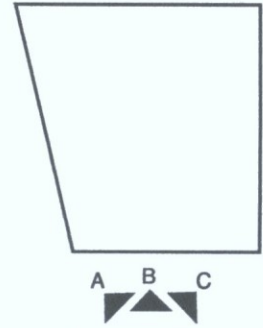


**Simulations**  
**Records Packet**  
**Photos**  
**All Graphics (no plans)**

# Site Context Photographs

The**Holiday** 6637 E Monterey Way, Scottsdale, AZ 85251

North



A



C

B



35-DR-2015  
7/27/2015

# Site Context Photographs

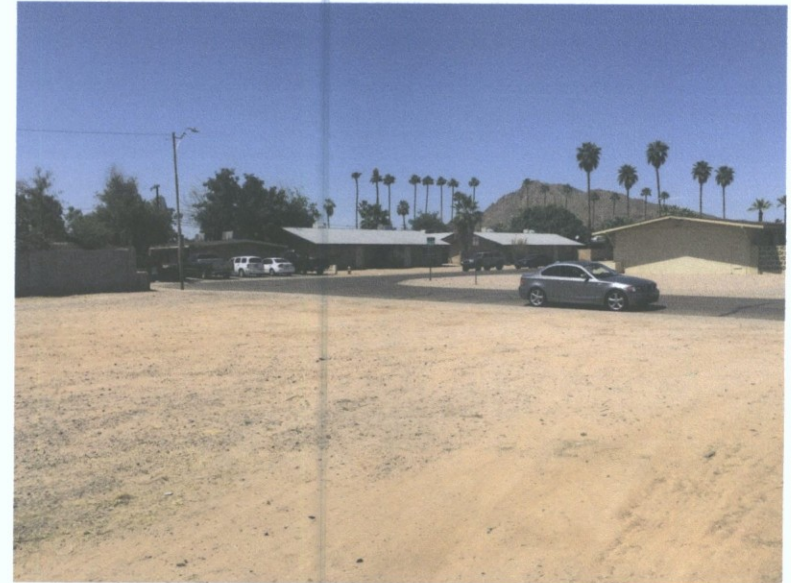
The**Holiday** 6637 E Monterey Way, Scottsdale, AZ 85251

