APPLIED IN
ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

5. PAINTING OF METAL PARTS OF ROAD FURNISH STRUCTURE
AND COATING OF CONCRETE SHALL BE IN ACCORDANCE WITH
SPECIFICATIONS.

6. ALL WEAR SHALL BE PROPERLY MIXED AND APPLIED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

7. ALL WEAR SHALL BE PROPERLY MIXED AND APPLIED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

8. ALL WEAR SHALL BE PROPERLY MIXED AND APPLIED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

9. ALL WEAR SHALL BE PROPERLY MIXED AND APPLIED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

10. ALL WEAR SHALL BE PROPERLY MIXED AND APPLIED
IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
RECOMMENDATIONS FOR THE PARTICULAR SURFACE.

OVERVIEW DEM 50 WALL TO REMAIN 1/2 METAL STUDS @ 16" OC. MAX WITH TYPE 2 EMP BRACING 1/2" DIAM. STUDS @ 16" OC. MAX. TO BE ADJUSTED TO REMAIN. OC SHALL FURTHER AND CALL IF REQUIRED	NEW INTERIOR WALL: MAX 1/2" TO 1 1/2" @ 16" STUDS @ 16" OC. MAX. WITH TYPE 2 EMP. BD. TO BE ADJUSTED TO REMAIN. NOTIFY OWNER
INTERIOR DOOR: SET DOOR TO REMAIN. DEMT AS FOL	INTERIOR DOOR WALL: MAX 1/2" TO 1 1/2" @ 16" STUDS @ 16" OC. MAX. WITH TYPE 2 EMP. TO ADJUST WITH TOP OF ADJACENT WINDSTOP. CAP WALL WITH WOOD @ 16"

THE RESEARCH AND LABORER STATES
THEY WILL ACQUIRE THE FOLLOWING:

1. THE LAMPING FINE JOINT DETAILS
 2. CLEANING AND RE-CALIBRATING EVERYTHING
 3. TO TEST THE AIR PULVERIZER WITH FLUSH VALVE, EVEN ALL NEW MECHANISMS MUST BE INSTALLED
 4. IF ANY OF THE FANLIGHT LEAKS, THEY MUST HAVE NEW PAINERS AND SEALS
 5. IF THE FANLIGHT COUPLER DOES NOT WORK, IT MUST BE REPLACED
 6. REPAIR OR REPLACE ALL DAMAGED VALVES
- IT IS IMPORTANT TO FEED THE HUB AND AT THE REQUIRED SCOPE OF PULVERIZING MAINTENANCE ON THE SEWER LINE. GRAVE ONE (1) DRAINAGE HOLE COUPLER, TO STOP HOOF HIPS AND FLOOR DRAIN. ON THE GOOD FLOOR OF WATER AND DRAINAGE NO. 020. IF IT GOES TO THE EXTREMELY CLEAN OUT AND BRUSH AND INTO THE BUILDING.
1. GEL TO INSTALL NEW METEORICAL GRAB BAR 2-1/2" FROM FLOOR WALL TO MEET ALL REQUIRED CODES IF NEEDED.

POSTGRADUATE COURSES

CLEARANCE AT LOCATOR IS 20"
WIDE BY 48" DEEP PER SECTION 304
AND 306 AREA 4119.1-2003

CLEARANCE AROUND TOWER IS 60"
WIDE BY 58" DEEP PER AREA 311-2003
4119.1-2003

MINOR NOTES FOR RESTROOMS ARE FOR NEW CONSTRUCTION. G.C. SHALL FIELD VERIFY EXISTING CONDITION AND SHALL MAKE SURE THAT FLOORING AND WALL COVERING ARE EQUAL TO TYPICAL MINOR AND SHALL REPLACE IF NECESSARY.

DO SMALL GROUPS THE EXERCISES IN ALL ROOMS THAT ARE TO BE
NEELED ARE IN GOOD WORKING ORDER AND MEET ALL CURRENT
NECESSARY CODES. DO SMALL GROUPS IF NECESSARY.

