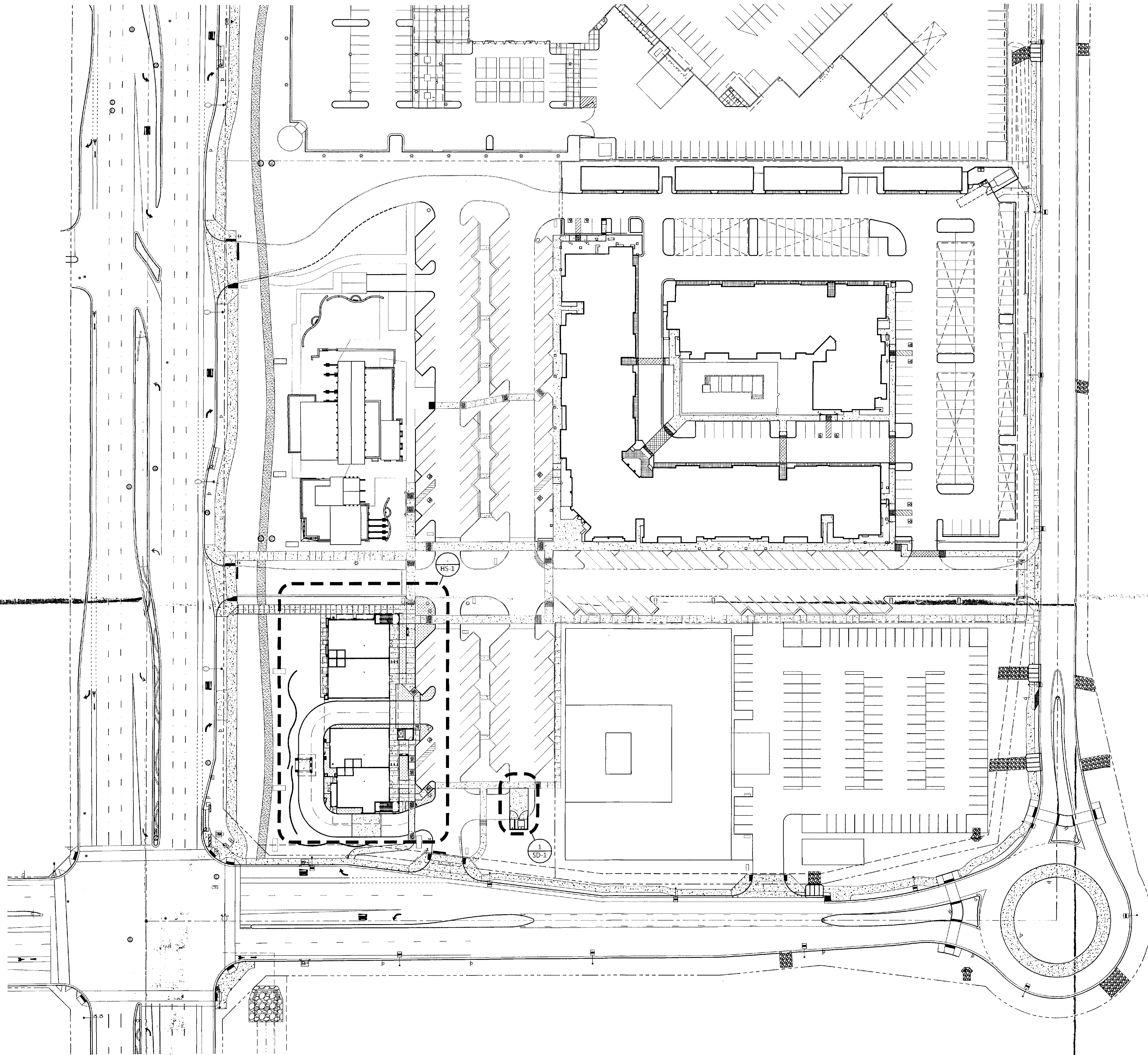


Full Size
8.5 x 11
11 x 17
(site plan, landscape, elevations)



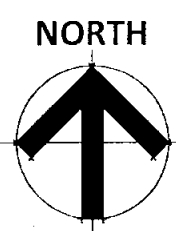
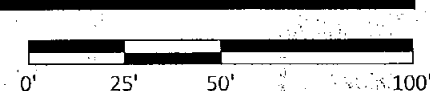
- KEY**
- A) MULTI-FAMILY RESIDENTIAL
 - B) HOTEL
 - C) RESTAURANT
 - D) RESTAURANT
 - E) RESTAURANT
 - F) RETAIL
 - G) BANK
 - H) STARBUCKS

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE: 07/22/2014 INITIALS: [Signature]



SITE PLAN

SCALE: 1" = 50'-0"



CROSSROADS EAST

NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA

DATE: 07-22-14 (PRELIMINARY)

MSP-1

RKAA# 13061.51

© 2014 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
07/01/2014
DATE INITIALS

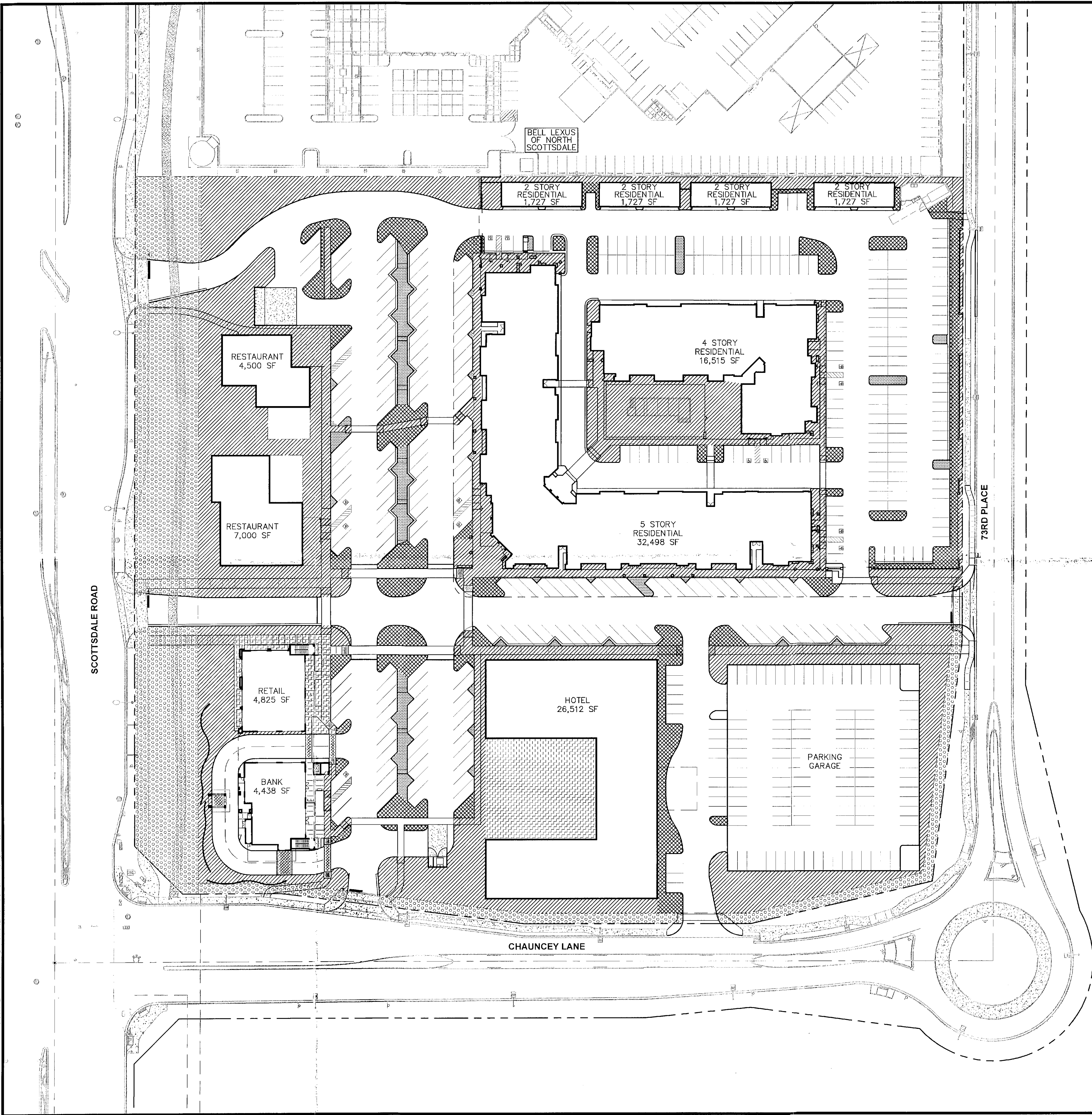
25-DR-2014
7/22/2014

DIVERSIFIED PARTNERS
Nationwide Real Estate Services

RKAA
ARCHITECTS, INC

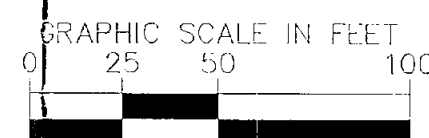
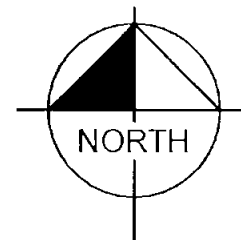
Site Plan

C:\FEP_GW\14235057\CA00.Excels\2014-05-20 Open Spec Enlist.dwg, Layout1 Jun. 22, 2014 : 8:40m tower_prices



SITE DATA	
ZONING	PRC
NET SITE AREA	529,993.39 SF 12.17 ACRES
BUILDING HEIGHT ALLOWED	120' MAX
BUILDING HEIGHT PROPOSED	97'
OPEN SPACE REQUIRED	79,499 SF
=15% MAX. OF NET SITE AREA (529,993 X .15)	
OPEN SPACE PROVIDED	92,539 SF
PRIVATE OPEN SPACE (COURTYARD) REQUIRED	5,300 SF
=1% OF NET SITE AREA (529,993 X .15)	
PRIVATE OPEN SPACE (COURTYARD) PROVIDED	12,873 SF
FRONTAGE OPEN SPACE REQUIRED	20,160 SF
=THE GREATER OF 25% MIN. OF REQUIRED	
OPEN SPACE (79,499 X .25) OR 30 SF X	
STREET FRONTAGE (30 X 672)	
FRONTAGE OPEN SPACE PROVIDED	44,281 SF
PARKING LOT LANDSCAPING REQUIRED	14,459 SF
357 STALLS X 270 SF' = 96,390 SF	
=15% OF PARKING LOT AREA (96,390 X .15)	
PARKING LOT LANDSCAPING PROVIDED	27,812 SF
LANDSCAPE ISLAND PLANTING AREA REQUIRED	4,820 SF
=1/3 OF REQUIRED PARKING LOT LANDSCAPING	
LANDSCAPE ISLAND PLANTING AREA PROVIDED	5,670 SF

-
- Diagram illustrating five types of landscape patterns:
- OPEN SPACE OTHER THAN FRONTAGE OPEN SPACE
 - FRONTAGE OPEN SPACE
 - PARKING LOT LANDSCAPING
 - LANDSCAPE ISLAND PLANTING AREA
 - PRIVATE OPEN SPACE (COURTYARD)



STIPULATION SET
RETAIN FOR RECORDS
APPROVED *[Signature]*
09/04/2014
DATE INITIALS

Vinyl»Horn

© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

DIVERSIFIED PARTNERS

Nationwide Real Estate Services

NEC SCOTTSDALE ROAD AND CHAUNCEY LANE

CHAUNCEY CROSSROADS SITE PLAN WORKSHEET

SCOTTSDALE, ARIZONA

PROJECT No.
191235057

SCALE (H): 1"=50'

