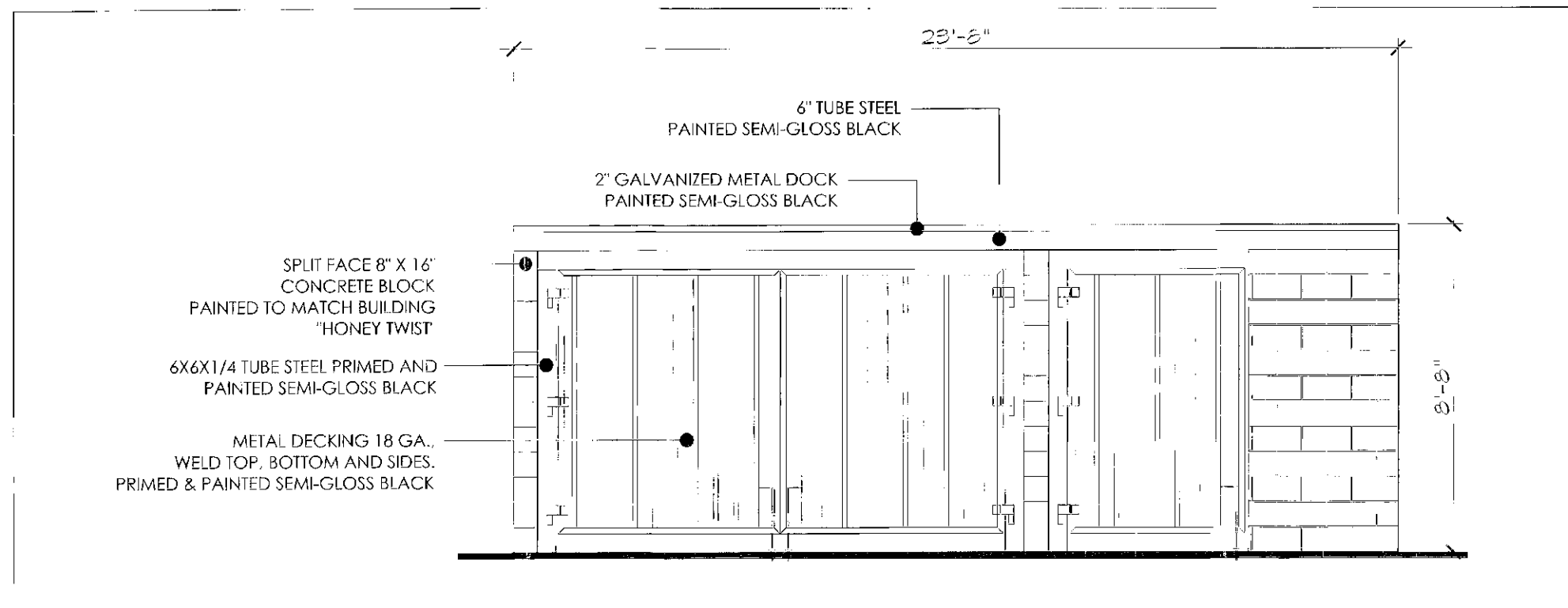
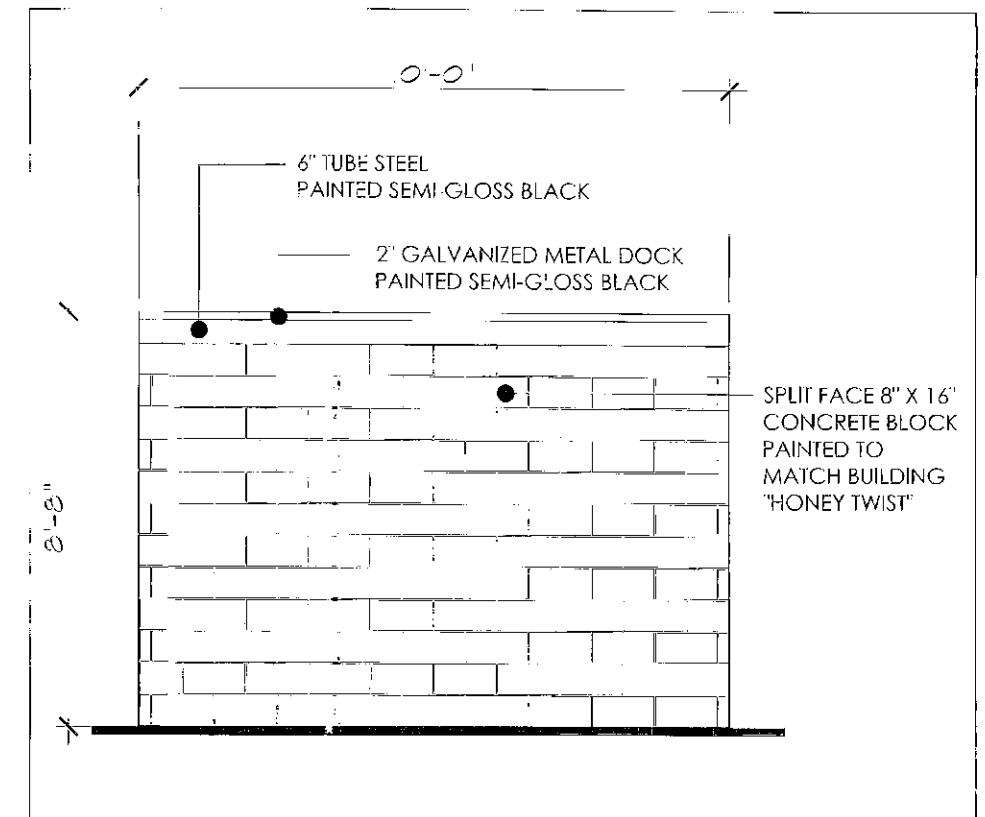




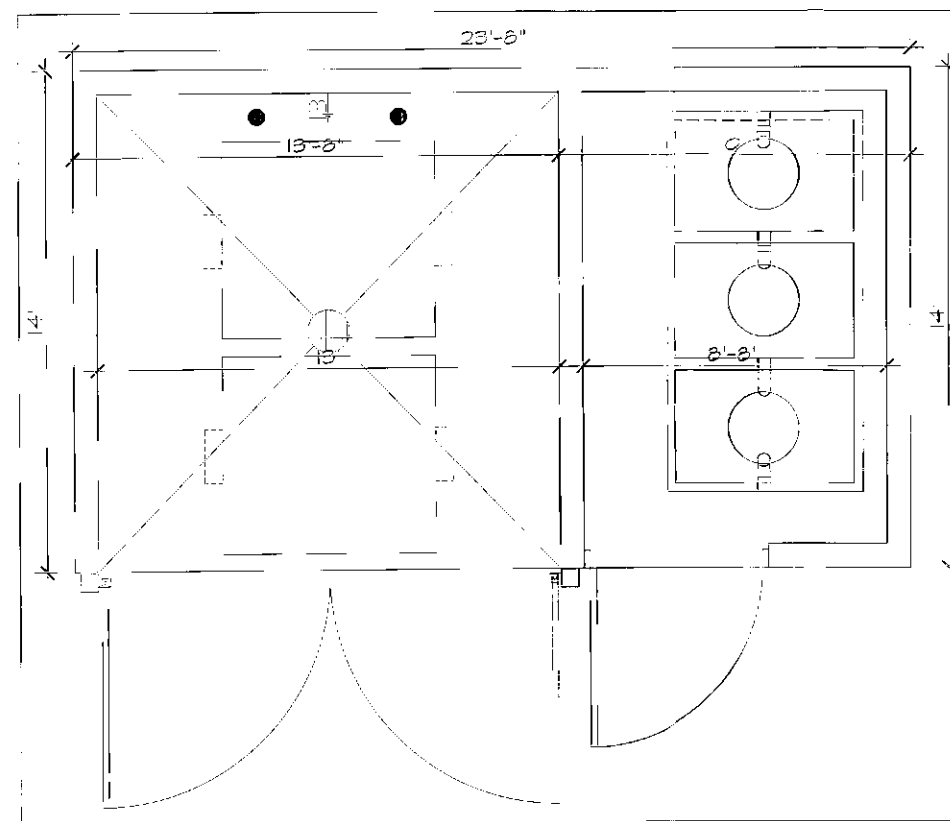
trash enclosure (pad a) - gate elevation

scale: 1/2" = 1'-0"