MINOR NOTES FOR RESTROOMS ARE FOR NEW CONSTRUCTION. G.C. SHALL FIELD VERIFY EXISTING CONDITION AND SHALL MAKE SURE THAT FLOORING AND WALL COVERING ARE EQUAL TO TYPICAL MINOR AND SHALL REPLACE IF NECESSARY.

EXISTING FIXTURES, WORKSHEET AND
FLOORING TO REMAIN. GOT TO REPAIR
RESTROOM IN

COSTING 1 HR FIRE RATED
 CONSTRUCTED UP OF 30 GA &
 STUDS @ 16" O.C. WITH 1"
 DRYWALL EACH SIDE - FIRE TAPES
 CALLED TOP AND BOTTOM
 DESIGN #1488

ATTACHED CONNECTION

(7) BLDG STAIRWELL
SERVING A TOTAL OF THREE FLOORS

1 FLOOR PLAN

BLUE ARC
THE SCIENCE OF

33 Music Square West
Suite 1004
Nashville, Tennessee 37203
615.227.7200 p
615.226.7210 f



Planet blue

SCOTTSDALE QUARTER
15147 North Scottsdale Rd.
Suite H1-170
Scottsdale, AZ 85254

Prepared By: JBC
Checked By: DQC
Issued Date: 00.30.50

1. **Wanted: People to fill jobs for different contractors.** Builders and subcontractors in connection with the project will determine if there are people who have the necessary skills and experience to fill the jobs.

2. **Wanted: People to fill jobs for different contractors.** Builders and subcontractors in connection with the project will determine if there are people who have the necessary skills and experience to fill the jobs.

FLOOR PLAN

Strong No

A2



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15147 North Scottsdale Rd.
Suite H1-170
Scottsdale, AZ 85254

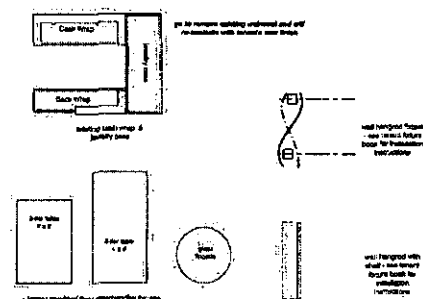
Prepaid No: 63 53 34
 Date: JBC
 Checked By: BOC
 In-land Code: 08 30 14

Although he is in his use by sophisticated universities, *Walden* has not been widely read in universities in general. For many years it has been a great discovery that some universities are much more diverse. Consequently, this *Walden* is for all students and teachers of the world.

