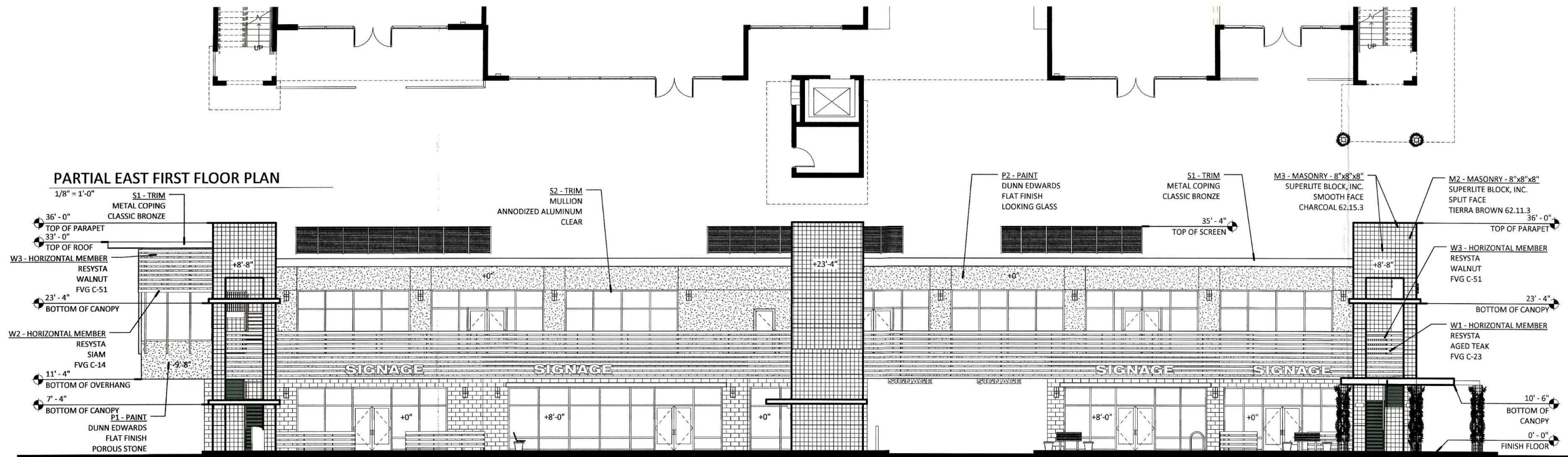
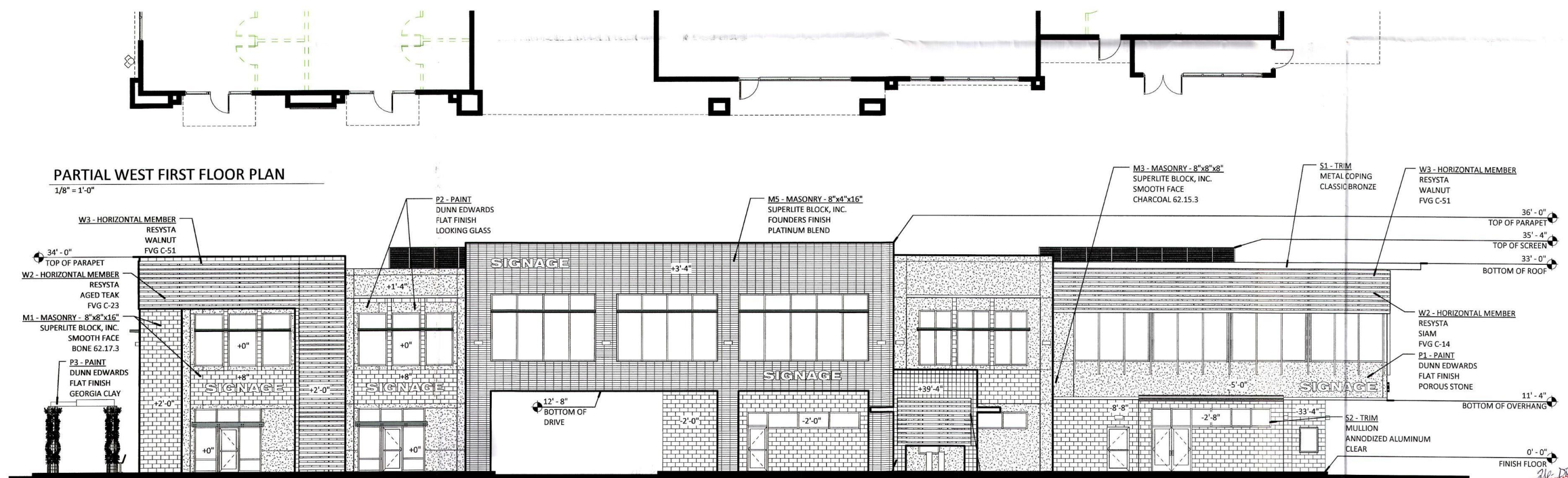




M1 - MASONRY - 8"x8"x16" SUPERLITE BLOCK, INC. SMOOTH FACE BONE 62.17.3
M2 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SPLIT FACE TERRA BROWN 62.11.3
M3 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SMOOTH FACE CHARCOAL 62.15.3
M4 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SPLIT FACE CHARCOAL 62.15.3
M5 - MASONRY - 8"x4"x16" SUPERLITE BLOCK, INC. FOUNDERS FINISH PLATINUM BLEND
P1 - PAINT DUNN EDWARDS FLAT FINISH POROUS STONE LRV: 57
P2 - PAINT DUNN EDWARDS FLAT FINISH WEATHERED LEATHER LRV: 14
P3 - PAINT DUNN EDWARDS FLAT FINISH GEORGIA CLAY LRV: 17
S1 - TRIM METAL COPING CLASSIC BRONZE
S2 - TRIM MULLION ANNOXIDIZED ALUMINUM CLEAR
W1 - HORIZONTAL MEMBER RESYSTA AGED TEAK FVG C-23
W2 - HORIZONTAL MEMBER RESYSTA SIAM FVG C-14
W3 - HORIZONTAL MEMBER RESYSTA WALNUT FVG C-51