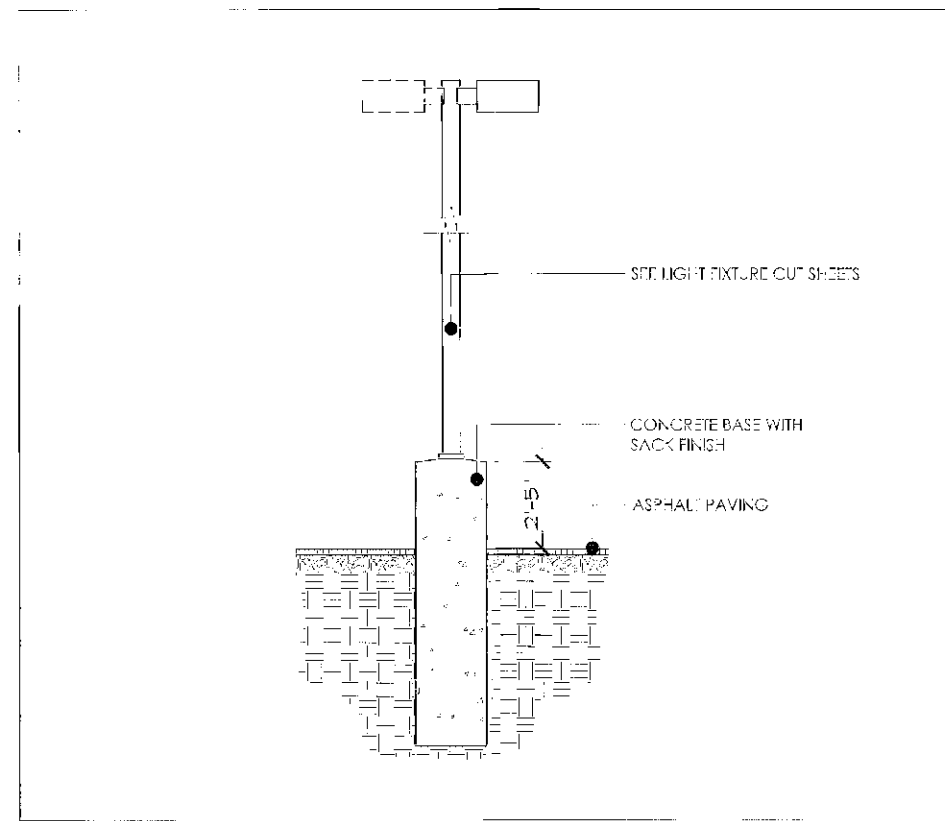
trash enclosure (pad a) - side elevation

scale: 1/2" = 1'-0"



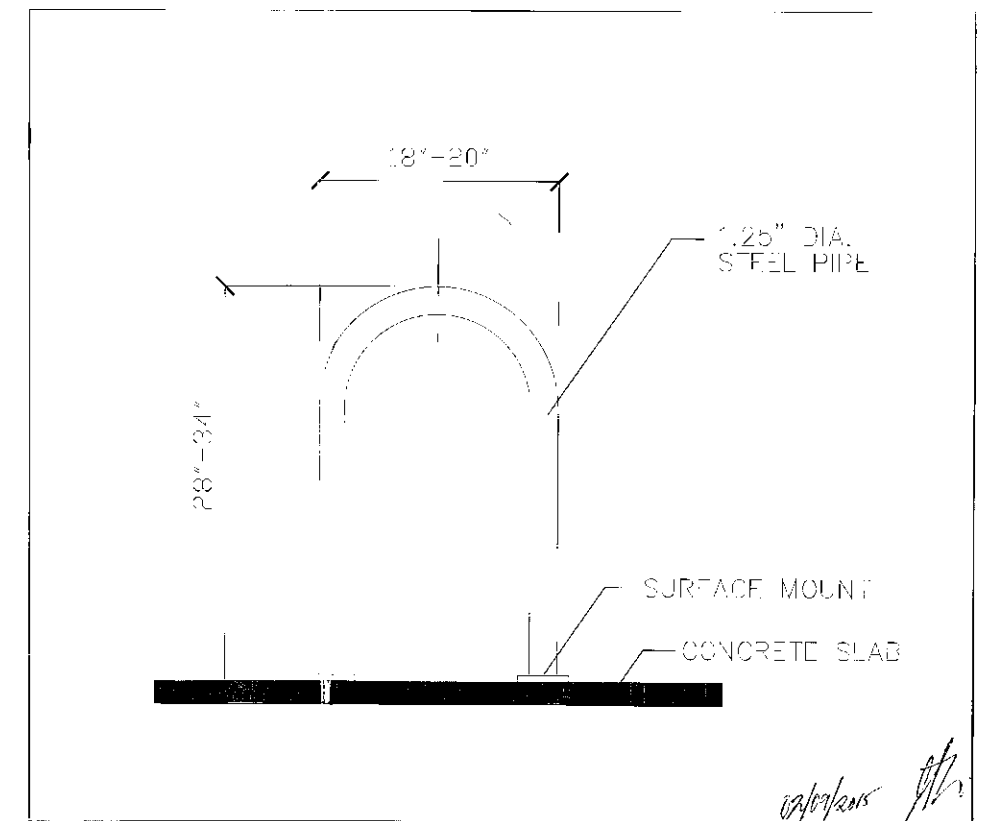
trash enclosure (pad a) - plan view

scale: 3/8" = 1'-0"



light pole base detail

scale: 3/8" = 1'-0"



bicycle rack detail

scale: 1-1/2" = 1'-0"

RAISING CANES

(preliminary landscape drawings)

project consultants

architectural & landscape
KERPAN PLANNING & DESIGN LLC
1074 EAST GRAND CHAYON DRIVE
CHANDLER, ARIZONA 85249
PROJECT CONTACT: KEVIN KERPAN
PHONE: 602.263.0192

landscape architectural

DESIGN ETHIC LLC
8026 EAST W. ICHILL DRIVE
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077

preliminary landscape notes

planting

THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF SCOTTSDALE DESIGN STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED & PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS.

SIZES OF TREES AND SHRUBS WILL CORRESPOND WITH REQUIREMENTS SET BY THE CITY OF SCOTTSDALE. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

irrigation

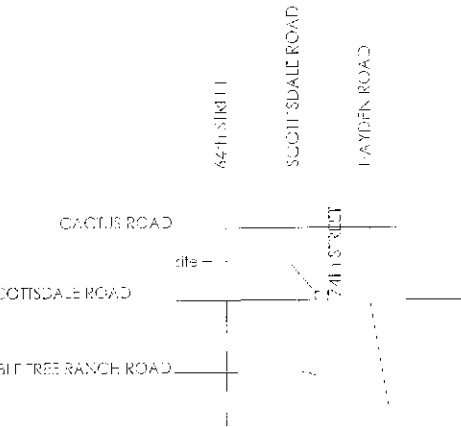
AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW LANDSCAPE AREAS.

grading

ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ON-SITE DRAINAGE WILL DRAIN INTO THE RETENTION BASINS LOCATED ON-SITE.

native plant note

THERE ARE NO EXISTING NATIVE/INDEGENOUS PLANT MATERIAL(S) LOCATED WITHIN THE CONTEXT OF THIS PROJECT OR THE PROJECTS IMPROVEMENTS. THIS PRELIMINARY LANDSCAPE PLAN COMPLETES WITH THE CITY OF SCOTTSDALE ZONING ORDINANCE SECTION 6.200.