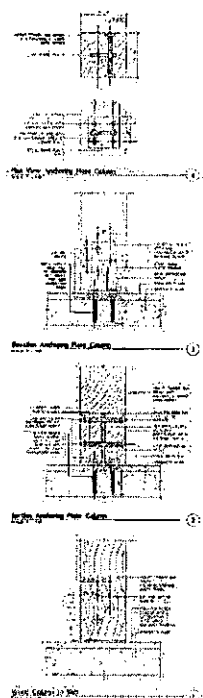
FIXTURE PLAN

—

A4

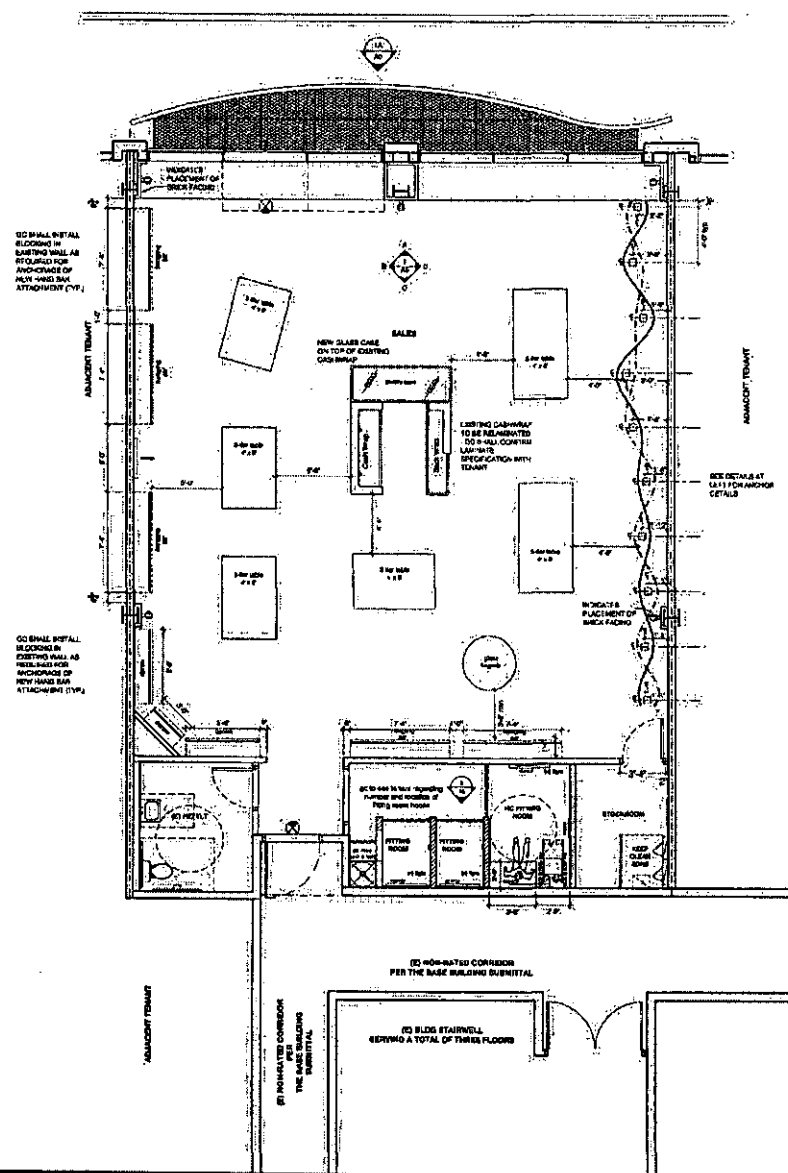


FIXTURE SCHEDULE



CLAS ABOVE: 3 FOR AN X 8 POST - THE PROJECT WILL BE USING A X 8 POST - GC SHALL REPAIR PLATE AND BOAT C-MONITOR ACCORDINGLY

WOOD DISPLAY COLUMN ANCHOR DETAILS



1 FIXTURE PLAN

$$1/4^* = 1/4$$



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615.228.7218 f



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SCOTTSDALE QUARTER
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Scottsdale, AZ 85254