CROSSROADS EAST
SOUTH PAD
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 11.18.14 (PRELIMINARY)

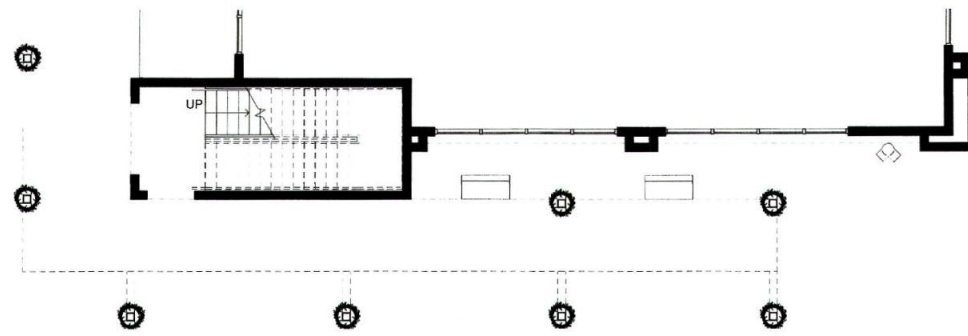
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216-128-2015
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APPROVED
01/24/2015
DATE INITIALS

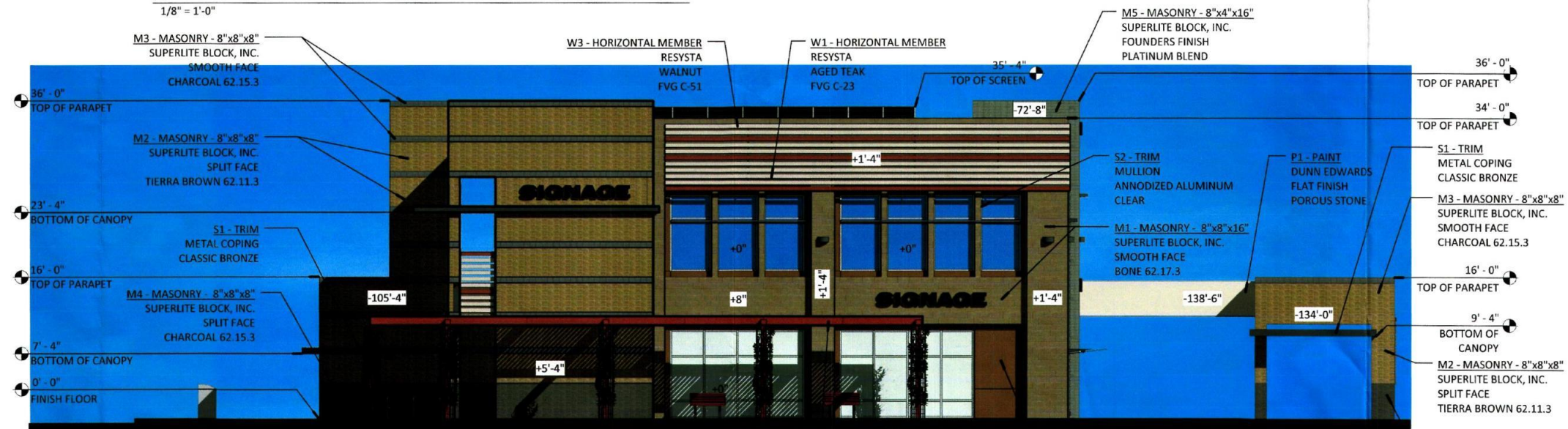


East West Elevations



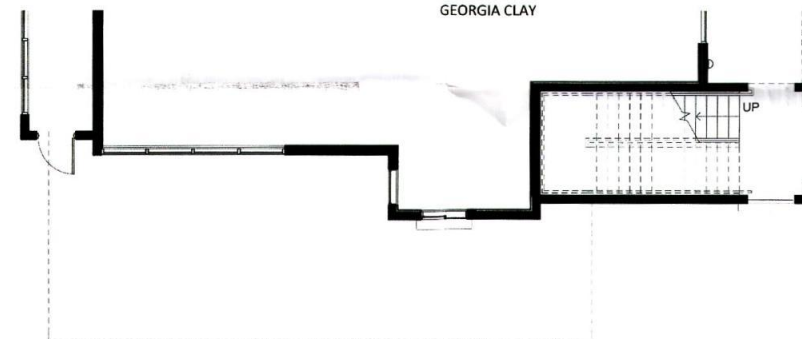
PARTIAL NORTH FIRST FLOOR PLAN

1/8" = 1'-0"



