

Full Size

8.5 x 11

11 x 17

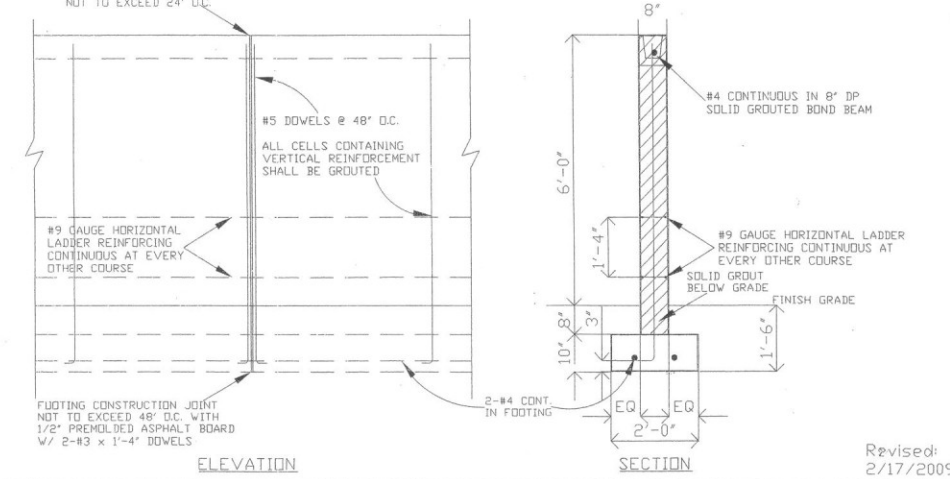
(site plan, landscape, elevations)

- THIS DETAIL SHALL APPLY TO WALLS 6'-0" OR LESS IN HEIGHT.
- SEPARATE APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED.
- SEPARATE APPROVAL BY THE STORMWATER DEPARTMENT IS REQUIRED.
- INDICATE DRAIN BLOCKS AT FINISH GRADE, AS REQUIRED, ON FINAL PLANS.

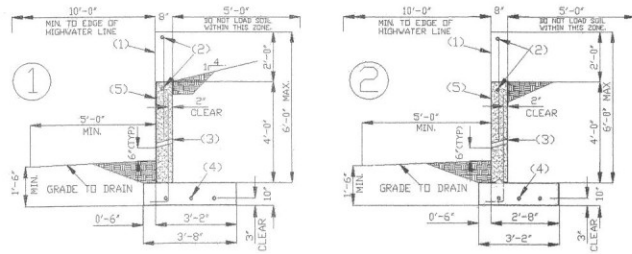
- THE CITY OF SCOTTSDALE MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY OR LIABILITY IN PROVIDING THIS STANDARD DETAIL. OWNERS/APPLICANTS AND PROFESSIONALS USING THIS DETAIL SHALL ASSUME FULL RESPONSIBILITY FOR ITS DESIGN.
- OWNERS/APPLICANTS ARE ENCOURAGED TO CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA REGARDING THE NEEDS FOR THEIR PROJECT. AN ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA COULD DETERMINE DIFFERENT DETAILS OR SPECIFICATIONS.
- OWNER/APPLICANT/BUILDER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF FOOTING.

8" MASONRY WALL PER 2006 IBC

WIND LOAD: 15 psf per ASCE 7-05
 CMU: $F_m = 1350$ psi
 MORTAR: ASTM TYPE S
 GROUT: $F_c = 2000$ psi
 REINFORCING: $F_y = 40,000$ psi
 CONCRETE: 2000psi
 LADDER REINFORCING: $F_y = 80,000$ psi



Revised: 2/17/2009



8" MASONRY RETAINING WALL WITH A 4' MAXIMUM RETAINED HEIGHT

NOTES:

- 1) 8" CMU WITH #4 @ 40" O.C. IN CENTER OF WALL.
- 2) 8" CONT. SOLID BEAM WITH #4 CONT. REBAR.
- 3) 8" DIAMETER VEEB HOLE @ 6'-0" O.C. WITH 1/2" CONT. GRAVEL FILL.
- 4) 3-#5 OR 4-#4 CONT. HORIZ. REBAR.
- 5) 8" CMU WITH #4 @ 40" O.C.
- 6) 8" CMU WITH #5 @ 30" O.C.
- 7) 8" CMU WITH #4 @ 30" O.C. IN CENTER OF WALL.