North

A  
B  
C



A



C

B

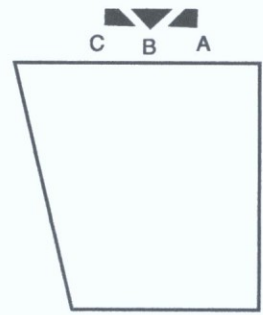




# Site Context Photographs

The**Holiday** 6637 E Monterey Way, Scottsdale, AZ 85251

North



A



C

B

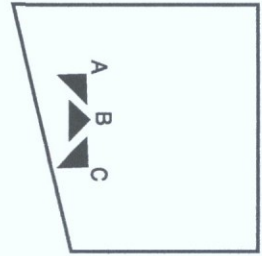




# Site Context Photographs

The**Holiday** 6637 E Monterey Way, Scottsdale, AZ 85251

North



A



C

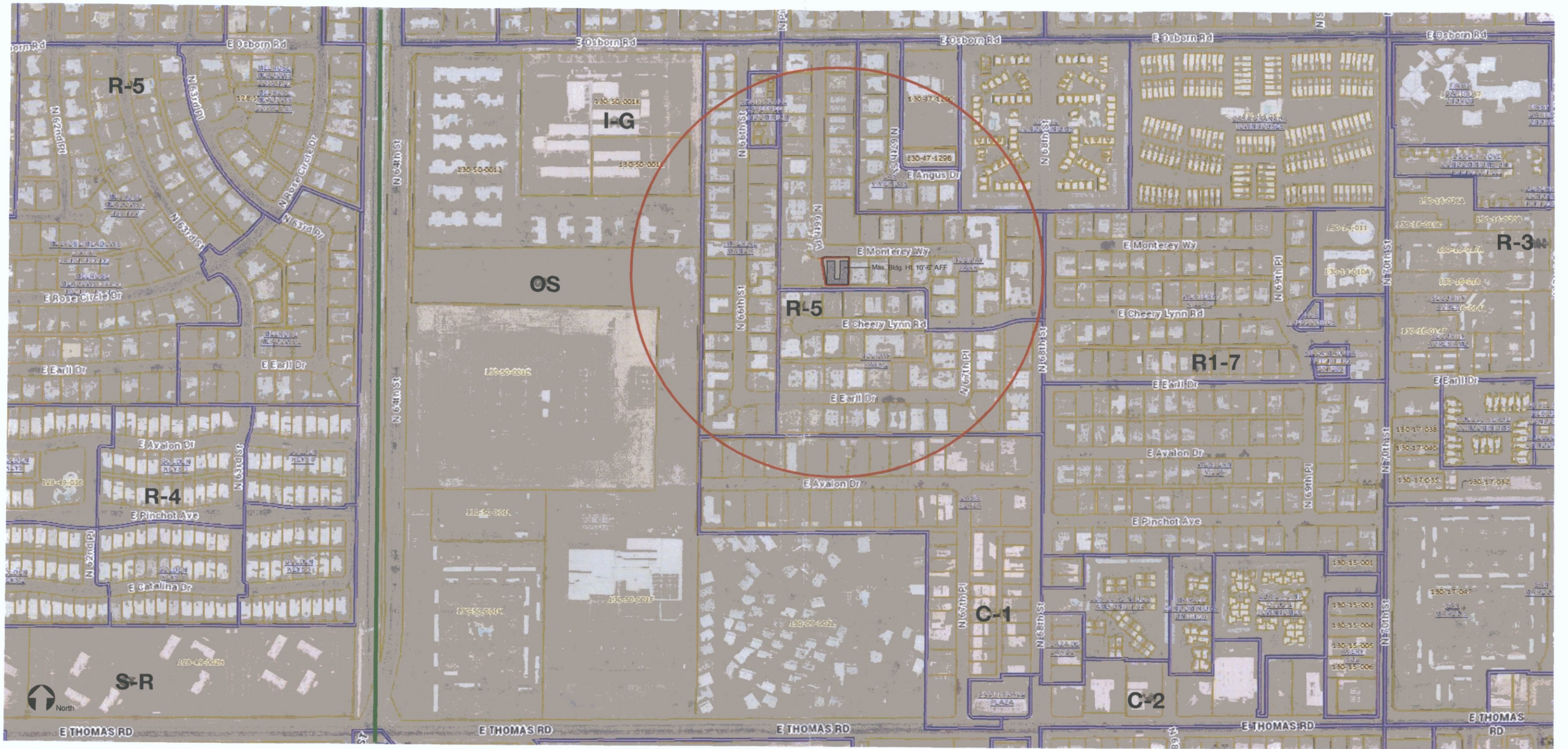
B











Bike Path along canal

750 Foot radius

Context Aerial

40' 80' 160' 1" = 160'