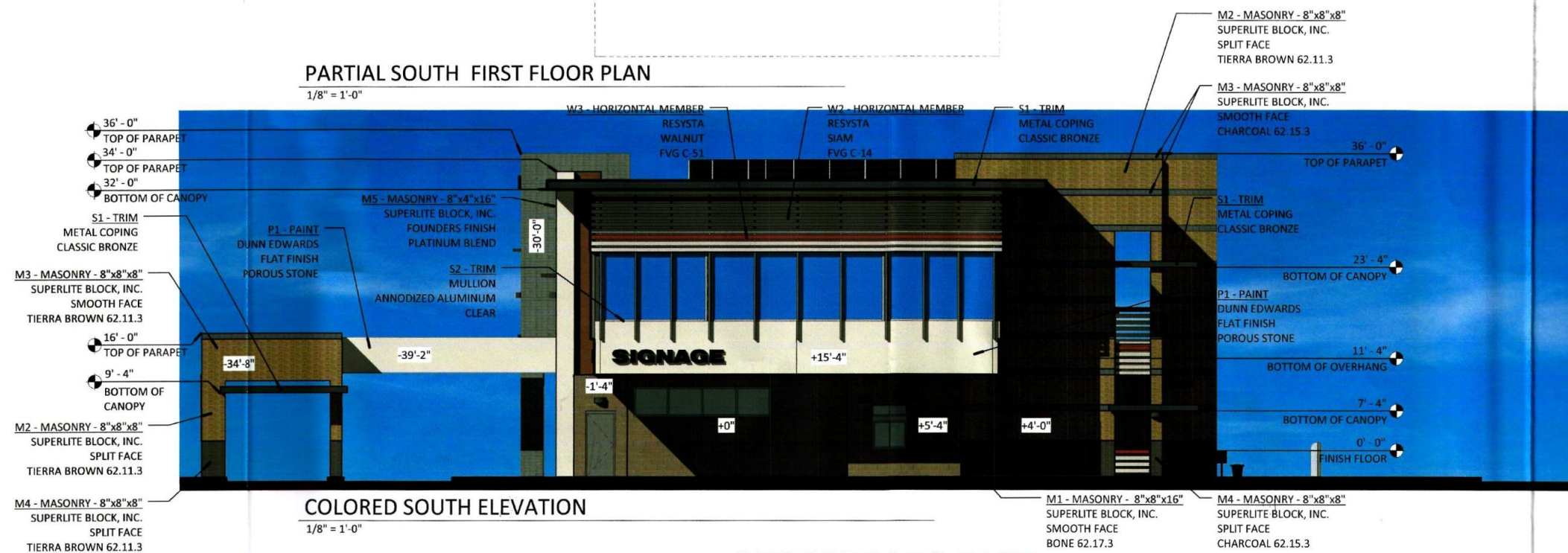
COLOR NORTH ELEVATION

1/8" = 1'-0"



PARTIAL SOUTH FIRST FLOOR PLAN

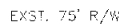
1/8" = 1'-0"



COLOR SOUTH ELEVATION

1/8" = 1'-0"

	M1 - MASONRY - 8"x8"x16" SUPERLITE BLOCK, INC. SMOOTH FACE BONE 62.17.3
	M2 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SPLIT FACE TIERRA BROWN 62.11.3
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	W2 - HORIZONTAL MEMBER RESYSTA SIAM FVG C-14
	W3 - HORIZONTAL MEMBER RESYSTA WALNUT FVG C-51



1. WATER INTENSIVE LANDSCAPE ACREAGE LIMITED TO 10% FOR FIRST 9,000 SF, AND 5% FOR REMAINDER.
TOTAL SITE = 8,215 SF
822 SF NON-ADWR MATERIAL ALLOWED
- / 10 SF NON-ADWR MATERIAL PROPOSED
100% PROPOSED: 0 SF
2. ALL 1" x 8" 15 GAL. MIN.
ALL PROPOSED TREES 74" MIN. BOX 5 ZE
3. 50% OF ALL TREES ARE MATURE
(21') TREES x 50% 2" CAL. MIN. -- 8 REQUIRED
(21') 2" CAL. MIN. TREES PROPOSED
4. PARKING LANDSCAPE AREAS ARE 7' WIDE MIN. AND 120 SF MIN.
5. TOTAL LANDSCAPE WATER USAGE:
TREES 58,664 gal/year
SHRUBS 91,842 gal/year
150,506 gal/year = 0.46 acre-feet/year

General Requirements:



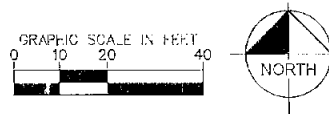
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY	ADWR (Y/N)
TREES	<i>Olneya tesota</i> ironwood Multi-Trunk, Upright	24" BOX, 2' CAL. MIN.	4	Y
	<i>Parkinsonia florida</i> Palo Verde Single-Trunk, Upright	24" BOX 2' CAL. MIN.	8	Y
	<i>Parkinsonia x. 'Desert Museum'</i> Desert Museum Palo Verde Single-Trunk, Upright	24" BOX, 2' CAL. MIN.	2	Y
	<i>Prosopis velutina</i> Velvet Mesquite Multi-Trunk	24" BOX, 2' CAL. MIN.	7	Y
SHRUBS / GRASS / ACCEYS	<i>Agave Americana</i> Century Plant	5 GAL.	4	Y
	<i>Agave geminiflora</i> Twin Flower Agave	5 GAL.	27	Y
	<i>Agave parryi</i> Perry's Agave	5 GAL.	34	Y
	<i>Dasyliiron wheeleri</i> Desert Spoon	5 GAL.	38	Y
	<i>Dasyliiron longissima</i> Toothless Spoon	5 GAL.	11	Y
	<i>Echinocactus grusonii</i> Golden Barrel Cactus	12" DIA MIN.	17	Y
	<i>Fouquieria splendens</i> Cockatillo	8' HT. 8 CANES	2	Y
	<i>Lantana hybrid 'New Gold'</i> New Gold Lantana	1 GAL.	47	Y
	<i>Lantana montevidensis</i> Purple Trailing Lantana	1 GAL.	108	Y
	<i>Opuntia violacea var. 'Santa Rita'</i> Purple Prickly Pear	5 GAL.	3	Y
	<i>Pachycereus marginatus</i> Mexican Fence Post 3 heads, no scars	3'-5' HT.	11	N
	<i>Simmondsia chinensis 'Vista'</i> Dwarf Jojoba	5 GAL.	24	Y
INERT	1/2" SCREENED D.G., Madison Gold SUBMIT SAMPLE TO OWNER FOR APPROVAL	2' DEPTH	7,445 SF	
	LANDSCAPE BOLLARDERS, COLOR TO MATCH D.G., SURFACE SELECT, EVEN MIX OF SIZES; FREE OF SCARS & BLEMISHES	2' - 4'	10	
	3" MINUS DESERT CORBLE MULCH, Express Brown (by Grantco Express or approved equal)	3" DEPTH	770 SF	