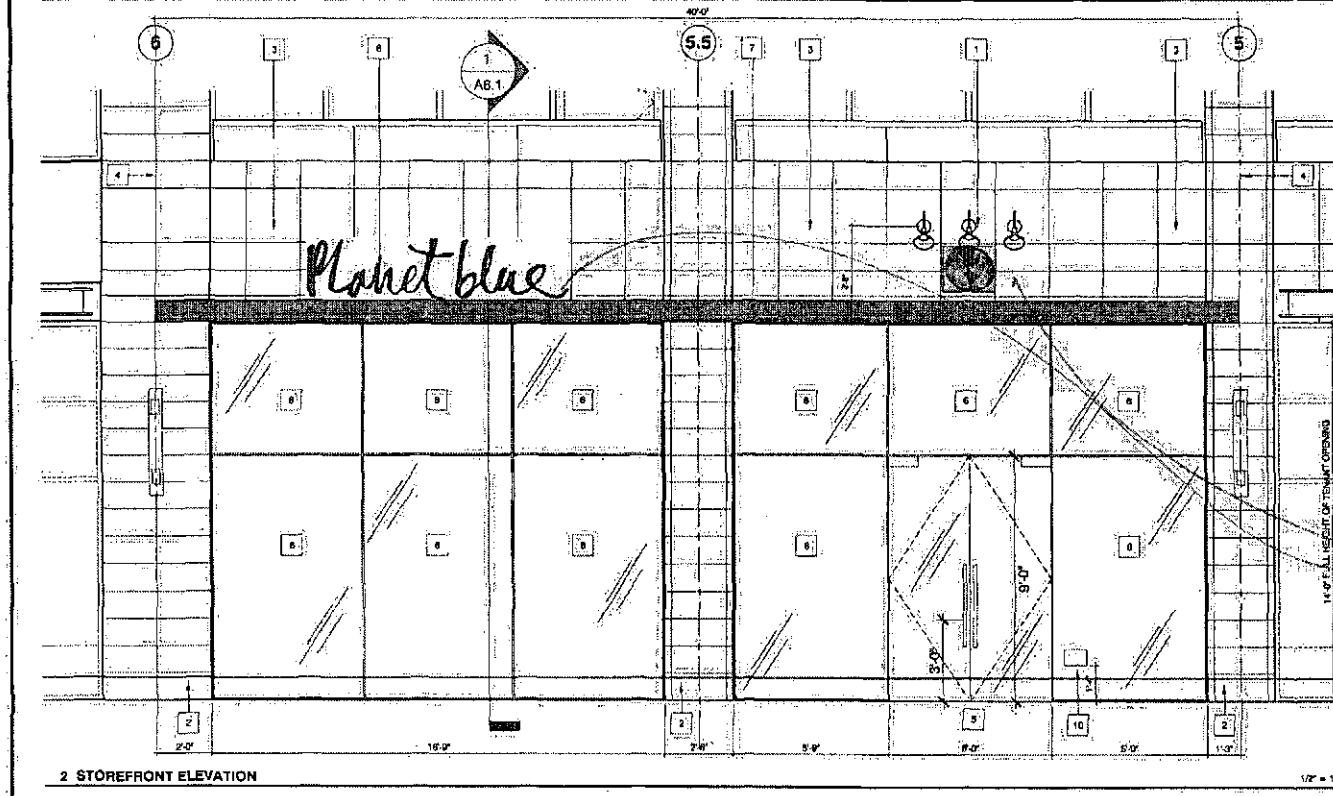
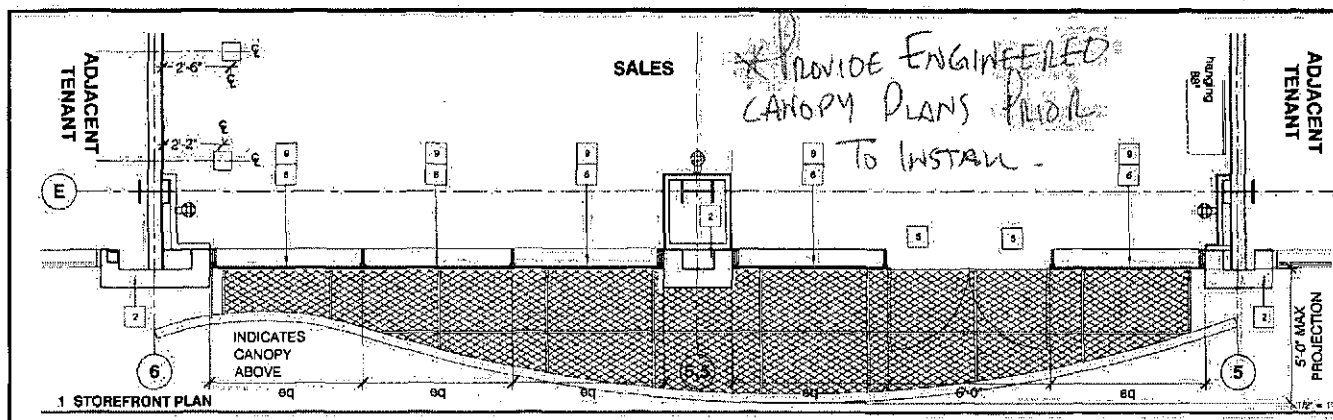
Project No.	4513-1
Design By	JRC
Checked By	DDC
Issued Date	08.28.14
Revised	No. Rev

Intending further is for use as submitted, without modification or alteration, and the user assumes all responsibility for any and all consequences of use, including but not limited to, liability for damages and expenses.

STOREFRONT PLAN & ELEVATION

Sheet No.