AWN BY: CGF

SIGN BY: TMJ

DATE: 07/22/201

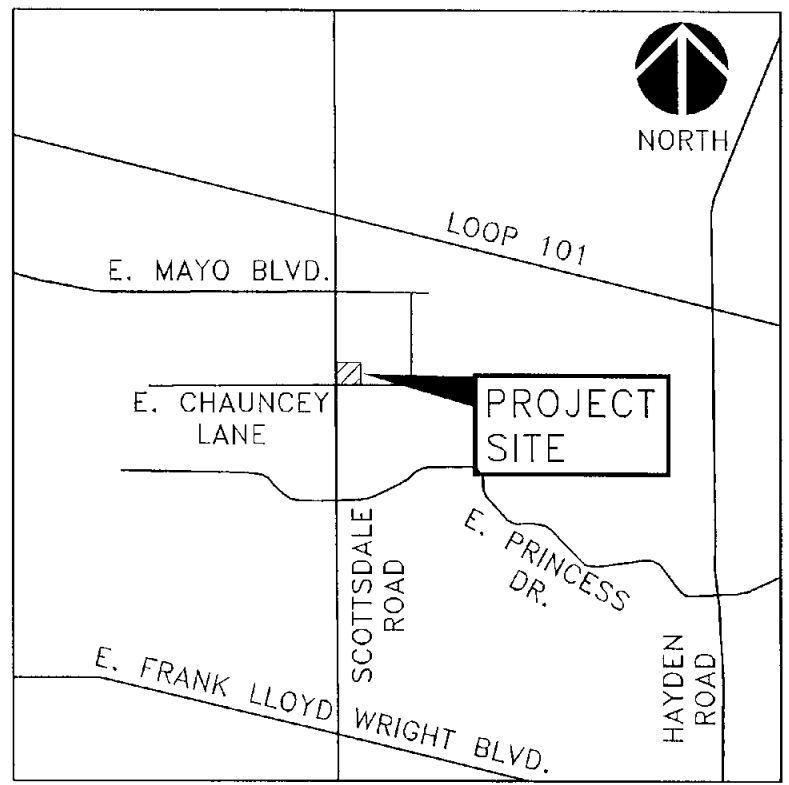
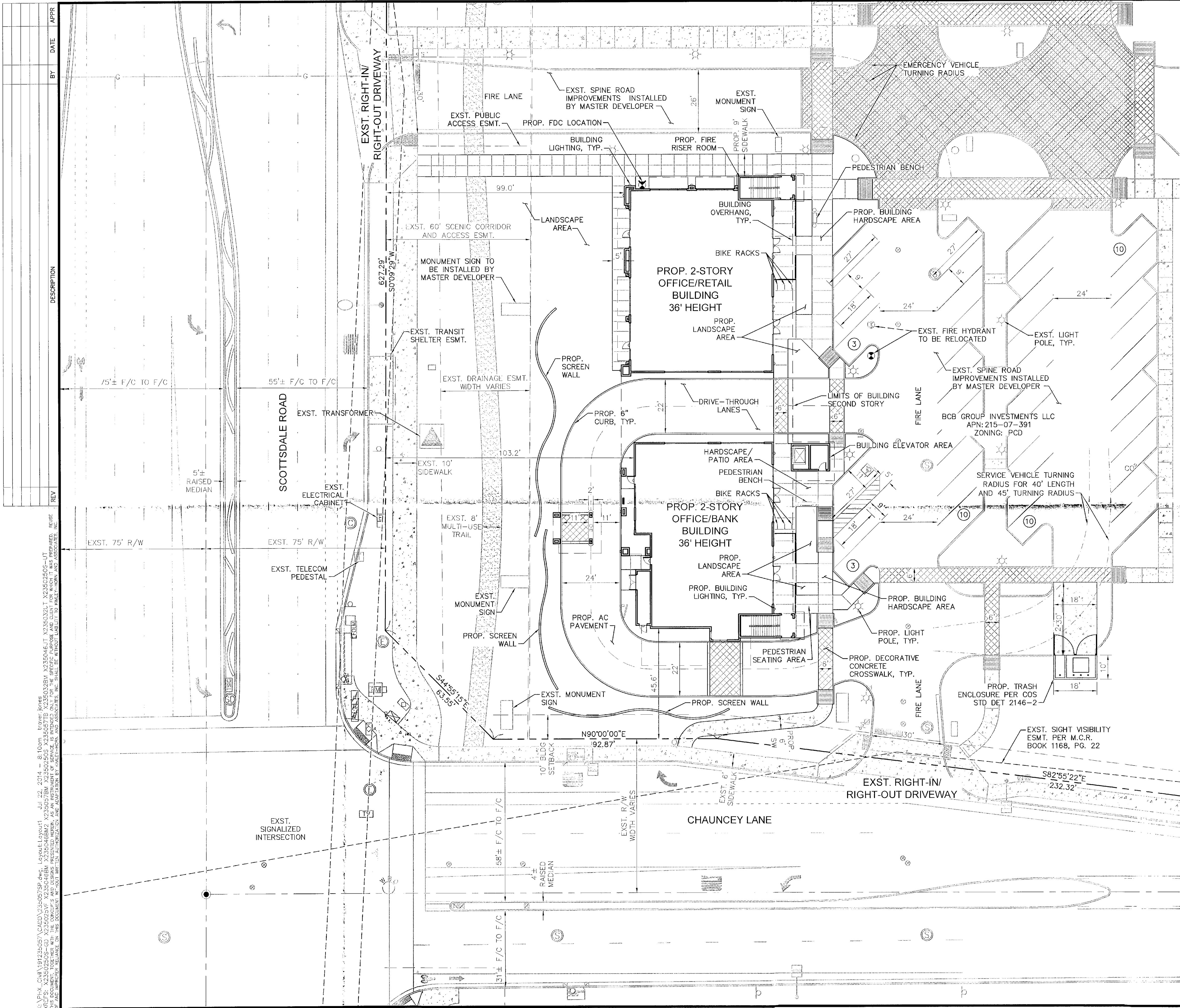
01/22/201

25-DR-2014
7/22/2014

SP

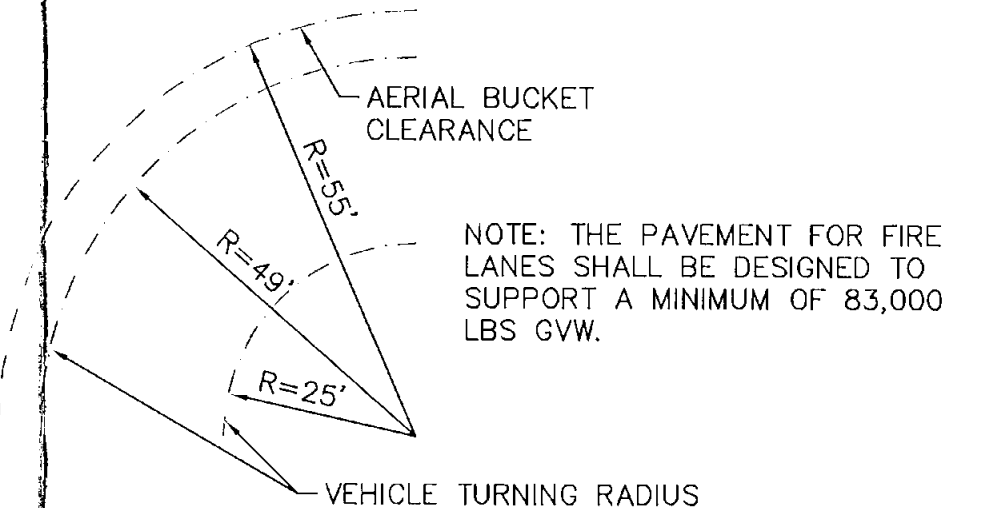
OF 1 SHEET

Site Plan Worksheet



VICINITY MAP
SCOTTSDALE, AZ
N.T.S.

SITE DATA	
EXISTING ZONING:	PCD
PROPOSED ZONING:	PCD
MAX. ALLOWED BUILDING HEIGHT:	36'
PROPOSED BUILDING HEIGHT:	36'
PROPOSED BUILDING USE:	
RETAIL:	2,193 SF
BANK:	2,121 SF
RESTAURANT:	3,992 SF
OFFICE:	10,984 SF
TOTAL:	19,290 SF
PARKING REQUIRED:	1 SPACE PER 325 SF 19,290/325 = 60 SPACES
PARKING PROVIDED:	62 (59 STANDARD, 3 ADA)*
GROSS SITE AREA:	1.2± ACRES
NET SITE AREA:	7.9± ACRES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	12 SPACES
*PARKING SPACES IN ADDITION TO THOSE SHOWN ON THIS SITE PLAN ARE PROVIDED FOR THIS DEVELOPMENT.	

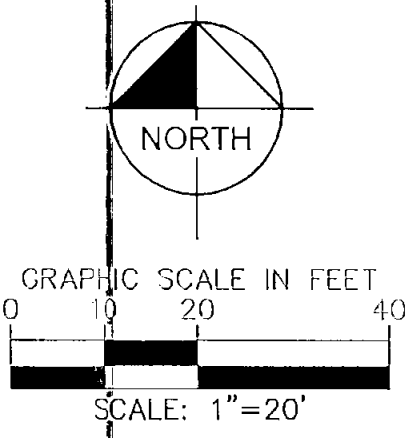


LAND SURVEYOR
SURVEY INNOVATION GROUP
7301 EAST EVANS ROAD
SCOTTSDALE, ARIZONA 85260
PH: (480) 922-0780
CONTACT: JASON SEGNERI, RLS

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
7740 N. 16TH STREET
SUITE 300
PHOENIX, ARIZONA 85020
TEL. NO. (602) 944-5500
CONTACT: STEVE HANEY, PE

DEVELOPER/OWNER
DIVERSIFIED PARTNERS
7500 E. McDONALD DRIVE
SUITE 100A
SCOTTSDALE, AZ 85250
PH: (480) 947-8800
CONTACT: KELLY GANTNER