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY	ADWR (Y/N)
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	 <i>Prosopis velutina</i> Velvet Mesquite Multi-Trunk	24" BOX, 2' CAL. MIN.	7	Y
SHRUBS/GRASS/ACCENTS	 <i>Agave Americana</i> Century Plant	5 GAL.	4	Y
	 <i>Agave geminiflora</i> Twin Flower Agave	5 GAL.	27	Y
	 <i>Agave parryi</i> Perry's Agave	5 GAL.	34	Y
	 <i>Dasyliroton wheeleri</i> Desert Spoon	5 GAL.	38	Y
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	 3" MINUS DESERT CORBLE MULCH, Express Brown (by Grantco Express or approved equal)	3" DEPTH	770 SF	

1. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
2. A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
3. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 5 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
4. AREA WITHIN THE SIGHT TRIANGLE(S) IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
5. NO TURF AREAS ARE TO BE PROVIDED.
6. RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
7. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
8. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TPN (10) ACRE FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 45-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
9. TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
10. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
11. THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
12. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
13. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
14. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
15. ALL REVEGETATED AREAS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED AREAS SHALL BE PERMANENTLY DISCONNECTED.
16. NO IRRIGATION SHALL BE PROVIDED TO UNDESIRABLE NATURAL AREA OPEN SPACE (NAOS) AREAS.

1. NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCRoACH INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
2. ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOWING METHODS:
 - A. A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTANCE BASED ON THIS EXHIBIT.
 - B. - THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
 - C. ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
 - D. THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

1. AFTER THE 90 DAY PLANT ESTABLISHMENT PERIOD, AS DESCRIBED IN THE TECHNICAL SPECIFICATIONS, THE OWNER WILL PROVIDE MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM(S).
2. ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY (INCLUDING MEDIANS), SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, LITTER AND WEED-FREE CONDITION. IN ADDITION TO THE STANDARDS IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL, ANSI A30C STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA.



CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

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7720 North 18th Street, Suite 300
Phoenix, Arizona 85020 (602) 244-5500

Nationwide Real Estate Services

PRELIMINARY LANDSCAPE PLAN

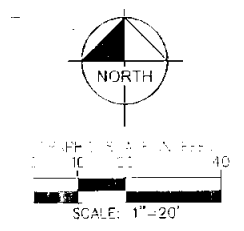
SCOTTSDALE, ARIZONA

PROJECT No.
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SCALE (V): NONE
DRAWN BY: MAP
DESIGN BY: MAP
CHECK BY: CMR
DATE: 11/21/14

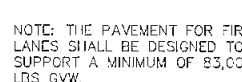
LS1
1 OF 1 SHEETS

25-07-79

01/24/2015 The

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*PARKING SPACES IN ADDITION TO THOSE SHOWN ON THIS SITE PLAN
ARE PROVIDED FOR THIS DEVELOPMENT.



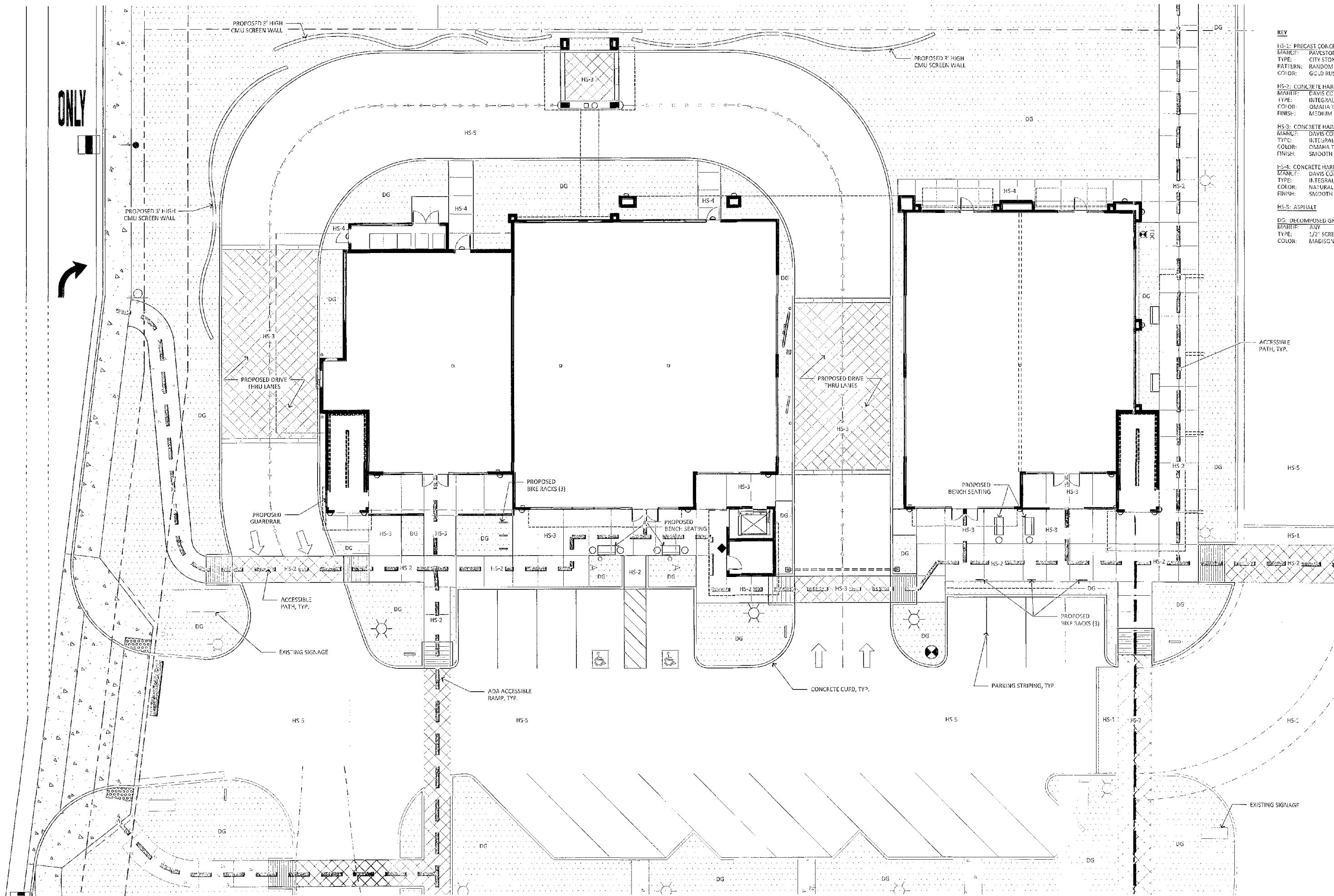
RCAA ARCHITECTS, INC
 2233 E. THOMAS ROAD
 PHOENIX, ARIZONA 85016
 PH: (602) 955-3900
 CONTACT: NEIL FEASER