Date:  
07.21.2015

DR | Development  
Review Drawings

The Holiday Apartments

6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

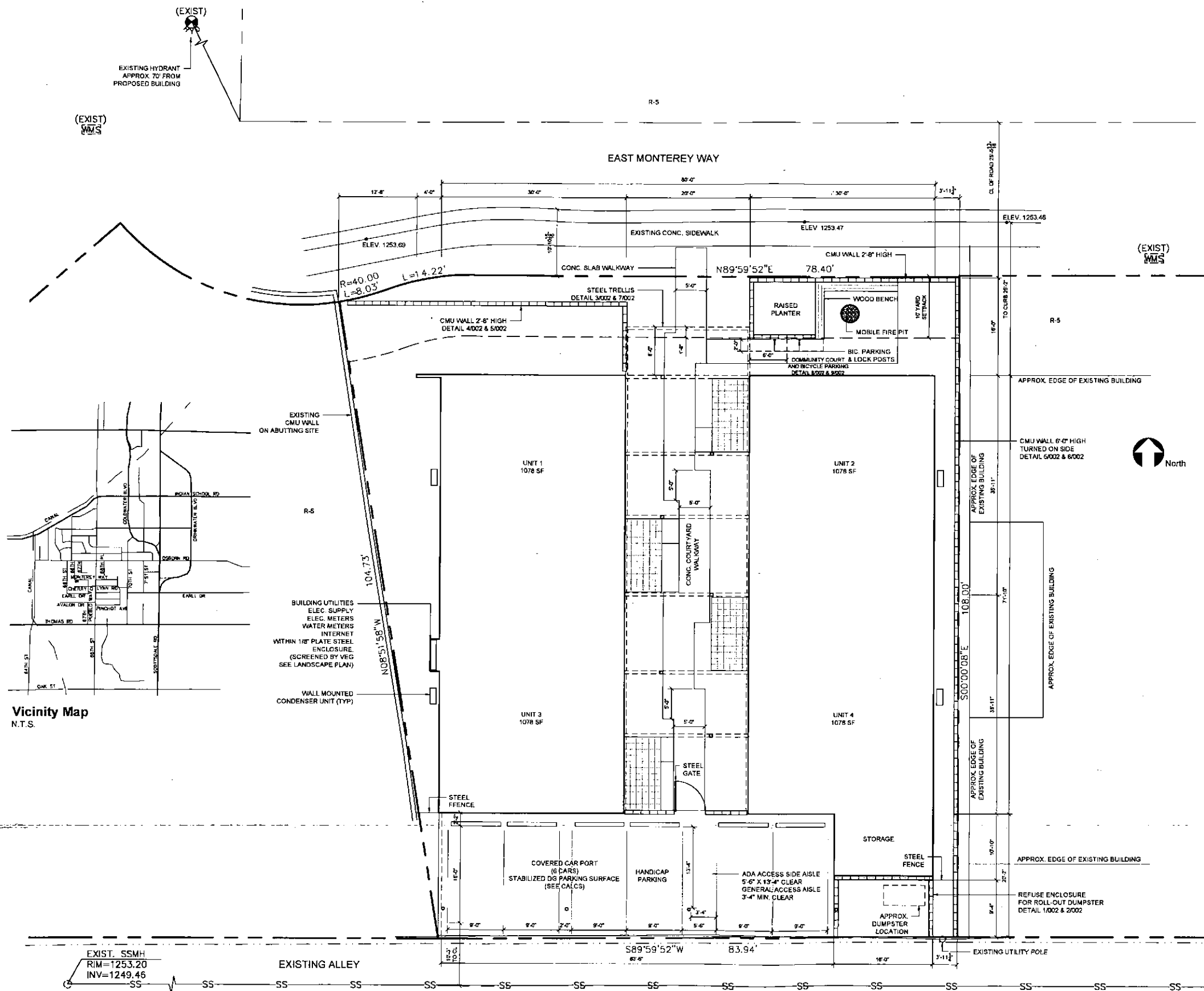
Mancusi  
Design, LLC

PO Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

35-DR-2015  
9/29/15

000





## PROJECT INFORMATION

**Project Name**  
The Holiday  
Proposed Owner-Occupied Single-Level Quadplex.

**Project Address**  
6377 E Monterey Way  
Scottsdale, Arizona 85251

**Owner**  
Ada Rose and Nicholas Mancusi  
6125 E Indian School Road, #252 Scottsdale, Arizona 85251  
Phone: 603.401.1548  
Email: mancusi@gmail.com

**Code**  
International Building Code 2012

**Occupancy**  
Multi-Family Residence - (4 Units)

**Number of Bedrooms**  
6 Bedrooms (2 @ 2 Bedroom, 2 @ 1 Bedroom)

**Lot Size**  
9,934 SF / 0.22806 AC± Gross/Net

**Lot Coverage**  
Proposed Conditioned Space 4,485 SF  
Proposed Patio Space 432 SF  
Proposed Carport 1,280 SF  
Proposed Refuse Enclosure 150 SF  
Proposed Total Area 6,347 SF

**Allowed Coverage** 78% or 7,748.52 SF  
**Proposed Coverage** 63.8% or 6,347 SF

**Maximum Height**  
10'-6" Above Finish Floor (36' Allowed)

**Building Area**  
Living Unit 1,078 SF  
Proposed Total of 4 Units 4,312 SF  
Proposed Storage 173 SF  
Proposed Total Conditioned Space 4,485 SF