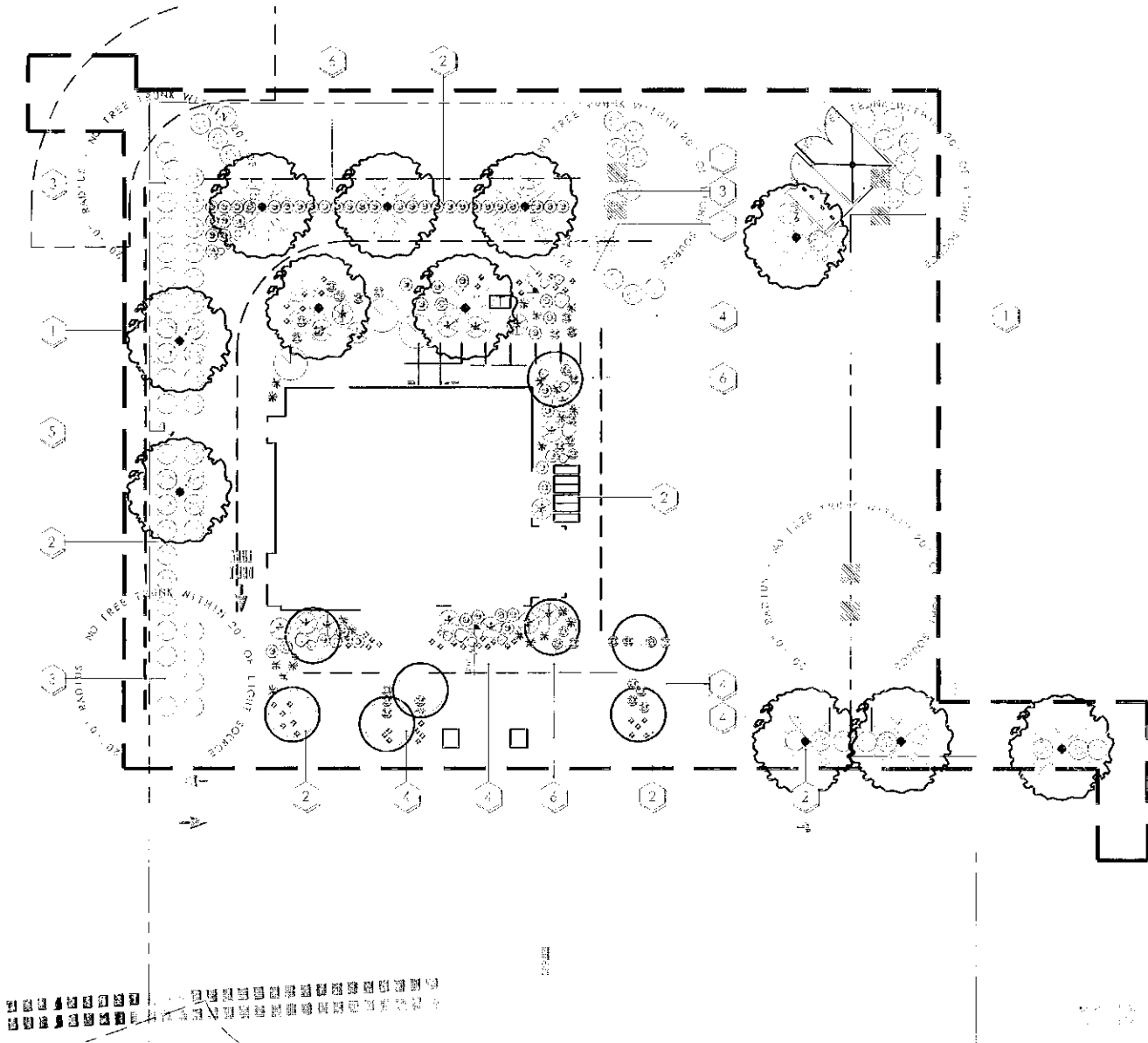


site map



not to scale

CALL OR VISIT US
602.263.1100
1-800-STAKE-IT
(OUTSIDE ARIZONA ONLY)



SHEA BOULEVARD

plant legend

	botanical name	common name	size	qty
trees				
	DALBERGIA SASSOO	SISSOO TREE	15 GAL. / 24" BOX	11
	CASALPINA CACALACO 'SMOOTH'	IRONWOOD CASCALOTE	15 GAL. / 24" BOX	8
shrubs				
	NEKUM OLIFANDER	PETITE PINK OLEANDER	5 GAL.	72
	RUELLIA BRITTONIANA	MEXICAN PETUNIA	5 GAL.	56
	RUELLIA EQUSETIFORMIS	COCKLE-POONIA	5 GAL.	39
	LECOMA ALATA	ORANGE CUBEB	5 GAL.	3
accents				
	ALOE X. BLUE ELF	BLUE ELF ALOE	5 GAL.	51
	ASCLEPIAS SUBULATA	DESERT AM. KWEE	5 GAL.	91
	CARNEGIEA O'CANTEA	SAGUARO	5'0" TALL	2
	DASYLIRION QUADRANGULATUM	MEXICAN GRASS TREE	5 GAL.	16
inerts				
	DECOMPOSED GRANITE	TO BE SELECTED	2'	
	SELECT GRANITE BOULDERS	PIT RUN ROCK		

planting key notes

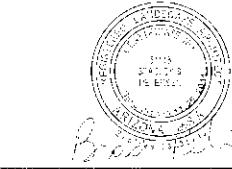
- 1. PROPERTY LINE / RIGHT OF WAY LINE
- 2. DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3. SITE LIGHTING, SEE ARCH. PLANS.
- 4. ACCESSIBLE RAMP, SEE CIV. ENG. PLANS.
- 5. FIRE HYDRANT - NO PLANT MATERIAL WITHIN 3'
- 6. SIDEWALK.

DATE: 12/4/2014
DRAWN BY: B. PAUL
SUBMITTED: 11/25/2014
REVISED:

PROJECT:

JOB NO: 14-049
DATE: 12/4/2014
DRAWN BY: B. PAUL
SUBMITTED: 11/25/2014
REVISED:

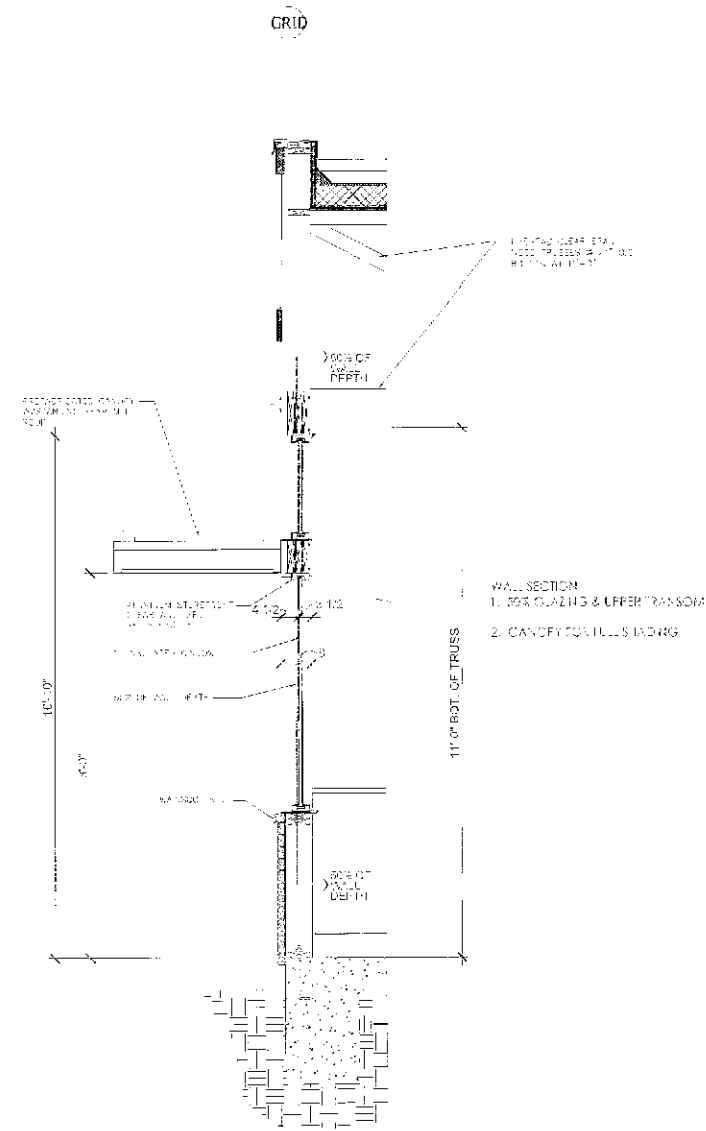
SHEET



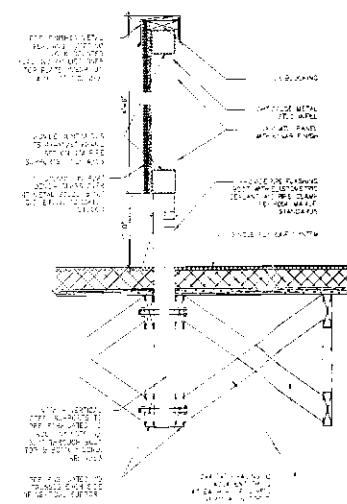
RAISING CANES
7736 EAST SHEA BOULEVARD
SCOTTSDALE, ARIZONA

PRELIMINARY LANDSCAPE PLAN

DESIGN ETHIC
LANDSCAPE ARCHITECTURE
FORGING NEW ENVIRONMENTS
7411 N. DAVENPORT AVE. SUITE 100, SCOTTSDALE, AZ 85258
480.225.7077