22500/SP1.dwg

SP1

1 OF 1 SHEET

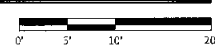
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BEFORE YOU DIE
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1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



- KEY**
- HS-1: PRECAST CONCRETE PAVERS**
 MANUF: PAVESTONE
 TYPE: CITY STONE COMBO 3X6, 5X6, 6X9
 PATTERN: RANDOM (15)
 COLOR: GOLD RUSH
- HS-2: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: OMAHA TAN
 FINISH: MEDIUM EXPOSED AGGREGATE
- HS-3: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: OMAHA TAN
 FINISH: SMOOTH
- HS-4: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: NATURAL GRAY
 FINISH: SMOOTH
- HS-5: ASPHALT**
- DG: DECOMPOSED GRANITE**
 MANUF: ANY
 TYPE: 1/2" SCREENED D.G.
 COLOR: MADISON GOLD

HARDSCAPE PLAN

SCALE: 1" = 10'-0"



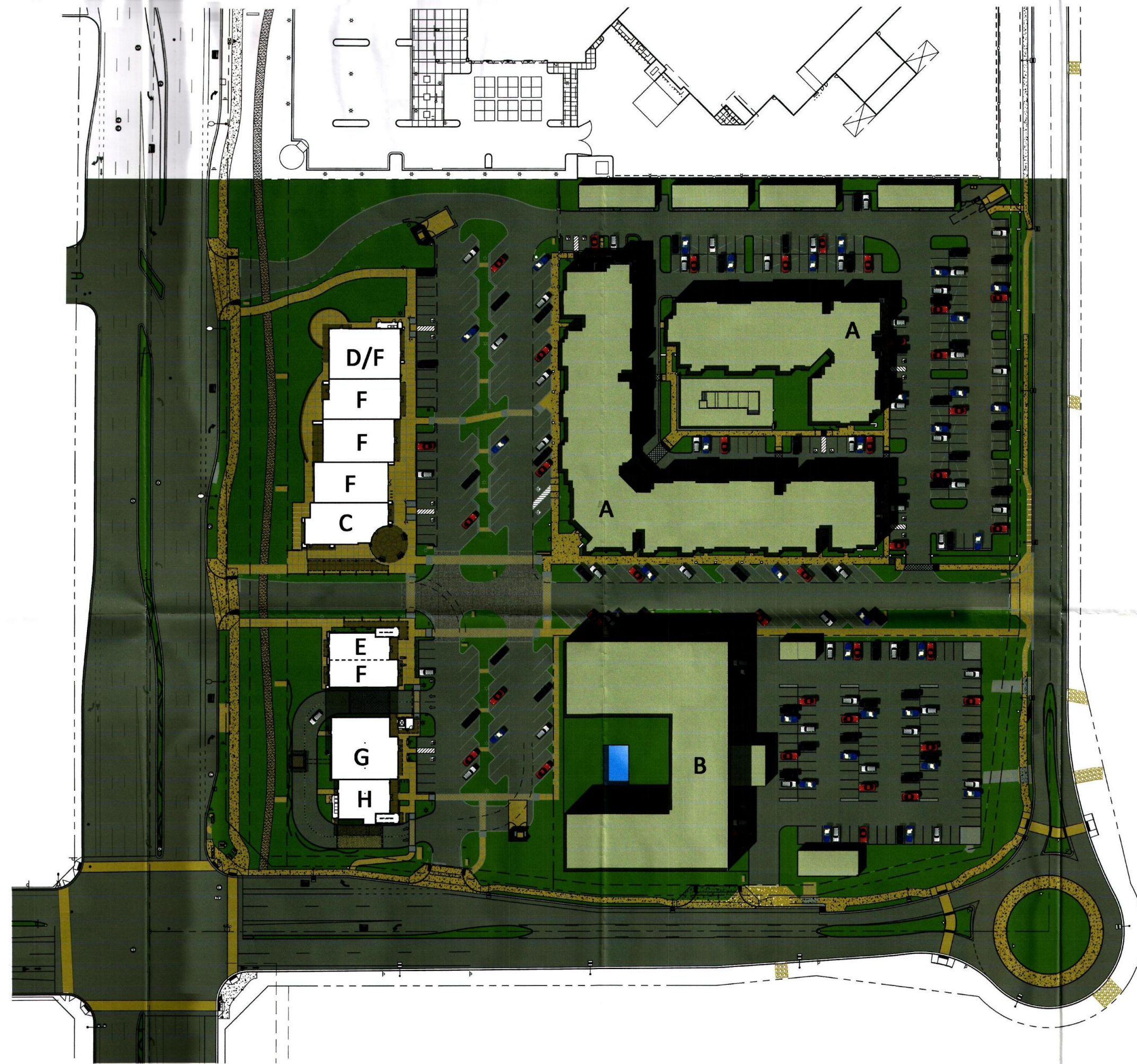
**CROSSROADS EAST
 SOUTH PAD**
 NEC SCOTTSDALE RD & CHAUNCEY LN
 SCOTTSDALE, ARIZONA