**Zoning**  
R-5 Multi-Family Residential

## OPEN SPACE CALCULATIONS

**Required Open Space**  
Number of Dwelling Units per Acre: 4  
Minimum Percentage of Lot Area Required Open Space: 22  
.22 X NET Lot Area  
.22 X 9,934 SF = 2185.48 SF

**Open Space Provided**  
3619.11 SF = 36.4%

## PARKING CALCULATIONS

**Required Spaces**  
Number of 2-Bedroom Dwelling Units: 2  
Number of 1-Bedroom Dwelling Units: 2  
Spaces Per 2-Bedroom Unit: 1.7  
Spaces Per 1-Bedroom Unit: 1.3  
(1.7 X 2 = 3.4) + (1.3 X 2 = 2.6) = 6  
**Parking Space Provided**  
6 Covered

**Accessible Parking Space**  
4% of Parking Provided  
.04 x 6 = .24 = 1  
**Accessible Parking Space Provided**  
1 @ End of Courtyard Walkway

**Bicycle Parking**  
2 Spaces for Every 10 Parking Spaces  
6 < 10 = 2  
**Bicycle Parking Provided**  
2

## FIRE PROTECTION

**Proposed Sprinkler System**  
13D Each Unit  
**Hydrant Distance**  
71' from Proposed Building

## Site Plan

1" = 1'-0"  
1" = 4' 8"

DR Development  
Review Drawings

## The Holiday Apartments

Date:  
11.13.2015

6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

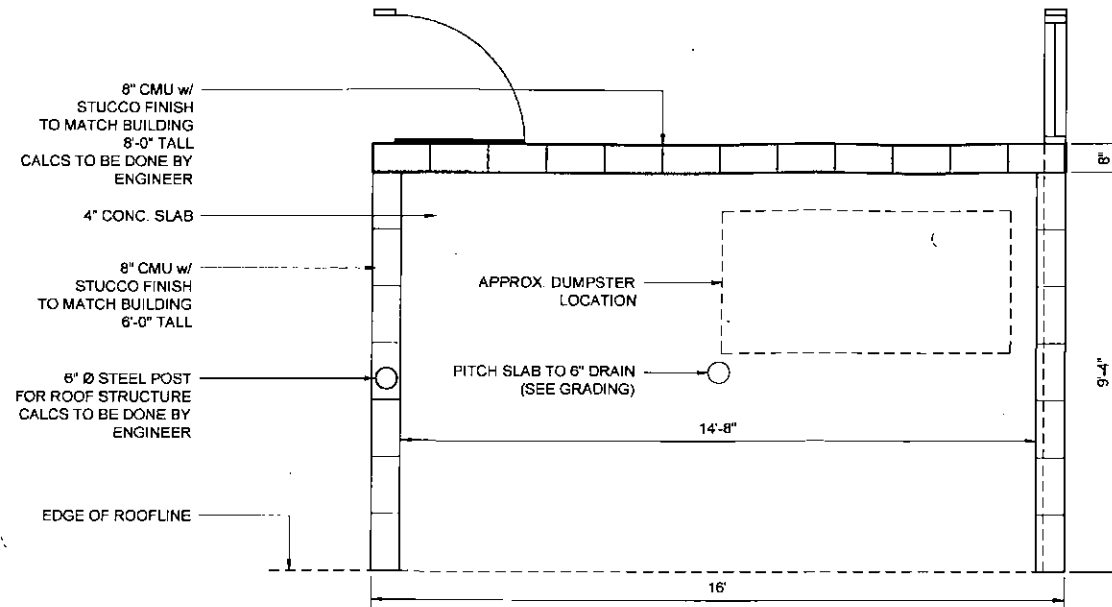
Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