ARCHITECT
RKA ARCHITECTS, INC.
2233 E. THOMAS ROAD
PHOENIX, ARIZONA 85016
PH: (602) 955-3900
CONTACT: NEIL FEASER



CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

Kimley»Horn
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

D **DIVERSIFIED PARTNERS**
Nationwide Real Estate Services

NEC SCOTTSDALE ROAD AND CHAUNCEY LANE

PRELIMINARY SITE PLAN

SCOTTSDALE, ARIZONA

PROJECT No.	191235057
SCALE (H):	1"=20'
SCALE (V):	NONE
DRAWN BY:	TMJ
DESIGN BY:	TMJ
CHECK BY:	SEH
DATE:	07/21/14



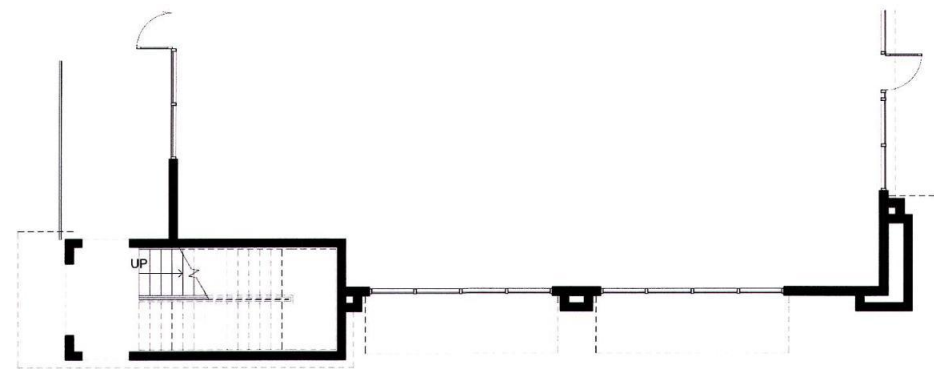
STREET VIEW NORTH EAST PERSPECTIVE



STREET VIEW WEST ELEVATION

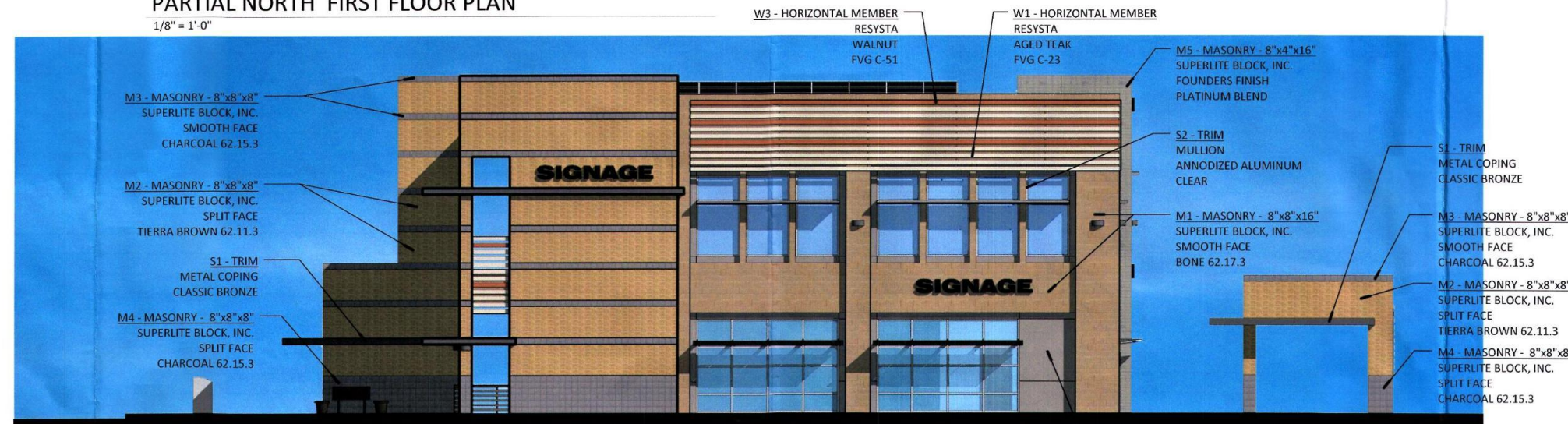
1" = 20'-0"

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 07/04/2014 INITIALS [Signature]



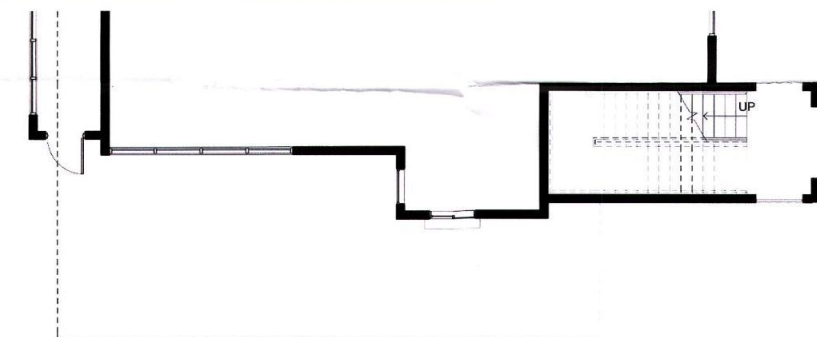
PARTIAL NORTH FIRST FLOOR PLAN

1/8" = 1'-0"



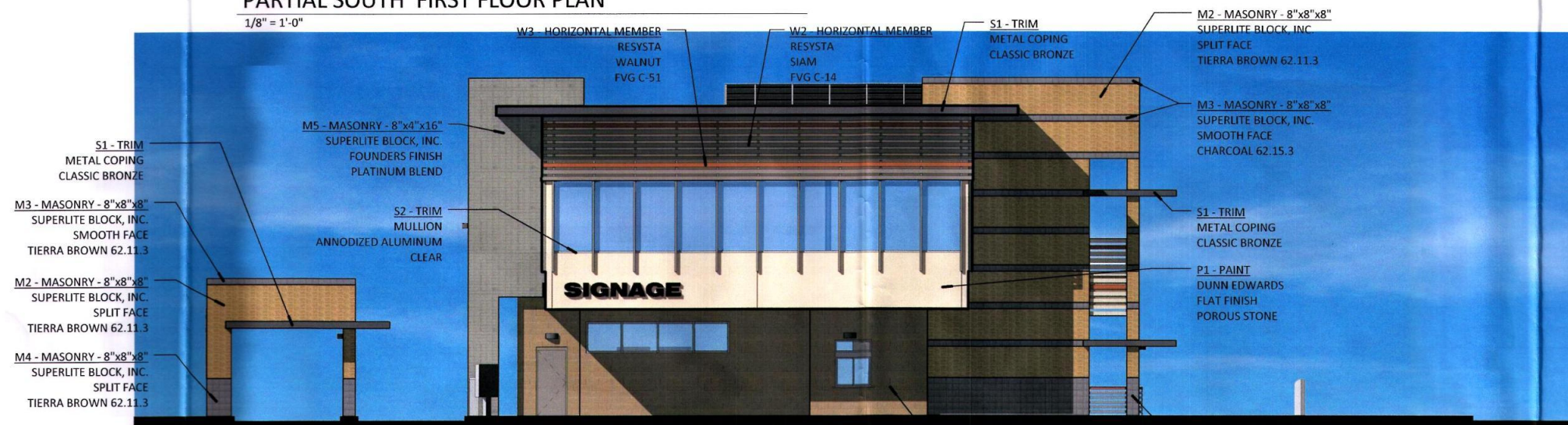
COLORED NORTH ELEVATION

1/8" = 1'-0"



PARTIAL SOUTH FIRST FLOOR PLAN

1/8" = 1'-0"



COLORED SOUTH ELEVATION

1/8" = 1'-0"

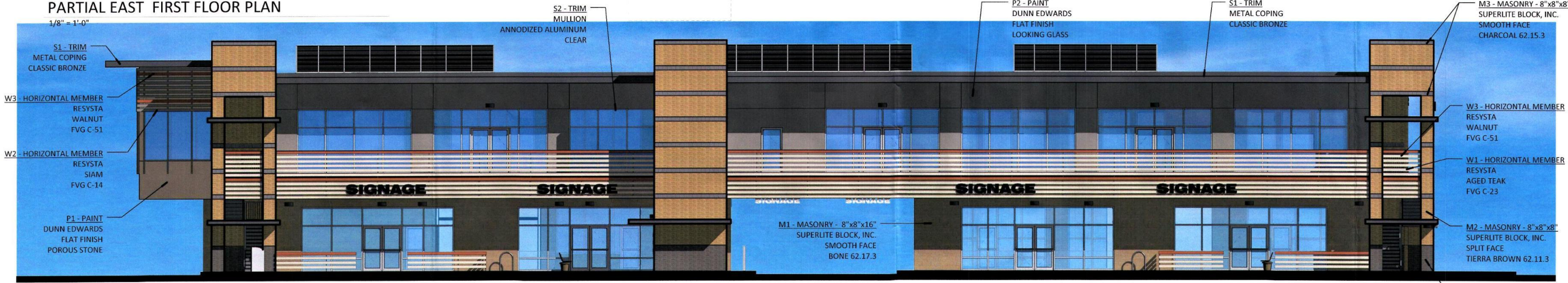
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 07/09/2014 INITIALS



- M1 - MASONRY - 8"x8"x16"
SUPERLITE BLOCK, INC.
SMOOTH FACE
BONE 62.17.3
- M2 - MASONRY - 8"x8"x8"
SUPERLITE BLOCK, INC.
SPLIT FACE
TIERRA BROWN 62.11.3
- M3 - MASONRY - 8"x8"x8"
SUPERLITE BLOCK, INC.
SMOOTH FACE
CHARCOAL 62.15.3
- M4 - MASONRY - 8"x8"x8"
SUPERLITE BLOCK, INC.
SPLIT FACE
CHARCOAL 62.15.3
- M5 - MASONRY - 8"x4"x16"
SUPERLITE BLOCK, INC.
FOUNDERS FINISH
PLATINUM BLEND
- P1 - PAINT
DUNN EDWARDS
FLAT FINISH
POROUS STONE
LVR: 57
- P2 - PAINT
DUNN EDWARDS
FLAT FINISH
LOOKING GLASS
LVR: 23
- S1 - TRIM
METAL COPING
CLASSIC BRONZE
- S2 - TRIM
MULLION
ANNOXIDIZED ALUMINUM
CLEAR
- W1 - HORIZONTAL MEMBER
RESYSTA
AGED TEAK
FVG C-23
- W2 - HORIZONTAL MEMBER
RESYSTA
SIAM
FVG C-14
- W3 - HORIZONTAL MEMBER
RESYSTA
WALNUT
FVG C-51



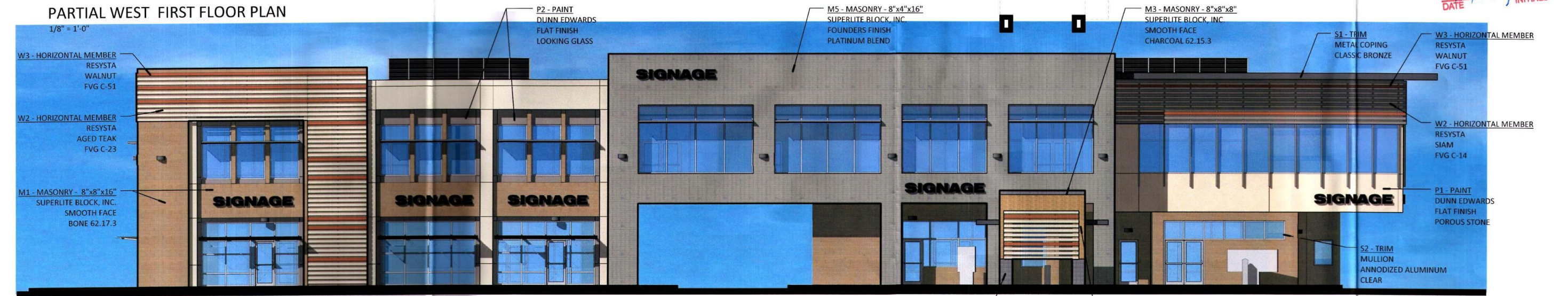
PARTIAL EAST FIRST FLOOR PLAN
1/8" = 1'-0"



COLORED EAST ELEVATION
1/8" = 1'-0"



PARTIAL WEST FIRST FLOOR PLAN
1/8" = 1'-0"



COLORED WEST ELEVATION
1/8" = 1'-0"

- M1 - MASONRY - 8"x8"x16" SUPERLITE BLOCK, INC. SMOOTH FACE BONE 62.17.3
- M2 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SPLIT FACE TIERRA BROWN 62.11.3
- M3 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SMOOTH FACE CHARCOAL 62.15.3
- M4 - MASONRY - 8"x8"x8" SUPERLITE BLOCK, INC. SPLIT FACE CHARCOAL 62.15.3
- M5 - MASONRY - 8"x4"x16" SUPERLITE BLOCK, INC. FOUNDERS FINISH PLATINUM BLEND
- P1 - PAINT DUNN EDWARDS FLAT FINISH POROUS STONE LVR: 57
- P2 - PAINT DUNN EDWARDS FLAT FINISH LOOKING GLASS LVR: 23
- S1 - TRIM METAL COPING CLASSIC BRONZE
- S2 - TRIM MULLION ANNODIZED ALUMINUM CLEAR
- W1 - HORIZONTAL MEMBER RESYSTA AGED TEAK FVG C-23
- W2 - HORIZONTAL MEMBER RESYSTA SIAM FVG C-14
- W3 - HORIZONTAL MEMBER RESYSTA WALNUT FVG C-51