HS-1

RKAA# 13061.51

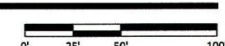
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- KEY**
- A) MULTI-FAMILY RESIDENTIAL
 - B) HOTEL
 - C) RESTAURANT
 - D) RESTAURANT
 - E) RESTAURANT
 - F) RETAIL
 - G) BANK
 - H) STARBUCKS

SITE PLAN
SCALE: 1" = 50'-0"



**CROSSROADS EAST
SOUTH PAD**
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 11-18-14 (PRELIMINARY)

MSP-1

RKAA# 13061.51

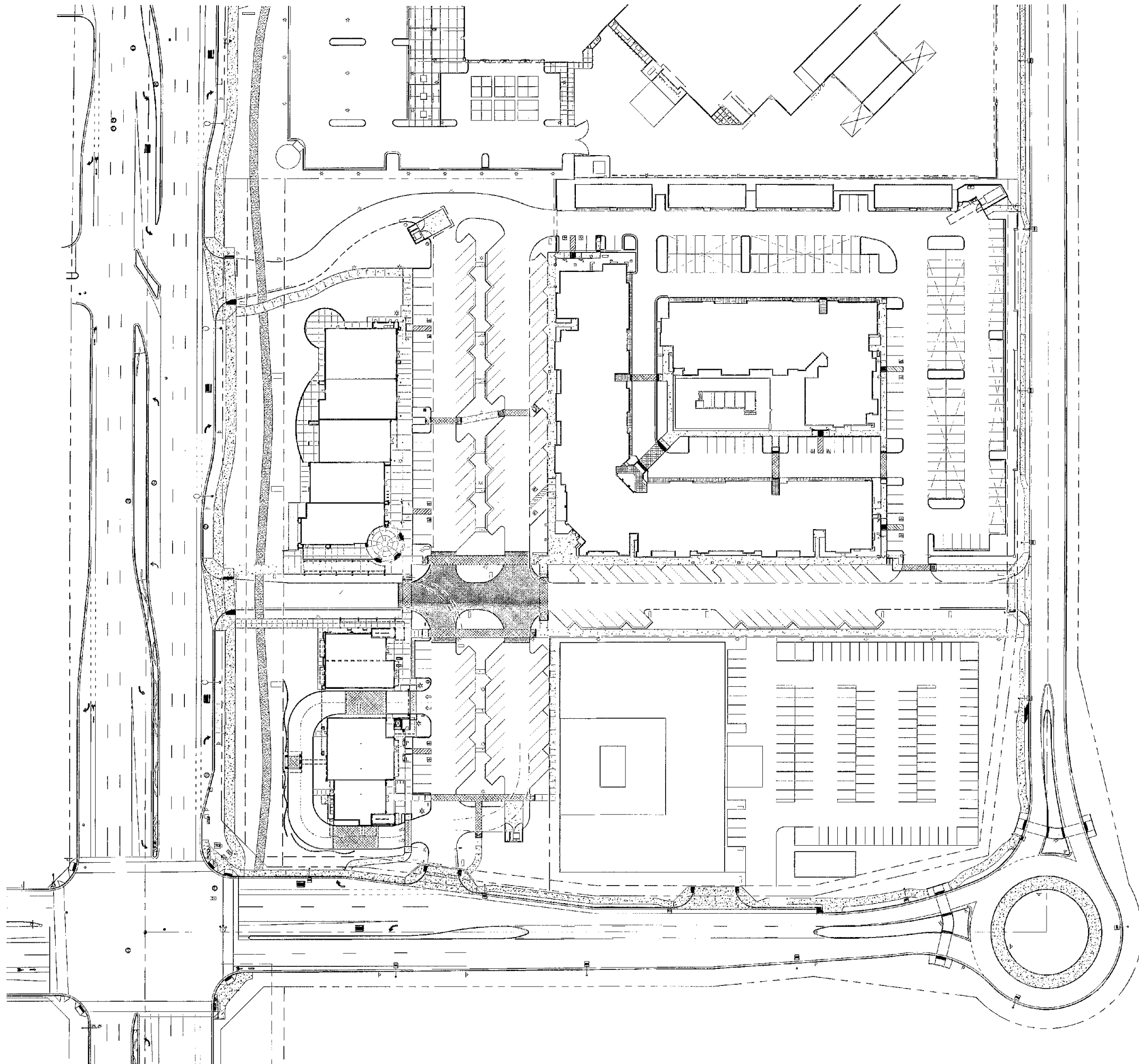
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2/5-7/2015
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE: 7/16/2015 INITIALS: [Signature]

D

DIVERSIFIED PARTNERS

Nationwide Real Estate Services



SITE PLAN

SCALE: 1" = 50'-0"



**CROSSROADS EAST
SOUTH PAD**

NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 11.10.14 (PRELIMINARY)