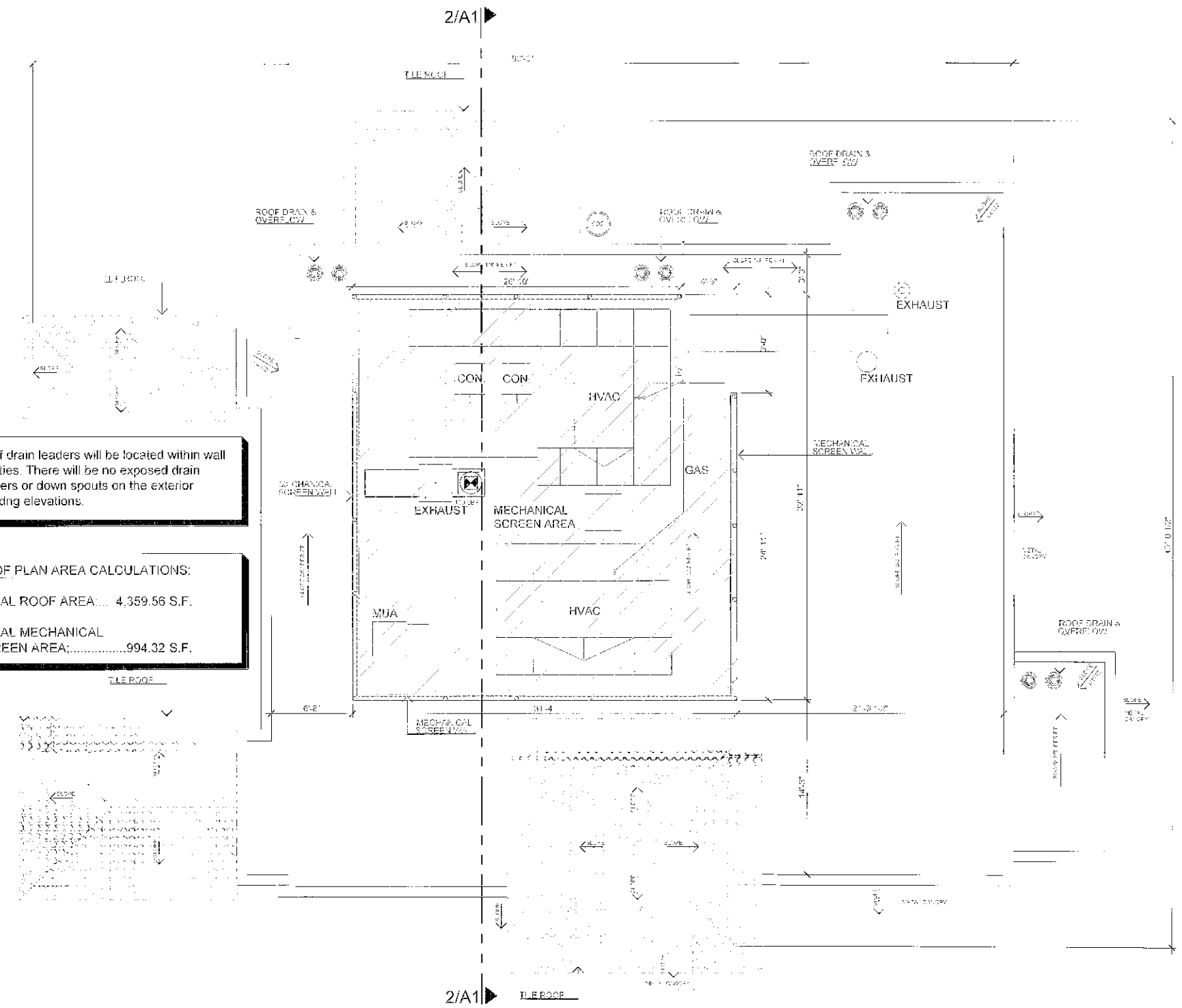
3 WALL SECTION
SCALE: 1/2" = 1'-0"



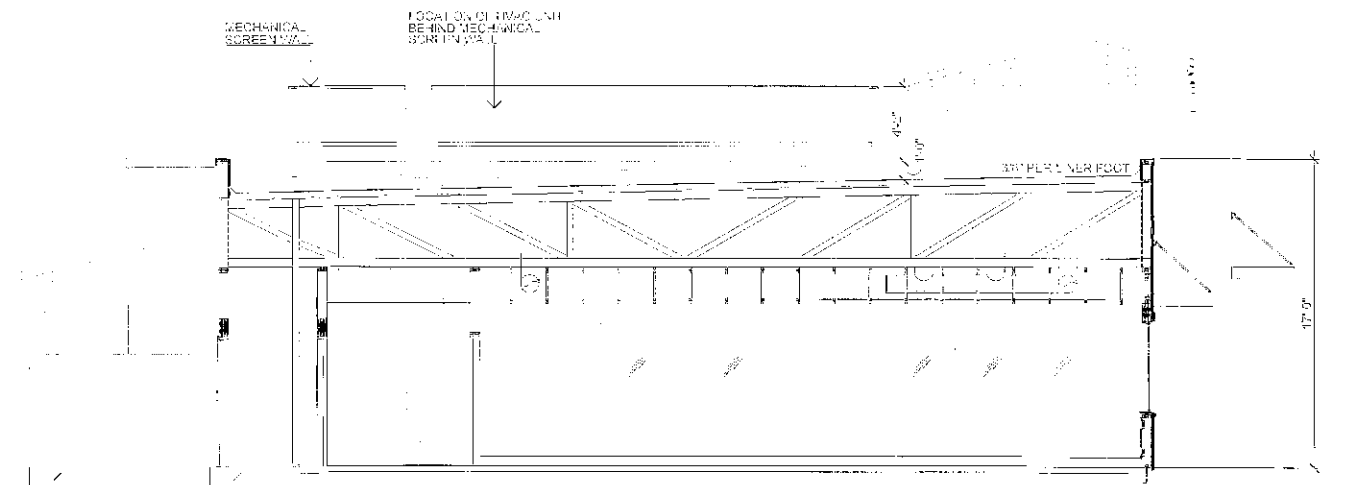
4 SCREEN WALL DETAIL
SCALE: 3/4" = 1'-0"

Roof drain leaders will be located within wall cavities. There will be no exposed drain leaders or down spouts on the exterior building elevations.

ROOF PLAN AREA CALCULATIONS:
TOTAL ROOF AREA..... 4,359.56 S.F.
TOTAL MECHANICAL
SCREEN AREA:.....994.32 S.F.



1 ROOF PLAN
SCALE: 3/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



NEW RESTAURANT FOR:
RAISING CANE'S CHICKEN FINGERS - AZ 8
7366 EAST SHEA BOULEVARD
SCOTTSDALE, ARIZONA 85260

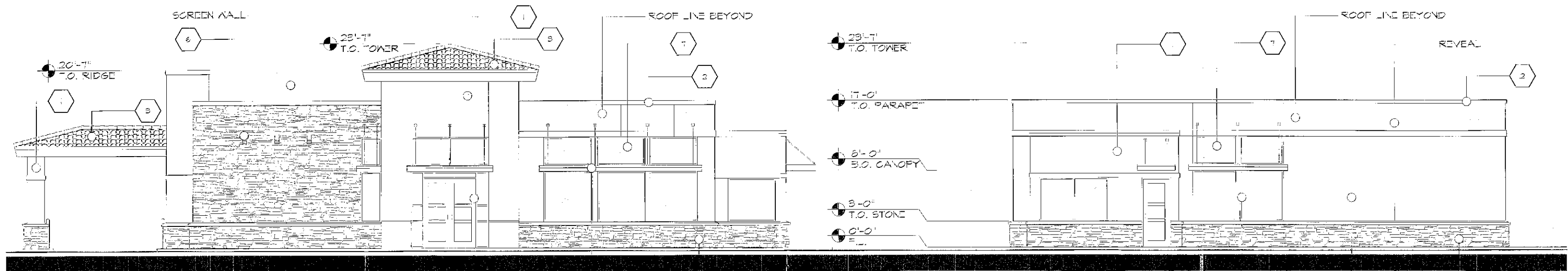
PERMIT SET

dChang Architects, LLC
Interiors Planning
Architecture
3689 West Glendale Avenue, Suite 200
Glendale, Arizona 85346
Phone: 602.944.1234