**Mancusi**  
Design LLC

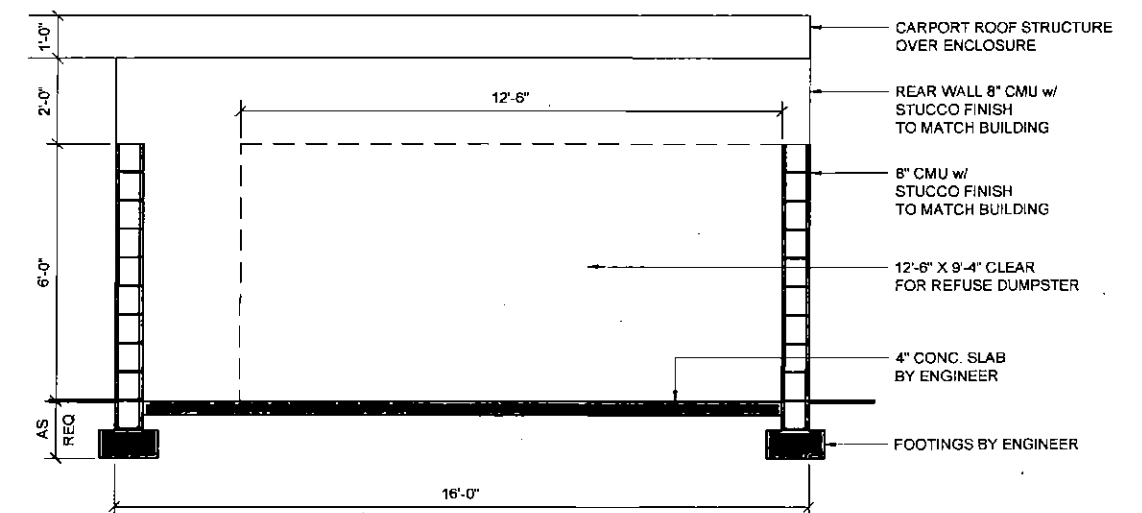
PO Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

001

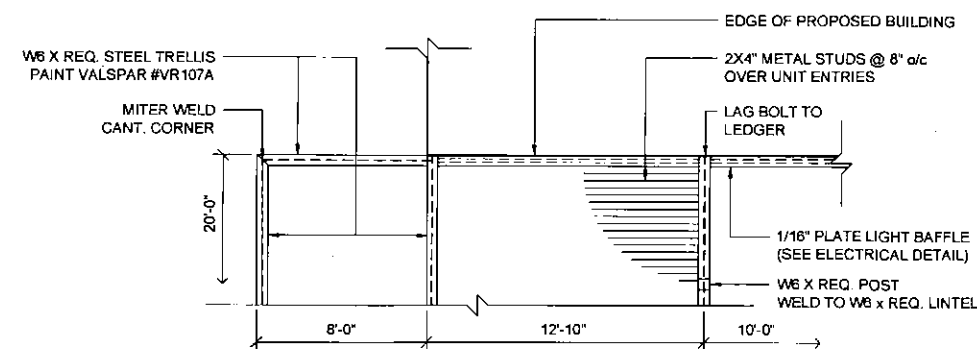




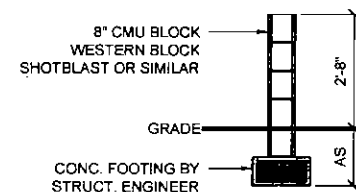
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002 Refuse Enclosure Plan  
Scale: 1/2" = 1'-0"



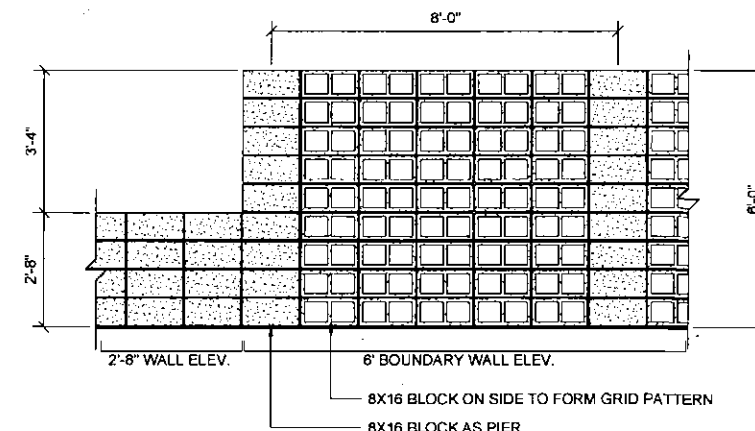
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002 Refuse Enclosure Section  
Scale: 1/2" = 1'-0"