A6



- STOREFRONT KEY NOTES**
- 1 (N) STOREFRONT LOGO SIGN W/ (E) BLACK BOORDERECK LIGHTS ABOVE
 - 2 (E) NEUTRAL PIER
 - 3 (E) MALL FASCIA
 - 4 LEASE LINE
 - 5 (N) GLASS DOORS W/ ALUMINUM FRAME, 8'-0" HEIGHT
 - 6 (N) STOREFRONT ARCADIA - T1 BEAM - (1)-7500 FRAMING TEMPERED GLASS, ANODIZED ALUMINUM FINISH
 - 7 (N) SILVER METAL CANOPY
 - 8 (N) STOREFRONT SIGNAGE - INDIVIDUAL LETTERS FASTENED TO NEW CANOPY
 - 9 (N) LOW E, TEMPERED, INSULATED GLAZING
 - 10 STORE HOURS WINDOW VINYL GRAPHIC

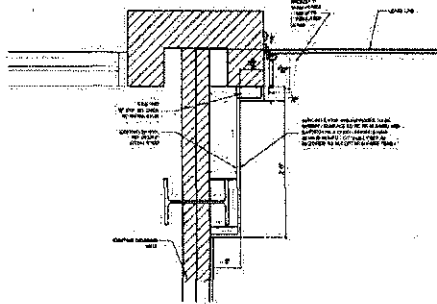
NEW ALUMINUM STOREFRONT SHALL BE INSTALLED INTO EXISTING FRAMED OPENING. STOREFRONT SHALL BE: ARCADIA - T1 BEAM - (1)-7500 SERIES

GLAZED SYSTEM WITH INSULATED TEMPERED GLASS. G.C. SHALL SUBMIT SHOP DRAWINGS FOR STOREFRONT APPROVAL PRIOR TO FABRICATION

SIGNAGE AS SHOWN IS DIAGRAMMATIC. THE ACTUAL SIZE, LOCATION, QUANTITY AND TYPE SIGNAGE IS SUBJECT TO LANDLORD AND CITY APPROVAL UNDER A SEPARATE SIGNAGE SUBMITTAL AND PERMITTING PROCESS AND MAY NOT BE AS SHOWN ON THESE DRAWINGS. ACTUAL COLOR OF LETTERS SHALL BE PANTONE 48C

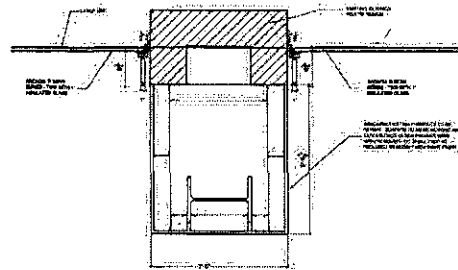
METAL CANOPY COLOR SHALL BE SIMILAR TO PANTONE 16-1415 - CANOPY MFG SHALL SUBMIT ACTUAL COLOR SAMPLE TO TENANT AND LANDLORD FOR APPROVAL PRIOR TO FABRICATION

Submit Final
SIGN SHOP DRAWINGS
PRIOR TO INSTALL



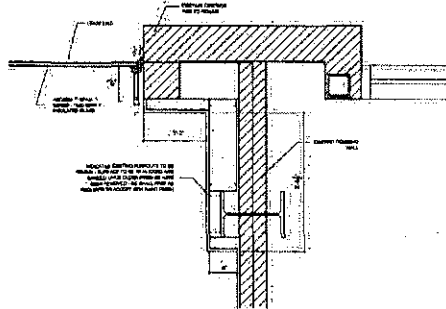
4 STOREFRONT FRAMING DETAIL

2" = 1'-0"