ROOF PLAN WORKSHEET

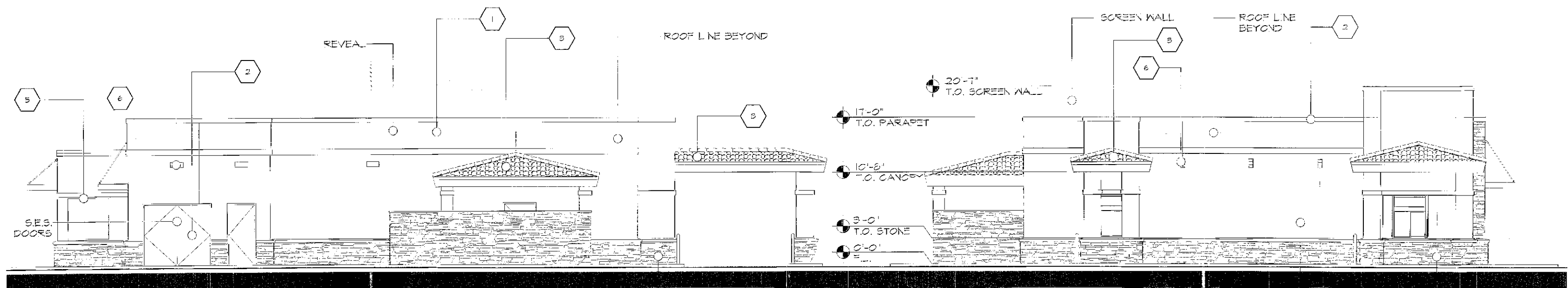
Sheet No.
A1

12/24/2014



south elevation

east elevation



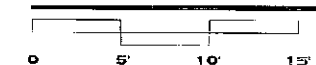
north elevation

west elevation

color / materials

1 DRYVIT "HONEY TWIST" #393, PEBBLE FINISH	3 CLAY ROOF TILE (TO MATCH CENTER)	5 PAINTED METAL MILL FINISH
2 PAINTED METAL BENJAMIN MOORE HC-166 KENDALL CHARCOAL	4 ELDORADO STONE - MOUNTAIN LEDGE COLOR "DURANGO DRY-STACK JOINT", MORTAR	6 WALL MOUNTED LIGHT FIXTURE
		7 SPANDREL GLASS

scale: 3/16" = 1'-0"

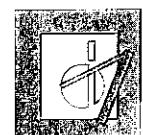


notes

1. all signage by separate permit.

02/19/2015

conceptual elevations



dChang Architects, LLC
Architecture Interiors Planning
5682 West Gray Drive, Chandler, Arizona 85226 Phone: 480.789.0243

Raising Cane's
7366 E. Shea Boulevard
Scottsdale, Arizona 85260

PRELIMINARY
NOT FOR
CONSTRUCTION OR RECORDING

MRG Marketing and Management, Inc.