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
09/04/2014
DATE INITIALS



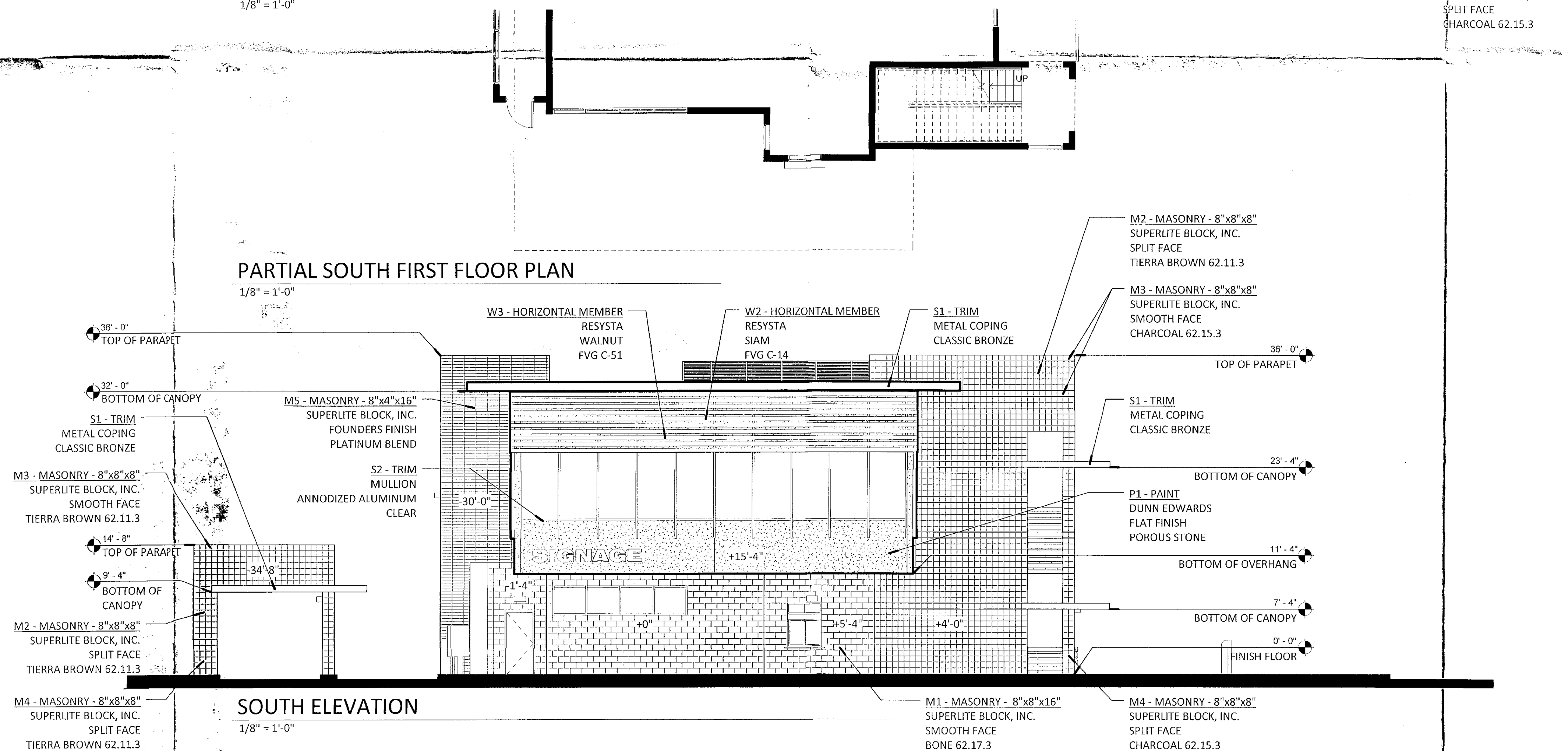
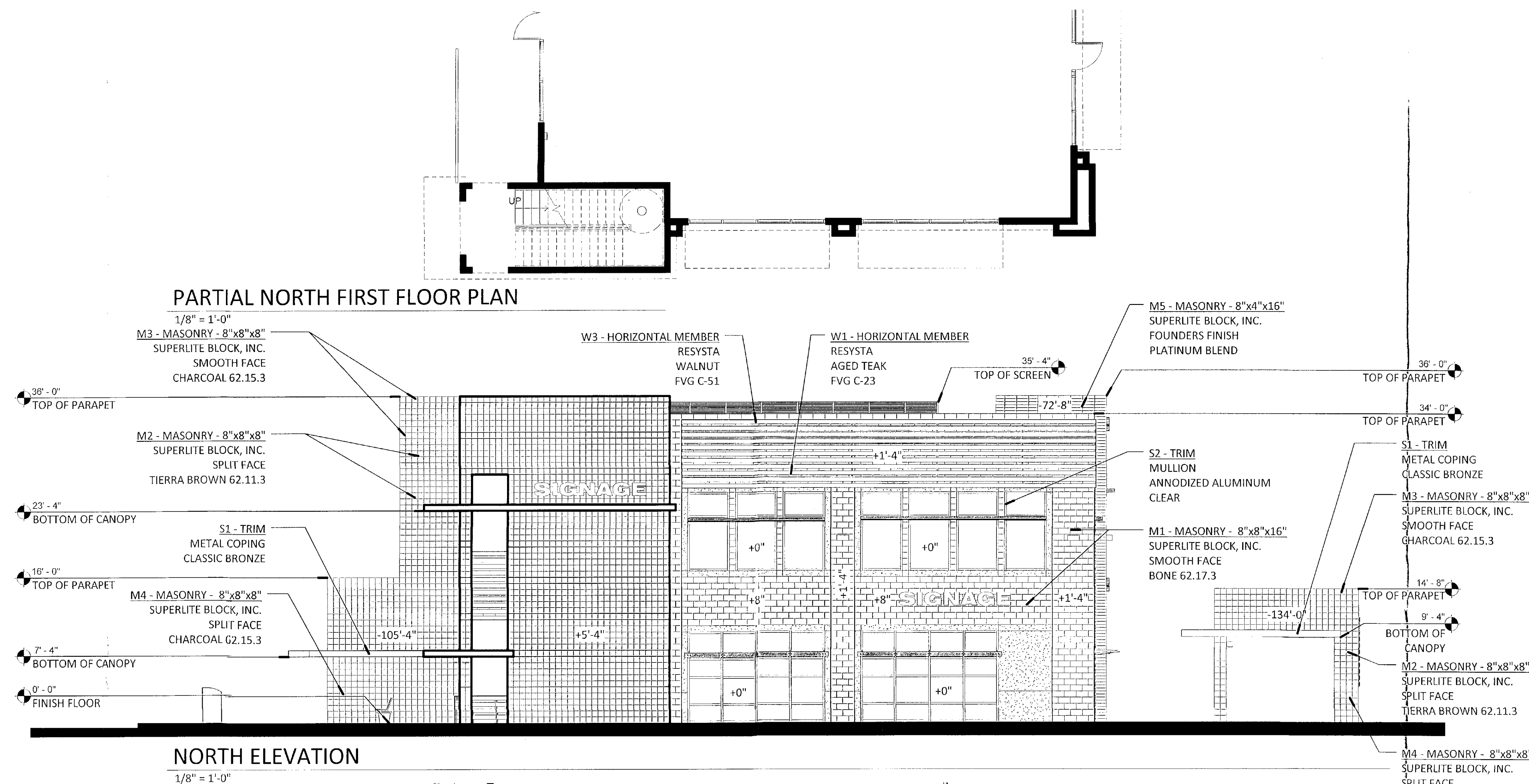
CROSSROADS EAST
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 07-22-14 (PRELIMINARY)

EL3

RKAA# 13061.51



Color Elevations



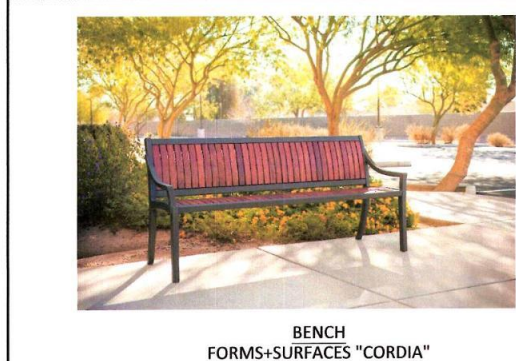
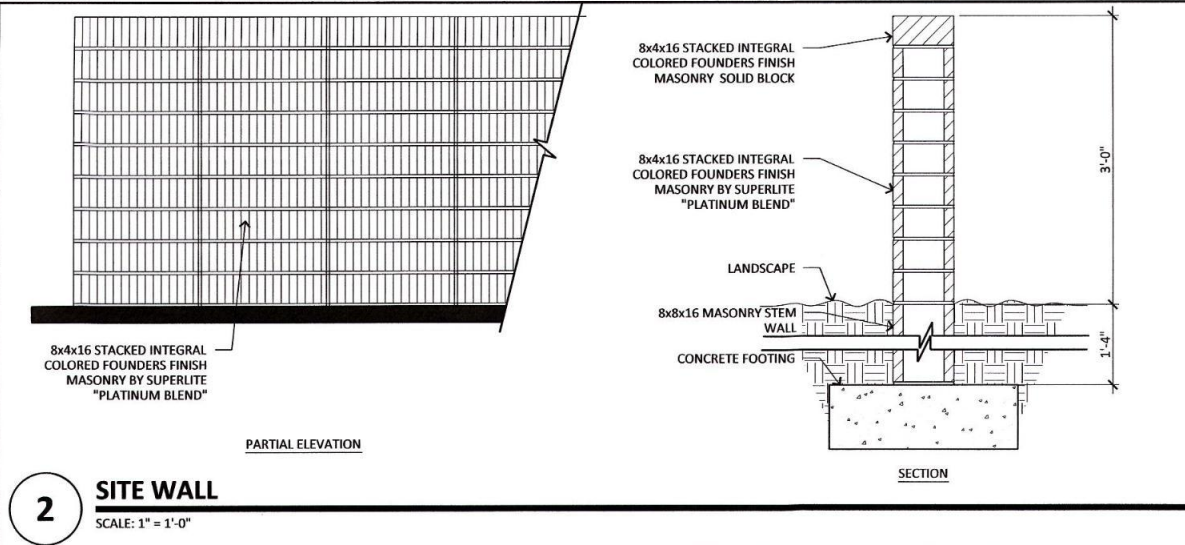
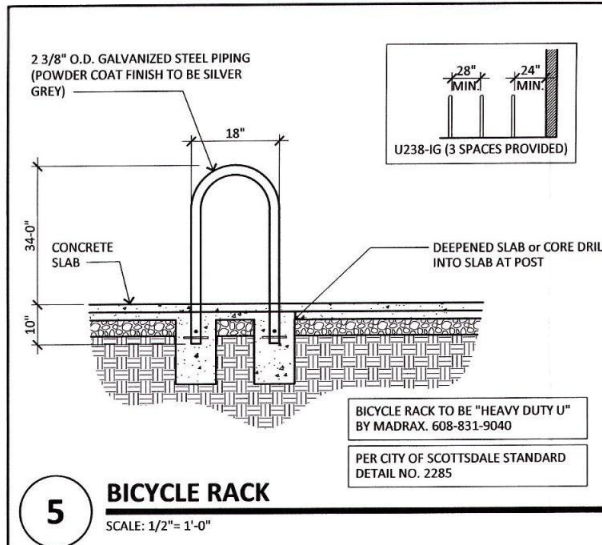
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 01/14/2014 INITIALS

CROSSROADS EAST
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 07-22-14 (PRELIMINARY)