MSP-1

RKAA# 13061.51

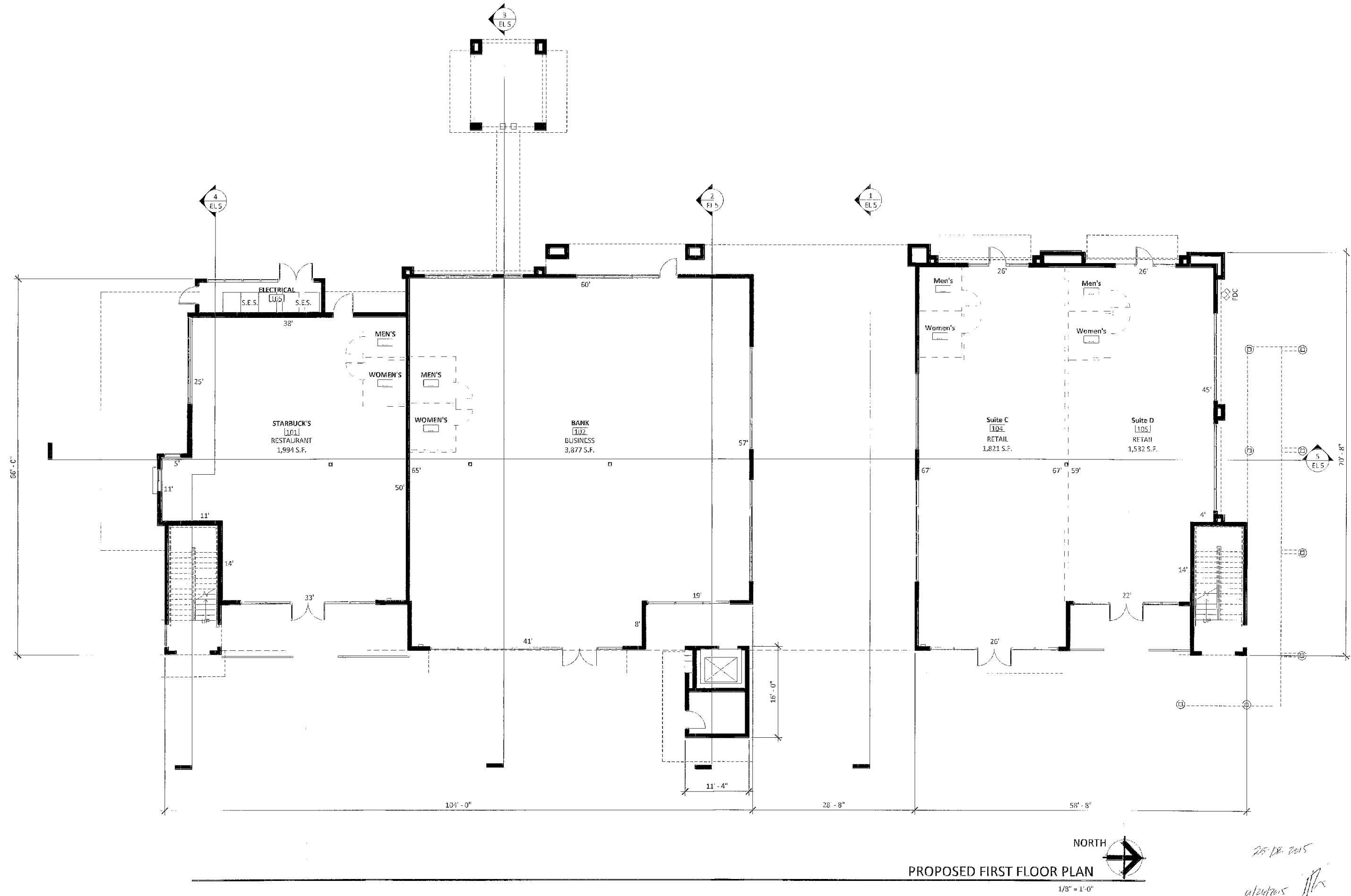
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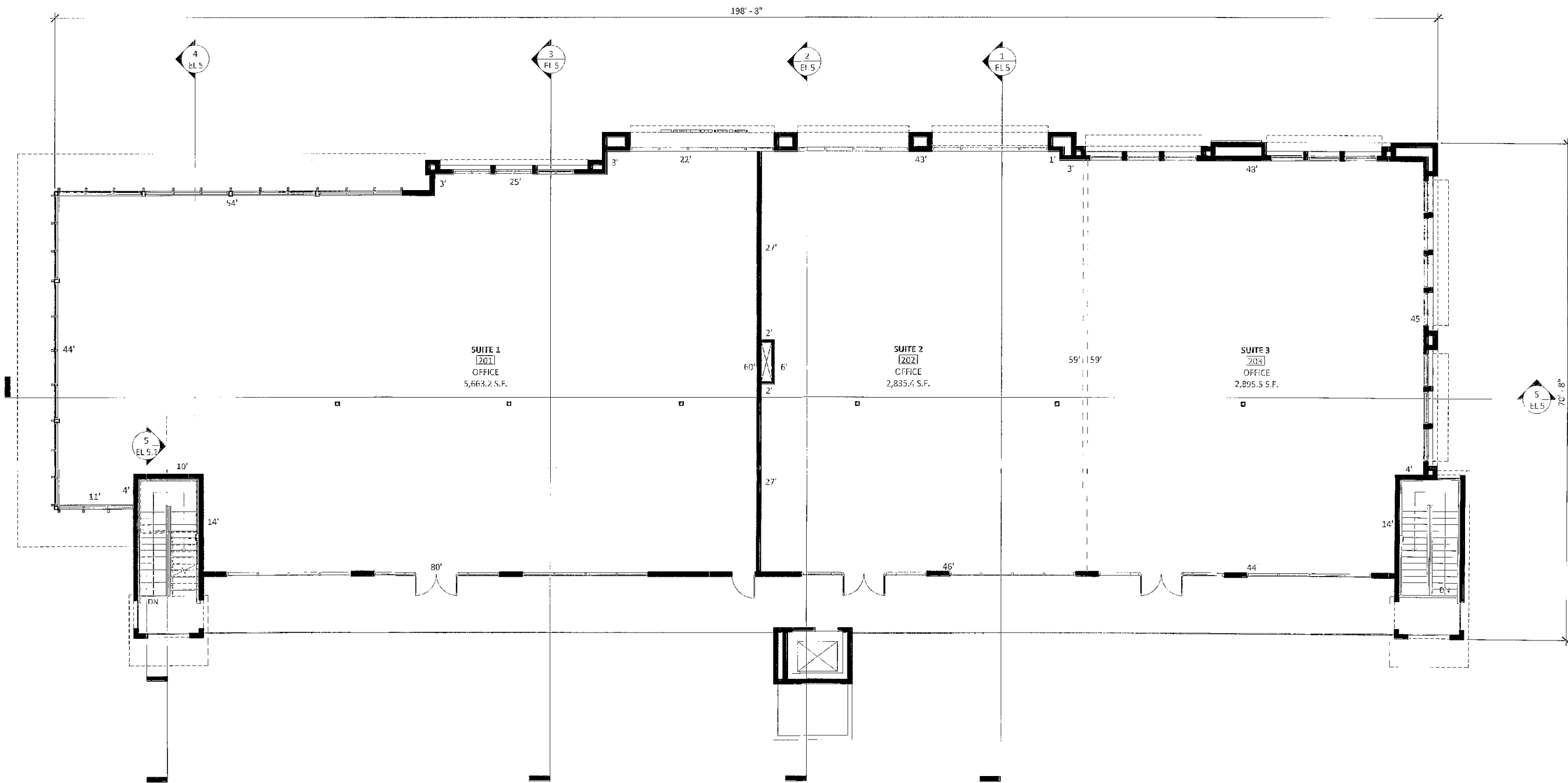
25.08.2015
01/24/2015