Project number: 14002

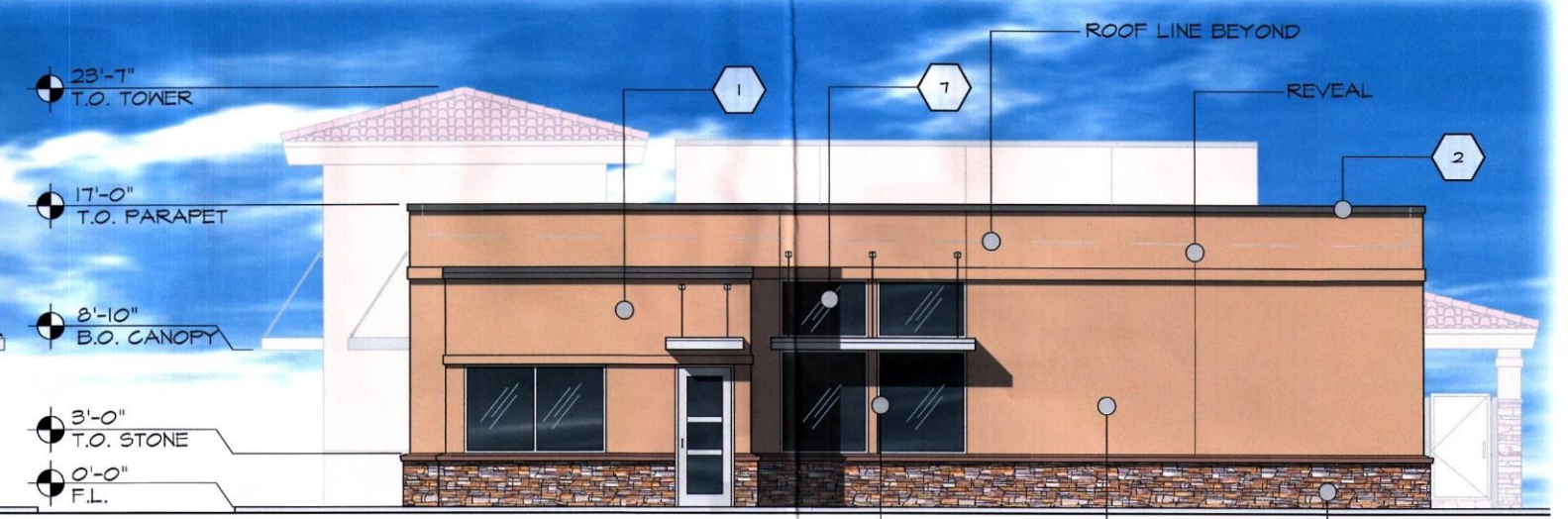
Date: December 1, 2014

12/4/2014

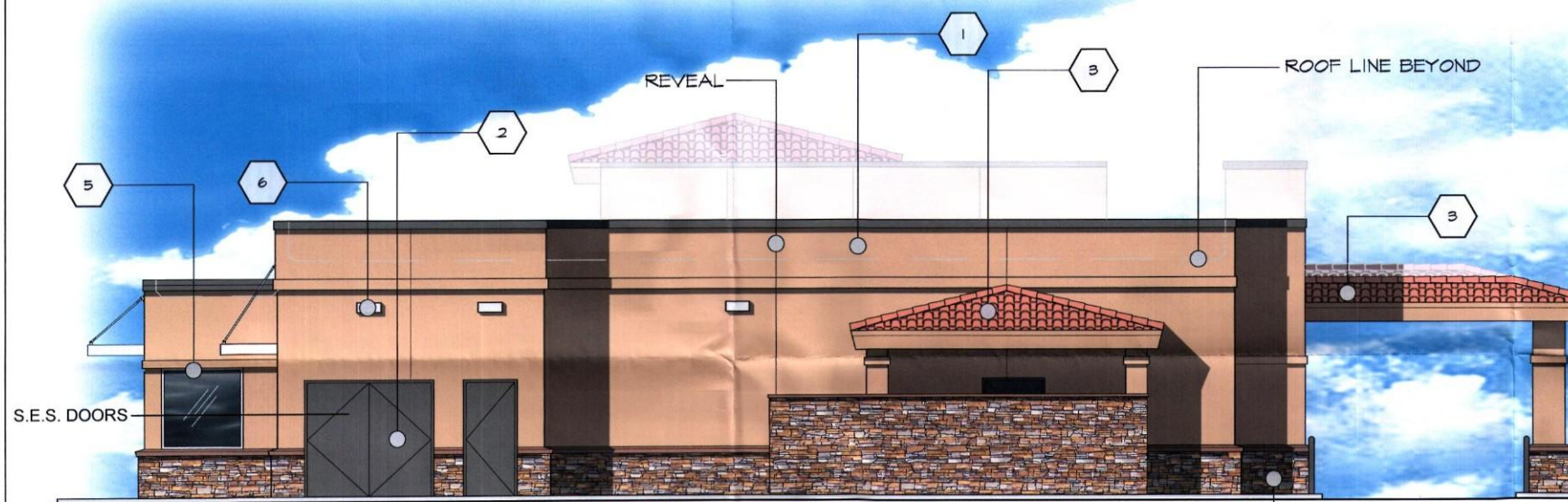
EL-1



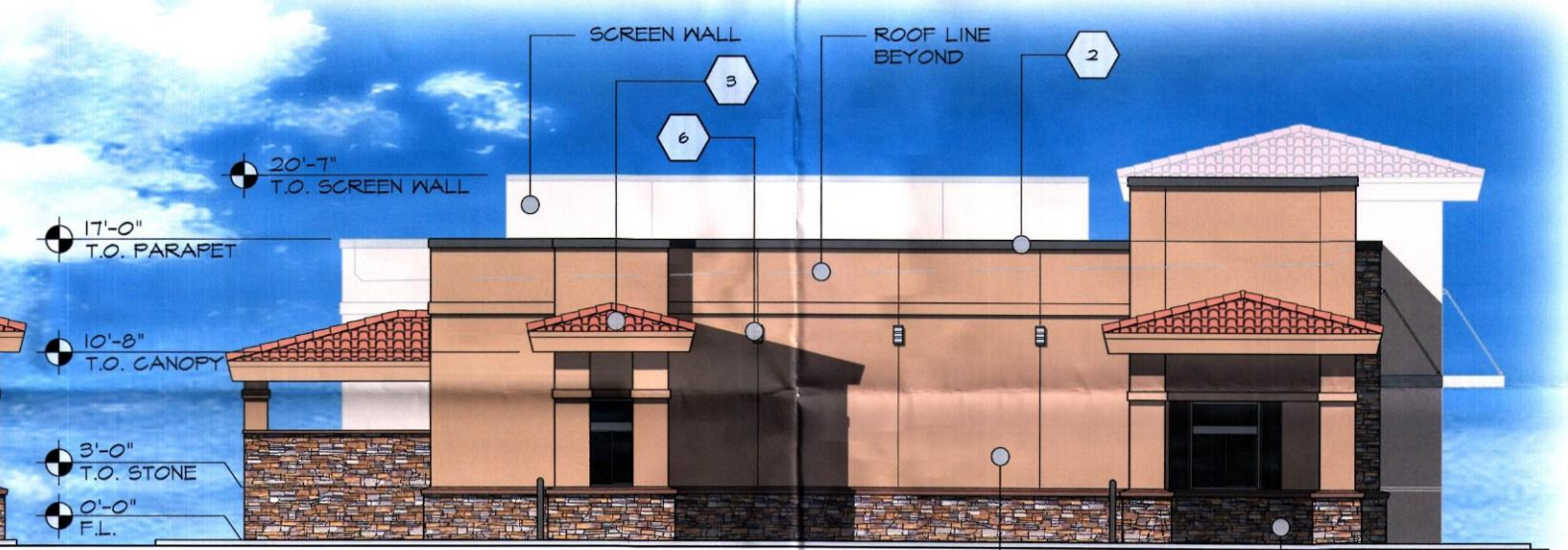
south elevation



east elevation



north elevation

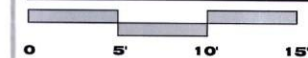


west elevation

color / materials

- | | | |
|--|---|------------------------------|
| 1 DRYVIT "HONEY TWIST" #383, PEBBLE FINISH | 3 CLAY ROOF TILE (TO MATCH CENTER) | 5 PAINTED METAL MILL FINISH |
| 2 PAINTED METAL BENJAMIN MOORE HC-166 "KENDALL CHARCOAL" | 4 ELDORADO STONE - MOUNTAIN LEDGE COLOR "DURANGO" DRY-STACK JOINT, MORTAR | 6 WALL MOUNTED LIGHT FIXTURE |
| | | 7 SPANDREL GLASS |

scale: 3/16" = 1'-0"



notes

1. all signage by separate permit.

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE: 12/4/2014 INITIALS: [Signature]

conceptual elevations

dChang Architects, LLC
Architecture . Interiors . Planning
5682 West Gary Drive, Chandler, Arizona 85226 / Phone: 480.289.0243

Raising Cane's
7366 E. Shea Boulevard
Scottsdale, Arizona 85260

PRELIMINARY
NOT FOR
CONSTRUCTION OR RECORDING

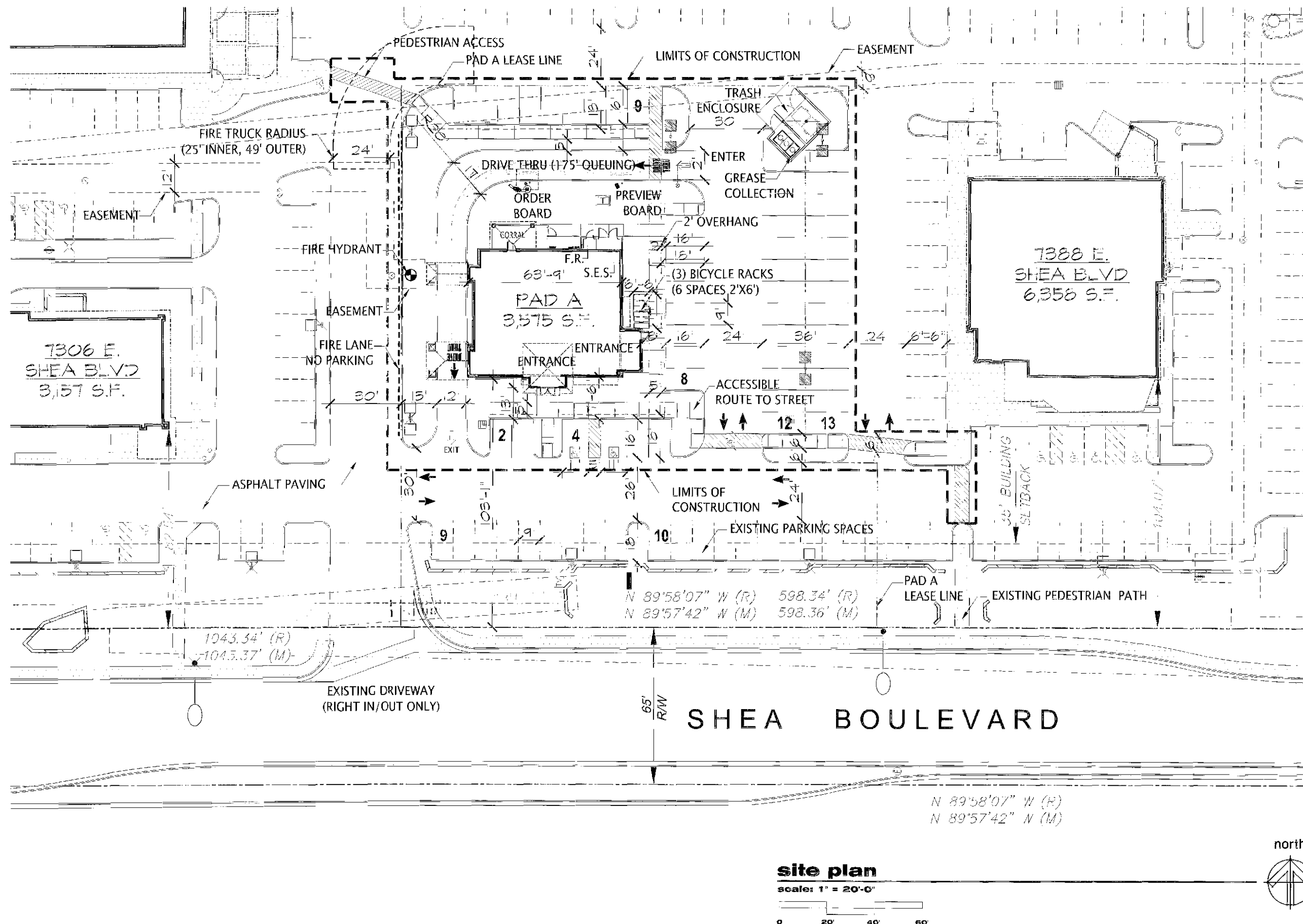
MRG Marketing and Management, Inc.

Project number: 14002

Date: December 1, 2014

44-DR-2014
12/4/2014

EL-1



project directory

TENANT:
MRG MARKETING AND MANAGEMENT, INC.
125 SOUTH FT. APACHE, SUITE 240
LAS VEGAS, NEVADA 89117
CONTACT: TOMMY DAKE
PHONE: (702) 965-9221 EXT. 209
E-MAIL: thomdake@mrvegas.com

TENANT REPRESENTATIVE:
KERPAN PLANNING AND DESIGN, LLC
1874 E. GRAND CANYON DRIVE
CHANDLER, ARIZONA 85229
CONTACT: KEVIN D. KERPAN
PHONE: (602) 329-0002
E-MAIL: kevin@kerpanplanningdesign.com

ARCHITECT:
dCHANG ARCHITECTS, LLC
5662 WEST GARY DRIVE
CHANDLER, ARIZONA 85226
CONTACT: DUNCAN J. CHANG
PHONE: (480) 289-0243
E-MAIL: djo@dchangarchitects.com

site data (pad a)

EXISTING ZONING: C-2
GROSS SITE AREA: 1.22 ACRES (53,136 S.F.)
NET SITE AREA: 0.92 ACRES (40,266 S.F.)

PROPOSED USE: RESTAURANT WITH DRIVE THRU

BUILDING GROSS FLOOR AREA:
PAD A: 3,575 S.F.