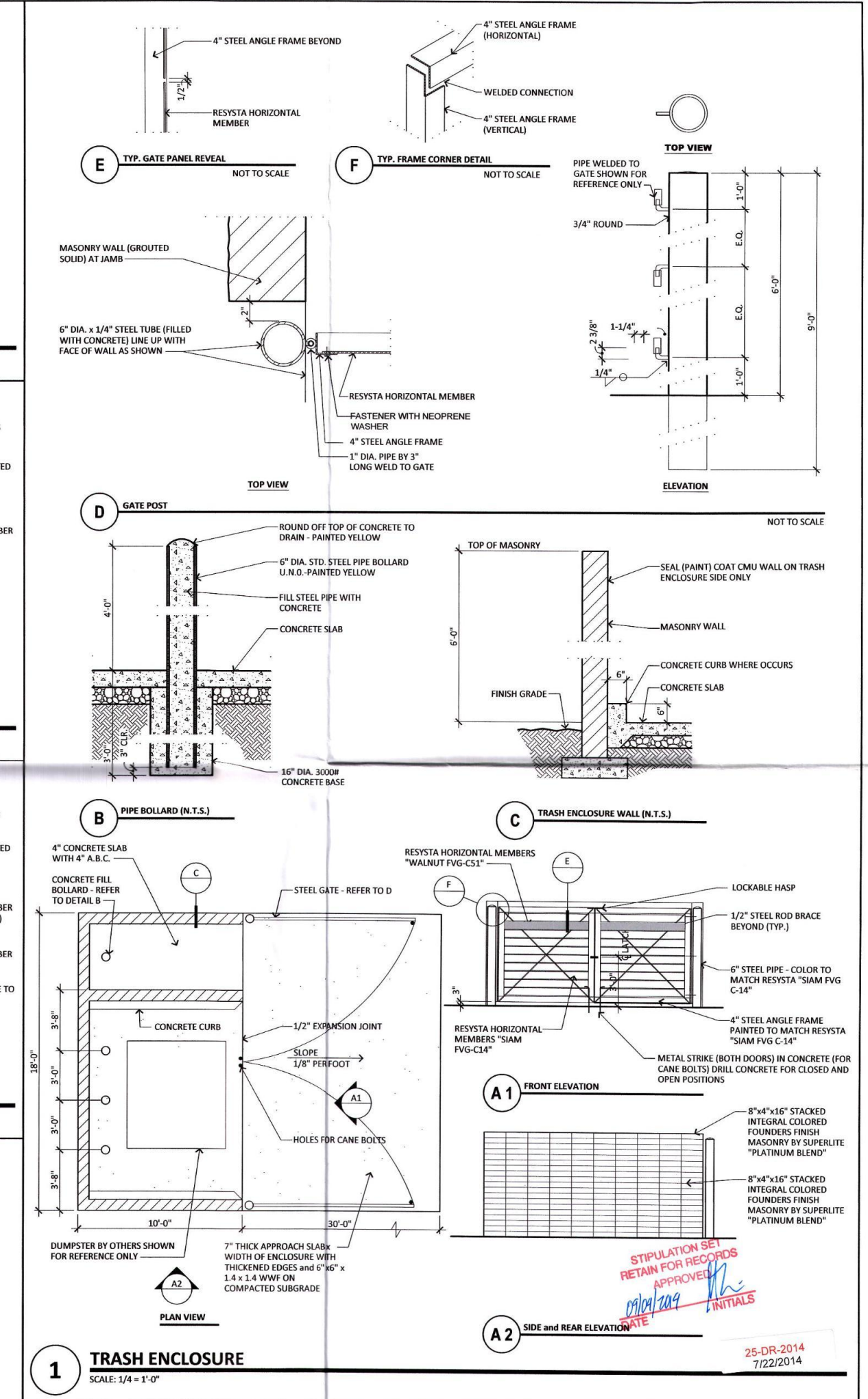
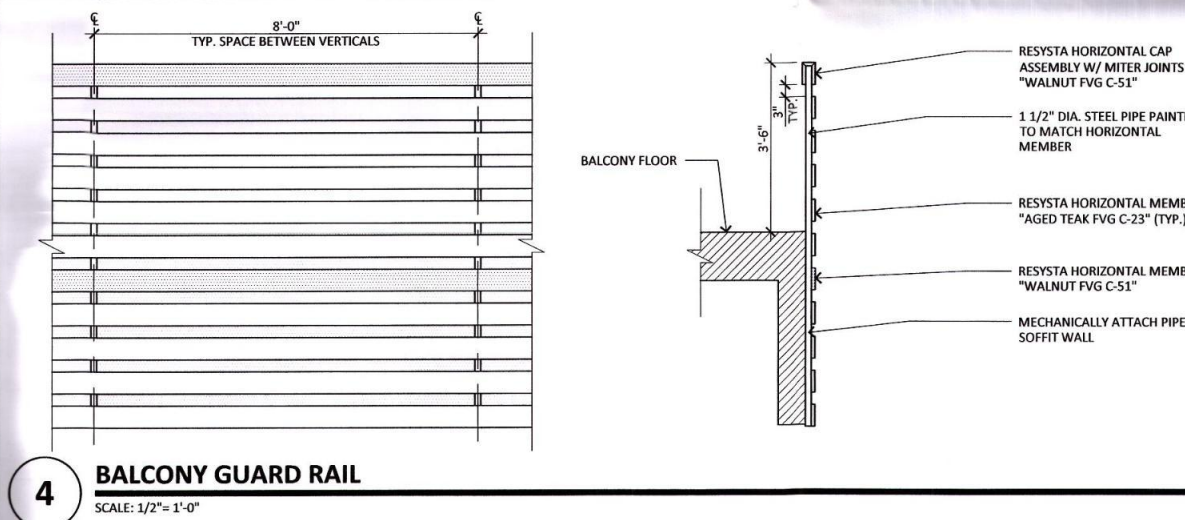
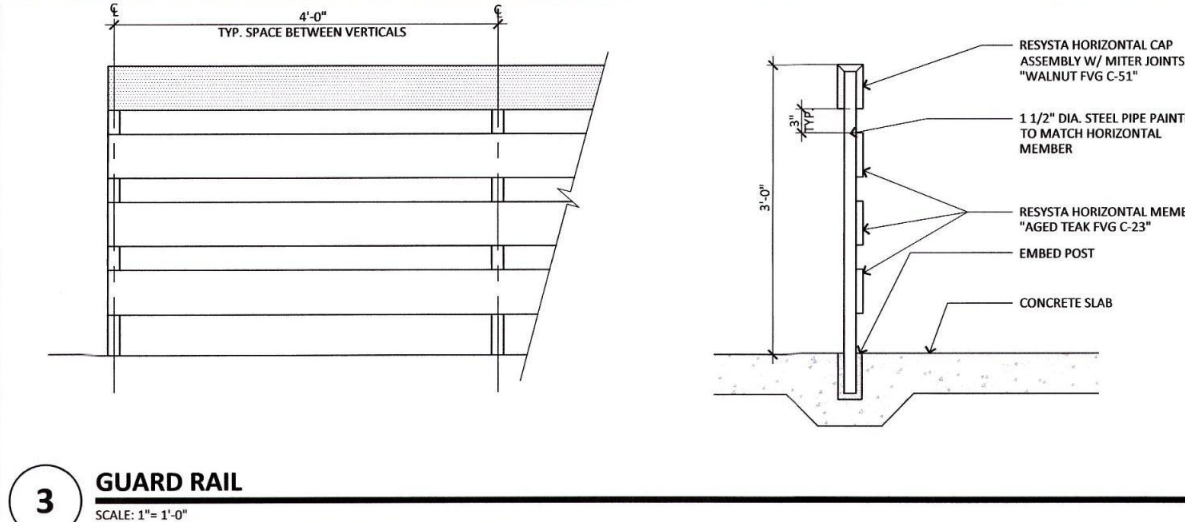
EL 2

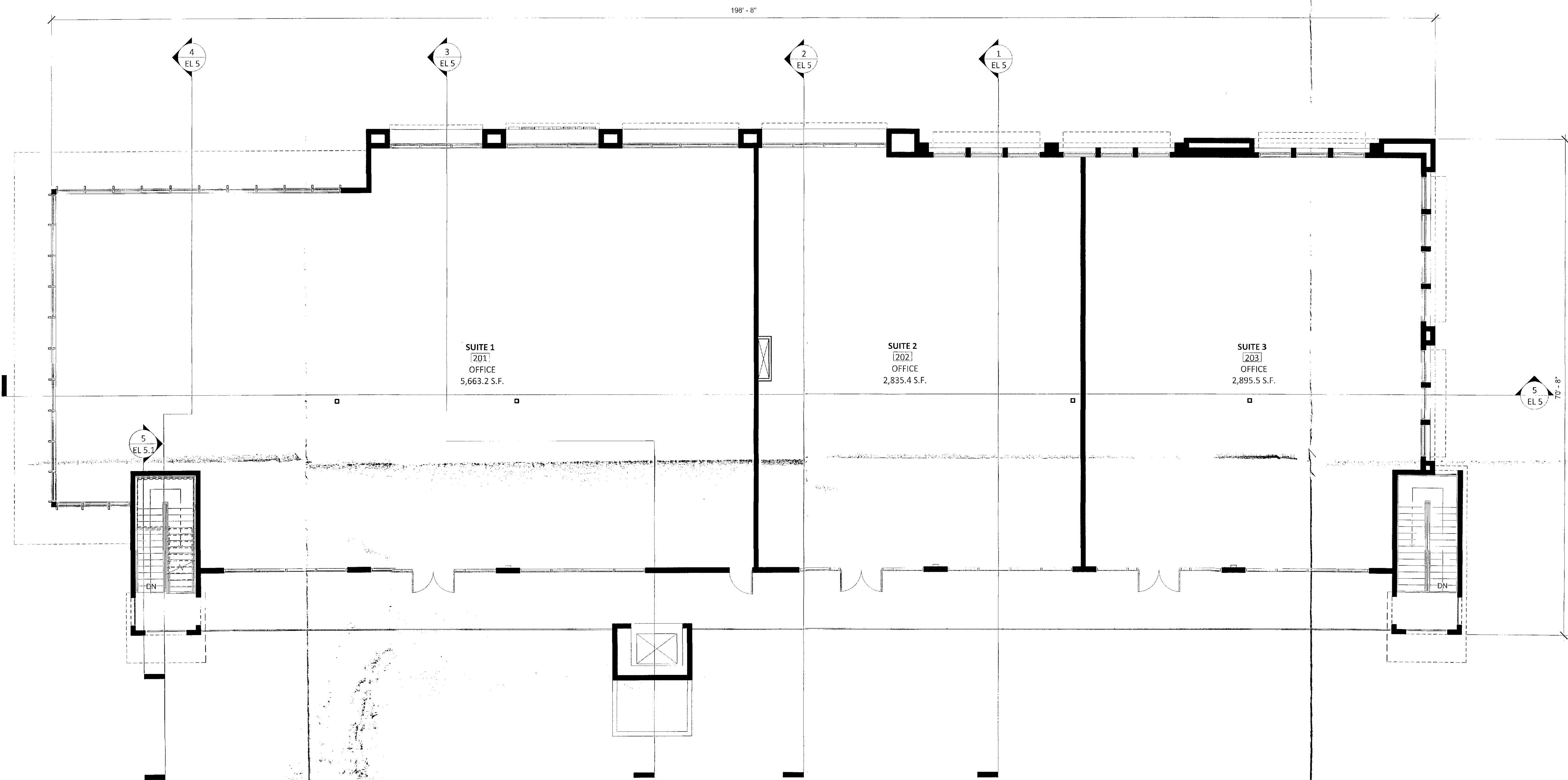
RKAA# 13061.51

© 2014 RKAA
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
EXCLUSIVE PROPERTY OF
RKAA ARCHITECTS, INC. AND
NOT BE LOANED, REPRODUCED,
COPIED, OR USED IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION
OF THE ARCHITECT.



