
Full Size
8.5 x 11
11 x 17
(site plan, landscape, elevations)

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

100
2015/07/26
WJ
JB

Date
Project No.
Drawn By
Checked By

Revision Date

Revision	Date

A202
EXTERIOR ELEVATIONS

SHEET NOTES - ELEVATIONS

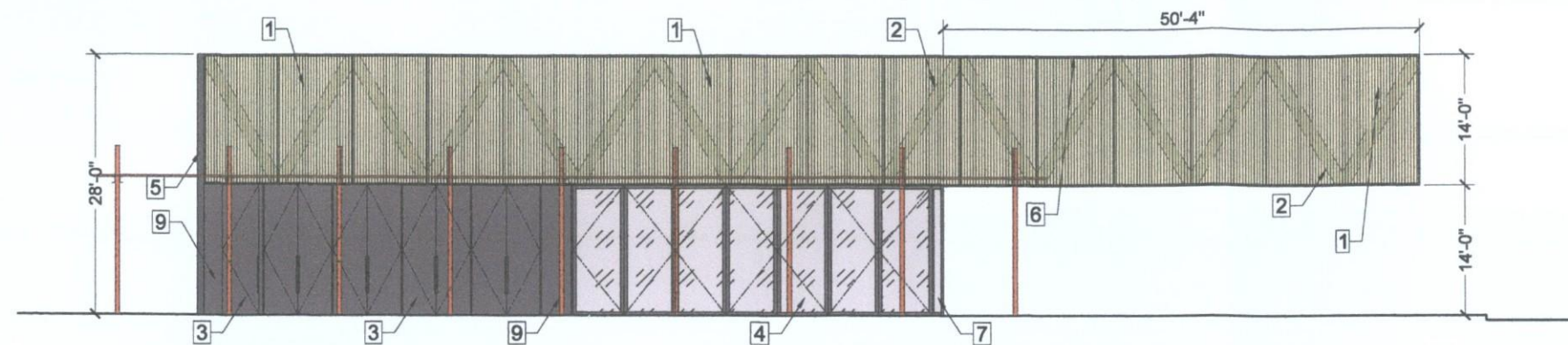
- POLYCARBONATE CLADDING OVER SUPERSTRUCTURE
- SUPERSTRUCTURE (SHADOWED BEYOND)
- STEEL PANEL DOORS (SEAMLESS / PIANO HINGED)
- BI-FOLD OPERABLE STOREFRONT DOORS
- SITE CAST CONCRETE WALL WITH INTEGRAL COLOR (SAMPLE TO BE SUPPLIED FOR REVIEW)
- KNIFE-EDGE STEEL FRAME FOR POLYCARBONATE PANELS
- FIXED STOREFRONT WINDOW
- OPERABLE STOREFRONT (SWING) DOOR (MIN. 36" WIDE)
- STEEL PANEL TO MATCH STEEL DOORS
- HOLLOW-METAL EXTERIOR SERVICE DOOR PAINTED TO MATCH ADJACENT WALL COLOR
- MASONRY WALL
- STEEL SHADE CANOPY OVER WALKWAY
- OUTLINE OF TRASH ENCLOSURE (BEYOND)
- OPAQUE STEEL TRASH GATES
- NARRATIVE WALL ELEMENT - STEEL LETTERS INTEGRATED INTO WEST ELEVATION

24-DR-2015

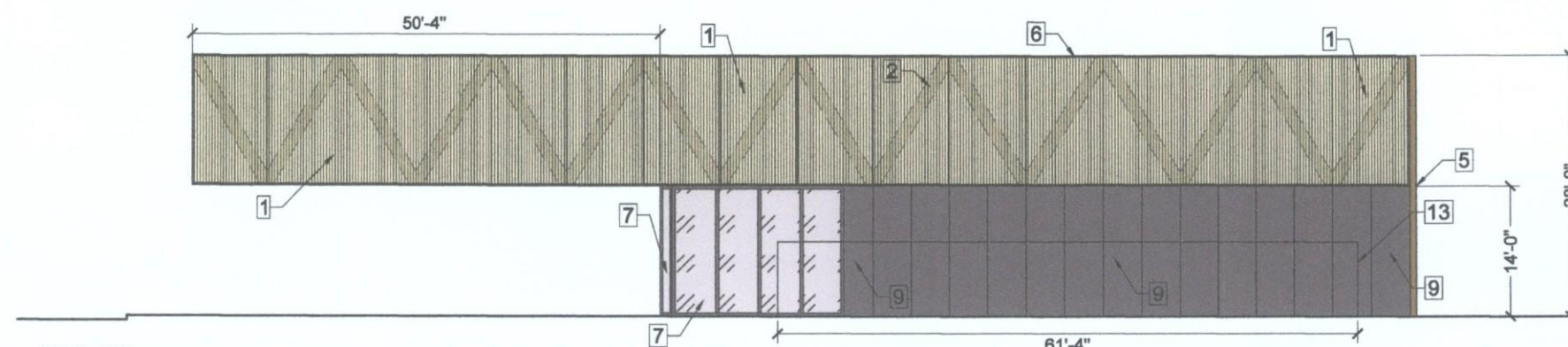
STIPULATION SET
RETAIN FOR RECORDS
APPROVED

10/15/15
DATE

INITIALS



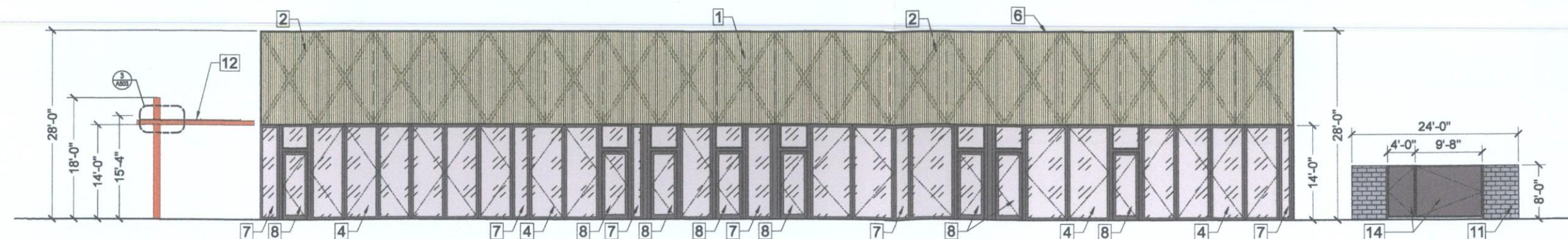
4 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



3 NORTH BUILDING ELEVATION
1/8" = 1'-0"



2 WEST BUILDING ELEVATION
1/8" = 1'-0"



1 EAST BUILDING ELEVATION
1/8" = 1'-0"

24-DR-2015
7/27/2015

SYMBOL	LABEL	MANUFACTURER	MODEL
	S2	PHILIPS-GARDCO	SFRA-2-90LA-803
	S4	PHILIPS-GARDCO	SFRA-2-90LA-803
	S8	PHILIPS-GARDCO	BRH830-CW-360-4

LIGHTING CALCULATION
 ZONE DESCRIPTION
 SITE

24-DR-2015
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
10/15/15
DATE INITIALS

LIGHTING CALCULATION SUMMARY					
ZONE DESCRIPTION	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE	1.6 FC	5.5 FC	0.0 FC	N/A	N/A

CONSULTANT?

CERTIFICATION



SKYSONG RESTAURANTS BLDG.

SKYSONG RE
Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

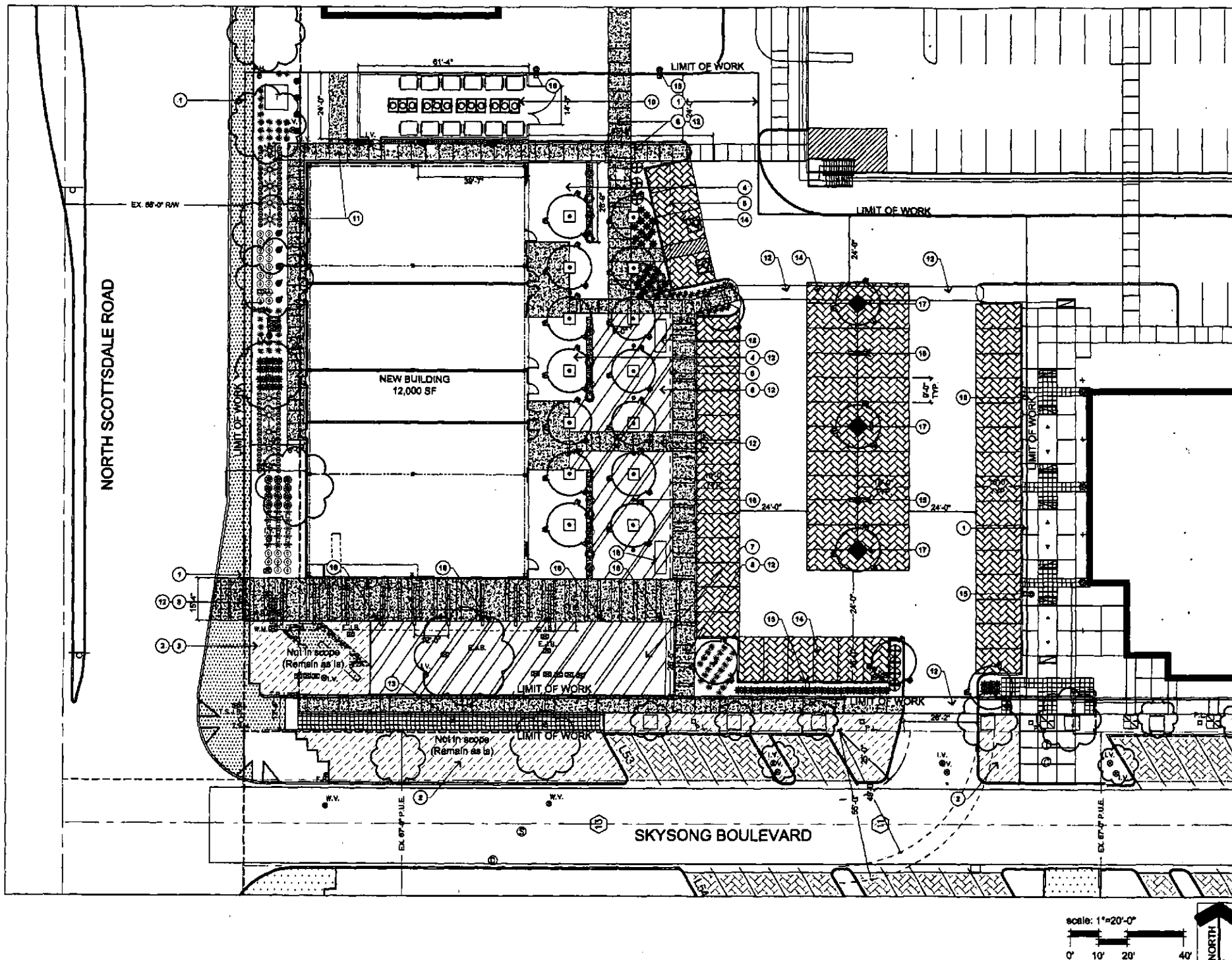
Date	Project No.	Drawn By	Checked By
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Revision	Date
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E1
ELECTRICAL
SITE PLAN



24-DR-2015
7/27/2015



LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QTY
TREES				
Existing tree to remain			See Legend	5
<i>Olea europaea</i> 'Swan Hill'	'Swan Hill' Olive	38" Box 3.0" Cal.	Multi-trunk	21
<i>Olivea lasota</i>	Ironwood	38" Box 2.0" Cal.	Multi-trunk	1
SHRUBS				
<i>Lycium andersonii</i>	Anderson wolfberry	5 Gallon		7
<i>Portulacaria afra</i>	Elephant's foot	5 Gallon		12
<i>Cymbopogon ambiguus</i>	Australian Lemon Grass	5 Gallon		76
ACCENTS / SUCCULENTS				
<i>Agave gemmiflora</i>	Twin-flowered agave	5 Gallon		27
<i>Aloe X 'Blue Elf'</i>	Aloe 'Blue Elf'	5 Gallon		88
<i>Asclepias tuberosa</i>	Desert milkweed	15 Gallon		87
<i>Echinocactus grusonii</i>	Golden Barrel Cactus	15 Gallon		12
<i>Yucca baccata</i>	Banana yucca	5 Gallon		15
<i>Bulbine frutescens</i>	Bulbine	5 Gallon		47
<i>Fouquieria splendens</i>	Ocotillo	5 Gallon		10
<i>Cereus peruvianus</i>	Peruvian apple cactus	15 Gallon		9
GROUNDCOVERS				
<i>Setcreasea pallida</i>	Purple heart	1 Gallon		12
VINES				
<i>Antigonon leptopus</i>	Queens wreath	5 Gallon		3
MATERIALS				
	Decomposed Granite	2" minimum thickness in all planting areas		
	Color: Match Existing			
	Size: Match Existing			

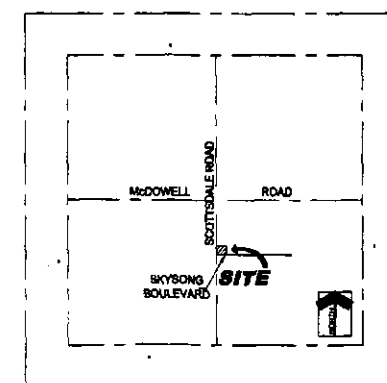
SITE / LANDSCAPE DATA

Site area (net/gross the same)	59,356 sf / 1.363 Ac.
Landscaping not on the approved low water plants list	510 sf
Turf provided	0 sf
Low water drought tolerant plants per the ADWR	7,652.41 sf
On-site	5,822.01 sf
Right-of-way	0 sf
Parking lot landscaping	2,030.40 sf

KEYNOTES

- Property line / Limit of work
- Existing landscape area to remain
- Existing sign to remain
- Outdoor dining area
- Line of shade canopy above
- Public outdoor gathering place
- Edible Garden
- Pedestrian connection
- Shaded walkway
- Service area
- Integral color concrete sidewalk
- 3/8" exposed aggregate (to match Skysong)
- Precast concrete pavers (to match Skysong)
- Permeable pavers (to match Skysong)
- Pole mounted lighting (see electrical)
- Bollard lighting (see electrical)
- Tree grate
- Bicycle Rack

VICINITY MAP



CITY OF SCOTTSDALE GENERAL LANDSCAPE NOTES

- All landscaping shall be installed per the most current version of the city of Scottsdale supplement to mag specifications and details section 430 and ds&pm within city of Scottsdale right-of-way.
- Areas of decomposed granite without plant materials/groundcovers shall not exceed 6' dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
- A minimum of 50 percentage (unless otherwise stipulated by the development review board, and/or the zoning ordinance requirements) of the provided trees shall be mature trees, pursuant to the city of Scottsdale's zoning ordinance article x, section 10.301, as defined in the city of Scottsdale's zoning ordinance article ii, section 3.100.
- A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk. A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk. A multiple trunk tree's caliper size is measured at 8" above the location that the trunk splits originates, or 6" above finished grade if all trunks originate from the soil.
- Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.
- Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
- All right-of-way adjacent to this property shall be landscaped by the developer and irrigated/maintained by the property owner (city of Scottsdale).
- Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with sections 49-245 through 49-248 of the city code to the water conservation office.
- Turf shall be limited to the maximum area specified in sections 49-245 through 49-248 of the city code and shall be shown on landscape plans submitted at the time of final plans.
- No lighting is approved with the submittal.
- The approval of these plans recognize the construction of a low voltage system and does not authorize any violation of the current city of Scottsdale adopted electrical code.
- The landscape specification section(s) of these plans have not reviewed and shall not be part of the city of Scottsdale's approval.
- All signs require separate permits and approvals.
- New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the certificate of occupancy / letter of acceptance to the satisfaction of the inspection services staff.

Skysong Restaurants Building

1375 North Scottsdale Road
Scottsdale, Arizona

PROJECT NUMBER: 14041

ISSUED FOR:
Development Review Board

ISSUED DATE:
05/04/2015

DRAWN BY: MB REVIEWED BY: JA



REVISIONS:

#	date	description

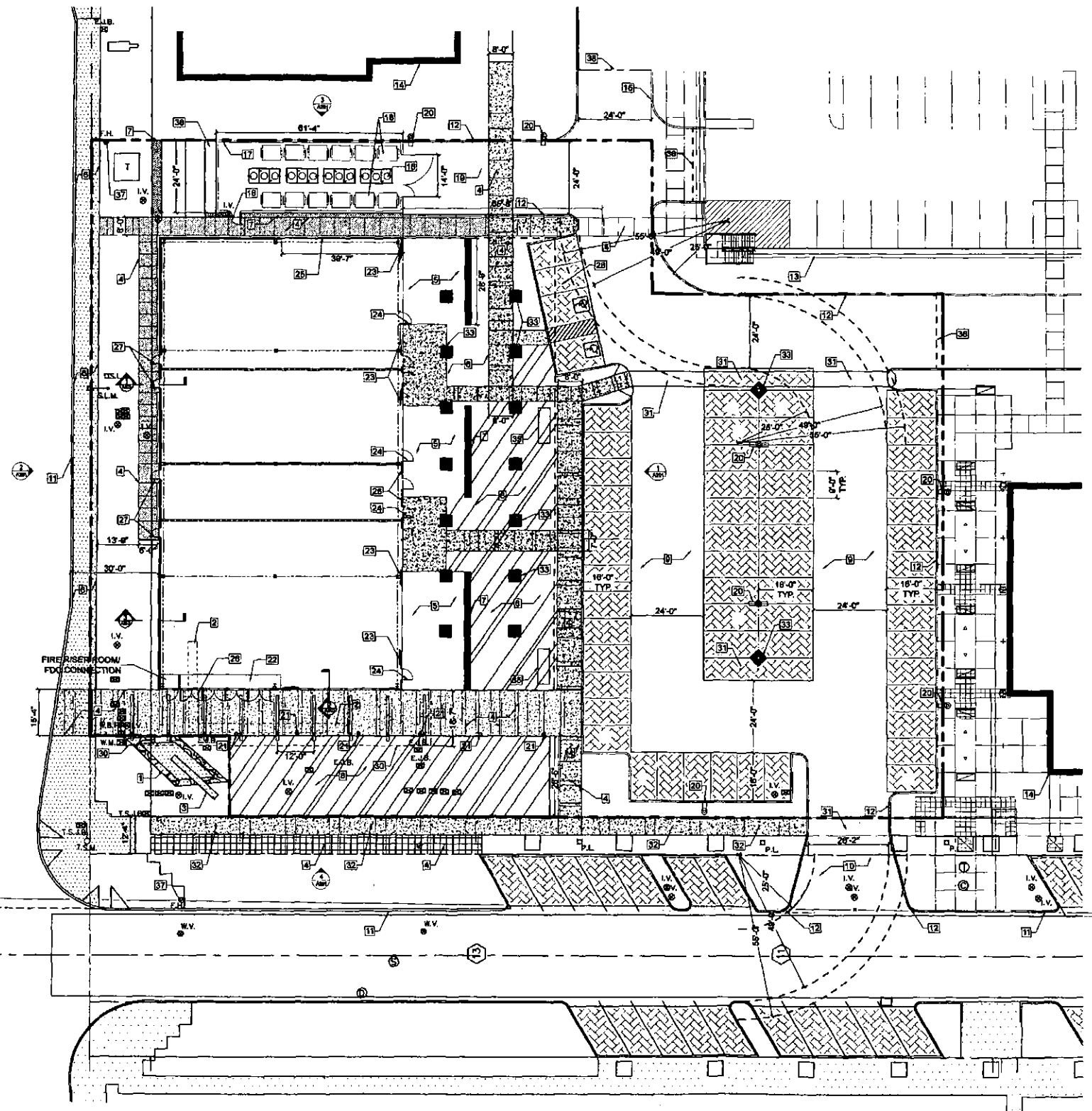
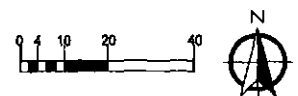
SHEET NAME:
Conceptual
Landscape Plan and
Materials List
SHEET NUMBER:

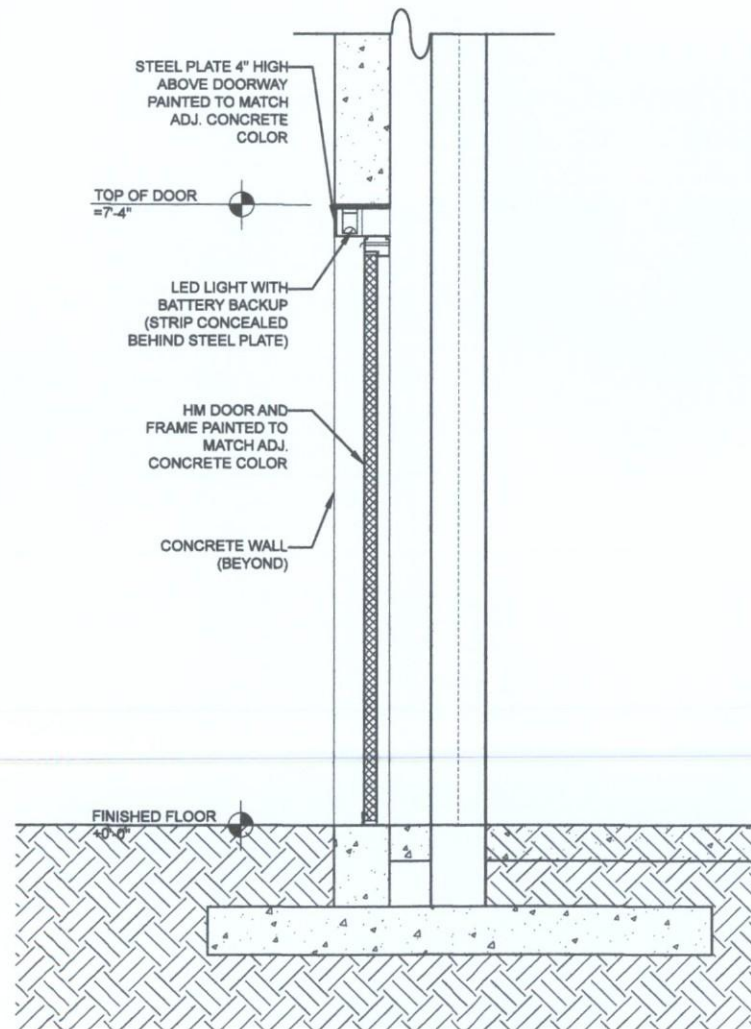
L1

24-DR-2015
7/27/2015

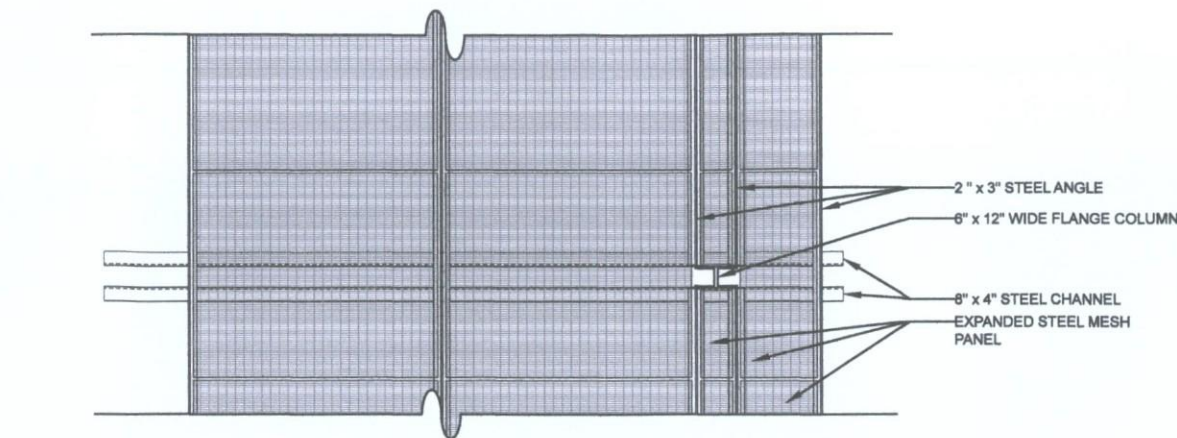
SHEET NOTES - SITE PLAN

- 1 EX. GABION WALL TO REMAIN (NOT A PART)
- 2 EX. GABION WALL TO BE REMOVED
- 3 EX. MONUMENT SIGN TO REMAIN (NOT A PART)
- 4 NEW HARDSCAPE/SIDEWALK (SEE LANDSCAPE PLAN)
- 5 RESTAURANT PATIO AREA (FUTURE, BY TENANT)
- 6 PUBLIC OUTDOOR OPEN SPACE (SEE LANDSCAPE PLAN)
- 7 PLANTER AREA (SEE LANDSCAPE PLAN)
- 8 EDIBLE GARDEN (SEE LANDSCAPE PLAN)
- 9 NEW PARKING AREA
- 10 NEW DRIVEWAY ENTRANCE
- 11 EX. CURB AND GUTTER (NOT A PART)
- 12 NEW CURB AND GUTTER
- 13 FUTURE PARKING GARAGE (NOT A PART)
- 14 FUTURE BUILDING (NOT A PART)
- 15 FUTURE CURB AND GUTTER (NOT A PART)
- 16 GREASE INTERCEPTOR
- 17 TRASH / RECYCLE CONTAINER
- 18 OPAQUE TRASH GATE (SEE DETAILS)
- 19 CONCRETE PAVING
- 20 POLE MOUNTED LIGHTING (SEE ELECTRICAL)
- 21 BOLLARD LIGHT (SEE ELECTRICAL)
- 22 FUTURE UTILITY ROOM
- 23 OPERABLE STOREFRONT DOOR SYSTEM
- 24 OPERABLE (36" MIN WIDTH) STOREFRONT DOOR
- 25 FIXED STOREFRONT
- 26 STEEL EXTERIOR DOORS (ON PIANO HINGE)
- 27 HOLLOW-METAL EXTERIOR SERVICE DOOR
- 28 EDGE OF ROOF OVERHANG ABOVE
- 30 LINE OF CANOPY/SHADE TRELLIS OVERHEAD
- 31 ENHANCED PAVING - SEE LANDSCAPE
- 32 EX. SIDEWALK TO REMAIN
- 33 TREE PLANTER (SEE LANDSCAPE)
- 34 EX. PUBLIC SIDEWALK
- 35 NEW BICYCLE RACKS
- 36 NEW SERVICE ENTRY SECTION (SEE ELECTRICAL)
- 37 EXISTING FIRE HYDRANT (MAX 340' SPACING)
- 38 TEMPORARY 'END OF ROAD' BARRICADE

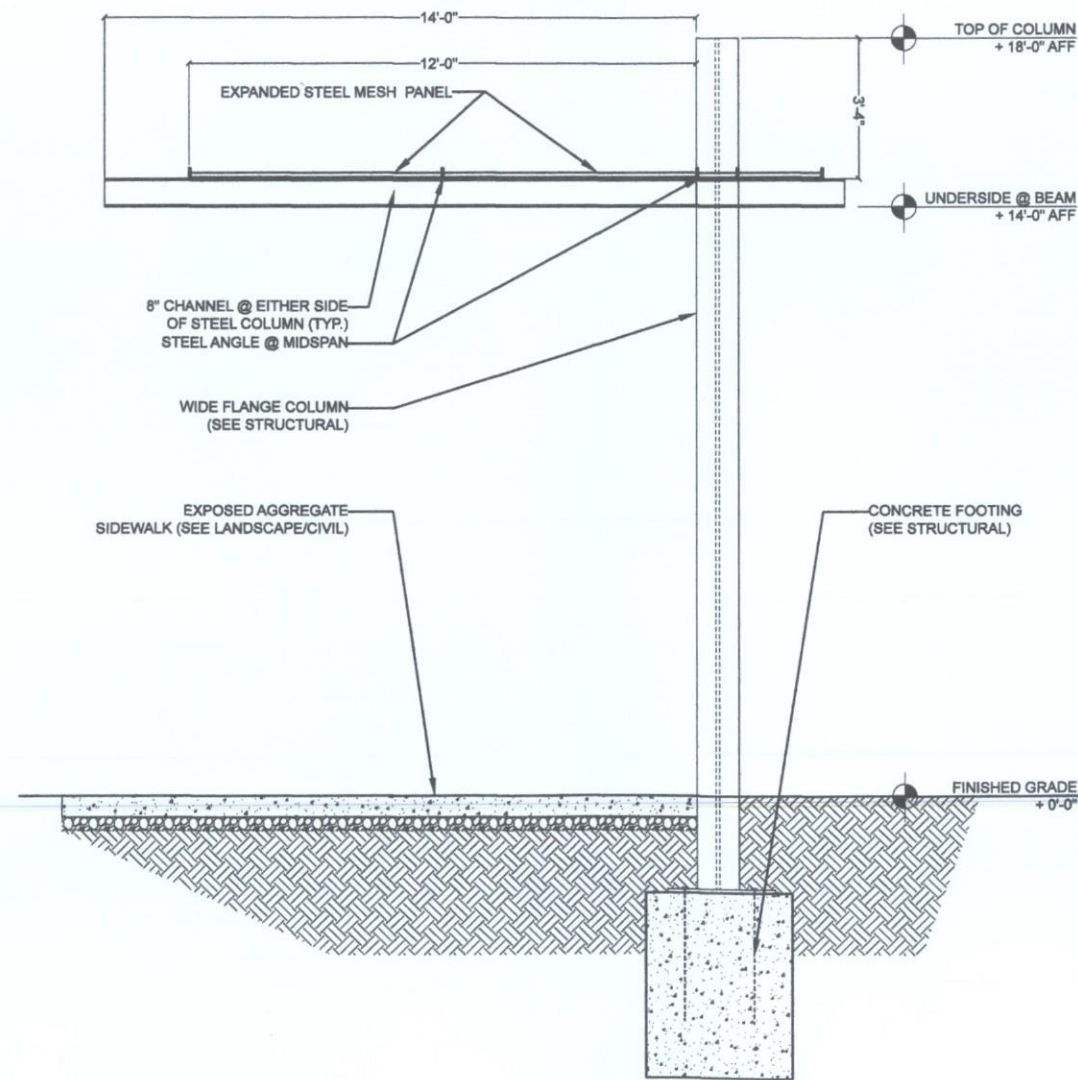




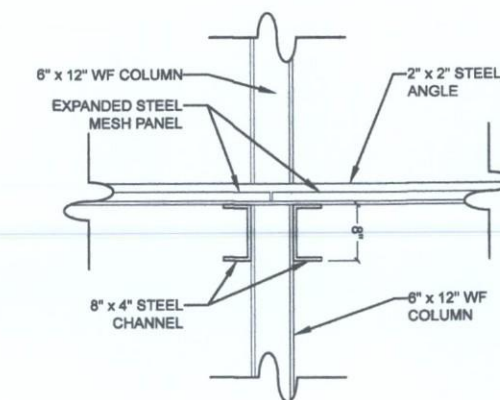
1 SECTION AT SERVICE DOOR
1" = 1'-0"



4 PARTIAL PLAN AT TRELLIS
1/2" = 1'-0"



2 SECTION AT TRELLIS
1/2" = 1'-0"



3 DETAIL SECTION @ TRELLIS
1" = 1'-0"

24-DR-2015
7/27/2015

BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:

W
WETTA VENTURES

SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

12/7/2015/07/28

Project No.

Drawn By

Checked By

Revision

Date

A503
ARCHITECTURAL
DETAILS

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.

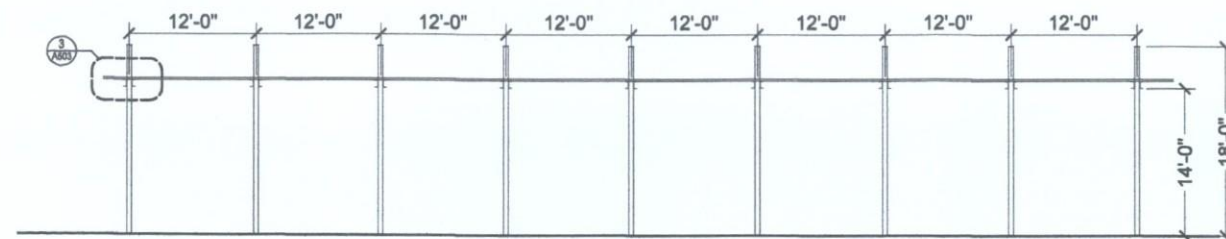
Scottsdale, Arizona
WETIA VENTURES
CONTACT: Dave Wetia
(602) 478-3538

1207
2015/07/26
MS
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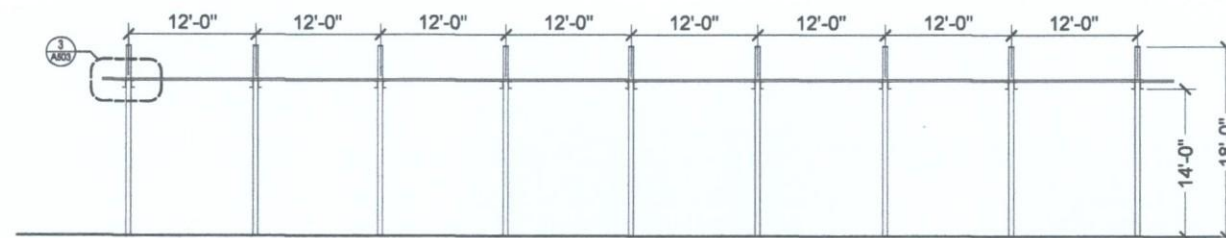
Date
Project No.
Drawn By
Checked By

Revision Date

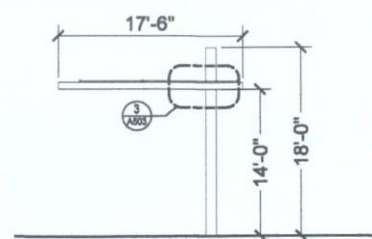
A203
EXTERIOR ELEVATIONS



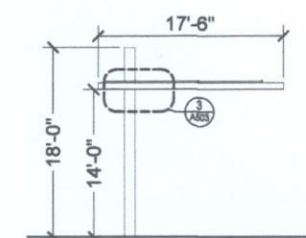
3 SOUTH ELEVATION AT TRELLIS
1/8" = 1'-0"



1 NORTH ELEVATION AT TRELLIS
1/8" = 1'-0"



4 WEST ELEVATION AT TRELLIS
1/8" = 1'-0"

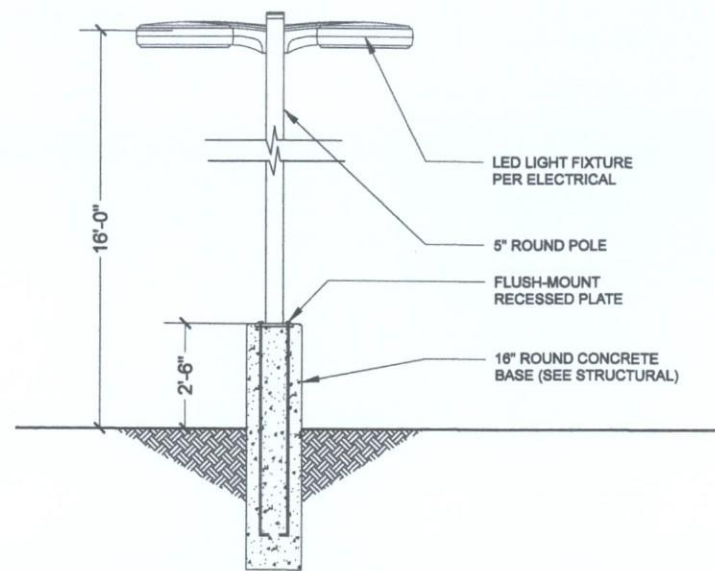


2 EAST ELEVATION AT TRELLIS
1/8" = 1'-0"

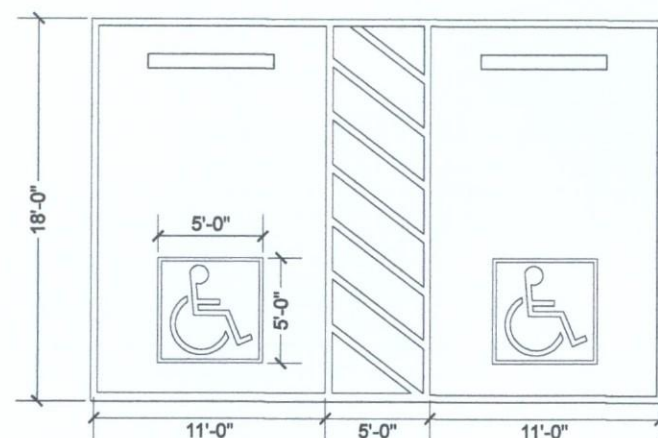
SHEET NOTES - ELEVATIONS

- 1 POLYCARBONATE CLADDING OVER SUPERSTRUCTURE
- 2 SUPERSTRUCTURE (SHADOWED BEYOND)
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- 14 OPAQUE STEEL TRASH GATES
- 15 NARRATIVE WALL ELEMENT - STEEL LETTERS INTEGRATED INTO WEST ELEVATION

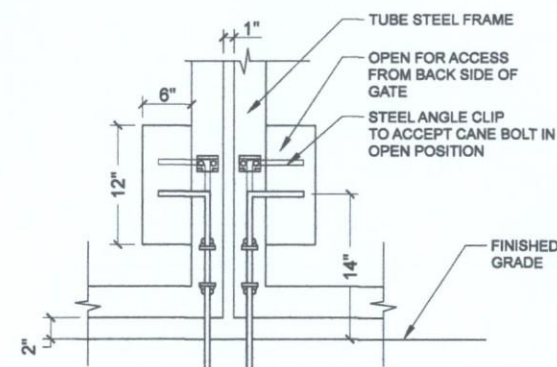
24-DR-2015
7/27/2015



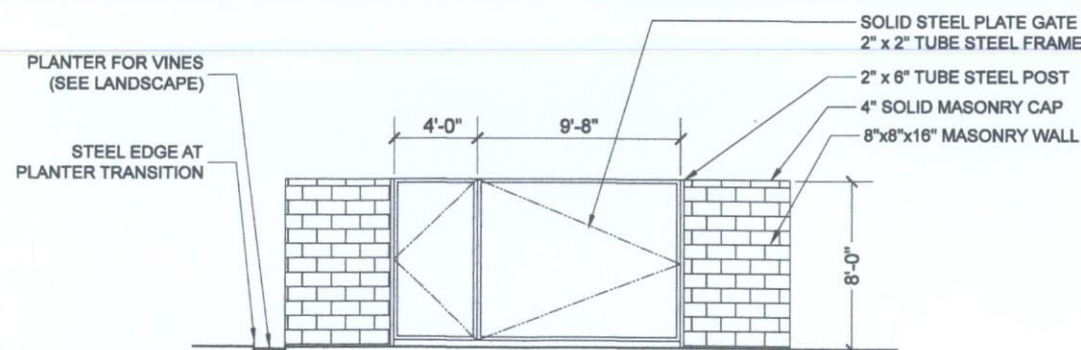
6 LED PARKING LOT LIGHT POLE / BASE
1/2" = 1'-0"



4 ACCESSIBLE STALL DETAIL
1/4" = 1'-0"



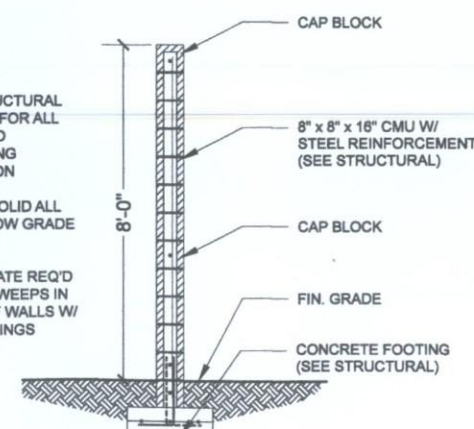
5 CANE BOLT DETAIL AT GATES
1-1/2" = 1'-0"



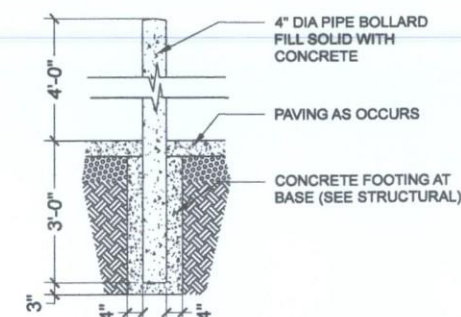
1 TRASH ENCLOSURE ELEVATION DETAIL
1/4" = 1'-0"

NOTES:

1. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION
2. GROUT SOLID ALL CELLS BELOW GRADE (TYPICAL)
3. COORDINATE REQ'D OPENINGS/WEEPS IN BOTTOM OF WALLS W/ CIVIL DRAWINGS



2 CMU ALL AT TRASH ENCLOSURE
1/2" = 1'-0"



3 BOLLARDS AT TRASH ENCLOSURE
1/2" = 1'-0"

CONSULTANTS:

CERTIFICATION:

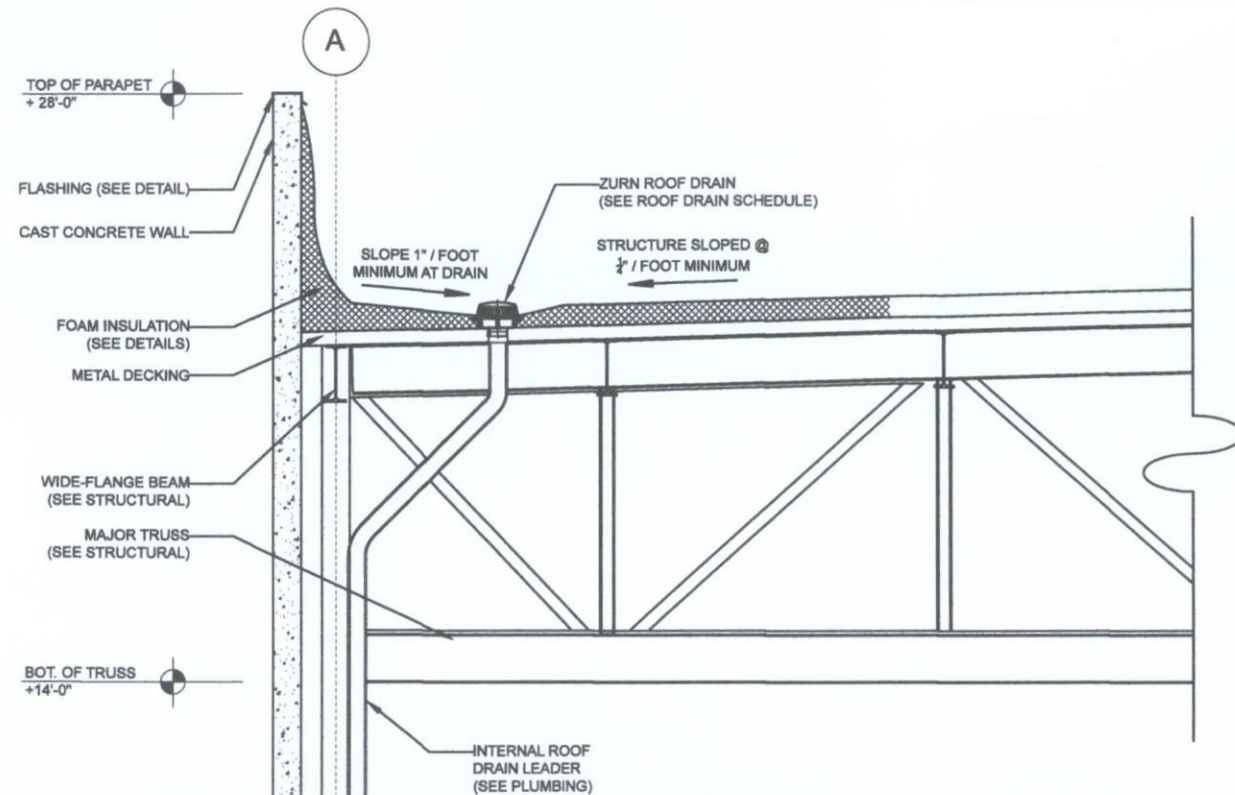
SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona

WETTA VENTURES
CONTACT: Dave Wetta
(602) 479-3538

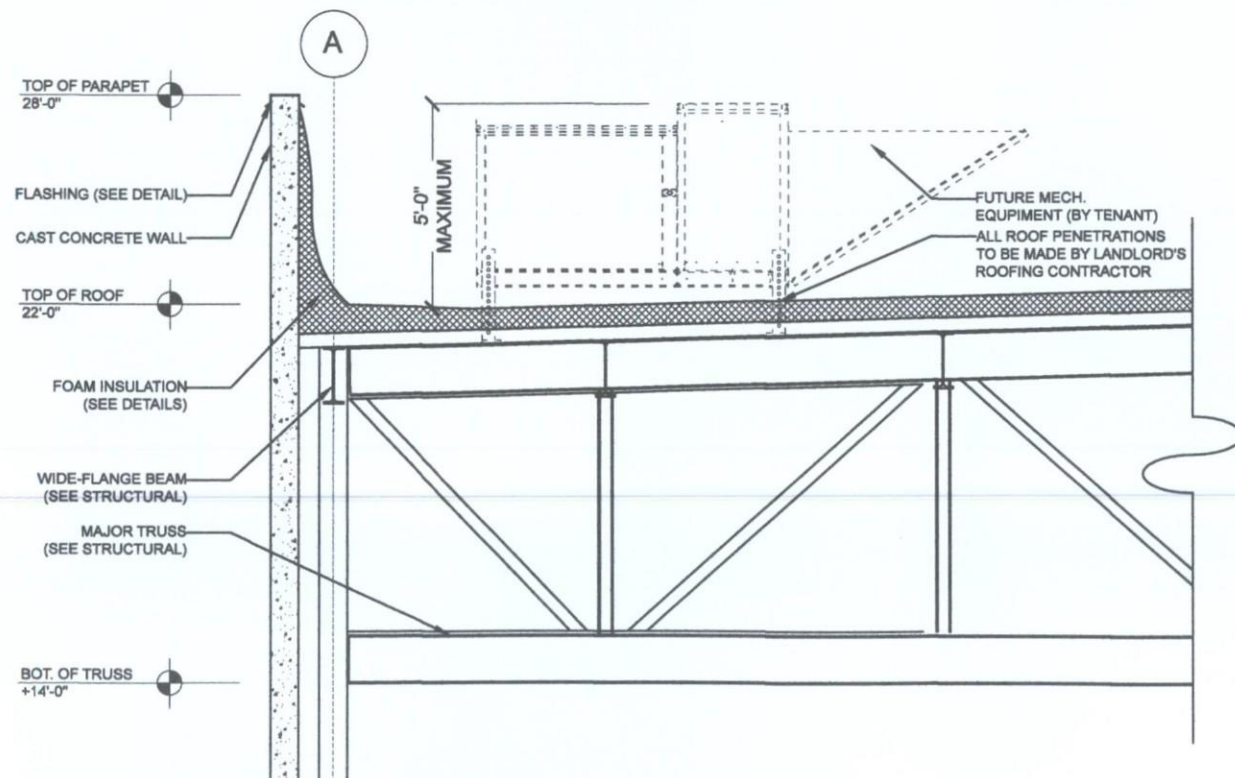
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JD

Date: _____
Project No.: _____
Drawn By: _____
Checked By: _____
Revision: _____ Date: _____

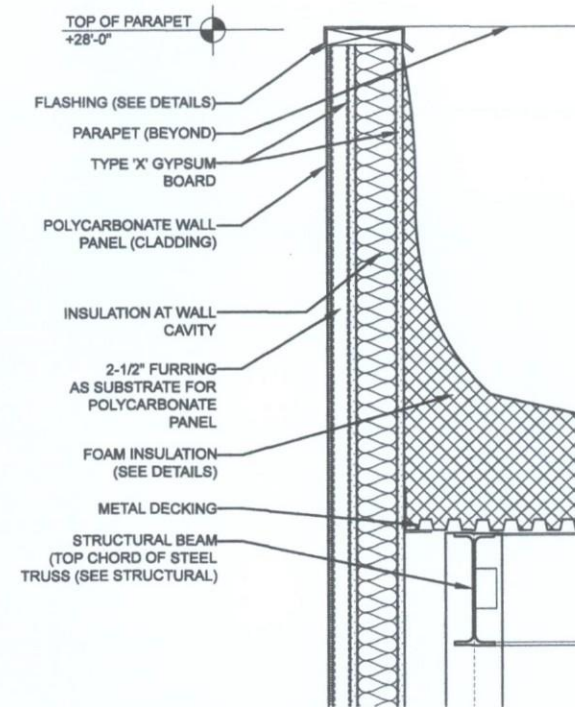
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SITE DETAILS



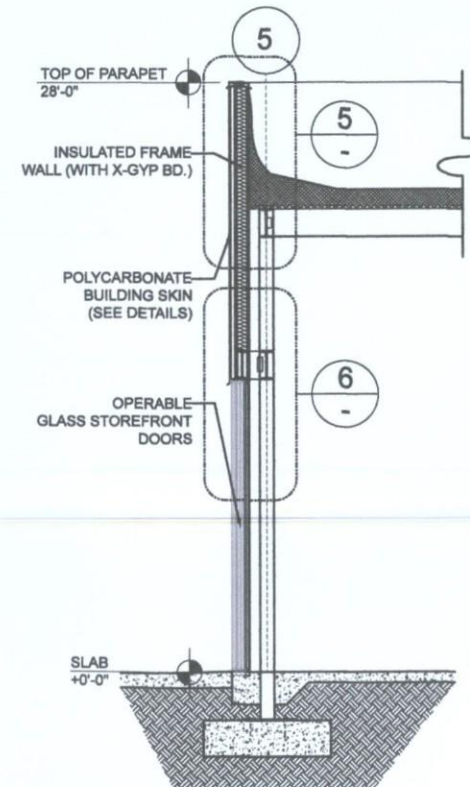
4 PARTIAL TRANSVERSE SECTION AT ROOF DRAIN
1/2" = 1'-0"



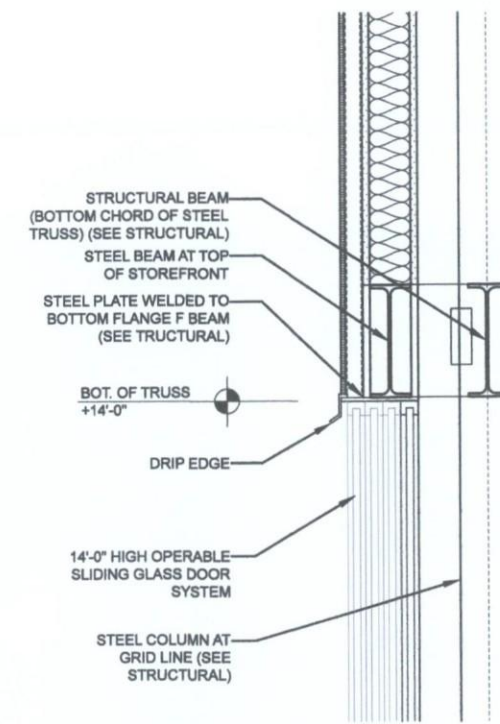
1 PARTIAL TRANSVERSE SECTION
1/2" = 1'-0"



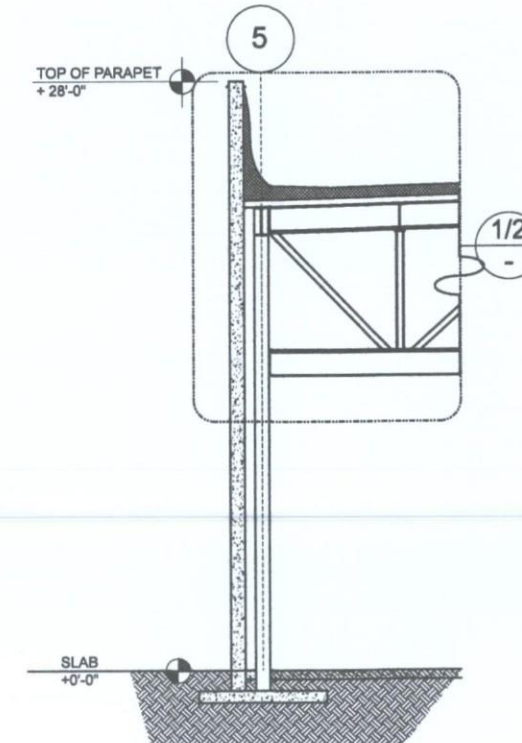
5 EXT. WALL DETAIL
1" = 1'-0"



2 LONGITUDINAL WALL SECTION
1/4" = 1'-0"



6 EXT. WALL DETAIL
1" = 1'-0"



3 TRANSVERSE WALL SECTION
1/4" = 1'-0"

24-DR-2015
7/27/2015

BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

1307
2015/07/28
100
25

Date
Project No.
Drawn By
Checked By

Revision

Date

A502
ARCHITECTURAL
DETAILS



24-DR-2015
7/27/2015

BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

1207
2015/07/28
MR
ED

Date
Project No.
Drawn By
Checked By

Revision Date

A901
RENDERING



BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 479-3538

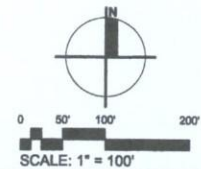
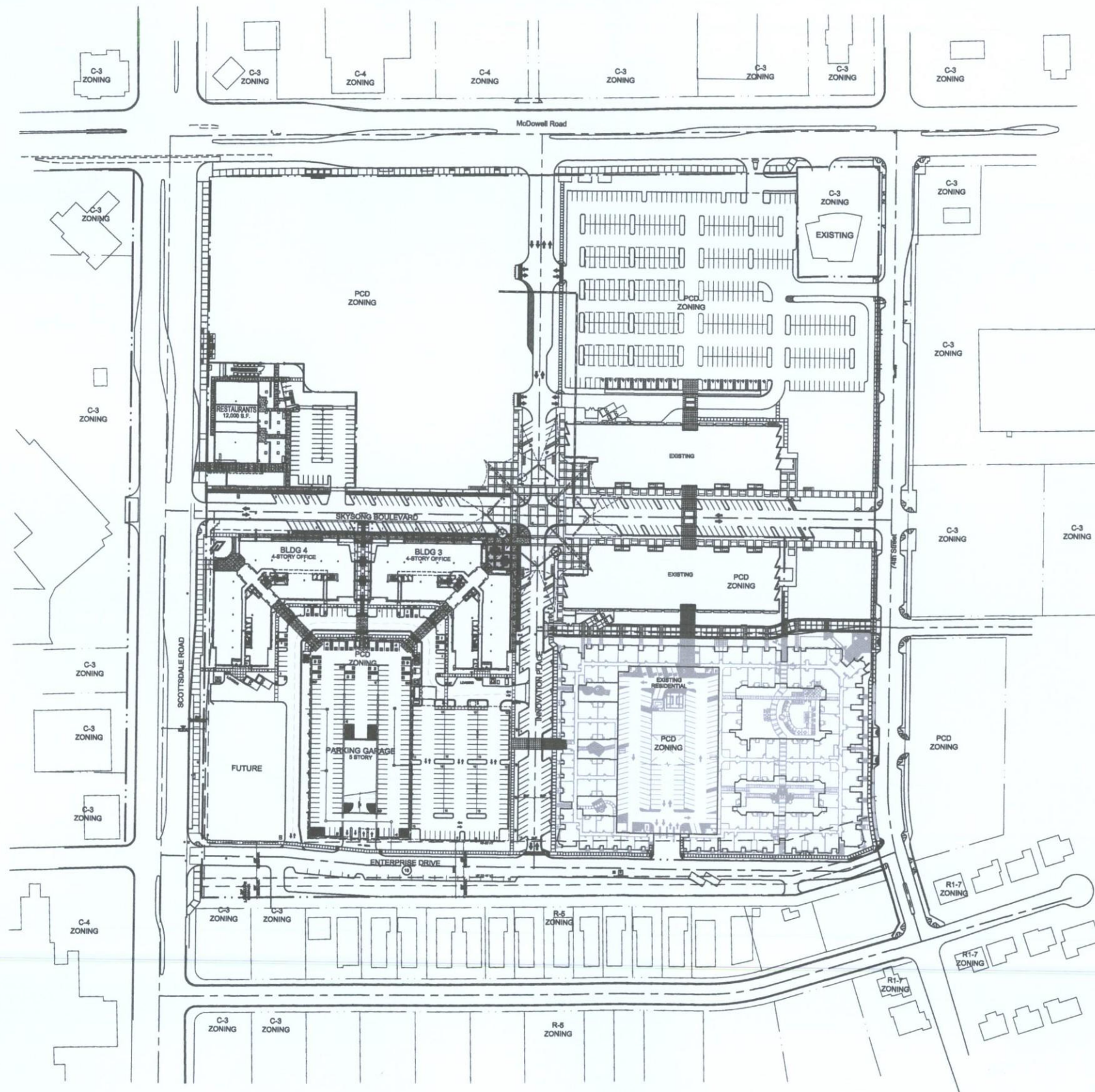
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2015/07/20
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Date
Project No.
Drawn By
Checked By

Revision Date

A902
RENDERING

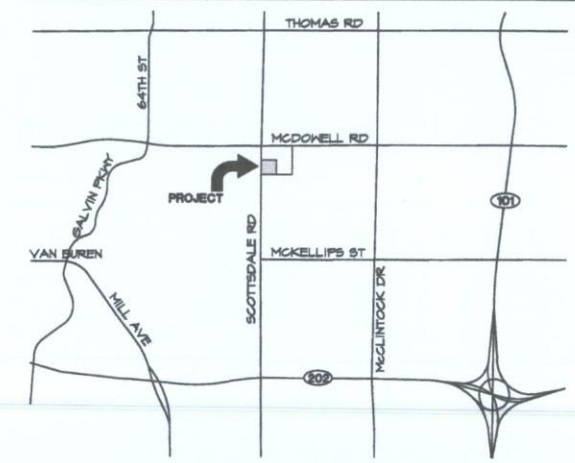
24-DR-2015
7/27/2015



SITE PLAN DATA

PROJECT DATA:	
PARCEL ZONING:	PCD
GROSS LOT AREA:	1,821,878 (41.82 AC)
NET LOT AREA:	1,870,773 (38.06 AC)
TOTAL BUILDING AREA:	12,000 S.F.
RESTAURANT:	
LOT COVERAGE:	.7%
BUILDING HEIGHT ALLOWED:	60'
BUILDING HEIGHT PROPOSED:	30'-0"
OWNER:	
SKYSONG PLAZA3, SKYSONG PLAZA 4	
PLAZA COMPANIES	
9401 W. THUNDERBIRD RD, #200	
PHOENIX, AZ 85031	
PH: 602.972.1184	
CONTACT: JON STELZER	
DEVELOPER:	
PLAZA COMPANIES	
9401 W. THUNDERBIRD RD, #200	
PHOENIX, AZ 85031	
PH: 602.972.1184	
CONTACT: SHARON HARPER	
ARCHITECT(RESTAURANTS):	
BRICK & WEST DESIGN	
17 W. NORTH LANE	
PHOENIX, AZ 85021	
PH: 602.321.2478	
CONTACT: MICHAEL RUMPELTIN	
ARCHITECT (SITE DEVELOPMENT):	
BUTLER DESIGN GROUP	
5017 E. WASHINGTON ST #107	
PHOENIX, AZ 85034	
PH: 602.957.1800	
CONTACT: JEFF CUTBERTH	
KOREY WILKES	

VICINITY MAP



7.27.15
14005_DRB Retail



SKYSONG RESTAURANTS BLDG SCOTTSDALE ROAD & SKYSONG BLVD. SCOTTSDALE, ARIZONA

SP.1



24-DR-2015
7/27/2015

SkySong Restaurants Building
Scottsdale DRB Second Submittal Package
July 20, 2015

PRC Site Development Standard (Zoning Ordinance Section 5.2606)	Required/ Allowed per 26-ZN-2004#2	Proposed/Actual
Building Height	90 feet (exclusive of rooftop appurtenances; up to 108 feet maximum to top of rooftop appurtenances)	28 Feet
Building Setback (Front Yard; N. Scottsdale Road)	Up to 60 feet in height: 30 feet from back of curb Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with stepback *35 feet from back of curb with reduced stepback *40 feet from back of curb with further reduction of stepback *45 feet from back of curb with no stepback *See Building Stepback requirements on following page for specifics	30 Feet from Back of Curb - One Story Building
Building Setback (Side and Rear Yards; E. McDowell Road, N. 74th Street, and south property line)	Up to 60 feet in height: 30 feet from back of curb Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with stepback *35 feet from back of curb with reduced stepback *40 feet from back of curb with further reduction of stepback *45 feet from back of curb with no stepback *See Building Stepback requirements on following page for specifics	Not Applicable
Building Setback (Side and Rear Yards; E. McDowell Road, N. 74th Street, and south property line)	Adjacent to residential district boundary (south property line): No change. Where not adjacent to residential district boundary: Up to 60 feet in height: 30 feet from back of curb. Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with stepback *35 feet from back of curb with reduced stepback *40 feet from back of curb with further reduction of stepback *45 feet from back of curb with no stepback *See Building Stepback requirements on following pages for specifics	Not Applicable
Stepbacks Where not adjacent to a residential district boundary (Front yard, Scottsdale Road)	Up to 60 feet in height: None required 60 to 90 feet in height: 15 feet (beginning at 45 feet in height, with 30-foot setback) 10 feet (beginning at 45 feet in height, with 35-foot setback) 5 feet (beginning at 45 feet in height, with 40-foot setback) None (with 45-foot setback)	Not Applicable - Single Story Building 28 Feet Height
Stepbacks where not adjacent to a residential district boundary (side and rear yards, McDowell Road and 74th Street)	Up to 60 feet in height: None required 60 to 90 feet in height: 15 feet (beginning at 45 feet in height, with 30-foot setback) 10 feet (beginning at 45 feet in height, with 35-foot setback) 5 feet (beginning at 45 feet in height, with 40-foot setback) None (with 45-foot setback)	Not Applicable
Required Open Space	Minimum 20% of net lot area up to 60 feet in height 500 square feet of additional open space for each foot of building height over 60 feet in height (in addition to standard requirement of 20%; with minimum 1% of net lot area set aside as courtyard; up to 25% of net lot area)	59,356 SF Lot Area * 20% = 11,871 SF Required Open Space.