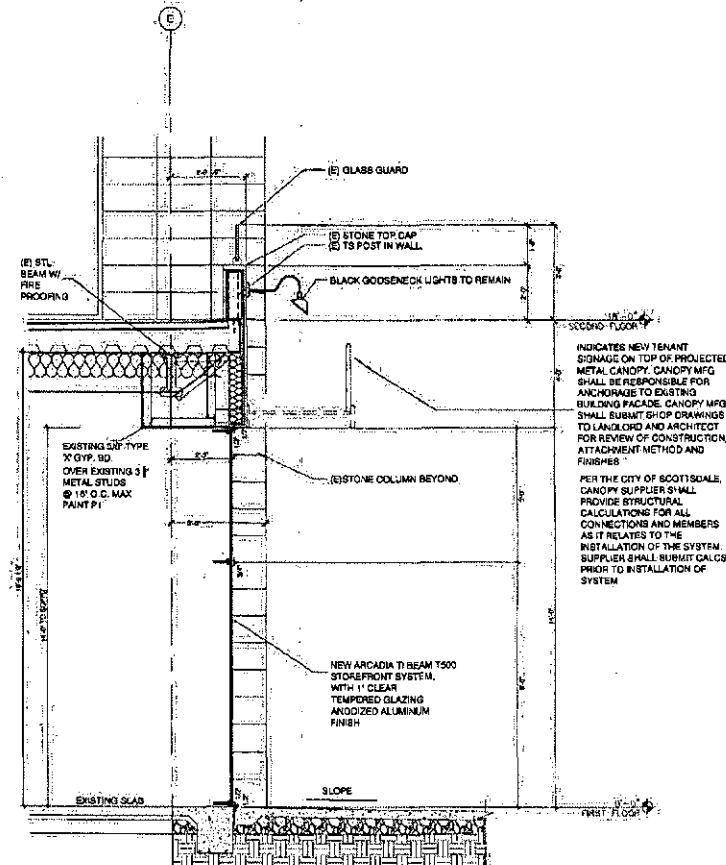
3 STOREFRONT FRAMING DETAIL

2" = 1'-0"



2 STOREFRONT FRAMING DETAIL

2" = 1'-0"



1 SECTION THROUGH STOREFRONT

1/2" = 1'-0"

NEW ALUMINUM STOREFRONT SHALL BE INSTALLED INTO EXISTING FRAMED OPENING. STOREFRONT SHALL BE ARCADE T1 BEAM T500 STOREFRONT SYSTEM WITH 11\"/>

PER LANDLORD, GC MUST SUBMIT SIGN SHOP DRAWINGS FOR LL REVIEW AND APPROVAL PRIOR TO SIGN INSTALLATION. GC MUST SUBMIT AWNING SHOP DRAWINGS TO LL FOR REVIEW PRIOR TO AWNING INSTALLATION. WALL SECTION REFLECTS AS BUILT CONDITIONS AND IS FOR REFERENCE ONLY. GC TO VERIFY ALL CONDITIONS IN FIELD. CONTACT ARCHITECT IF DISCREPANCIES EXIST.



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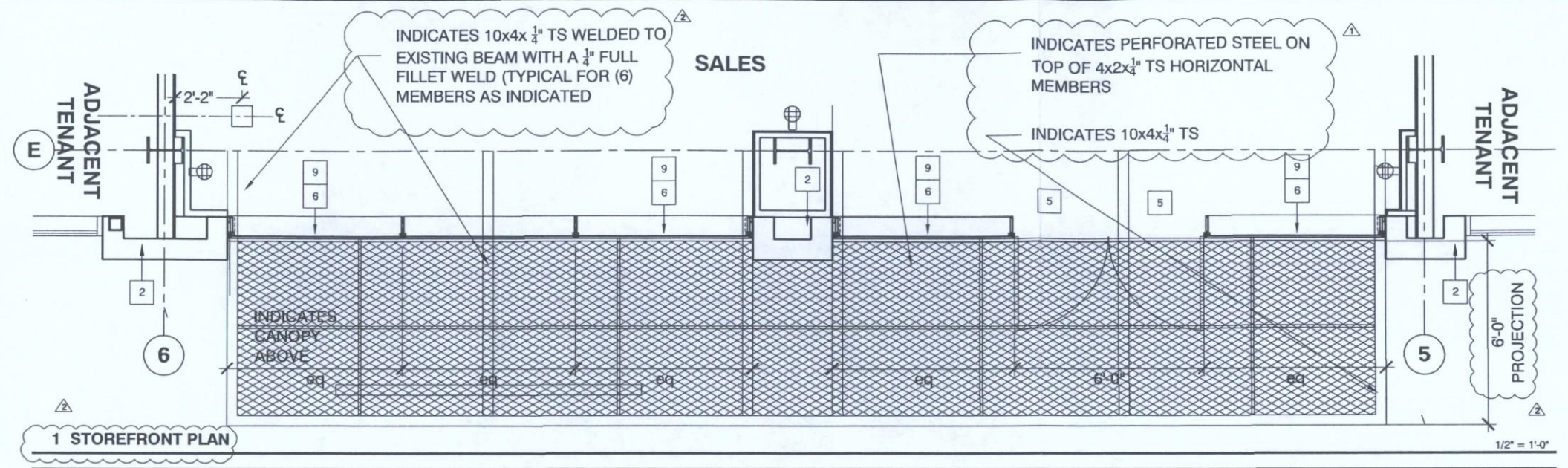
SCOTTSDALE QUARTER
15147 North Scottsdale Rd.
Suite H1-170
Scottsdale, AZ 85254