6 SITE FURNISHINGS
SCALE: N.T.S.





PROPOSED SECOND FLOOR PLAN

1/8" = 1'-0"

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 07/01/2014 INITIALS

25-DR-2014
7/22/2014



Flr Plan

CROSSROADS EAST
NEC SCOTTSDALE RD & CHAUNCEY LN
SCOTTSDALE, ARIZONA
DATE: 07-22-14 (PRELIMINARY)

FP-2

RKAA# 13061.51

© 2014 RKA
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
INSTRUMENT OF
SERVICE. IT IS THE
PROPERTY OF RKA
ARCHITECTS, INC. AND
MAY NOT BE
DUPLICATED, REPRODUCED,
OR USED IN ANY MANNER
WITHOUT WRITTEN PERMISSION
OF THE ARCHITECT.



C:\P4_A_GluV19:235057\CAD\235057.S.dwg, Layout: L1 Jul 22, 2014 ~ 12:59pm chris.rose
 WORKERS: X23502505-GD X235046BM X235057BM X235057B X235057LS X235046LS-re
 DOCUMENTS WITH THE CONCEPTS AND DESIGN SENTENCES WHEN AS A PERSON OF THE
 WITHOUT LIBRARY IN KALE-



1. WATER INTENSIVE LANDSCAPE ACREAGE LIMITED TO 10% FOR FIRST 9,000 SF, AND 5% FOR REMAINDER.
TOTAL SITE = 9,285 SF
929 SF NON-ADWR MATERIAL ALLOWED
0 SF NON-ADWR MATERIAL PROPOSED
2. TURF PROPOSED: 0 SF
3. ALL TREES 15 GAL. MIN.
ALL PROPOSED TREES 24" MIN. BOX SIZE
4. 50% OF ALL TREES ARE MATURE
(19) TREES x 50% 2" CAL. MIN. = 8 REQUIRED
(19) 2" CAL. MIN. TREES PROPOSED
5. PARKING LANDSCAPE AREAS ARE 7' WIDE MIN. AND 120 SF MIN.
6. TOTAL LANDSCAPE WATER USAGE:
TREES 58,664 gal/year
SHRUBS 91,842 gal/year
150,506 gal/year = 0.46 acre-feet/year

1. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
2. A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
3. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
4. AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
5. NO TURF AREAS ARE TO BE PROVIDED.
6. RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, Boulders, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
7. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
8. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FOOT OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
9. TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
10. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
11. THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
12. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
13. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
14. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
15. ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
16. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.

1. NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCRATCH INTO AREAS DESIGNATED AS NAOs, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
2. ALL NAOs AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOWING METHODS:
 - A. A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOs AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
 - B. + THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOs AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
 - C. ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOs AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
 - D. THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

1. AFTER THE 90 DAY PLANT ESTABLISHMENT PERIOD, AS DESCRIBED IN THE TECHNICAL SPECIFICATIONS, THE OWNER WILL PROVIDE MAINTENANCE OF SITE LANDSCAPING AND IRRIGATION SYSTEM(S).
2. ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY (INCLUDING MEDIANS), SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, LITTER AND WEED-FREE CONDITION. IN ADDITION TO THE STANDARDS IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL, ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA.



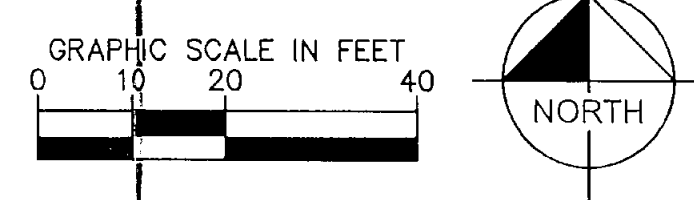
SYMBOL		BOTANICAL NAME COMMON NAME	SIZE	QTY	ADWR (Y/N)
TREES		<i>Olneya tesota</i> Ironwood Multi-Trunk, Upright	24" BOX, 2" CAL. MIN.	4	Y
		<i>Parkinsonia florida</i> Palo Verde Single-Trunk, Upright	24" BOX 2" CAL. MIN.	8	Y
		<i>Prosopis velutina</i> Velvet Mesquite Multi-Trunk	24" BOX, 2" CAL. MIN.	7	Y
SHRUBS / GRASS / ACCENTS		<i>Agave Americana</i> Century Plant	5 GAL	4	Y
		<i>Agave geminiflora</i> Twin Flower Agave	5 GAL	8	Y
		<i>Agave parryi</i> Parry's Agave	5 GAL	47	Y
		<i>Dasylirion wheeleri</i> Desert Spoon	5 GAL	29	Y
		<i>Dasylirion longissima</i> Toothless Spoon	5 GAL	11	Y
		<i>Echinocactus grusonii</i> Goldern Barrel Cactus	12" DIA MIN.	9	Y
		<i>Fouquieria splendens</i> Ocotillo	6' HT. 8 CANES	3	Y
		<i>Lantana hybrid 'New Gold'</i> New Gold Lantana	1 GAL	62	Y
		<i>Lantana montevidensis</i> Purple Trailing Lantana	1 GAL	124	Y
		<i>Opuntia violacea</i> var. 'Santa Rita' Purple Prickly Pear	5 GAL	4	Y
		<i>Pachycereus marginatus</i> Mexican Fence Post 3 heads, no scars	3'-5' HT.	7	Y
		<i>Simmondsia chinensis 'Vista'</i> Dwarf Jojoba	5 GAL	20	Y
INERT		1/2" SCREENED D.G., Madison Gold SUBMIT SAMPLE TO OWNER FOR APPROVAL	2" DEPTH	9,285 SF	
		LANDSCAPE BOULDERS, COLOR TO MATCH D.G., SURFACE SELECT, EVEN MIX OF SIZES; FREE OF SCARS & BLEMISHES	18"-4'	21	

GRAPHIC SCALE IN FEET

0 10 20 40

NORTH

CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



**CALL TWO WORKING DAYS
BEFORE YOU DIG**
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

LAKELANDS

PRELIMINARY LANDSCAPE PLAN

NEC SCOTTSDALE ROAD AND CHAUNCEY LANE

SCOTTSDALE, ARIZONA

PROJECT No
191235057

SCALE (H): 1"=20'