Development Summary

Project Address	1375 N. Scottsdale Road Scottsdale, AZ 85251
Project Description	New ground-up shell building for future restaurants.
Existing Zoning	P-C
Site Area	59,356 SF Net/Gross 1.363 Ac Net/Gross
Building Area F.A.R.	12,000 SF Gross 0.20
Building Height	28 Feet
Construction Type	2B Non-Separated Fully Sprinklered

Applicable Codes	2012 International Building Code 2012 International Fire Code 2011 International Electrical Code 2012 International Plumbing Code 2012 International Mechanical Code 2012 International Fire Gas Code 2012 Americans with Disability Act (ADA)
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Parking Summary	(Article IX, Table 9.103.A)
	SF Area Ratio Spaces Req'd
Restaurant	12,000 300 40
Patio Area	3500 300 12
Total Parking Required	52
Total Parking Provided	58 Spaces
ADA Spaces Provided	2 Spaces

Project Team

Developer Wetta Ventures Contact: Dave Wetta 5201 N. Central Avenue Phoenix, AZ 85012	Architecture and Design Brick & West, LLC Contact: Mike Rumpeltin 17 W. North Lane Phoenix, AZ 85021	Zoning Attorney Gammage & Burnham, PLC Contact: Manjula Vaz 2 North Central Avenue Phoenix, AZ 85004	Civil Engineer Bury 7047 East Greenway Pkwy Suite 250 Scottsdale, AZ 85254	Landscape The Design Element 2211 East Highland Ave. Suite 120 Phoenix, AZ 85016	Structural MBJ 1438 West Broadway Road Tempe AZ 85282	MEP MSA Engineering 7878 North 16th Street Suite 270 Phoenix, AZ 85020
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BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



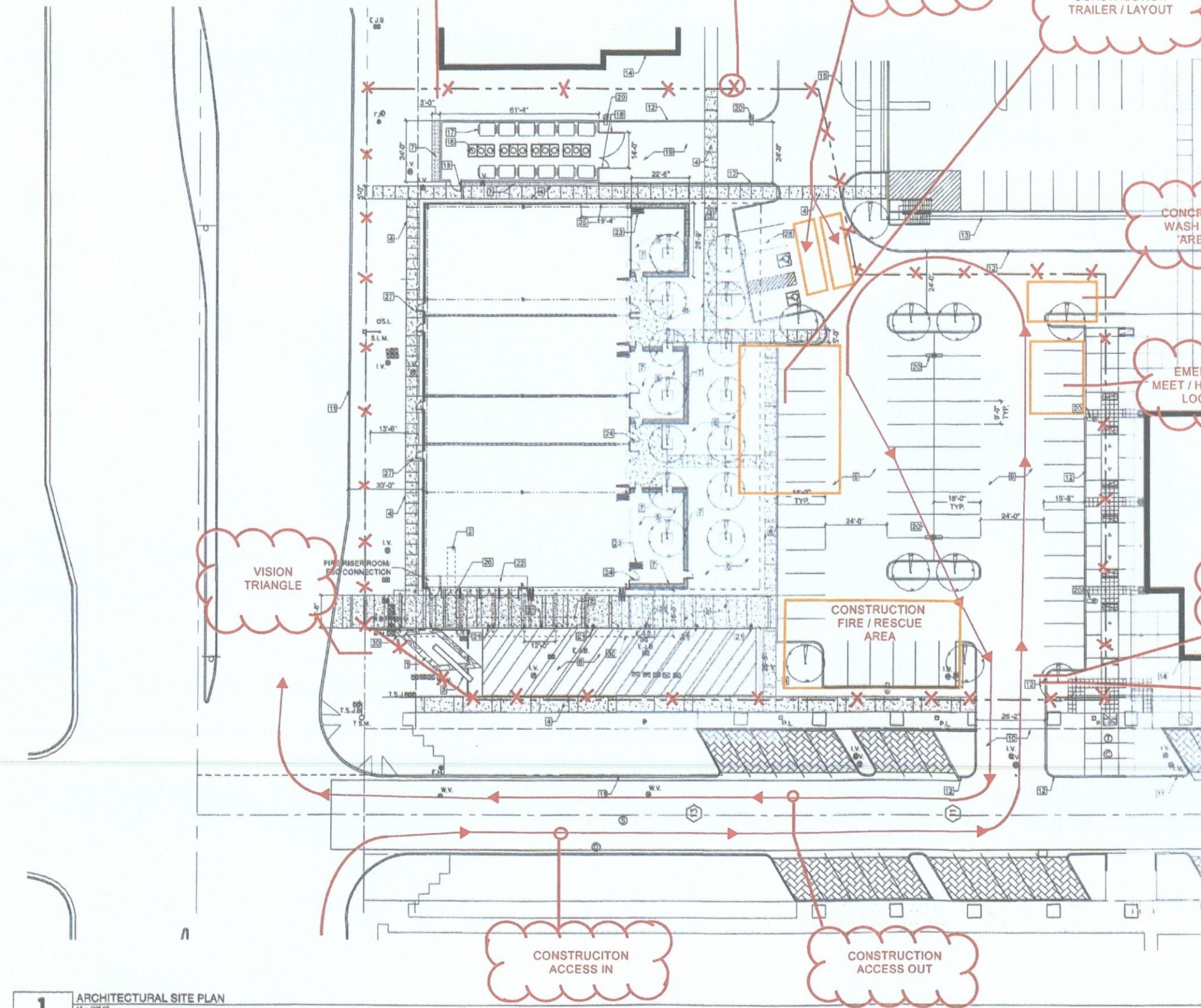
SKYSONG RESTAURANTS BLDG.

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2015/07/20
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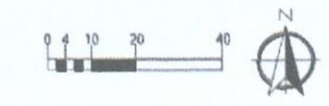
Date	Project No.	Drawn By	Checked By
Revision			

G000
PROJECT COVER
SHEET / GENERAL
INFORMATION

24-DR-2015
7/27/2015



- SHEET NOTES - SITE PLAN**
- 1 EX. GABION WALL TO REMAIN (NOT A PART)
 - 2 EX. GABION WALL TO BE REMOVED
 - 3 EX. MONUMENT SIGN TO REMAIN (NOT A PART)
 - 4 NEW HARDSCAPE/SIDEWALK (SEE LANDSCAPE PLAN)
 - 5 RESTAURANT PATIO AREA
 - 6 PUBLIC OUTDOOR OPEN SPACE (SEE LANDSCAPE PLAN)
 - 7 PLANTER AREA (SEE LANDSCAPE PLAN)
 - 8 WORKING GARDEN (SEE LANDSCAPE PLAN)
 - 9 NEW PARKING AREA
 - 10 NEW DRIVEWAY ENTRANCE
 - 11 EX. CURB AND GUTTER (NOT A PART)
 - 12 NEW CURB AND GUTTER
 - 13 FUTURE PARKING GARAGE (NOT A PART)
 - 14 FUTURE BUILDING (NOT A PART)
 - 15 FUTURE CURB AND GUTTER (NOT A PART)
 - 16 PROPOSED LOCATION OF FUTURE GREASE INTERCEPTOR
 - 17 TRASH / RECYCLE CONTAINER
 - 18 OPAQUE TRASH GATE (SEE DETAILS)
 - 19 CONCRETE PAVING
 - 20 POLE MOUNTED LIGHTING (SEE ELECTRICAL)
 - 21 BOLLARD LIGHT (SEE ELECTRICAL)
 - 22 FUTURE UTILITY ROOM
 - 23 BI-FOLD OPERABLE STOREFRONT DOORS
 - 24 OPERABLE (36" MIN WIDTH) STOREFRONT DOOR
 - 25 FIXED STOREFRONT
 - 26 STEEL EXTERIOR DOORS (ON PIANO HINGE)
 - 27 HOLLOW-METAL EXTERIOR SERVICE DOOR
 - 28 EDGE OF ROOF OVERHANG ABOVE
 - 30 LINE OF CANOPY/SHADE TRELLIS OVERHEAD



BRICK & WEST
DESIGN

CONSULTANTE

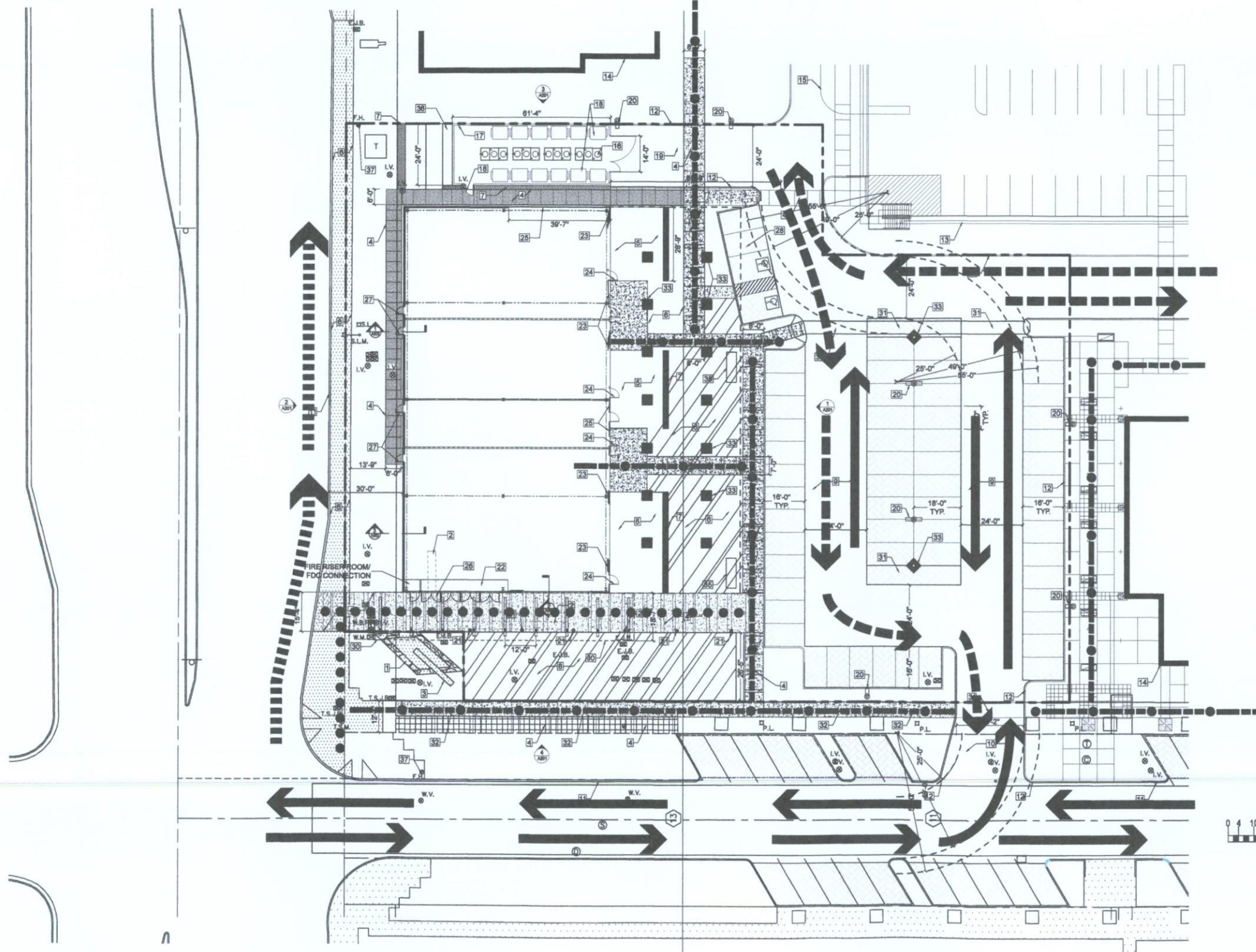
CERTIFICATION

W
WETTA VENTURES

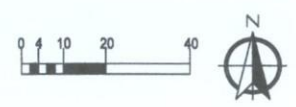
SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538



24-DR-2015
7/27/2015



- TRANSIT (BUS) CIRCULATION
- PRIMARY VEHICULAR
- SECONDARY VEHICULAR (INTRA-SITE)
- PRIMARY PEDESTRIAN
- SECONDARY PEDESTRIAN



1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

24-DR-2015
7/27/2015

BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



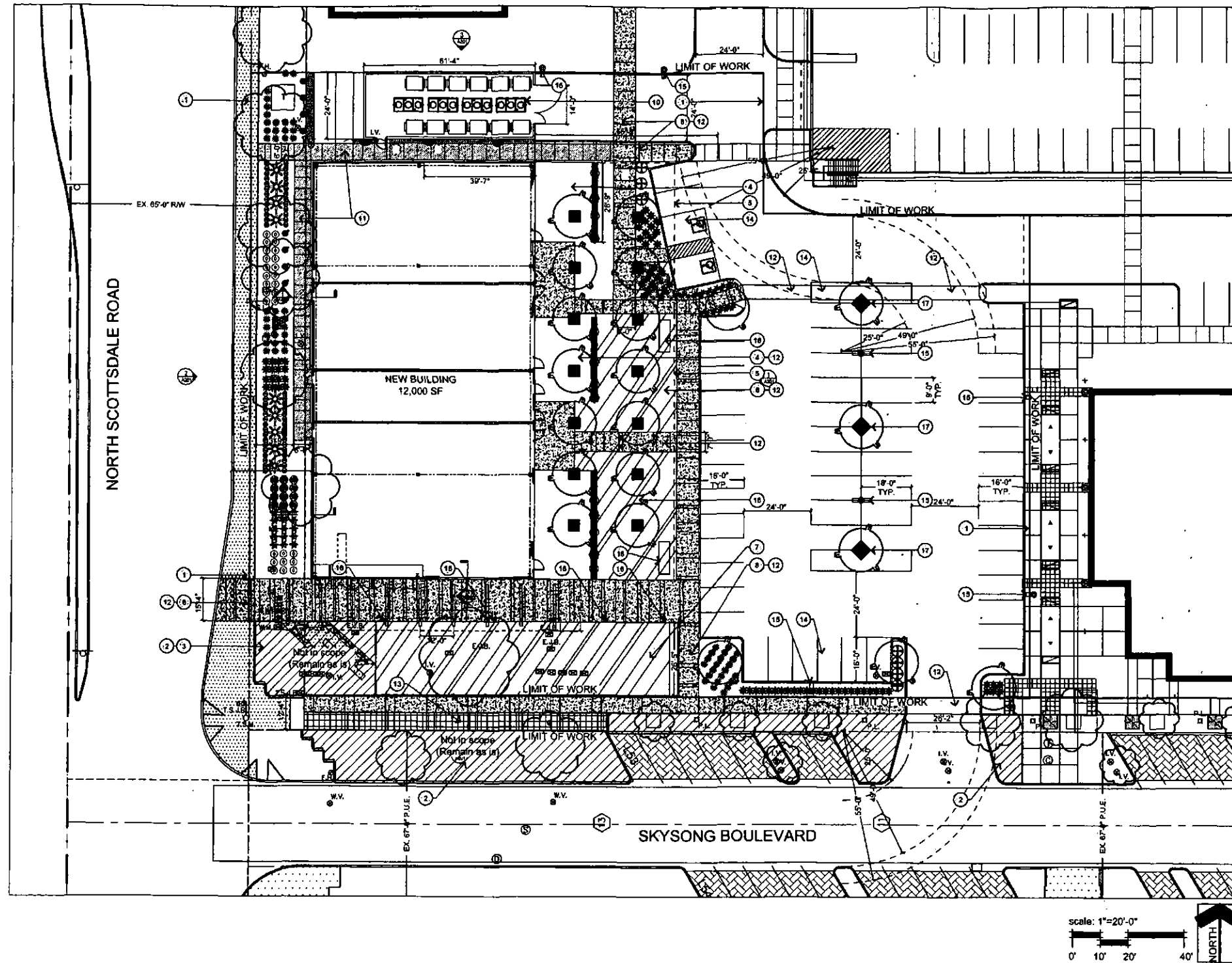
SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3338

1207
2015/07/28
M01
20

Date
Project No.
Drawn By
Checked By

Revision Date

G003
CIRCULATION



LANDSCAPE LEGEND

BOTANICAL NAME		COMMON NAME	SIZE	REMARKS	QTY
TREES					
	Existing tree to remain			See Legend	5
	<i>Olea europaea</i> 'Swan Hill'	'Swan Hill' Olive	36" Box 3.0" Cal.	Multi-trunk	21
	<i>Olneya tesota</i>	Ironwood	36" Box 2.0" Cal.	Multi-trunk	1
SHRUBS					
	<i>Leucophyllum frutescens</i> 'Compacta'	Texas Ranger	5 Gallon		4
	<i>Portulacaria afra</i>	Elephants food	5 Gallon		6
	<i>Tecoma stans angustata</i>	Narrow-leaf yellow bells	5 Gallon		0
	<i>Muhlenbergia capillaris</i> 'Regal Mist'	'Regal Mist'	5 Gallon		51
ACCENTS / SUCCULENTS					
	<i>Agave gemmiflora</i>	Twin-flowered agave	5 Gallon		27
	<i>Aloe 'Blue Elf'</i>	Aloe 'Blue Elf'	5 Gallon		83
	<i>Asclepias subulata</i>	Desert milkweed	15 Gallon		87
	<i>Echinocactus grusonii</i>	Golden Barrel Cactus	15 Gallon		12
	<i>Hesperaloe parviflora</i>	Red yucca	5 Gallon		15
	<i>Podilanthus macrocarpus</i>	Slipper plant	5 Gallon		20
	<i>Fouquieria splendens</i>	Ocotillo	5 Gallon		9
	<i>Pachycereus marginatus</i>	Mexican fence post	15 Gallon		17
GROUNDCOVERS					
	<i>Setcreasea pallida</i>	Purple heart	1 Gallon		12
	<i>Wedelia trilobata</i>	Yellow dot	1 Gallon		0
VINES					
	<i>Ficus pumila</i>	Creeping fig	5 Gallon		3
MATERIALS					
	Decomposed Granite	2" minimum thickness in all planting areas			
	Color: Match Existing				
	Size: Match Existing				

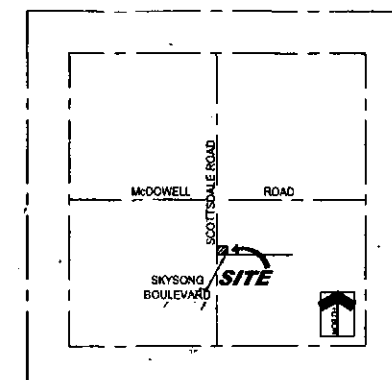
SITE / LANDSCAPE DATA

Site area (net/gross the same)	59,356 sf / 1.363 Ac.
Landscaping not on the approved low water plants list	510 sf
Turf provided	0 sf
Low water drought tolerant plants per the ADWR	7,652.41 sf
On-site	5,622.01 sf
Right-of-way	0 sf
Parking lot landscaping	2,030.40 sf

KEYNOTES

- | | |
|-------------------------------------|---|
| 1 Property line / Limit of work | 10 Service area |
| 2 Existing landscape area to remain | 11 Integral color concrete sidewalk |
| 3 Existing sign to remain | 12 3/8" exposed aggregate (to match Skysong) |
| 4 Outdoor dining area | 13 Precast concrete pavers (to match Skysong) |
| 5 Line of shade canopy above | 14 Permeable pavers (to match Skysong) |
| 6 Public outdoor gathering place | 15 Pole mounted lighting (see electrical) |
| 7 Edible Garden | 16 Bollard lighting (see electrical) |
| 8 Pedestrian connection | 17 Tree grate |
| 9 Shaded walkway | 18 Bicycle Rack |

VICINITY MAP



CITY OF SCOTTSDALE GENERAL LANDSCAPE NOTES

- All landscaping shall be installed per the most current version of the City of Scottsdale supplement to mag specifications and details section 430 and design within city of Scottsdale right-of-way.
- Areas of decomposed granite without plant materials/groundcovers shall not exceed 6 dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
- A minimum of 50 percentage (unless otherwise stipulated by the development review board, and/or the zoning ordinance requirements) of the provided trees shall be mature trees, pursuant to the city of Scottsdale's zoning ordinance article x, section 10.301, as defined in the city of Scottsdale's zoning ordinance article iii, section 3.100.
- A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk. A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk. A multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 8" above finished grade if all trunks originate from the soil.
- Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.
- Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
- All right-of-way adjacent to this property shall be landscaped by the developer and irrigated/maintained by the property owner (city of Scottsdale).
- Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with sections 49-245 through 49-248 of the city code to the water conservation office.
- Turf shall be limited to the maximum area specified in sections 49-245 through 49-248 of the city code and shall be shown on landscape plans submitted at the time of final plans.
- No lighting is approved with the submittal.
- The approval of these plans recognize the construction of a low voltage system and does not authorize any violation of the current city of Scottsdale adopted electrical code.
- The landscape specification section(s) of these plans have not reviewed and shall not be part of the city of Scottsdale's approval.
- All signs require separate permits and approvals.
- New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the certificate of occupancy / letter of acceptance to the satisfaction of the inspection services staff.