SPECIFICATIONS:

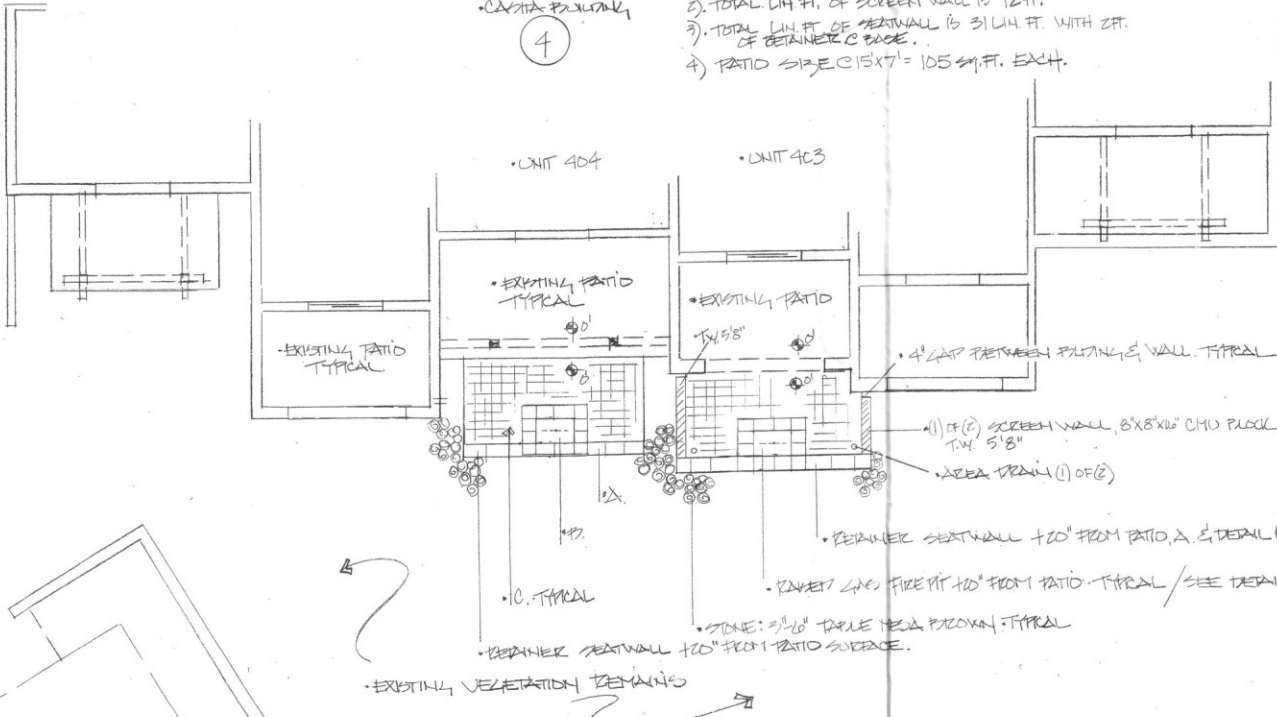
- 1) MASONRY, MEDIUM WT. ASTM C90, GRADE N, 1500psi.
- 2) MORTAR, ASTM C270, TYPE S, 1800psi.
- 3) GROUT, ASTM C476, 2000psi.
- 4) REINFORCING, ASTM A-615, $F_y = 40$ ksi.
- 5) CONCRETE, 2000psi.
- 6) MIN. LAP 24".

- 1) NO NATIVE PLANTS TO BE AFFECTED BY CONSTRUCTION.
- 2) TOTAL LIN. FT. OF SCREEN WALL IS 45 LIN. FT.
- 3) TOTAL SQ. FT. OF PATIOS IS 451 SQ. FT.



EXISTING VEGETATION REMAINS

- 1) NO NATIVE PLANTS TO BE AFFECTED BY CONSTRUCTION.
- 2) TOTAL LIN. FT. OF SCREEN WALL IS 12 FT.
- 3) TOTAL LIN. FT. OF RETAINING WALL IS 31 LIN. FT. WITH ZPT. OF RETAINING WALL.
- 4) PATIO SIZE 15'x7' = 105 SQ. FT. EACH.