SCALE (V): NONE

DRAWN BY: KF

DESIGN BY: KF

CHECK BY: CMF

DATE: 07/22/14

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

STIPULATION
RETAIN FOR RE

RETAIN FOR FILE
APPROVE

19/04/02

DATE 07/01/2017

1000

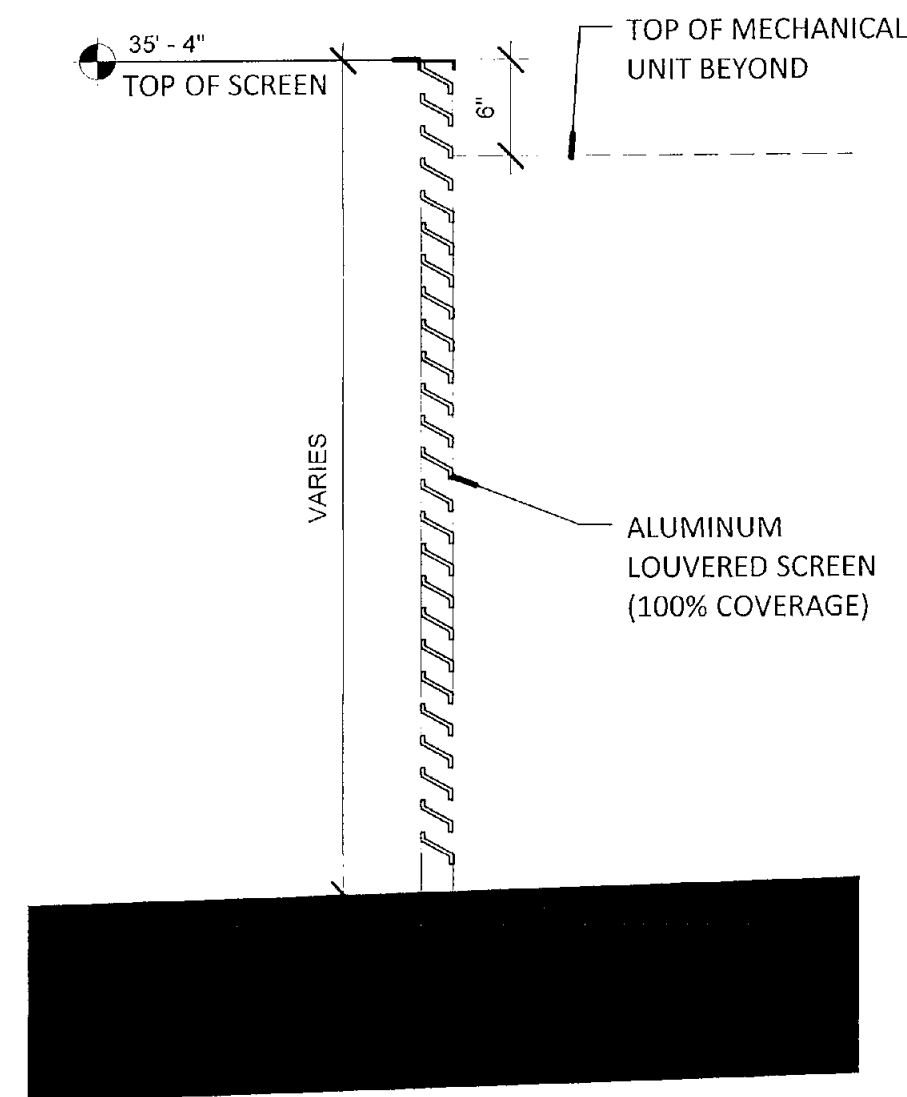
235057LS.dwg

LS1

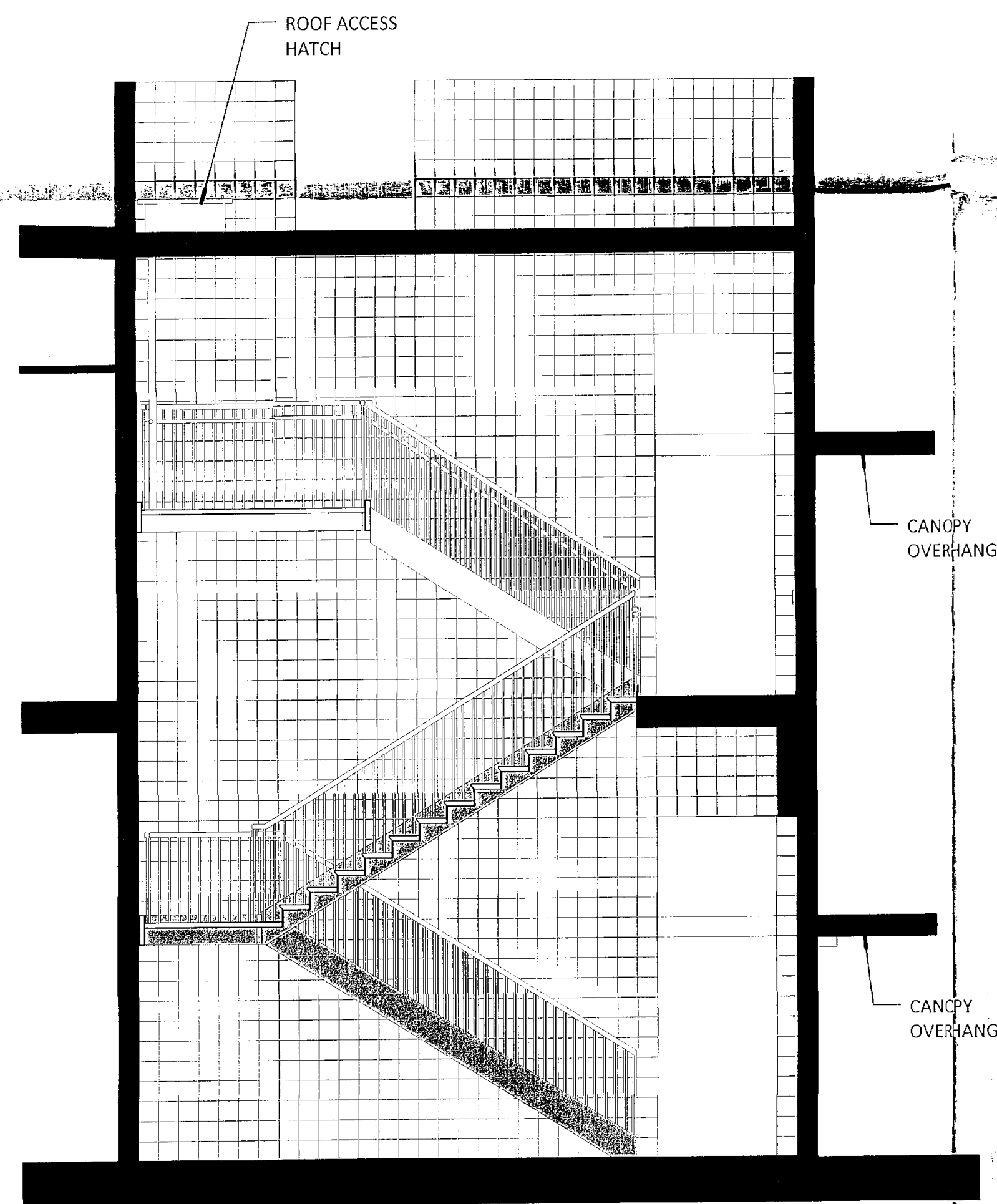
1 OF 1 SHE

25-DR-201
7/22/2014

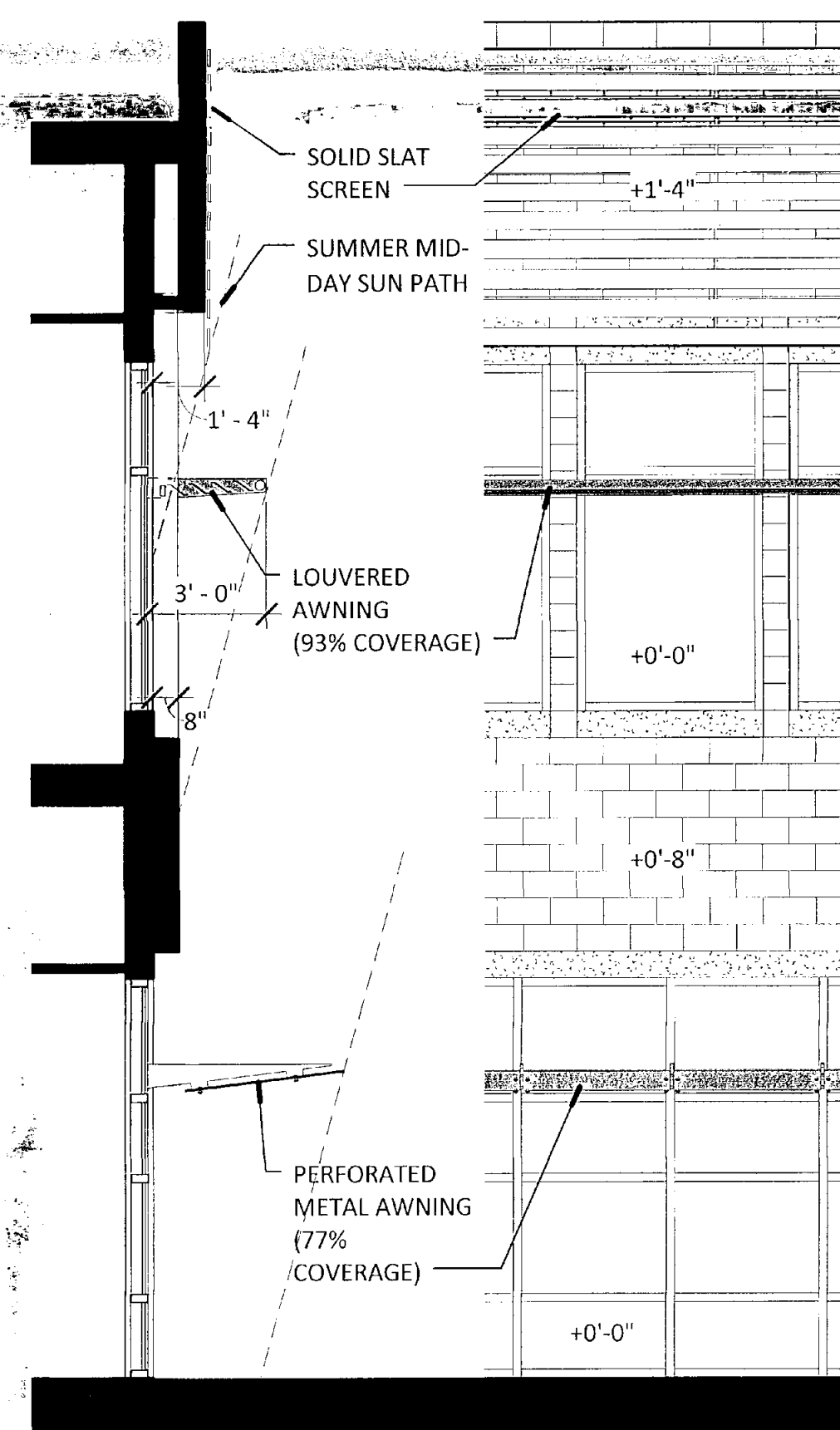
7/22/2014



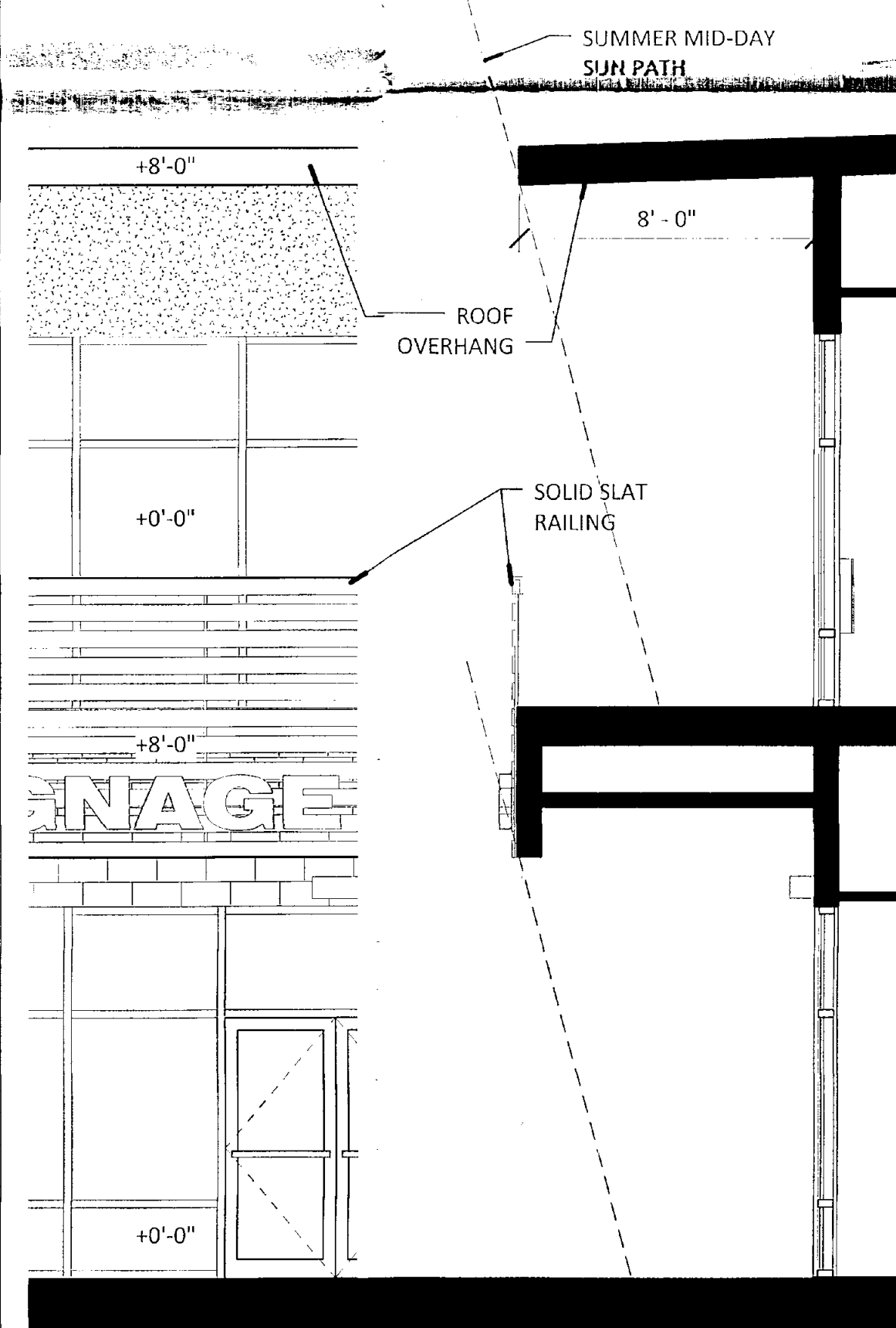
6 ROOF SCREEN SECTION
1" = 1'-0"



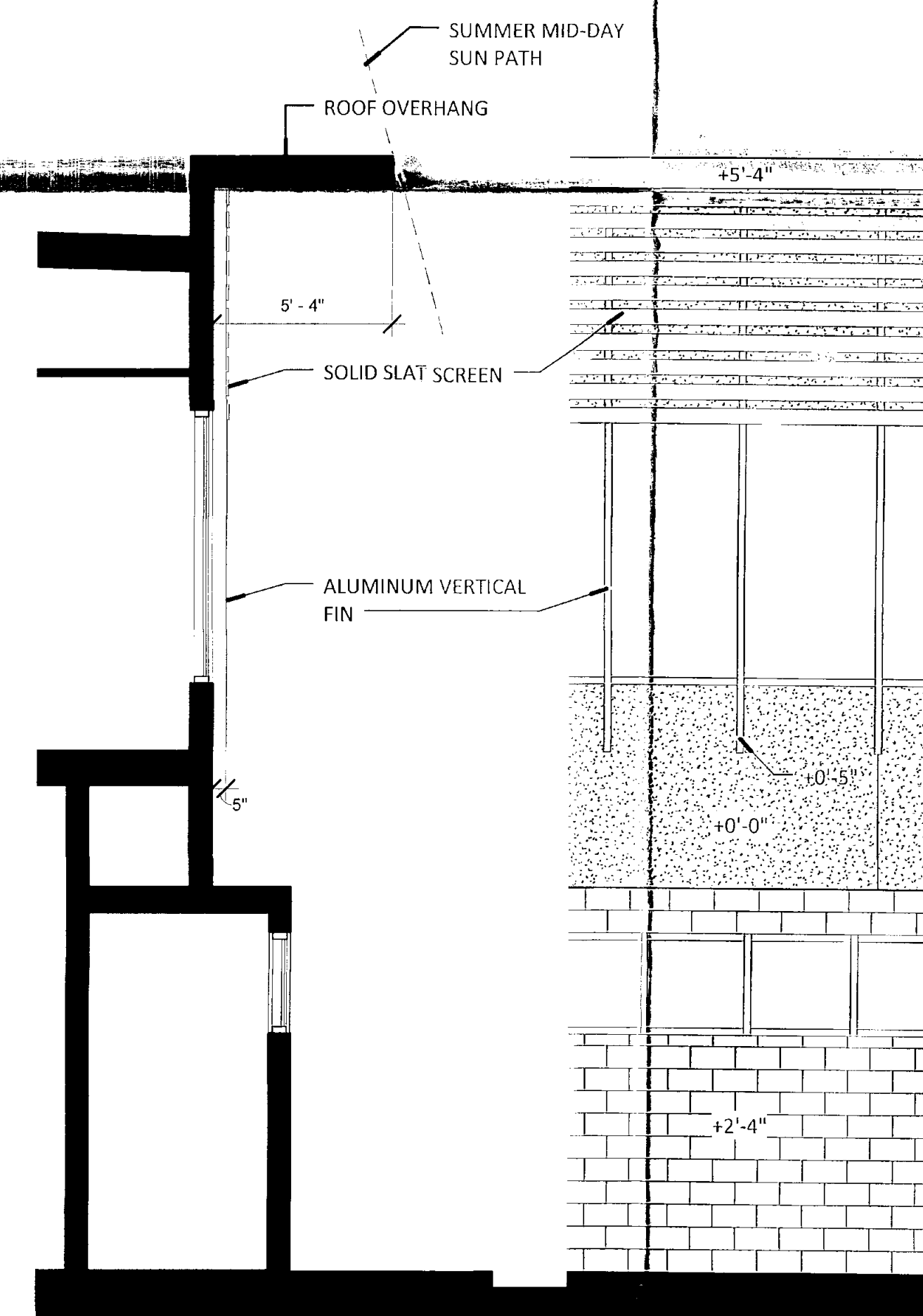
5 STAIRWELL SECTION 1
1/4" = 1'-0"