Skysong Restaurants Building

1375 North Scottsdale Road
Scottsdale, Arizona

PROJECT NUMBER: 14041

ISSUED FOR:
Development Review Board

ISSUED DATE:
05/04/2015

DRAWN BY: MB REVIEWED BY: JA



REVISIONS:

#	date	description

SHEET NAME:
Conceptual
Landscape Plan and
Materials List
SHEET NUMBER:

L1

24-DR-2015
8/27/15

CONSULTANTS:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Westa
(602) 478-3538

1387

2015/06/24

ISS

20

Date

Project No.

Drawn By

Checked By

Revision

Date

A801
WEST ELEVATION
MATERIAL KEY

BASE COLOR PALETTE

COLOR 1
"WHEAT"
Pantone 117 at 50%

COLOR 2
"EARTH"
Pantone Warm Gray 9 at 90%

COLOR 3
"GROWTH"
Pantone 576 at 70%

APPLIED COLOR PALETTE

A Color 2 Vertical Texture	G Color 1 Vertical Texture	M Color 2 Vertical Texture
B Color 3 Horizontal Texture	H Color 3 Horizontal Texture	N Color 2 Horizontal Texture
C Color 3 Vertical Texture	I Color 3 Vertical Texture	O Color 1 Vertical Texture
D Color 3 Vertical Texture	J Color 3 Vertical Texture	P Color 1 Horizontal Texture
E Color 3 Horizontal Texture	K Color 3 Horizontal Texture	Q Color 2 Smooth
F Color 3 Vertical Texture	L Color 3 Vertical Texture	

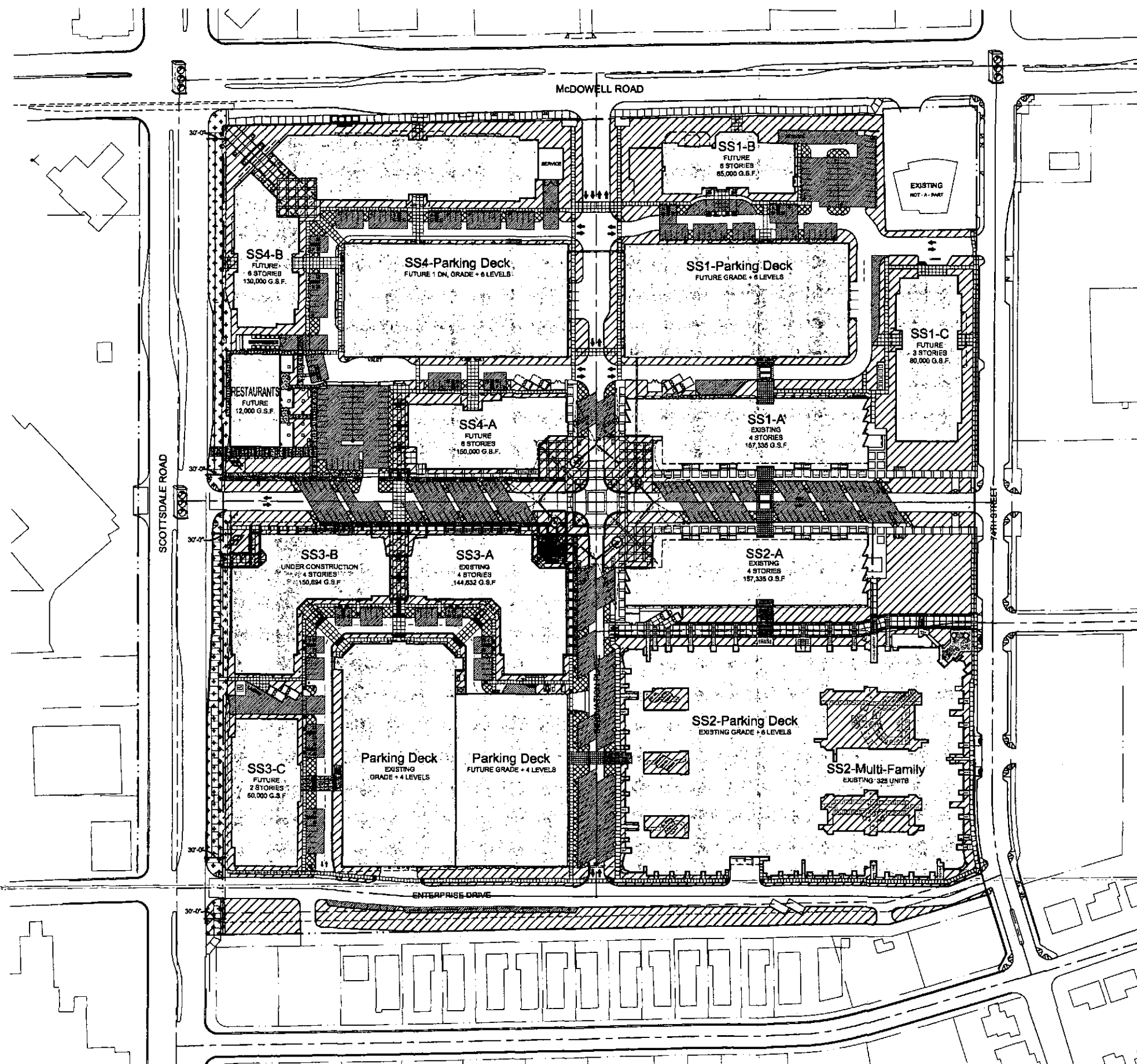


LETTER TREATMENT
Letters to be sandblasted into concrete, exposing aggregate and providing contrast



1 WEST BUILDING ELEVATION
1/8" = 1'-0"

24-DR-2015
8/27/15



SITE PLAN WORKSHEET DATA

PROJECT DATA:

PROJECT DATA ZONING:	PCD
GROSS SITE AREA:	1,021,679 S.F. (41.02 AC)
NET SITE AREA:	1,570,773 S.F. (36.00 AC)
BUILDING HEIGHT:	90'-0" MAX ALLOWED

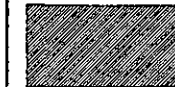
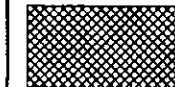
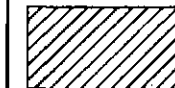
OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED: 20% PER PCD ZONING

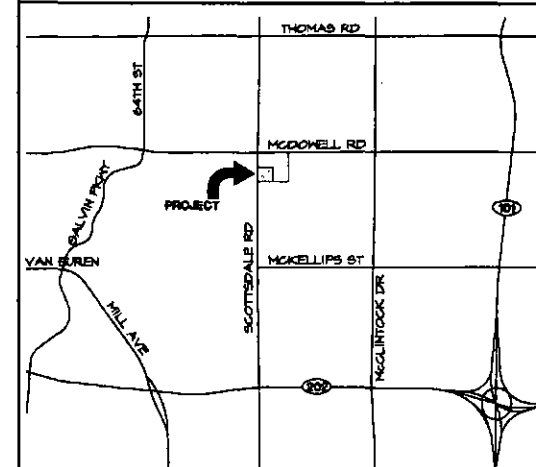
OPEN SPACE PROVIDED (NOT INCLUDING PARKING LOT LANDSCAPING & AREA)
= 57,762 + 57,562 = 555,324 S.F. (22.6%)

PARKING LOT LANDSCAPING REQUIRED
PARKING LOT AREA X .15%
27,450 S.F. X .15 = 4,116 S.F.

PARKING LOT AREA PROVIDED = 156,280 S.F.



VICINITY MAP



CITY STAMP

1 MASTER SITE PLAN WORKSHEET
SCALE: 1" = 80'-0"

24-DR-2015
8/27/15

Bdg

Butler Design Group Inc.
Architects & Planners

5017 East Washington St.
Suite 107
Phoenix, Arizona 85034

phone 602-957-1800
fax 602-957-7722



EXPIRES: 6/30/2017

OWNERSHIP OF INSTRUMENTS OF SERVICE
All reports, plans, specifications, computer files, field notes, notes and other documents and instruments prepared in the design professional's performance of service shall remain the property of the design professional. The design professional shall retain all copyright, title, proprietary and other interest rights, including the copyright therein.

PLAZA
COMPANIES 

SKYSONG PLAZA

SKYSONG
1365 NORTH
SCOTTSDALE RD.
SCOTTSDALE, AZ

Revisions:

Title
SITE PLAN WORKSHEET
 Date
 07.27.18
 Project number
 14005_Retail
 Drawn by
 AM
 Checked by
 KW
 CAD file
 DRB Retail_8.29.16
 Sheet Number

SPW

PLAN CHECK#: 2620-13-1 - CASE#: BB-DR-2005 #8

CONSULTANTS:

CERTIFICATION:



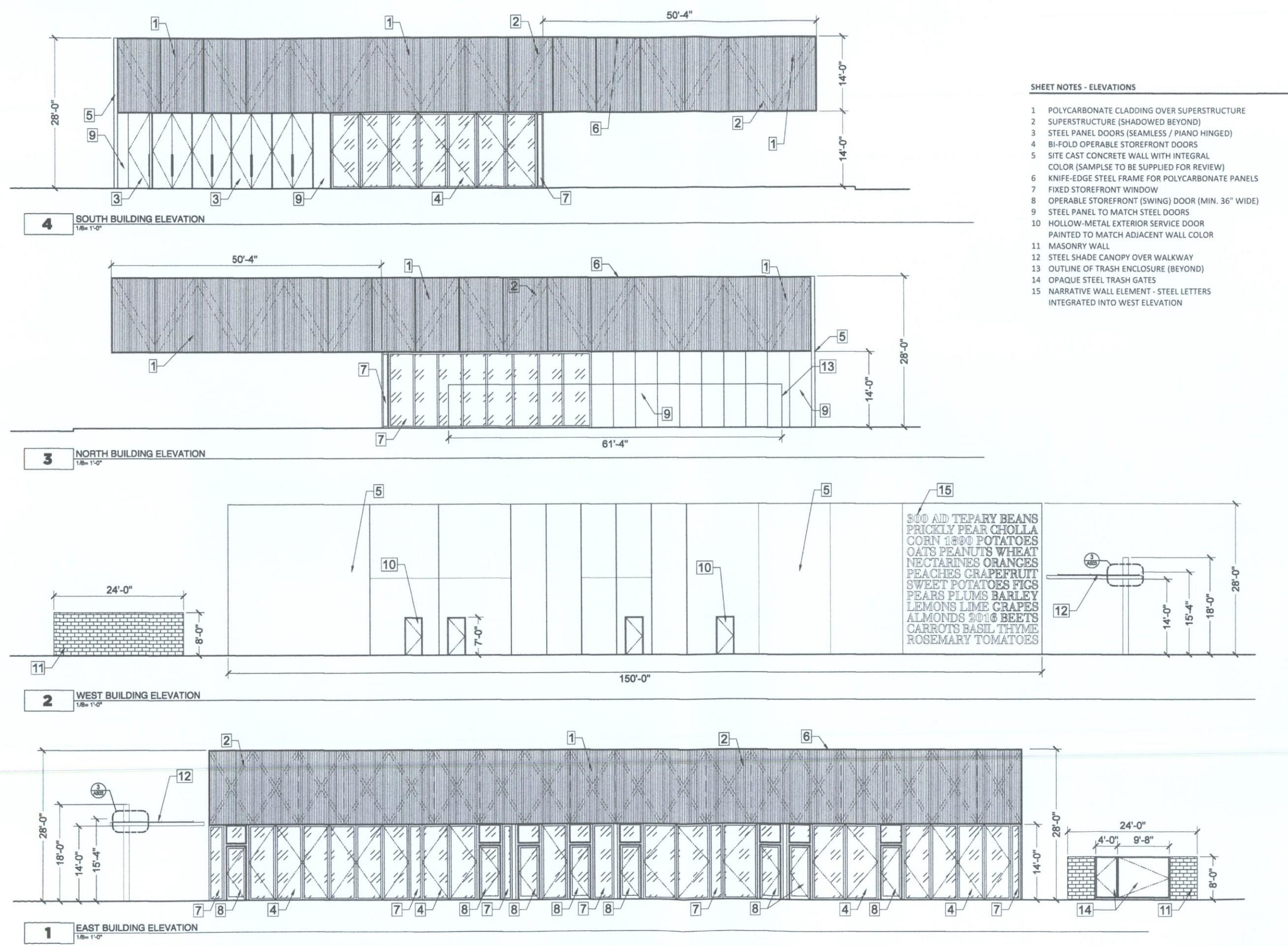
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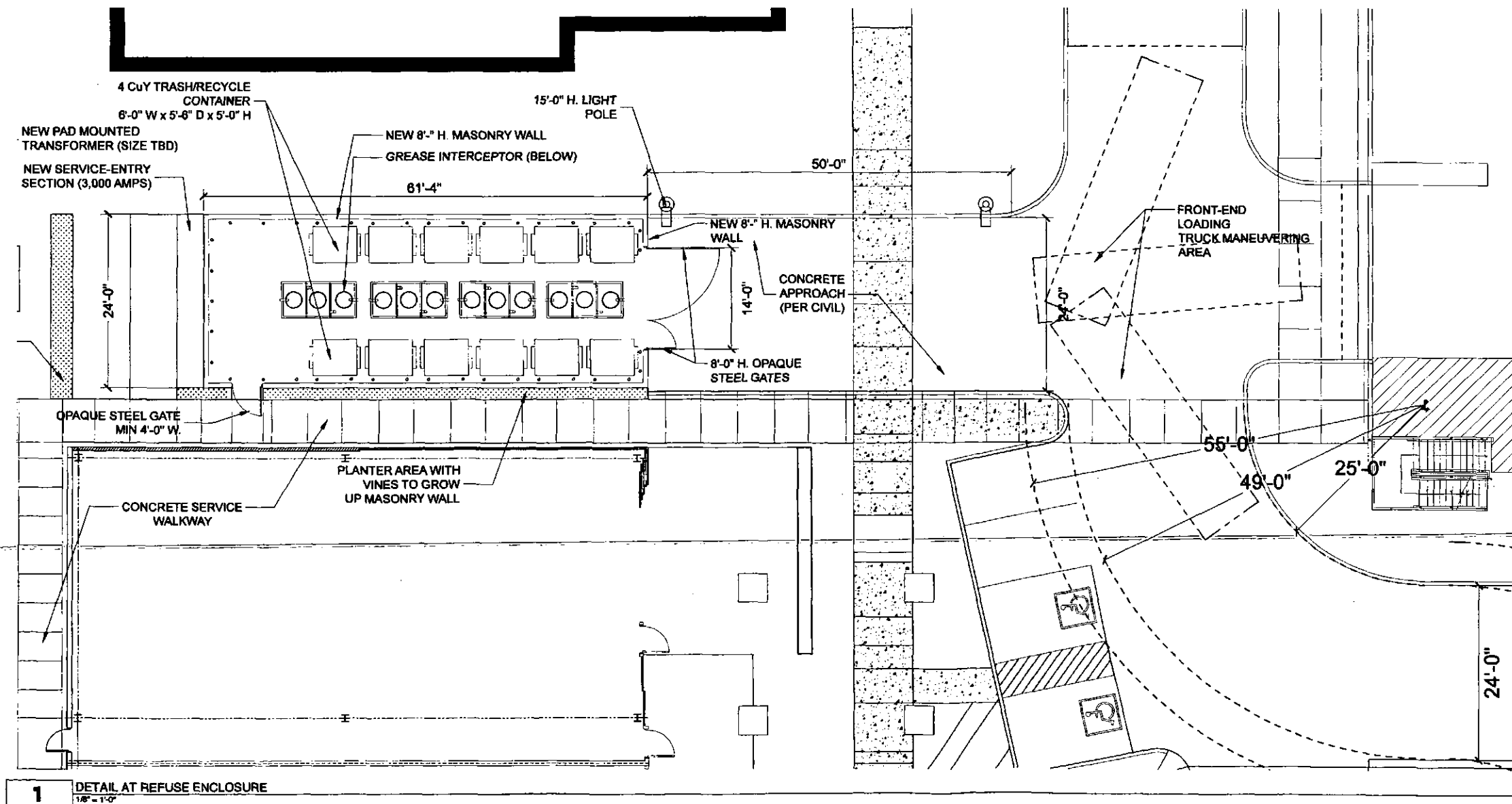
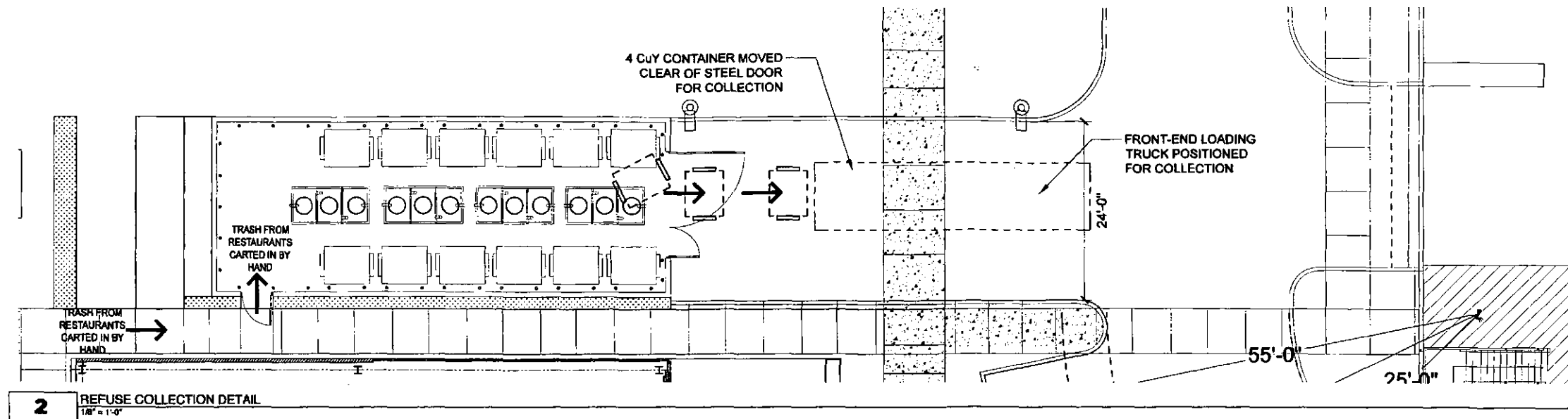
Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3538