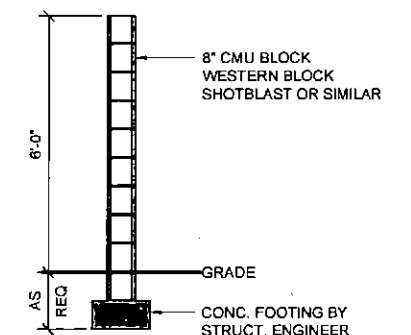
3  
002 Trellis Framing Plan Detail  
Scale: 1/4" = 1'-0"



4  
002 3' Site Wall Section  
Scale: 1/2" = 1'-0"

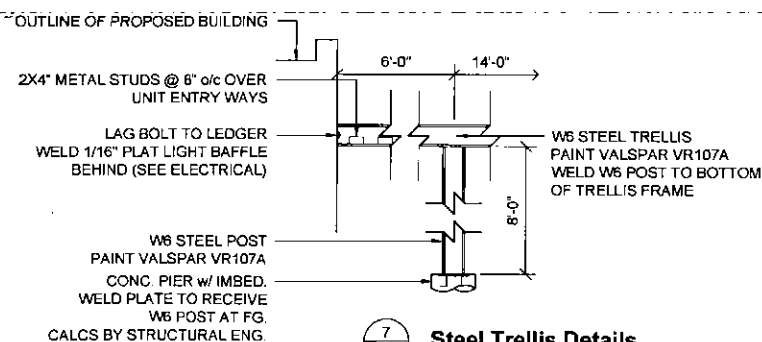


5  
002 Site Wall Elevations  
Scale: 1/2" = 1'-0"

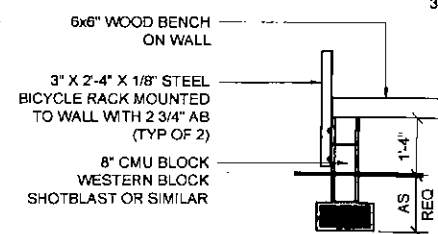


6  
002 6' Boundary Wall Section  
Scale: 1/8" = 1'-0"

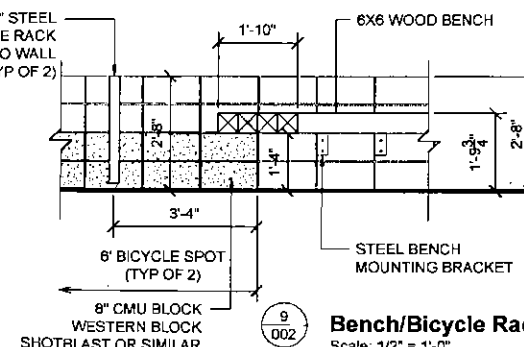
NOTE:  
Trellis bolt sizes and weld specifications to be determined by engineer.



7  
002 Steel Trellis Details  
Scale: 1/2" = 1'-0"

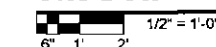


8  
002 Bench/Bicycle Rack Detail  
Scale: 1/2" = 1'-0"



9  
002 Bench/Bicycle Rack Elevation  
Scale: 1/2" = 1'-0"