Project No.	431311
Drawn By	JBC
Checked By	DKC
Issued Date	08/30/11
Revised	Rev. Date

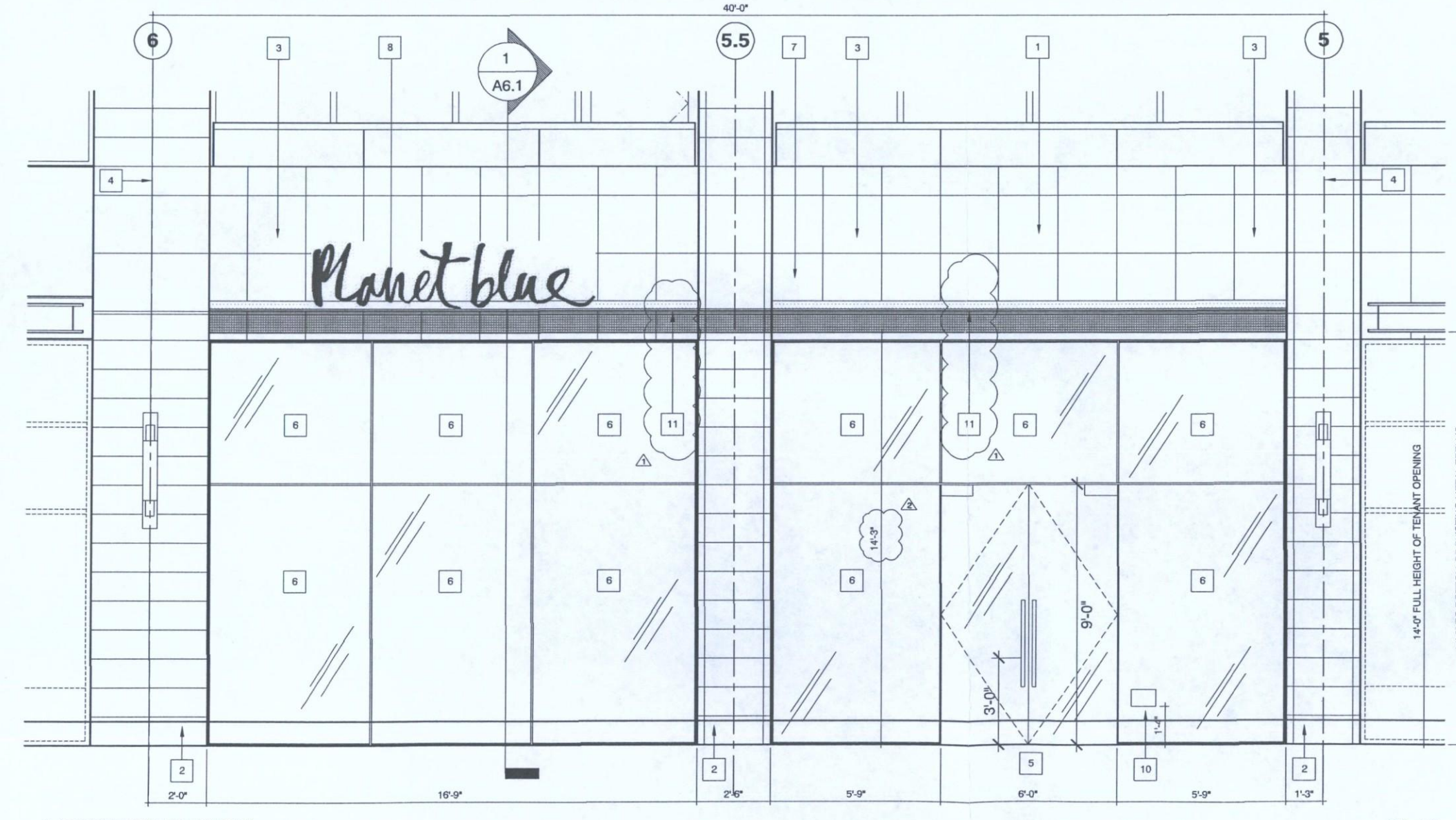
These drawings are for use by different companies, firms and individuals without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these drawings. The architect shall not be responsible for any errors or omissions in these drawings.