1307
2013/07/28
MEX
JB

Date
Project No.
Drawn By
Checked By
Revision
Date

A201
EXTERIOR ELEVATIONS





BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:



WETTA VENTURES

SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3338

1/27/2015
2015/07/24
M01
J2

Date
Project No.
Drawn By
Checked By

Revision

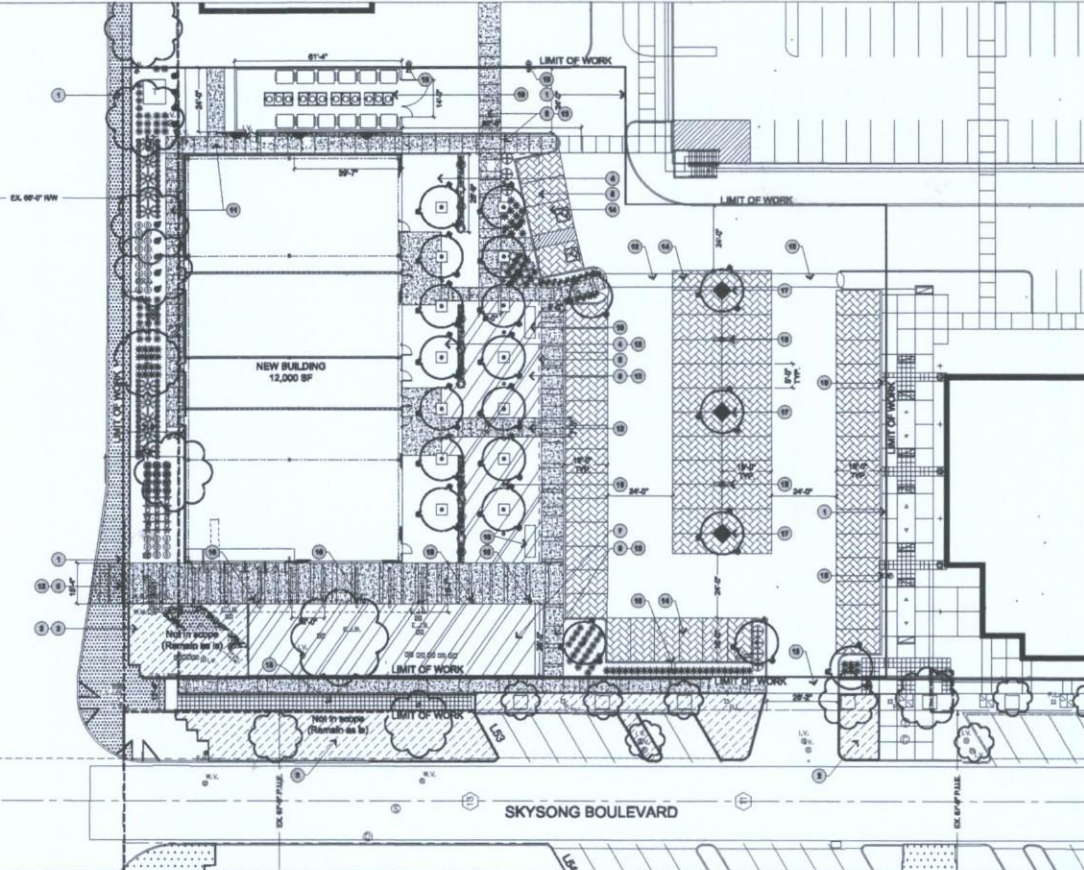
Date

G006

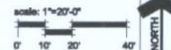
DETAIL PLAN AT
REFUSE ENCLOSURE

24-DR-2015
8/27/15

NORTH SCOTTSDALE ROAD



SKYSONG BOULEVARD



CITY OF SCOTTSDALE GENERAL LANDSCAPE NOTES

- All landscaping shall be installed per the most current version of the city of Scottsdale supplement to map specifications and details section 430 and design within city of Scottsdale right-of-way.
- Areas of decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
- A minimum of 50 percentage (unless otherwise stipulated by the development review board, and/or the zoning ordinance requirements) of the provided trees shall be native trees, pursuant to the city of Scottsdale's zoning ordinance article 10, section 10.301, as defined in the city of Scottsdale's zoning ordinance article II, section 3.100.
- A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk, a tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk, a multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 6" above finished grade if all trunks originate from the soil.
- Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet, trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation, all heights are measured from nearest street line elevation.
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- No lighting is approved with the submittal.
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- All signs require separate permits and approvals.
- New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the certificate of occupancy / letter of acceptance to the satisfaction of the inspection services staff.

LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QTY
TREES				
Existing tree to remain			See Legend	5
Citrus europaea 'Swan Hill'	'Swan Hill' Olive	30" Box 3.0" Cal.	Multi-trunk	21
Olneya tesota	Ironwood	30" Box 2.5" Cal.	Multi-trunk	1
SHRUBS				
Lydenia andersonii	Anderson weiberry	5 Gallon		7
Portulacaria afra	Elephant's foot	5 Gallon		12
Cymbopogon ambiguus	Australian Lemon Grass	5 Gallon		76
ACCENTS / SUCCULENTS				
Agave americana	Twin-flowered agave	5 Gallon		27
Aloe 'Blue Elf'	Aloe 'Blue Elf'	5 Gallon		86
Aechmea subulata	Desert millweed	5 Gallon		87
Echinosciacanthus grusonii	Golden Barrel Cactus	15 Gallon		12
Yucca jacinta	Barrens yucca	5 Gallon		15
Bulbine frutescens	Bulbine	5 Gallon		47
Fouquieria splendens	Occillo	5 Gallon		10
Cereus peruvianus	Peruvian apple cactus	15 Gallon		9
GROUNDCOVERS				
Setcreasea pallida	Purple heart	1 Gallon		12
VINES				
Antigonon leptopus	Queens wreath	5 Gallon		3
MATERIALS				
	Decomposed Granite	2" minimum thickness in all planting areas		
	Color: Match Existing			
	Base: Match Existing			

SITE / LANDSCAPE DATA

Site area (net/gross the same)	80,369 sf / 1,303 Ac.
Landscaping not on the approved low water plants list	510 sf
Turf provided	0 sf
Low water drought tolerant plants per the ADWR	7,862.41 sf
On-site	5,822.01 sf
Right-of-way	0 sf
Parking lot landscaping	2,030.40 sf

KEYNOTES

- Property line / Limit of work
- Existing landscape area to remain
- Existing sign to remain
- Outdoor dining area
- Line of shade canopy above
- Public outdoor gathering place
- Edible Garden
- Pedestrian connection
- Shaded walkway
- Service area
- Integral color concrete sidewalk
- 3/8" exposed aggregate (to match SkySong)
- Precast concrete pavers (to match SkySong)
- Permeable pavers (to match SkySong)
- Pole mounted lighting (see electrical)
- Boiler lighting (see electrical)
- Tree grate
- Bicycle Rack

VICINITY MAP



the design element
landscape architecture
2251 West Highland Avenue
Suite 100
Phoenix, Arizona 85016
PH 602.244.1970
FX 602.244.1971
www.designelementaz.com



SkySong Restaurants Building

1375 North Scottsdale Road
Scottsdale, Arizona

PROJECT NUMBER: 14841

ISSUED FOR:
Development Review Board

ISSUED DATE:
05/04/2015

DRAWN BY: MB REVIEWED BY: JA

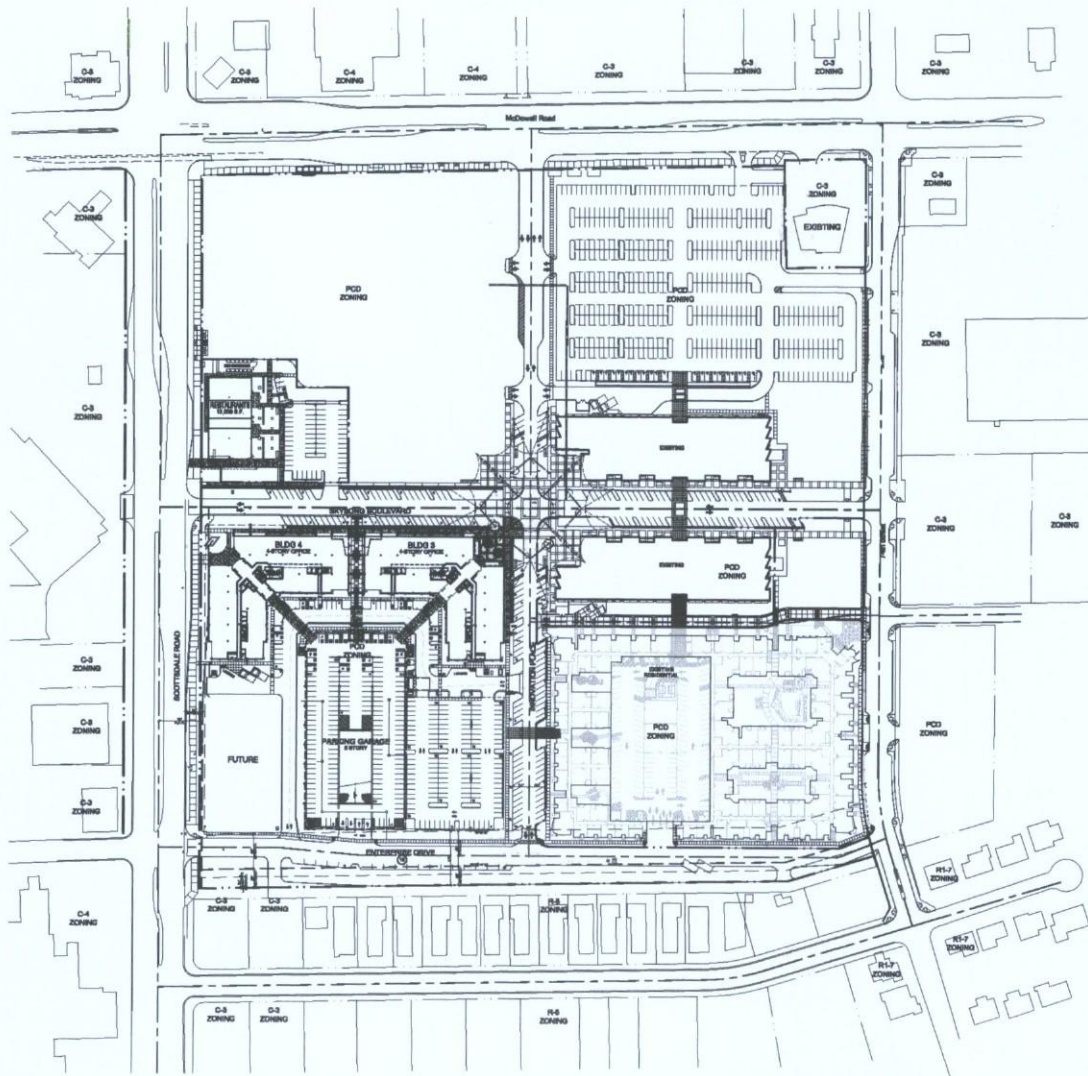


REVISIONS:

#	Date	Description

SHEET NAME:
Conceptual
Landscape Plan and
Materials List
SHEET NUMBER:
L1

24-DR-2015
7/27/2015



SITE PLAN DATA

PROJECT DATA:

PARCEL ZONING: PCD
 GROSS LOT AREA: 1,821,879 (41.82 AC)
 NET LOT AREA: 1,875,775 (42.90 AC)

TOTAL BUILDING AREA: 12,000 S.F.
 RESTAURANT: 7%
 LOT COVERAGE: 30-4"

OWNER:
 SKYSONG PLAZA, SKYSONG PLAZA 4
 PLAZA COMPANIES
 8401 W. THUNDERBOLT RD. 8000
 PHOENIX, AZ 85021
 P.O. BOX 11154
 CONTACT: JON EYELER

DEVELOPER:
 PLAZA COMPANIES
 8401 W. THUNDERBOLT RD. 8000
 PHOENIX, AZ 85021
 P.O. BOX 11154
 CONTACT: BRYAN HANSEN

ARCHITECT/RESTAURANT:
 BRICK & MORT DESIGN
 17 W. NORTH LAKE
 PHOENIX, AZ 85011
 P.O. BOX 11154
 CONTACT: MICHAEL RANDELIN

ARCHITECT (SITE DEVELOPMENT):
 BUTLER DESIGN GROUP
 801 E. WASHINGTON ST. #107
 PHOENIX, AZ 85004
 P.O. BOX 11154
 CONTACT: JEFF CUTWORTH
 KOREY WILKES

VICINITY MAP



PLAZA
 COMPANIES

ASU Foundation
 for a new american university
 ARIZONA STATE UNIVERSITY

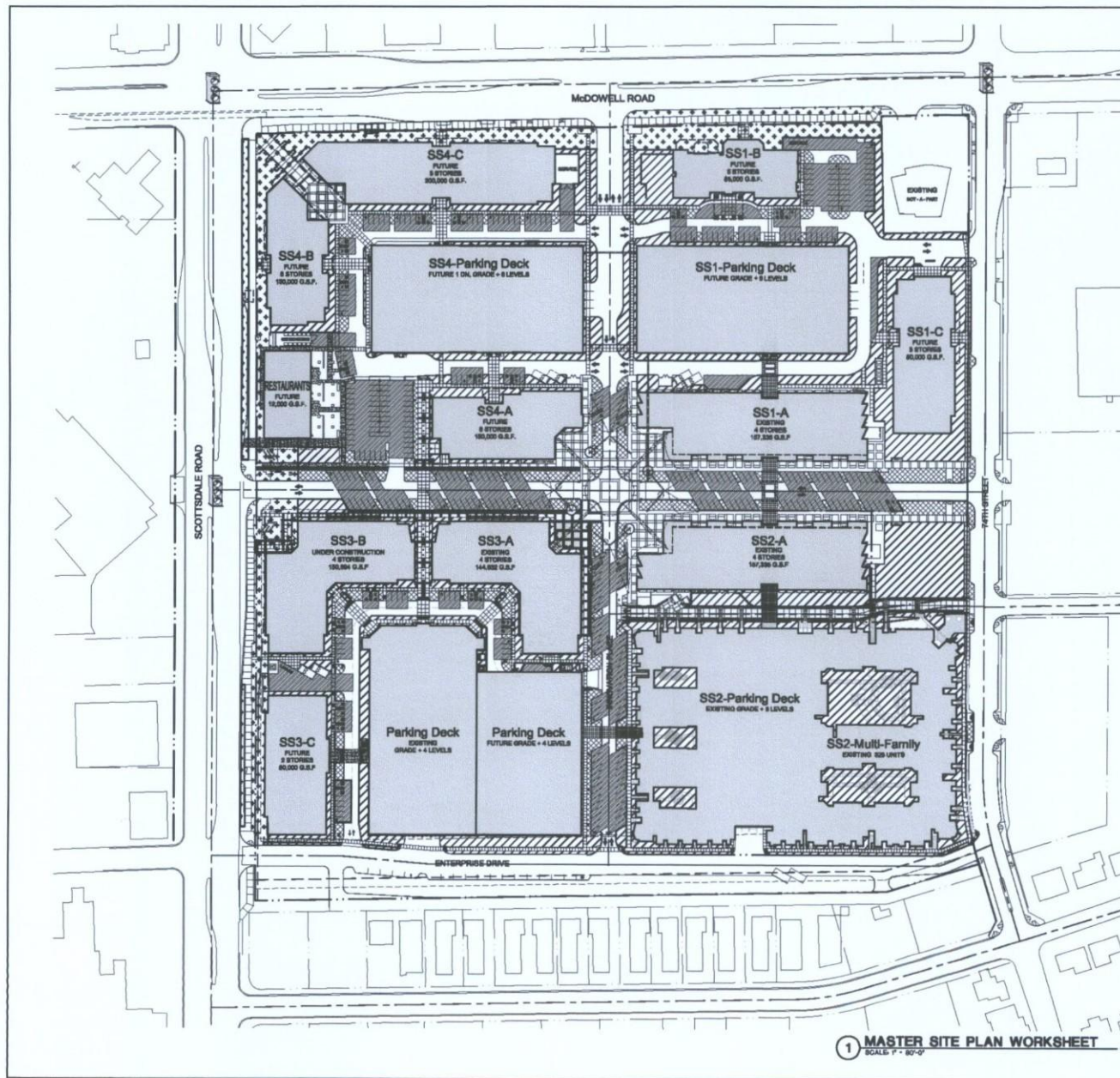
SKYSONG RESTAURANTS BLDG
 SCOTTSDALE ROAD & SKYSONG BLVD.
 SCOTTSDALE, ARIZONA

SP.1



Butler Design Group, Inc.
 architects & planners

24-DR-2015
7/27/2015



1 MASTER SITE PLAN WORKSHEET
SCALE: 1" = 60'-0"

SITE PLAN WORKSHEET DATA

PROJECT DATA:
 PROJECT DATA ZONING: RCD
 GROSS SITE AREA: 132,614 S.F. (3.02 AC)
 NET SITE AREA: 137,073 S.F. (31.26 AC)
 BUILDING HEIGHT: 40'-0" MAX. ALLOWED

OPEN SPACE CALCULATIONS:
 REQUIRED OPEN SPACE:
 MAXIMUM BUILDING HEIGHT: 40'-0" MAX. ALLOWED
 FIRST 12' OF HEIGHT: 10% NET LOT AREA
 * 10' X 137,073 S.F. = 13,707 S.F.
 NEXT 10' OF HEIGHT: 10' X .004 X 137,073 S.F. = 5,483 S.F.
 OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING):
 * 13,707 S.F. + 5,483 S.F. = 19,190 S.F. (44%)
 OPEN SPACE PROVIDED: 21,430 S.F.
 PARKING LOT LANDSCAPING REQUIRED:
 PARKING LOT AREA X 1%
 (54,710 S.F. X .1) = 5,471 S.F.
 PARKING LOT AREA PROVIDED: 55,215 S.F.