**DIVERSIFIED
PARTNERS**

Nationwide Real Estate Services





PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

2/15/2015
W/2015



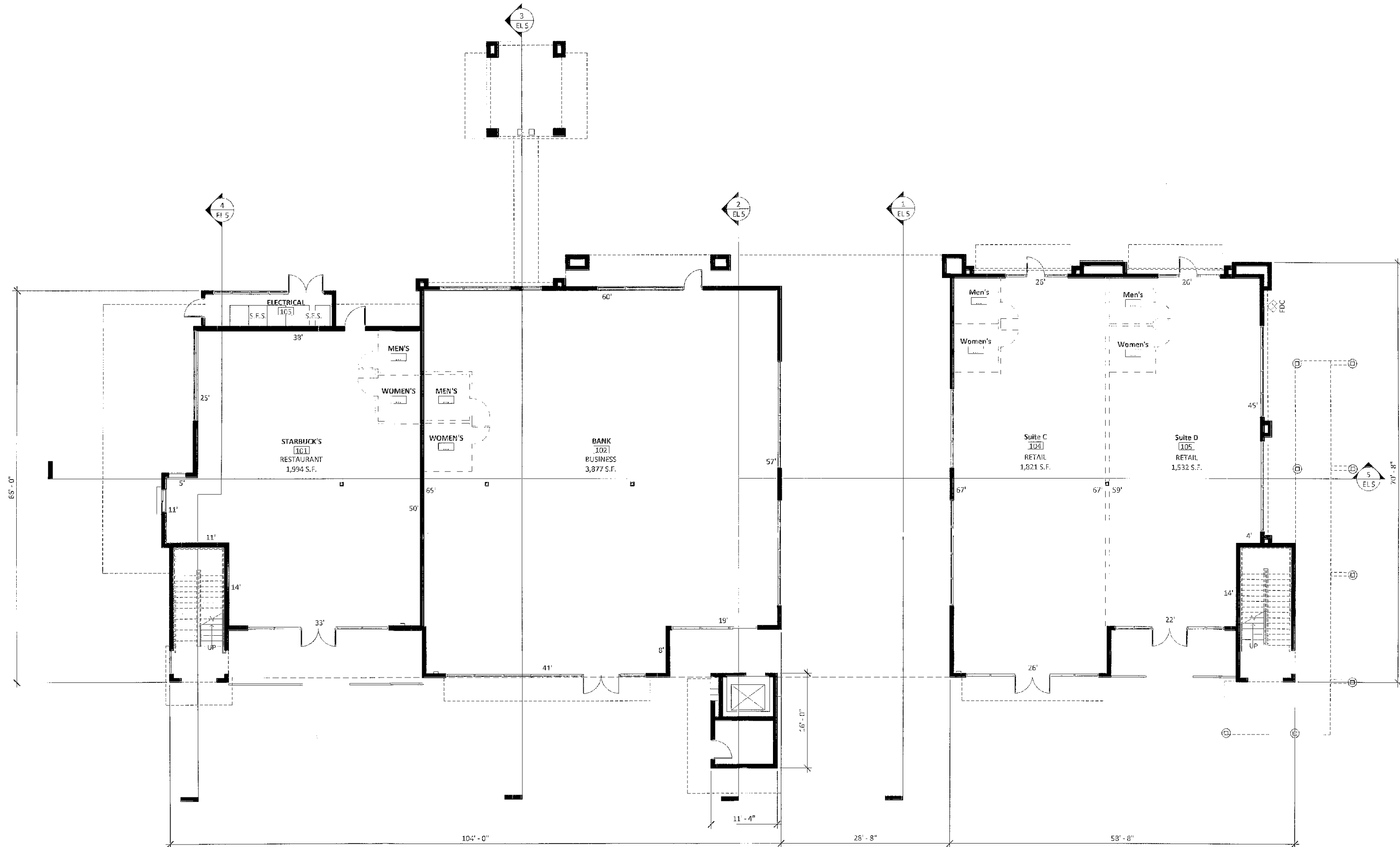
CROSSROADS EAST
SOUTH PAD
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 11-10-11 (PRELIMINARY)

FP-2

RKAA# 13061.51

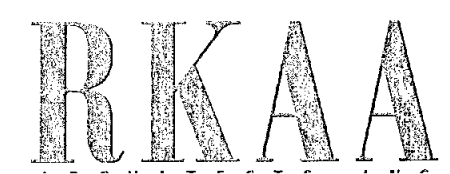
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NORTH 
 PROPOSED FIRST FLOOR PLAN
 1/8" = 1'-0"

20-10-2015
 v/kutars



CROSSROADS EAST
SOUTH PAD
 NEC SCOTTSDALE RD & CHAUNCEY LN
 SCOTTSDALE, ARIZONA
 DATE: 11-12-11 (PRELIMINARY)

FP-1
 RKA# 13061.51

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25-DE-2015
21/2/2015