TOTAL BUILDING AREA: 3,575 S.F.
SITE COVERAGE: 4.0%

TOTAL PARKING REQUIRED: 36 SPACES
FOOD SERVICE (3,575 S.F.)
5,575 S.F. (GROSS FLOOR AREA) @ 1.00 = 36 SPACES

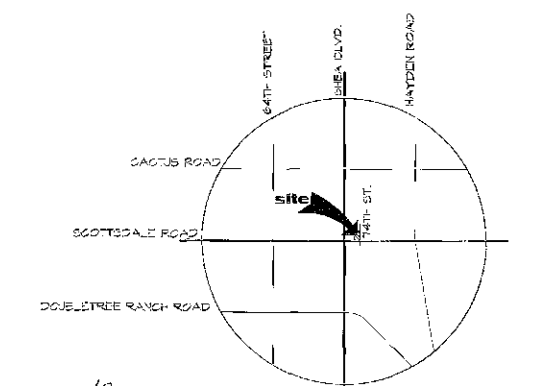
TOTAL PARKING PROVIDED: 54 SPACES
(5,000)

ACCESSIBLE SPACES REQUIRED: 2 SPACES
ACCESSIBLE SPACES PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 6 SPACES

legend

- NEW ROAD
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- NEW LIGHT POLE
- EXISTING STREET LIGHT POLE
- NEW TRAFFIC SIGNAL



vicinity map
NOT TO SCALE

dChangArchitects, LLC
Architecture Interiors Planning
5662 West Gary Drive, Chandler, Arizona 85226
Phone: (480) 289-0243

Raising Cane's
7366 E. Shea Boulevard
Scottsdale, Arizona 85260

PRELIMINARY
NOT FOR
CONSTRUCTION OR RECORDING

MRG Marketing and Management, Inc.

Project number: 14002

12/1/2014

Date: December 1, 2014

SP-1

Lighting specification sheets (building)

so (rear service building)

[illegible]

sa (parking lot light poles)

1. The first step in the design process is to determine the overall goals and objectives of the project. This involves understanding the client's needs and expectations, as well as the specific requirements of the project.

2. Once the goals are established, the next step is to conduct a thorough research and analysis of the market and the competition. This helps in identifying the unique selling points and the competitive advantages of the product.

3. The third step is to develop a detailed business plan, which outlines the financial projections, marketing strategy, and operational aspects of the project. This plan serves as a roadmap for the entire project.

4. After the business plan is finalized, the next step is to secure the necessary funding and resources. This may involve seeking investors, banks, or other financial institutions.

5. Once the funding is secured, the project can move forward with the development and production of the product. This involves hiring a team of experts, including designers, engineers, and manufacturers.

6. The final step is to launch the product and monitor its performance in the market. This involves implementing the marketing strategy and gathering feedback from customers to make necessary improvements.

The design process is a complex and iterative one, requiring a combination of creativity, technical skills, and business acumen. By following these steps, you can ensure that your project is well-planned and executed, leading to a successful outcome.

In addition to the above steps, it is also important to maintain open communication with the client throughout the project. This helps in understanding their evolving needs and ensuring that the final product meets their expectations.

Finally, it is crucial to stay updated with the latest trends and technologies in the industry. This allows you to incorporate innovative solutions and stay ahead of the competition.

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KAD

CONTOUR



The design process is a complex and iterative one, requiring a combination of creativity, technical skills, and business acumen. By following these steps, you can ensure that your project is well-planned and executed, leading to a successful outcome.

In addition to the above steps, it is also important to maintain open communication with the client throughout the project. This helps in understanding their evolving needs and ensuring that the final product meets their expectations.

Finally, it is crucial to stay updated with the latest trends and technologies in the industry. This allows you to incorporate innovative solutions and stay ahead of the competition.

so (rear service building lights)

[illegible]

sa (parking lot light poles)

[illegible]

se (canopy downlights)

6" AF

Compact Fluorescent Downlights

Open Reflector

ENERGY

Energy saving is the key to a green building. The 6" AF compact fluorescent downlight is the perfect solution for your energy needs. It's a compact, efficient, and long-lasting light source that can help you save money and the environment. The 6" AF compact fluorescent downlight is available in a variety of wattages and color temperatures to meet your needs. It's a great choice for any room in your home or business. The 6" AF compact fluorescent downlight is a great choice for your energy needs. It's a compact, efficient, and long-lasting light source that can help you save money and the environment. The 6" AF compact fluorescent downlight is available in a variety of wattages and color temperatures to meet your needs. It's a great choice for any room in your home or business.

6" AF

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ENERGY

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sd (decorative light fixture)

[illegible][illegible]

sd (decorative light fixture - south & west el

dChang Architects, LLC
Architecture
Interiors
Planning
7602 Westley Drive, Chandler, Arizona 85226 • Phone: 480.269.6937



Raising Cane's
7366 E. Shea Boulevard
Scottsdale, Arizona 85260

PRELIMINARY
NOT FOR
CONSTRUCTION OR RECORDING

Project number: 14002

Date: December 1, 2014

7/24/2014

PM-2

MRG Marketing and Management, Inc.

2 WORKING DAYS BEFORE YOU GO
CALL FOR THE BLUE STICK
602-263-1100
FAST COLLECT

N 89°58'07" W (R) 598.34'
N 89°57'42" W (M) 598.36'

12/14/2014

65'
RW

N 89°58'07" W (R) 598.34'
N 89°57'42" W (M) 598.36'

35' BUILDING
SETBACK

OWNER: KARLIN SCOTTSDALE SHEA, LLC
1311 E. CAMELBACK ROAD, SUITE 300
PHOENIX, AZ 85016
PHONE: 602-912-8875
FAX: 602-912-8875
EMAIL: LUTHER@COLEENGINEERING.COM

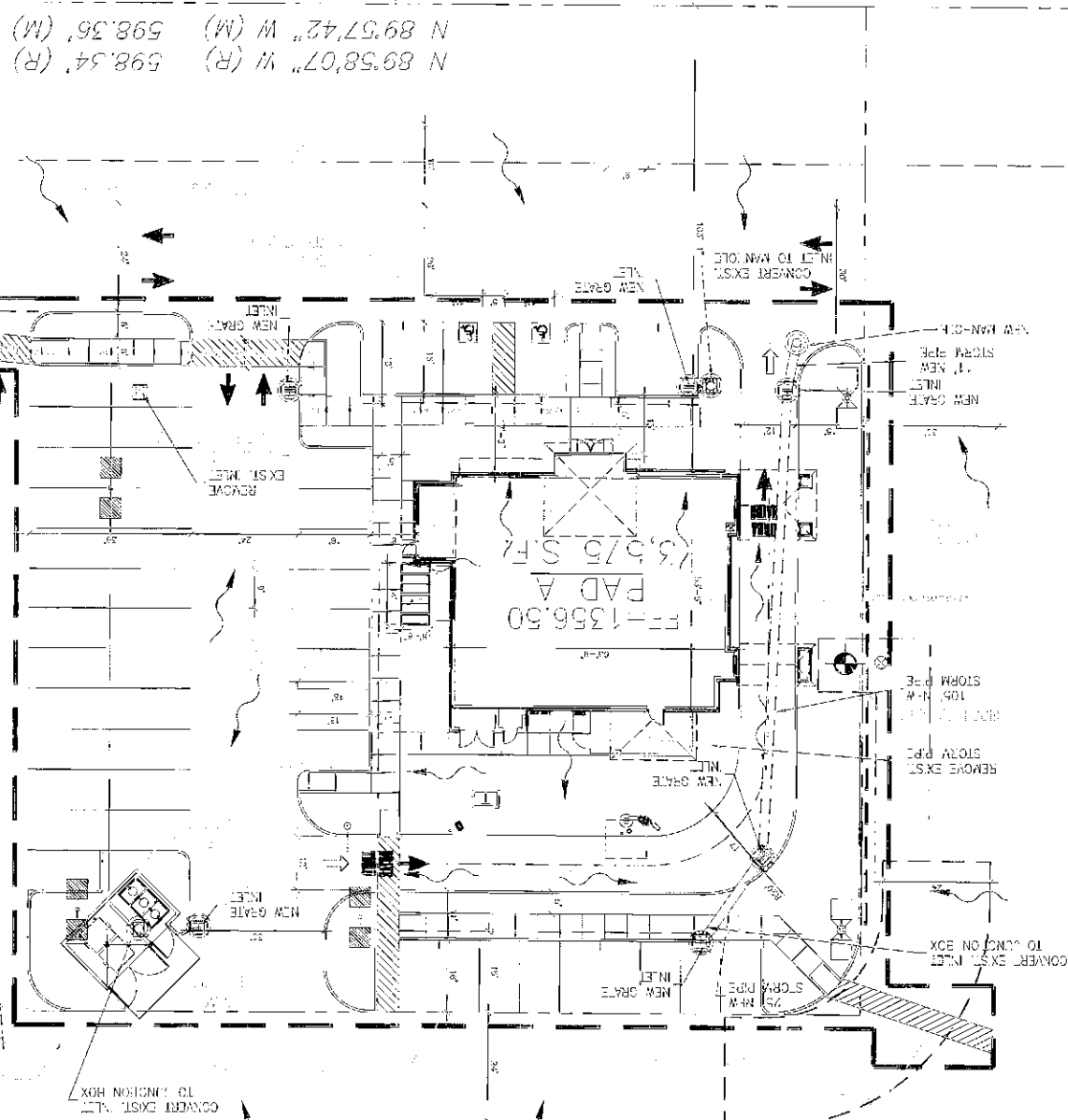
REPRESENTATIVE: KEVIN P. LUTHER, P.E.
1311 E. CAMELBACK ROAD, SUITE 300
PHOENIX, AZ 85016
PHONE: 602-912-8875
FAX: 602-912-8875
EMAIL: LUTHER@COLEENGINEERING.COM