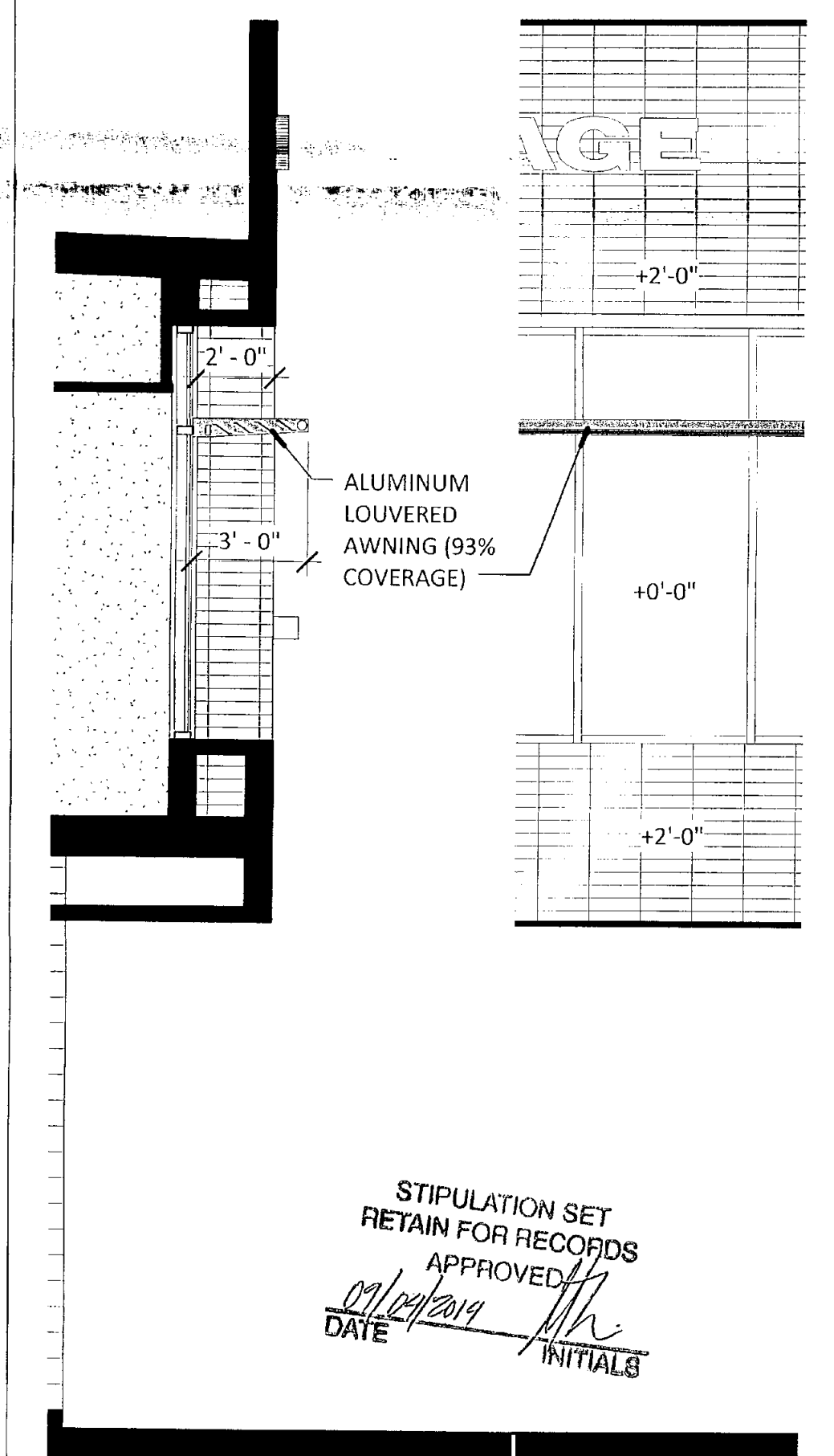
4 WALL SECTION AND ELEVATION 4
1/4" = 1'-0"



3 WALL SECTION AND ELEVATION 3
1/4" = 1'-0"

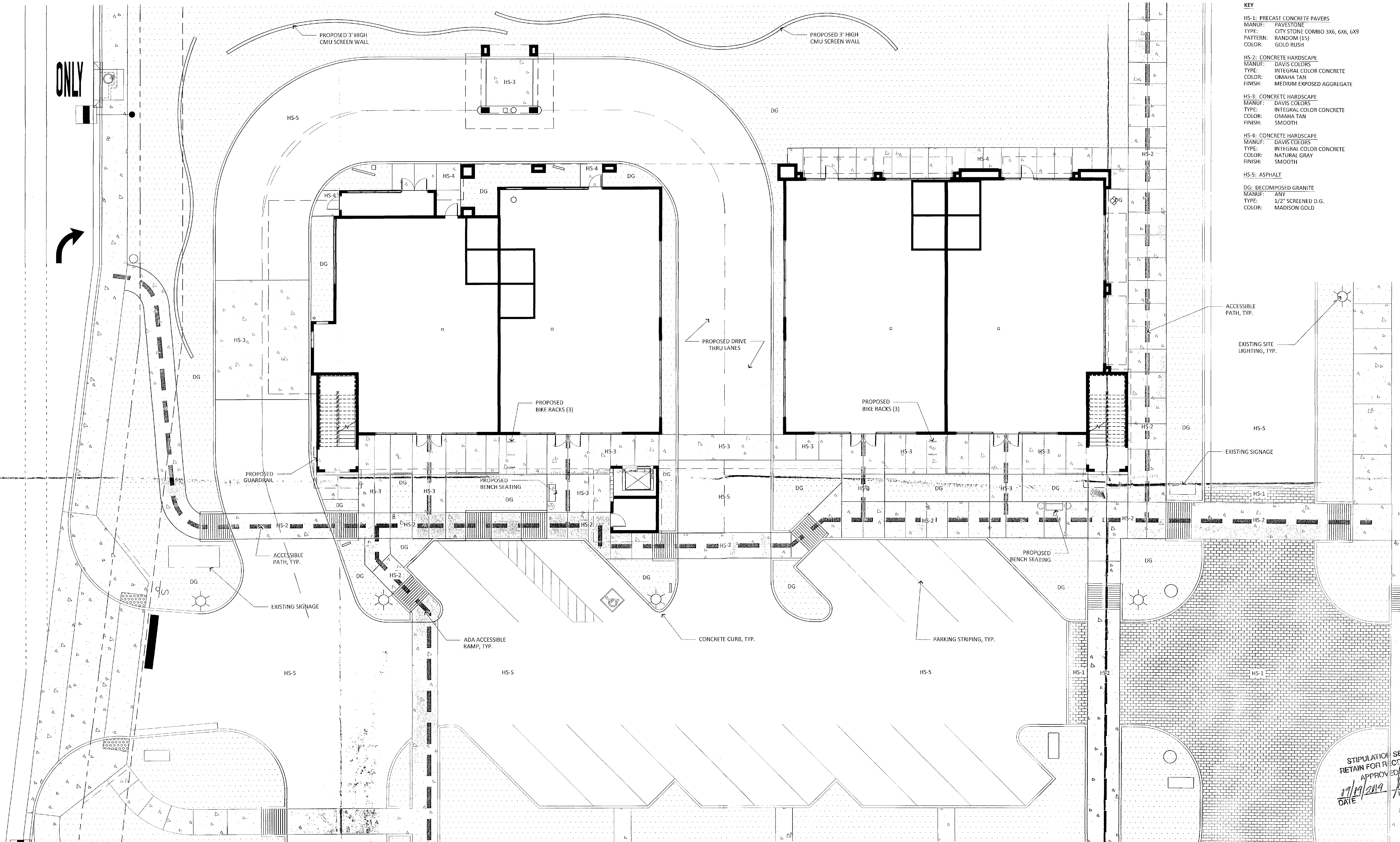


2 WALL SECTION AND ELEVATION 2
1/4" = 1'-0"



1 WALL SECTION AND ELEVATION 1
1/4" = 1'-0"

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 07/22/2014 INITIALS

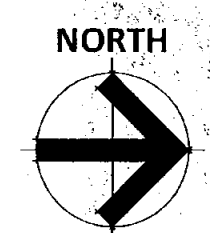
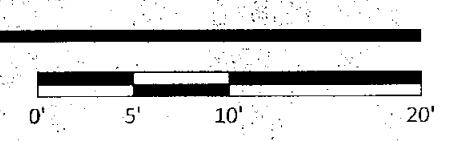


- KEY**
- HS-1: PRECAST CONCRETE PAVERS**
 MANUF: PAVESTONE
 TYPE: CITY STONE COMBO 3X6, 6X6, 6X9
 PATTERN: RANDOM (15)
 COLOR: GOLD RUSH
- HS-2: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: OMAHA TAN
 FINISH: MEDIUM EXPOSED AGGREGATE
- HS-3: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: OMAHA TAN
 FINISH: SMOOTH
- HS-4: CONCRETE HARDSCAPE**
 MANUF: DAVIS COLORS
 TYPE: INTEGRAL COLOR CONCRETE
 COLOR: NATURAL GRAY
 FINISH: SMOOTH
- HS-5: ASPHALT**
- DG: DECOMPOSED GRANITE**
 MANUF: ANY
 TYPE: 1/2" SCREENED D.G.
 COLOR: MADISON GOLD

STIPULATION SET
 RETAIN FOR RECORDS
 APPROVED *[Signature]*
 DATE 07/19/2014 INITIALS



HARDSCAPE PLAN
 SCALE: 1" = 10'-0"



CROSSROADS EAST
 NEC SCOTTSDALE RD & CHAUNCEY LN
 SCOTTSDALE, ARIZONA
 DATE: 05-23-14 (PRELIMINARY)

HS-1

RKAA# 13061.51

© 2014 RKAA
 ARCHITECTS, INC. ALL
 RIGHTS RESERVED.
 THIS DRAWING IS AN
 INSTRUMENT OF
 SERVICE. IT IS THE
 PROPERTY OF RKAA
 ARCHITECTS, INC. AND
 N.A.A. I.D.T. IS
 DUPLICATED, USED OR
 DISCLOSED WITHOUT
 WRITTEN PERMISSION
 OF THE ARCHITECT.



25-DR-2014
 7/22/2014