Sheet Title:
STOREFRONT SECTIONS

Sheet No.:
A6.1



- STOREFRONT KEY NOTES**
- 1 REMOVE EXISTING GOOSENECK LIGHT - GC SHALL PATCH TILE AS NECESSARY
 - 2 (E) NEUTRAL PIER
 - 3 (E) MALL FASCIA
 - 4 LEASE LINE
 - 5 (N) GLASS DOORS W/ ALUMINUM FRAME, 9'-0" HEIGHT
 - 6 (N) STOREFRONT ARCADIA - TI BEAM - (1)-T500 FRAMING TEMPERED GLASS, ANODIZED ALUMINUM FINISH
 - 7 (N) POWDER COATED METAL CANOPY
 - 8 (N) STOREFRONT SIGNAGE - INDIVIDUAL LETTERS FASTENED TO NEW CANOPY
 - 9 (N) LOW E, TEMPERED, INSULATED GLAZING
 - 10 STORE HOURS WINDOW VINYL GRAPHIC
 - 11 INDICATED POWDER COATED FACE PLATE COVERING TILE REMOVED FOR INSTALLATION OF NEW CANOPY



NEW ALUMINUM STOREFRONT SHALL BE INSTALLED INTO EXISTING FRAMED OPENING. STOREFRONT SHALL BE: **ARCADIA - TI BEAM - (1)-T500 SERIES**

GLAZED SYSTEM WITH INSULATED TEMPERED GLASS. G.C. SHALL SUBMIT SHOP DRAWINGS FOR STOREFRONT APPROVAL PRIOR TO FABRICATION

SIGNAGE AS SHOWN IS DIAGRAMMATIC. THE ACTUAL SIZE, LOCATION, QUANTITY AND TYPE SIGNAGE IS SUBJECT TO LANDLORD AND CITY APPROVAL UNDER A SEPARATE SIGNAGE SUBMITTAL AND PERMITTING PROCESS AND MAY NOT BE AS SHOWN ON THESE DRAWINGS. ACTUAL COLOR OF LETTERS SHALL BE PANTONE 469C

METAL CANOPY COLOR SHALL BE SIMILAR TO PANTONE 16-1415 - CANOPY MFG SHALL SUBMIT ACTUAL COLOR SAMPLE TO TENANT AND LANDLORD FOR APPROVAL PRIOR TO FABRICATION

500-SA-2014
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
 12/24/14 *[Signature]*
 DATE INITIALS

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SCOTTSDALE QUARTER
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 Scottsdale, AZ 85254

Project No.:	43.13.14
Drawn By:	JSC
Checked By:	DGC
Issued Date:	09.30.14
Revision:	No. Date
Facade Revisions	10.14.14
Planning Revision	12.12.14

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions in these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. BLUARC DESIGN, LLC must be notified of any variations from the dimensions and conditions shown by these drawings.

Sheet Title: **STOREFRONT PLAN & ELEVATION**

Sheet No.: **A6**