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*NOTE: FLATSTONE AND STONE VENEER ON FIRE PATS TO MATCH STONE USED ALREADY ON SITE.

Client: FOUR SEASONS RESORT - PHASE III

Address: 10000 EAST CRESCENT MOON DR. SCOTTSDALE

Sub Division: SCOTTSDALE CITY NORTH A3, 853212

DATE: JAN. 2010

SCALE: 1/8" = 1'-0"

CLIENT APPROVAL:

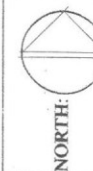
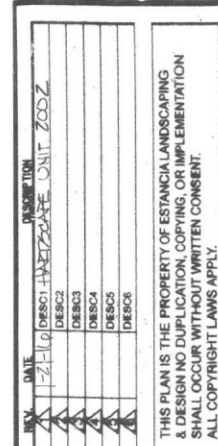
DRIVER: PAUL

DESIGNER: PAUL

DATE: JAN. 2010

SCALE: 1/8" = 1'-0"

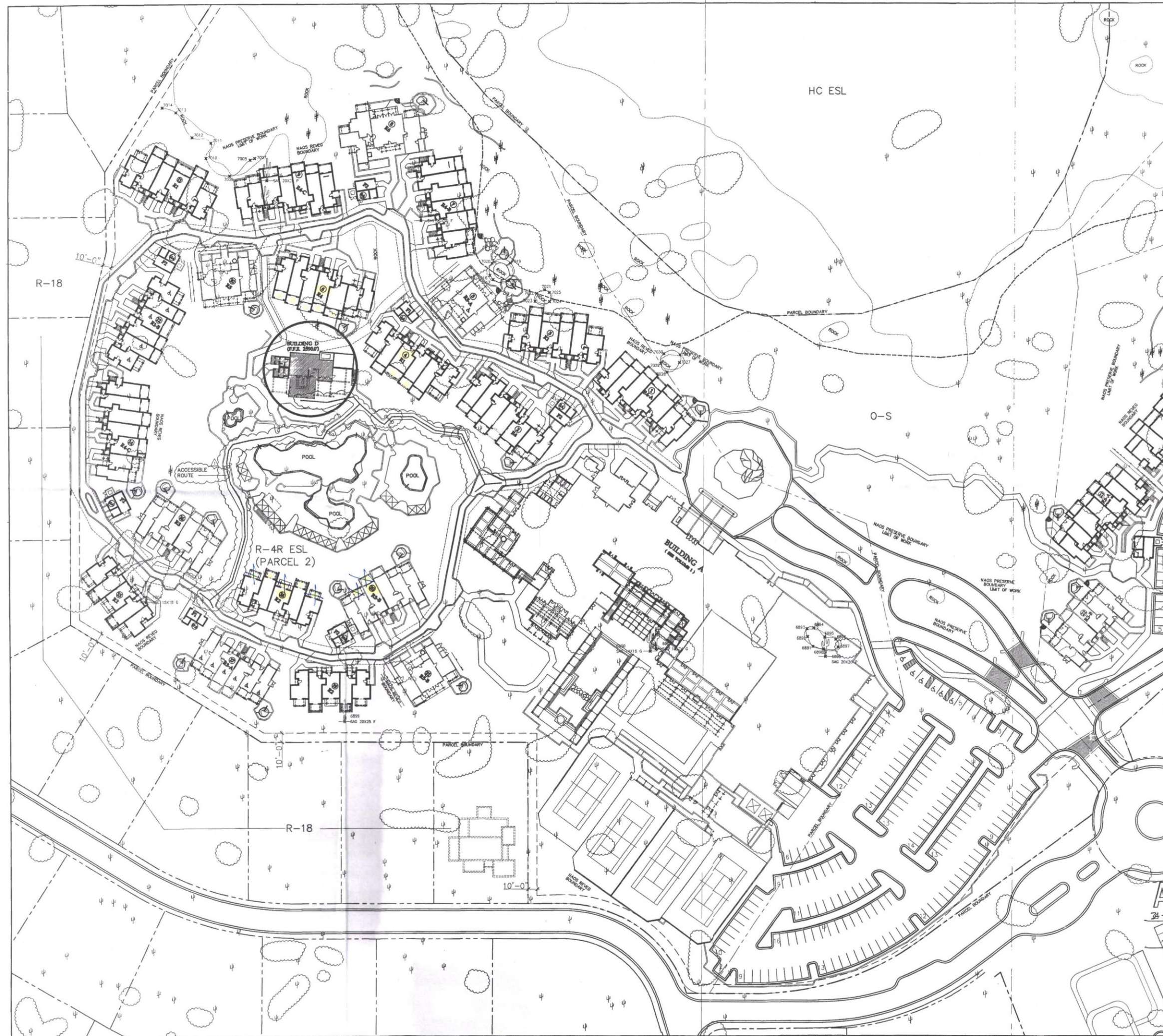
FOUR SEASONS



SHEET OF Z

Client: FOUR SEASONS RESORT - PHASE III
Address: 10600 EAST CRESCENT MOON TR. SCOTTSDALE
Sub Division: SCOTTSDALE & TELON NORTH AZ 85262

DRAWN PZL	DESIGN PZL
DATE 12-1-2016	SCALE 1/8" = 1'-0"
CLIENT APPROVAL	
FOUR SEASONS	



I. VICINITY MAP

II. SITE PLAN NOTES

1. Permit Application #2117-98. This application is for building 'D' & 'E' built out permit only.
2. Zoning Case # 62-2N-84, DR Case # 34-DR-96 and 34-DR-96#2. Native Plant Permit # 126210
3. Existing zoning: R-4R ESL and OS.
4. All signs shall require separate approvals and permitting.
5. Level of Building 'D' = +2590' Refer to civil engineering documents submitted under permit #2274E-97 for detailed grading.
6. NOT USED
7. NOT USED
8. Refer to civil engineering documents submitted under permit #2274E-97 for all property line dimensions.
9. All exterior mechanical and communications equipment shall be fully screened behind screen walls at least 1'-0" higher than equipment. Color and texture shall match main building.
10. No exterior public address or speakers system shall be allowed.