- DENOTES FRONT OPEN SPACE
71,250 S.F. TOTAL
- DENOTES OPEN SPACE OTHER THAN
FRONTAL OPEN SPACE
71,250 S.F. TOTAL
- DENOTES PARKING LOT LANDSCAPING
55,215 S.F. TOTAL
- DENOTES PARKING LOT AREA
54,710 S.F. TOTAL

VICINITY MAP



CITY STAMP

Bd
 Better Design Group Inc.
 Architects & Planners
 5017 East Westington St.
 Suite 107
 Phoenix, Arizona 85034
 phone 602-957-1800
 fax 602-957-7722

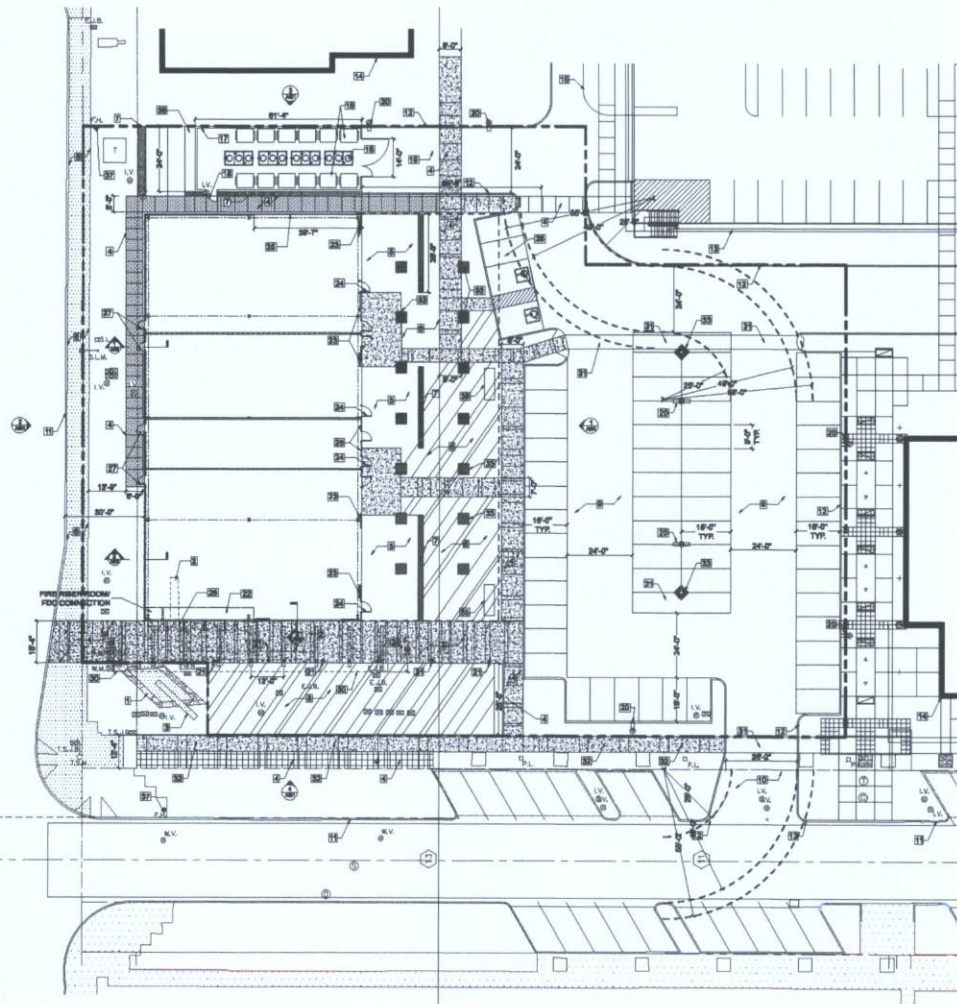
PLAZA
 COMPANIES

SKYSONG PLAZA
 1365 NORTH SCOTTSDALE RD.
 SKYSONG SCOTTSDALE, AZ

Revisions:

Title:	SITE PLAN WORKSHEET
Date:	07.27.15
Project number:	14005_Retail
Drawn by:	AM
Checked by:	KW
City:	DRB Retail_7.24.15
Sheet Number:	2025

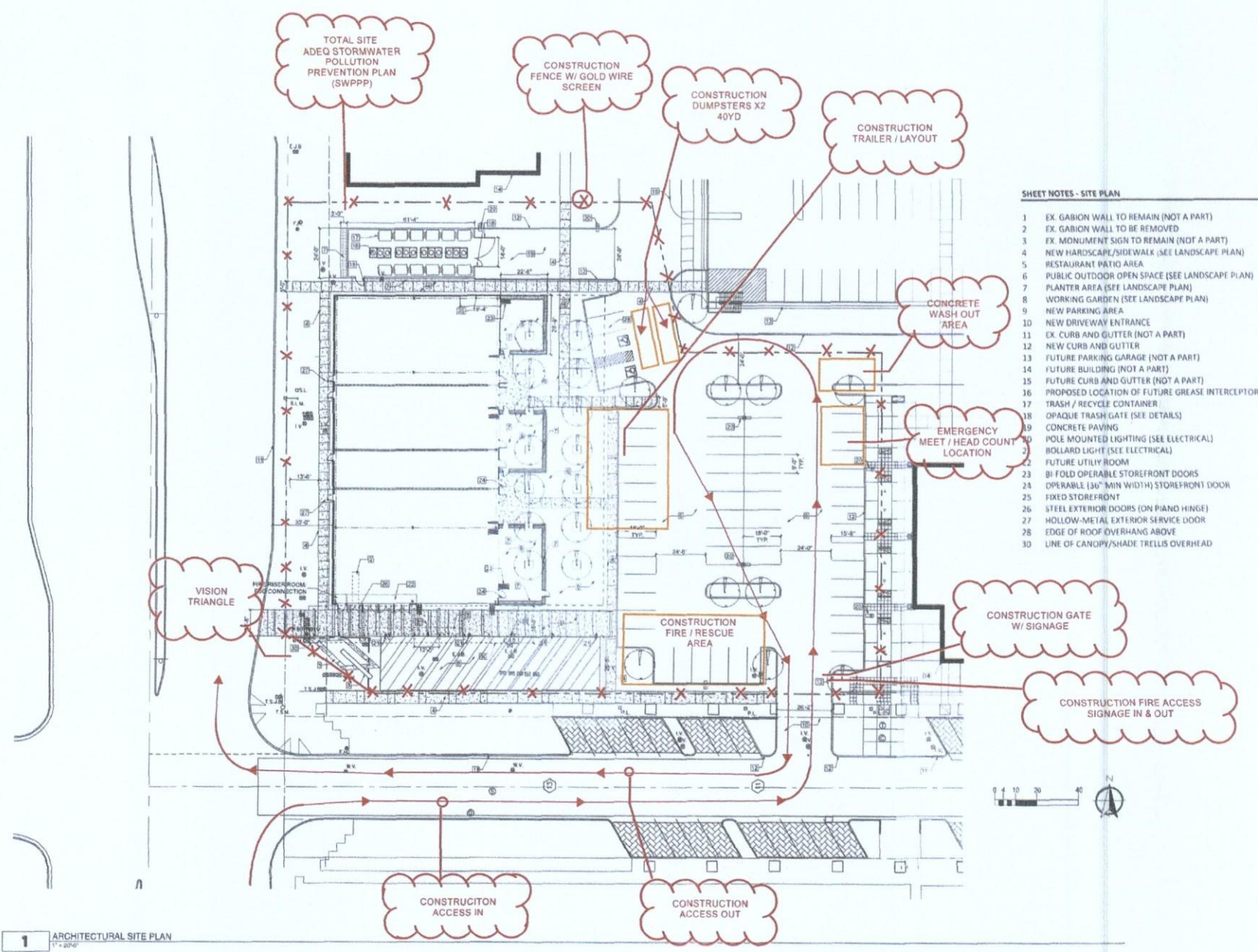
SPW



SHEET NOTES - SITE PLAN

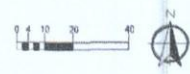
- EX. GABION WALL TO REMAIN (NOT A PART)
- EX. GABION WALL TO BE REMOVED
- EX. MONUMENT SIGN TO REMAIN (NOT A PART)
- NEW HARDSCAPE/SIDEWALK (SEE LANDSCAPE PLAN)
- RESTAURANT PATIO AREA (FUTURE, BY TENANT)
- PUBLIC OUTDOOR OPEN SPACE (SEE LANDSCAPE PLAN)
- PLANTER AREA (SEE LANDSCAPE PLAN)
- EDIBLE GARDEN (SEE LANDSCAPE PLAN)
- NEW PARKING AREA
- NEW DRIVEWAY ENTRANCE
- EX. CURB AND GUTTER (NOT A PART)
- NEW CURB AND GUTTER
- FUTURE PARKING GARAGE (NOT A PART)
- FUTURE BUILDING (NOT A PART)
- FUTURE CURB AND GUTTER (NOT A PART)
- GREASE INTERCEPTOR
- TRASH / RECYCLE CONTAINER
- OPAQUE TRASH GATE (SEE DETAILS)
- CONCRETE PAVING
- POLE MOUNTED LIGHTING (SEE ELECTRICAL)
- BOLLARD LIGHT (SEE ELECTRICAL)
- FUTURE UTILITY ROOM
- OPERABLE STOREFRONT DOOR SYSTEM
- OPERABLE (36" MIN WIDTH) STOREFRONT DOOR
- FIXED STOREFRONT
- STEEL EXTERIOR DOORS (ON PIANO HINGE)
- HOLLOW-METAL EXTERIOR SERVICE DOOR
- EDGE OF ROOF OVERHANG ABOVE
- LINE OF CANOPY/SHADE TRELLIS OVERHEAD
- ENHANCED PAVING- SEE LANDSCAPE
- EX. SIDEWALK TO REMAIN
- TREE PLANTER (SEE LANDSCAPE)
- EX. PUBLIC SIDEWALK
- NEW BICYCLE RACKS
- NEW SERVICE ENTRY SECTION (SEE ELECTRICAL)
- EXISTING FIRE HYDRANT (MAX 340' SPACING)

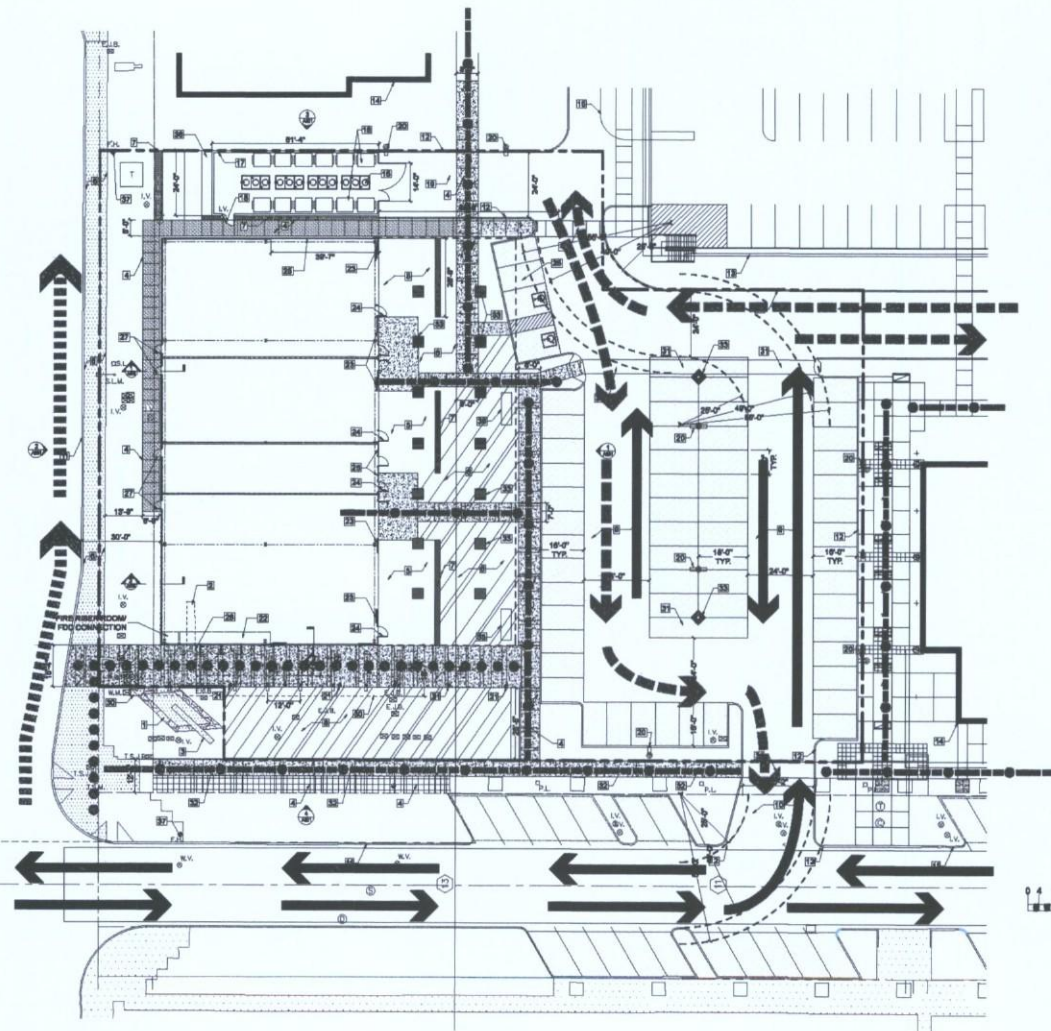




SHEET NOTES - SITE PLAN

- 1 EX. GABION WALL TO REMAIN (NOT A PART)
- 2 EX. GABION WALL TO BE REMOVED
- 3 EX. MONUMENT SIGN TO REMAIN (NOT A PART)
- 4 NEW HARDSCAPE/SIDEWALK (SEE LANDSCAPE PLAN)
- 5 RESTAURANT PATIO AREA
- 6 PUBLIC OUTDOOR OPEN SPACE (SEE LANDSCAPE PLAN)
- 7 PLANTER AREA (SEE LANDSCAPE PLAN)
- 8 WORKING GARDEN (SEE LANDSCAPE PLAN)
- 9 NEW PARKING AREA
- 10 NEW DRIVEWAY ENTRANCE
- 11 EX. CURB AND GUTTER (NOT A PART)
- 12 NEW CURB AND GUTTER
- 13 FUTURE PARKING GARAGE (NOT A PART)
- 14 FUTURE BUILDING (NOT A PART)
- 15 FUTURE CURB AND GUTTER (NOT A PART)
- 16 PROPOSED LOCATION OF FUTURE GREASE INTERCEPTOR
- 17 TRASH / RECYCLE CONTAINER
- 18 OPAQUE TRASH GATE (SEE DETAILS)
- 19 CONCRETE PAVING
- 20 POLE MOUNTED LIGHTING (SEE ELECTRICAL)
- 21 BOLLARD LIGHT (SEE ELECTRICAL)
- 22 FUTURE UTILITY ROOM
- 23 BI-FOLD OPERABLE STOREFRONT DOORS
- 24 OPERABLE (36" MIN WIDTH) STOREFRONT DOOR
- 25 FIXED STOREFRONT
- 26 STEEL EXTERIOR DOORS (ON PIANO HINGE)
- 27 HOLLOW-METAL EXTERIOR SERVICE DOOR
- 28 EDGE OF ROOF OVERHANG ABOVE
- 30 LINE OF CANOPY/SHADE TRELLIS OVERHEAD





- TRANSIT (BUS) CIRCULATION
- PRIMARY VEHICULAR
- - - - - SECONDARY VEHICULAR (INTRA-SITE)
- PRIMARY PEDESTRIAN
- - - - SECONDARY PEDESTRIAN



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

BRICK & WEST
DESIGN

CONSULTANT:

CERTIFICATION:



SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona
WETIA VENTURES
CONTRACT DEAN VENTURA
CITY 479-4338

DATE: 7/27/2015
BY: [Signature]

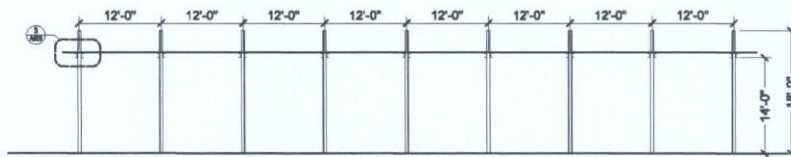
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REVISION: [Blank]

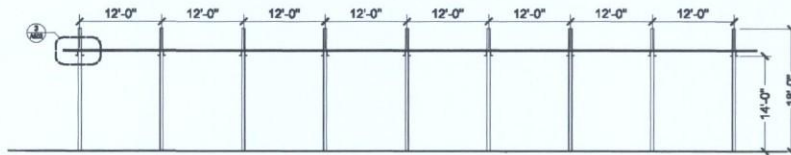
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G003
CIRCULATION

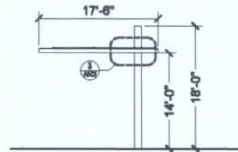
24-DR-2015
7/27/2015



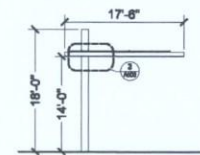
3 SOUTH ELEVATION AT TRELLIS
1/8" = 1'-0"



1 NORTH ELEVATION AT TRELLIS
1/8" = 1'-0"



4 WEST ELEVATION AT TRELLIS
1/8" = 1'-0"



2 EAST ELEVATION AT TRELLIS
1/8" = 1'-0"

SHEET NOTES - ELEVATIONS

- 1 POLYCARBONATE CLADDING OVER SUPERSTRUCTURE
- 2 SUPERSTRUCTURE (SHADOWED BEYOND)
- 3 STEEL PANEL DOORS (SEAMLESS / PIANO HINGED)
- 4 BI-FOLD OPERABLE STOREFRONT DOORS
- 5 SITE CAST CONCRETE WALL WITH INTEGRAL COLOR (SAMPLE TO BE SUPPLIED FOR REVIEW)
- 6 KNIFE-EDGE STEEL FRAME FOR POLYCARBONATE PANELS
- 7 FIXED STOREFRONT WINDOW
- 8 OPERABLE STOREFRONT (SWING) DOOR (MIN. 36" WIDE)
- 9 STEEL PANEL TO MATCH STEEL DOORS
- 10 HOLLOW-METAL EXTERIOR SERVICE DOOR PAINTED TO MATCH ADJACENT WALL COLOR
- 11 MASONRY WALL
- 12 STEEL SHADE CANOPY OVER WALKWAY
- 13 OUTLINE OF TRASH ENCLOSURE (BEYOND)
- 14 OPAQUE STEEL TRASH GATES
- 15 NARRATIVE WALL ELEMENT - STEEL LETTERS INTEGRATED INTO WEST ELEVATION

BRICK & WEST
DESIGN

CONSULTANTS

CERTIFICATION

W
WETIA VENTURES

SKYSONG RESTAURANTS BLDG.
Scottsdale, Arizona
WETIA VENTURES
CONTACT: Dana Wells
(480) 479-3328

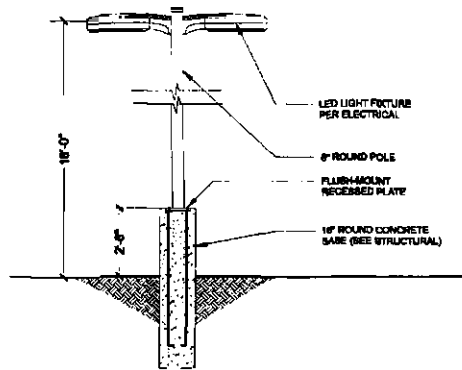
DATE: 7/27/2015
BY: DW

Project No.
Drawn By
Checked By

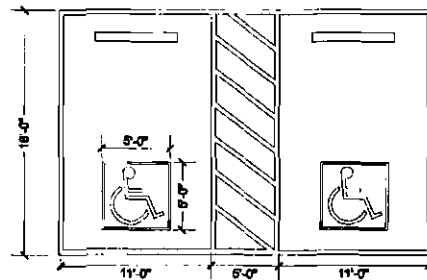
Revision Date

A203
EXTERIOR ELEVATIONS

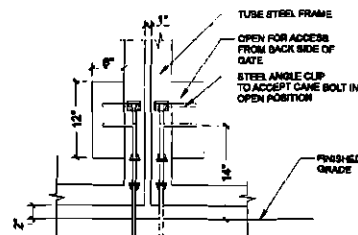
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7/27/2015



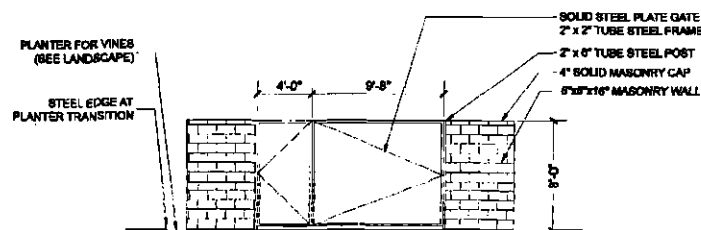
6 LED PARKING LOT LIGHT POLE / BASE
1/8" = 1'-0"



4 ACCESSIBLE STALL DETAIL
1/8" = 1'-0"



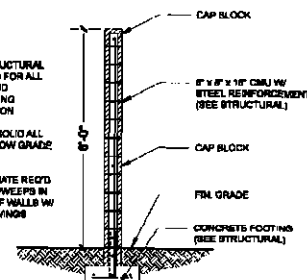
5 CANE BOLT DETAIL AT GATES
1/8" = 1'-0"



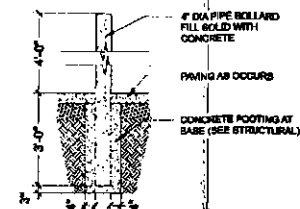
1 TRASH ENCLOSEURE ELEVATION DETAIL
1/8" = 1'-0"

NOTES:

1. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION
2. GROUT SOLID ALL CELLS BELOW GRADE (TYPICAL)
3. COORDINATE REOF OPENINGS/WEIRPS IN BOTTOM OF WALLS W/ CIVIL DRAWINGS



2 CMU WALL AT TRASH ENCLOSEURE
1/8" = 1'-0"



3 BOLLARDS AT TRASH ENCLOSEURE
1/8" = 1'-0"

BRICK & WEST
DESIGN

CONSTRUCTION

CONSTRUCTION

W

WILLIAMS

SKYSONG RESTAURANTS BLDG.
HAWAII, ARIZONA
WESTERN HILLS
CHANDLER, ARIZONA
(480) 947-8888

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

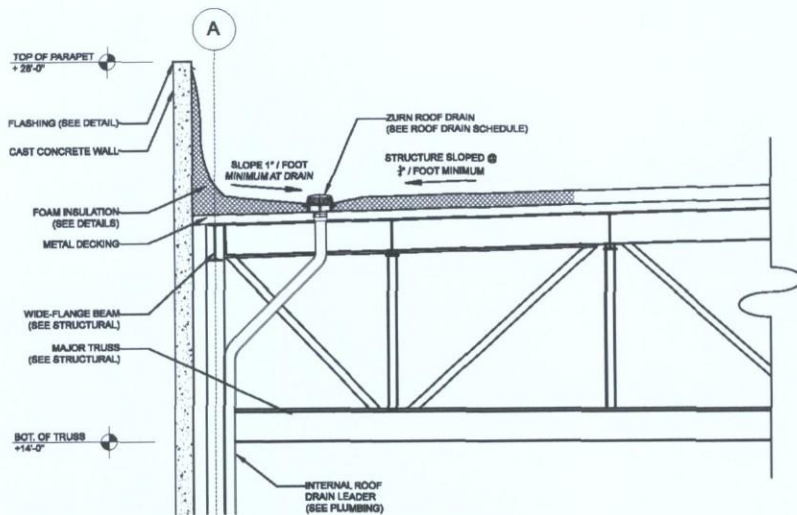
1/8" = 1'-0"