ENGINEER: COLE ENGINEERING, INC.
2701 E. CAMELBACK ROAD, SUITE 175
PHOENIX, AZ 85016
PHONE: 602-999-8711
FAX: 602-999-8711
EMAIL: LUTHER@COLEENGINEERING.COM

APPROVED: J. L. LUTHER, P.E.
7266E SHEA BLVD
SCOTTSDALE, AZ 85260
75-AS-02L

PROJECT INFORMATION:

SCALE: 1" = 20'
0' 20' 40'



C1.0
Sheet Number
14-0107
Job Number
12/14/2014

DESIGN/DATE BY
CHECKED BY
DATE

cole
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

PHOENIX
400 N. CENTRAL AVENUE
SUITE 200
PHOENIX, AZ 85012

RAISING CANES
PRELIMINARY
GRADING & DRAINAGE
PLAN
SCOTTSDALE, AZ 85260



KARLIN SCOTTSDALE SHEA, LLC
C/O LINCOLN PROPERTY CO.
3101 E. CAMELBACK ROAD #318
PHOENIX, AZ 85016 (602) 912-8875

NO.	REVISION DESCRIPTION

project directory

TENANT:
MRG MARKETING AND MANAGEMENT, INC.
1215 SOUTH FT. APACHE, SUITE 240
LAS VEGAS, NEVADA 89117
CONTACT: TOMMY DAKE
PHONE: (702) 365-9221 EXT. 209
E-MAIL: thomaskake@ovescor.com

TENANT REPRESENTATIVE:
KERPAN PLANNING AND DESIGN, LLC
1374 E. GRAND CANYON DRIVE
CHANDLER, ARIZONA 85226
CONTACT: KEVIN J. KERPAN
PHONE: (602) 924-0912
E-MAIL: kevin@kerpanplanningdesign.com

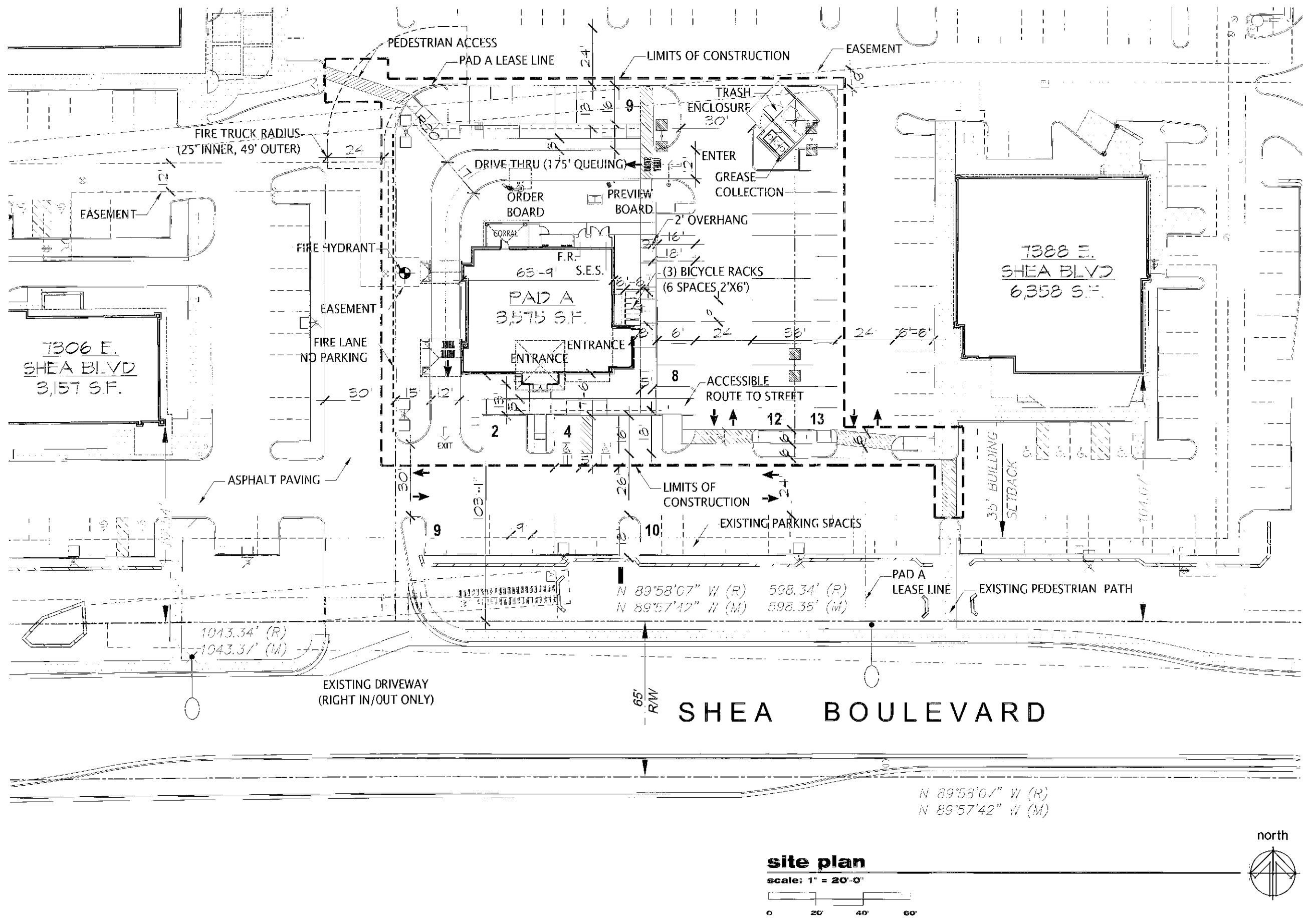
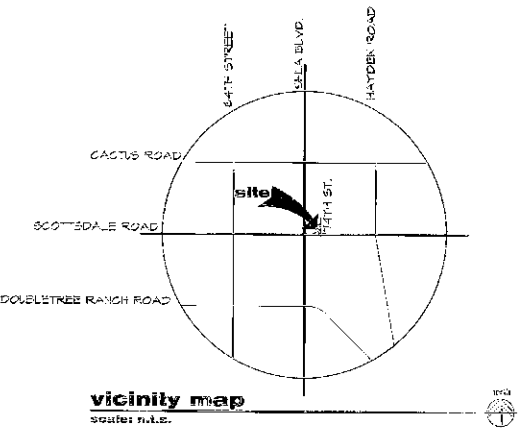
ARCHITECT:
dCHANG ARCHITECTS, LLC
5692 WEST GARY DRIVE
CHANDLER, ARIZONA 85226
CONTACT: DUNCAN J. CHANG
PHONE: (480) 269-0243
E-MAIL: d@changarchitects.com

site data (pad a)

EXISTING ZONING:	C-2
GROSS SITE AREA:	1.22 ACRES (53,36 S.F.)
NET SITE AREA:	0.92 ACRES (40,266 S.F.)
PROPOSED USE:	RESTAURANT WITH DRIVE THRU
BUILDING GROSS FLOOR AREA:	
PAD A:	3,575 S.F.
TOTAL BUILDING AREA:	3,575 S.F.
SITE COVERAGE:	9.0%
TOTAL PARKING REQUIRED:	36 SPACES
FOOD SERVICE (3,575 S.F.):	
3,575 S.F. (GROSS FLOOR AREA) ÷ 1000 = 3.575	
TOTAL PARKING PROVIDED:	54 SPACES
(15.1/000)	
ACCESSIBLE SPACES REQUIRED:	2 SPACES
ACCESSIBLE SPACES PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	6 SPACES

legend

- NEW SOLLARD
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT POLE
- NEW LIGHT POLE
- EXISTING STREET LIGHT POLE
- NEW LANDSCAPING



Raising Cane's
7366 E. Shea Boulevard
Scottsdale, Arizona 85260

MRG Marketing and Management, Inc.
Project number: 14002
Date: December 1, 2014

dChang Architects, LLC
Architecture Interiors Planning
5692 West Gary Drive, Chandler, Arizona 85226
Phone: 480.269.0243

PRELIMINARY
NOT FOR
CONSTRUCTION OR RECORDING

Site Plan Review By:
New Logo - 12/1/2014
Email: newlogo@centralaz.com

SP-1