11. Patio umbrellas shall be solid color and shall not have any advertising in the form of signage or logos.
12. Refer to the landscape documents for all site-mounted landscape lighting.
13. See landscape documents for detail of bicycle racks and locations of bicycle racks.
14. See previously submitted M.O.D. for all property line information.
15. See civil documents for area(net), F.A.R., volume, parking calc's, accessible parking calc's, bicycle parking calc's, and open space calc's.
16. See civil documents for street names & center line of the street.
17. See civil documents for documentation of all dedications(trails, sight distance, NAOS, V.N.A.F., etc.).
18. See civil documents for handicapped parking stall & aisle widths.
19. See civil documents for parking stall information and dimensions.
20. Accessible route to hotel pool bar shown with a dashed line. Max. 1:50 side slope, Max. 1:20 running slope without handrails and Max. 1:12 slope with handrails.

SITE PLAN

APPROVED

2117-98 (M) 223-94

DATE 12/22/98

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE PLAN AND ALL CONDITIONS WILL REQUIRE REAPPROVAL

NORTH

HILL GLAZIER ARCHITECTS

839 ALMA STREET PALM ALTO CA 94350
TEL 950.417.0346 FAX 950.417.0379

PLAN CHECK #2117-98 M
34-DR-96 #2

FOUR SEASONS RESORT
SCOTTSDALE, ARIZONA

PHASE IF - VOLUME II
POOL BAR BUILDINGS

ISSUED FOR
12/22/98 CONSTRUCTION SET
01/30/99 PLAN CHECK COMMENTS

SHEET TITLE
PARTIAL SITE PLAN
BUILDING D
HOTEL POOL BAR

PROJECT: 95041
DATE: DEC. 22, 1998
SCALE: 1"=40'
SHEET: **A-11**

2/20/2010 10:00:00 AM C:\Users\jglazier\Documents\117\05041\Four Seasons\117_05041\Four Seasons\117_05041.dwg (J. Glazier)