1/8" = 1'-0"

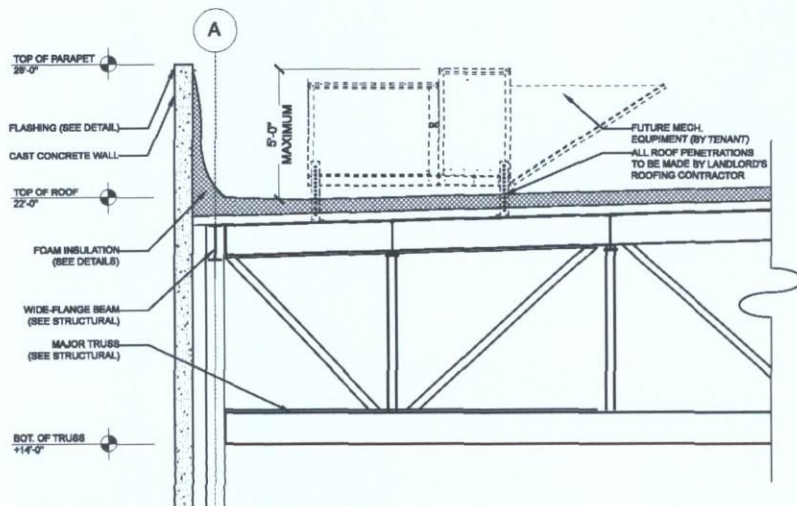
1/8" = 1'-0"

A401
SITE DETAILS

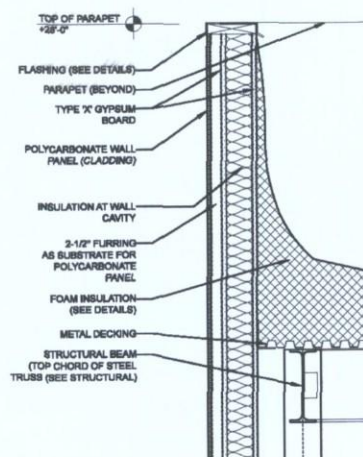
24-DR-2015
7/27/2015



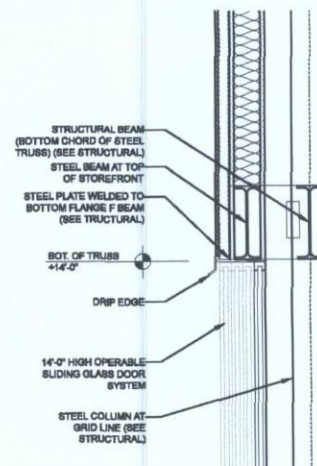
4 PARTIAL TRANSVERSE SECTION AT ROOF DRAIN
1/2" = 1'-0"



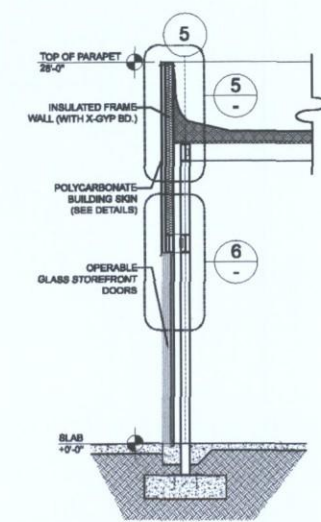
1 PARTIAL TRANSVERSE SECTION
1/2" = 1'-0"



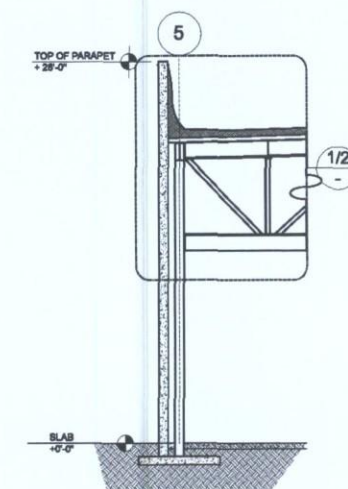
5 EXT. WALL DETAIL
1" = 1'-0"



6 EXT. WALL DETAIL
1" = 1'-0"



2 LONGITUDINAL WALL SECTION
1/4" = 1'-0"



3 TRANSVERSE WALL SECTION
1/4" = 1'-0"

BRICK & WEST
DESIGN

CONSULTANT:

CERTIFICATION:



WETA VENTURES

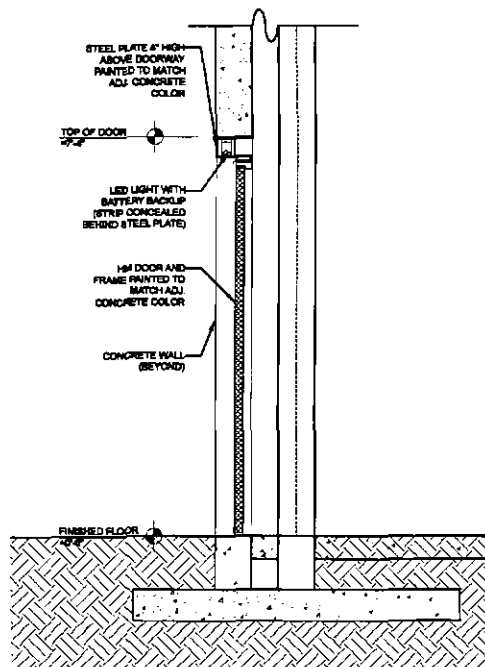
SKYSONG RESTAURANTS BLDG.

Architect: Architect
WETA VENTURES
10000 4TH STREET
VANUOUS 4TH-5TH

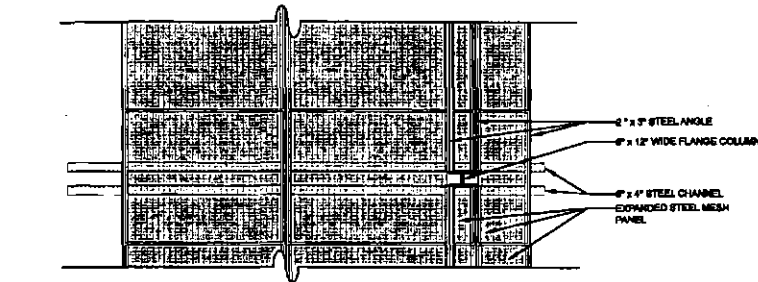
12/	30/2015	11	11
Date	Project No.	Client	City
Revision	Date		

A502
ARCHITECTURAL
DETAILS

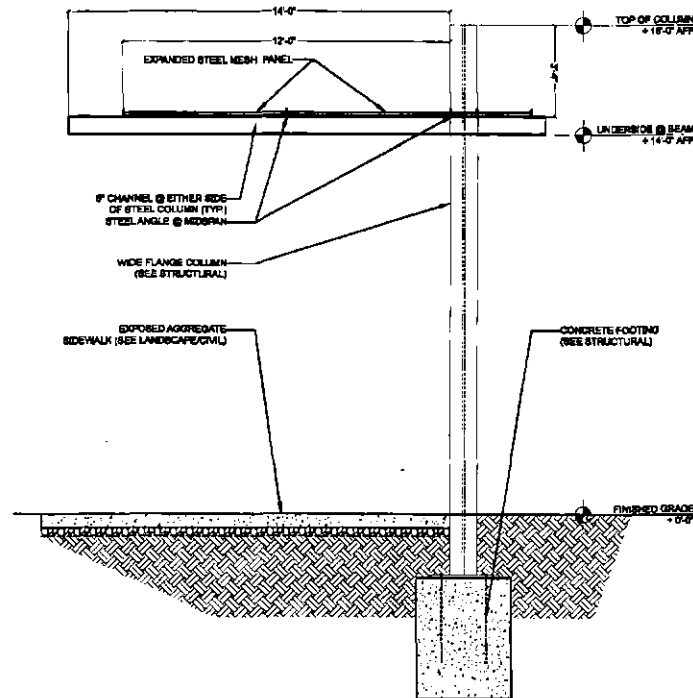
24-DR-2015
7/27/2015



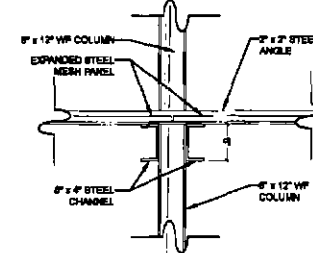
1 SECTION AT SERVICE DOOR
1" = 1'-0"



4 PARTIAL PLAN AT TRELLIS
1/2" = 1'-0"



2 SECTION AT TRELLIS
1/2" = 1'-0"



3 DETAIL SECTION @ TRELLIS
1" = 1'-0"

BRICK & WEST
DESIGN

CONSULTANT

DESIGN

W
WILLIAMS

SKYSONG RESTAURANTS BLDG.

San Francisco, CA
ARCHITECT: WILLIAMS
(415) 441-0000

DATE: 07/27/2015

PROJECT: SKYSONG RESTAURANTS BLDG.

DATE: 07/27/2015

PROJECT: SKYSONG RESTAURANTS BLDG.

DATE: 07/27/2015

PROJECT: SKYSONG RESTAURANTS BLDG.

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PROJECT: SKYSONG RESTAURANTS BLDG.

DATE: 07/27/2015

PROJECT: SKYSONG RESTAURANTS BLDG.

24-DR-2015
7/27/2015

SkySong Restaurants Building

Scottsdale DRB Second Submittal Package

July 20, 2015

PRC Site Development Standard (Zoning Ordinance Section 5.2606)	Required/ Allowed per 26-ZN-2004#2	Proposed/Actual
Building Height	90 feet (exclusive of rooftop appurtenances; up to 108 feet maximum to top of rooftop appurtenances)	28 Feet
Building Setback (Front Yard; N. Scottsdale Road)	Up to 60 feet in height: 30 feet from back of curb Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with setback *35 feet from back of curb with reduced setback *40 feet from back of curb with further reduction of setback *45 feet from back of curb with no setback *See Building Stepback requirements on following page for specifics	30 Feet from Back of Curb - One Story Building
Building Setback (Side and Rear Yards; E. McDowell Road, N. 74th Street, and south property line)	Up to 60 feet in height: 30 feet from back of curb Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with setback *35 feet from back of curb with reduced setback *40 feet from back of curb with further reduction of setback *45 feet from back of curb with no setback *See Building Stepback requirements on following page for specifics	Not Applicable
Building Setback (Side and Rear Yards; E. McDowell Road, N. 74th Street, and south property line)	Adjacent to residential district boundary (south property line): No change. Where not adjacent to residential district boundary: Up to 60 feet in height: 30 feet from back of curb. Up to 90 feet in height (within proposed Incentive Zone north of E. Skysong Blvd.): *30 feet from back of curb with setback *35 feet from back of curb with reduced setback *40 feet from back of curb with further reduction of setback *45 feet from back of curb with no setback *See Building Stepback requirements on following pages for specifics	Not Applicable
Stepbacks Where not adjacent to a residential district boundary (Front yard, Scottsdale Road)	Up to 60 feet in height: None required 60 to 90 feet in height: 15 feet (beginning at 45 feet in height, with 30-foot setback) 10 feet (beginning at 45 feet in height, with 35-foot setback) 5 feet (beginning at 45 feet in height, with 40-foot setback) None (with 45-foot setback)	Not Applicable - Single Story Building 28 Feet Height
Stepbacks where not adjacent to a residential district boundary (side and rear yards, McDowell Road and 74th Street)	Up to 60 feet in height: None required 60 to 90 feet in height: 15 feet (beginning at 45 feet in height, with 30-foot setback) 10 feet (beginning at 45 feet in height, with 35-foot setback) 5 feet (beginning at 45 feet in height, with 40-foot setback) None (with 45-foot setback)	Not Applicable
Required Open Space	Minimum 20% of net lot area up to 60 feet in height 500 square feet of additional open space for each foot of building height over 60 feet in height (in addition to standard requirement of 20%; with minimum 1% of net lot area set aside as courtyard; up to 25% of net lot area)	59,356 SF Lot Area * 20% = 11,871 SF Required Open Space.

Development Summary

Project Address	1375 N. Scottsdale Road Scottsdale, AZ 85251
Project Description	New ground-up shell building for future restaurants.
Existing Zoning	P-C
Site Area	59,356 SF Net/Gross 1.363 Ac Net/Gross
Building Area	12,000 SF Gross
F.A.R.	0.20
Building Height	28 Feet
Construction Type	2B Non-Separated Fully Sprinklered

Applicable Codes	2012 International Building Code 2012 International Fire Code 2011 International Electrical Code 2012 International Plumbing Code 2012 International Mechanical Code 2012 International Fire Gas Code 2012 Americans with Disability Act (ADA)
------------------	--

Parking Summary	(Article IX, Table 9.103.A)		
	SF Area	Ratio	Spaces Req'd
Restaurant	12,000	300	40
Patio Area	3500	300	12
Total Parking Required			52
Total Parking Provided		58 Spaces	
ADA Spaces Provided		2 Spaces	

Project Team

Developer
Wetta Ventures
Contact: Dave Wetta
5201 N. Central Avenue
Phoenix, AZ 85012

Architecture and Design
Brick & West, LLC
Contact: Mike Rumpelton
17 W. North Lane
Phoenix, AZ 85021

Zoning Attorney
Gammage & Burnham, PLC
Contact: Manjula Vaz
2 North Central Avenue
Phoenix, AZ 85004

Civil Engineer
Bury
7047 East Greenway Pkwy Suite 250
Scottsdale, AZ 85254

Landscape
The Design Element
2211 East Highland Ave. Suite 120
Phoenix, AZ 85016

Structural
MBJ
1438 West Broadway Road
Tempe AZ 85282

MEP
MSA Engineering
7878 North 16th Street Suite 270
Phoenix, AZ 85020

BRICK & WEST
DESIGN

CONSULTANTS:

CERTIFICATION:

W
WETTA VENTURES

SKYSONG RESTAURANTS BLDG.

Scottsdale, Arizona
WETTA VENTURES
CONTACT: Dave Wetta
(602) 478-3328

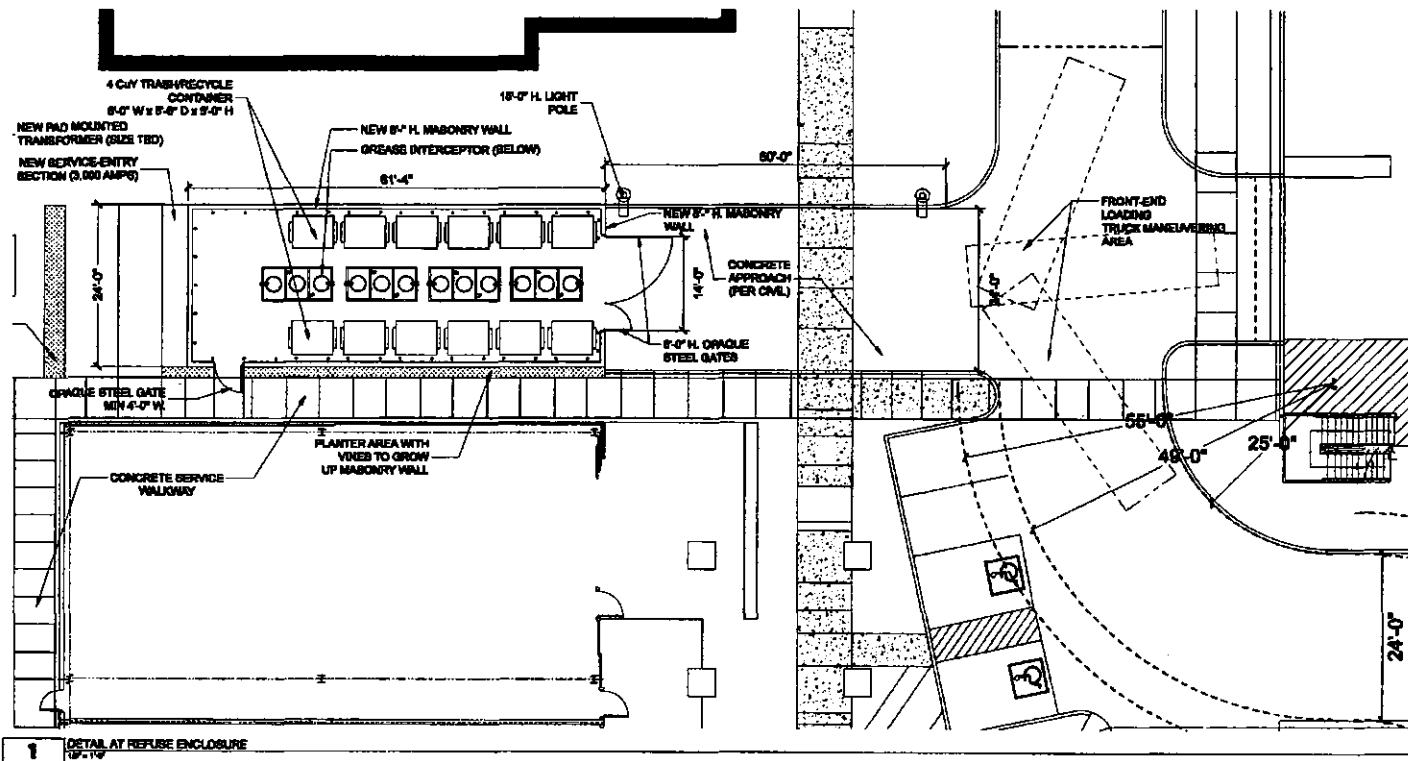
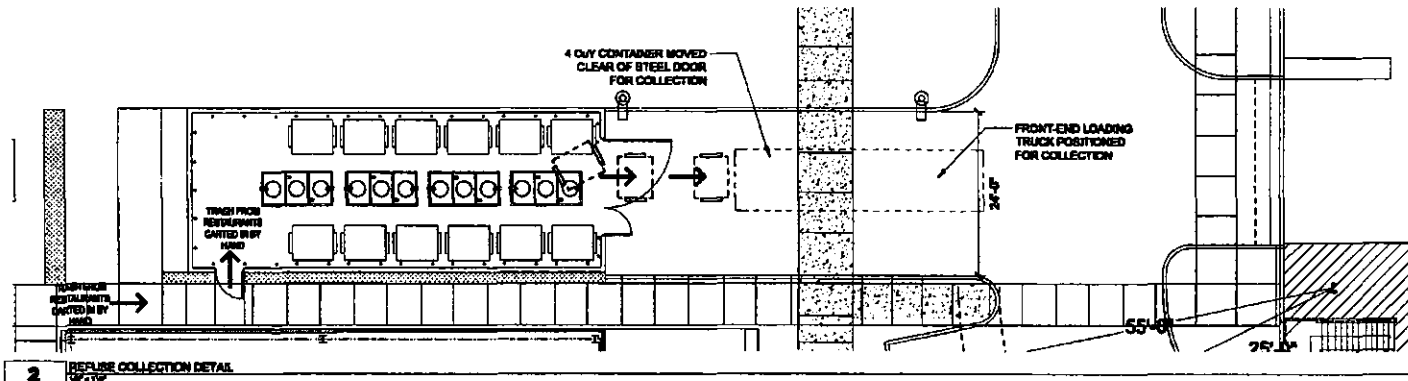
DATE: 2015/07/21

Date
Prepared by:
Checked by:
Reviewed by:

Revision: Date:

GOOO
PROJECT OWNER
SHEET / GENERAL
INFORMATION

24-DR-2015
7/27/2015



BRICK & WEST
DESIGN

SKYSONG RESTAURANTS BLDG.

WITIA VENTURES

G006
SHEET PLAN #1
REFUSE ENCLOSURE

24-DR-2015
8/27/15