## Site Details



Date:  
09.26.2015

DR Development Review Drawings

## The Holiday Apartments

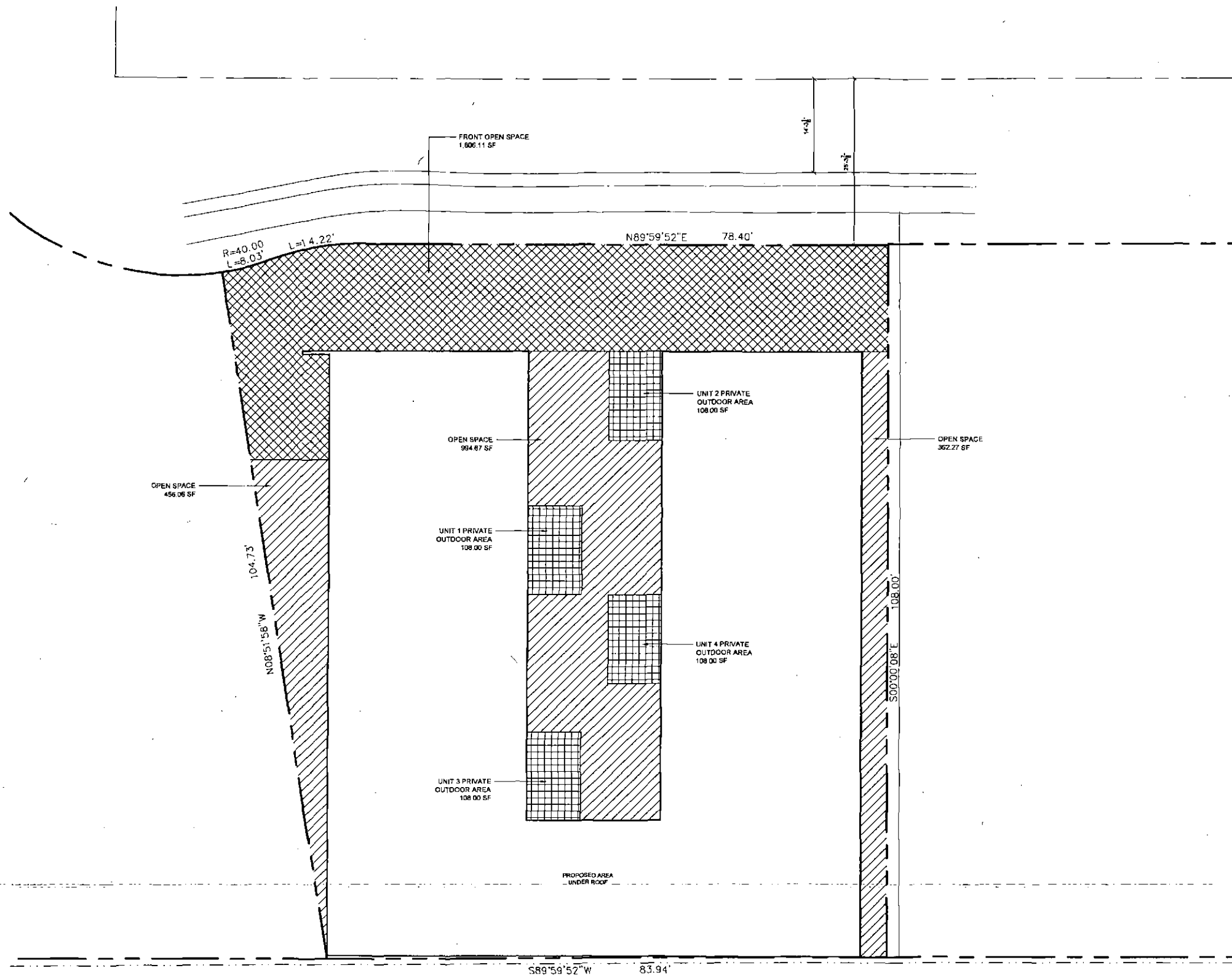
6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

Mancusi  
Design LLC

P.O. Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

002



## PROJECT INFORMATION

**Project Name**  
The Holiday  
Proposed Owner-Occupied Single-Level Quadplex.

**Project Address**  
6377 E Monterey Way  
Scottsdale, Arizona 85251

**Owner**  
Ada Rose and Nicholas Mancusi  
6125 E Indian School Road, #252 Scottsdale, Arizona 85251  
Phone: 603.401.1548  
Email: mancusi@gmail.com

**Code**  
International Building Code 2012

**Occupancy**  
Multi-Family Residence - (4 Units)

**Number of Bedrooms**  
6 (2 @ 2 Bedroom, 2 @ 1 Bedroom)

**Lot Size**  
9,934 SF / 0.22806 AC± Gross/Net

**Lot Coverage**  
Proposed Conditioned Space 4,485 SF  
Proposed Patio Space 432 SF  
Proposed Carport 1,280 SF  
Proposed Refuse Enclosure 150 SF  
Proposed Total Area 6,347 SF

**Allowed Coverage** 78% or 7,748.52 SF  
**Proposed Coverage** 63.8% or 6,347 SF

**Maximum Height**  
10'-6" Above Finish Floor (36' Allowed)

**Building Area**  
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Proposed Total of 4 Units 4,312 SF  
Proposed Storage 173 SF  
Proposed Total Conditioned Space 4,485 SF

**Zoning**  
R-5 Multi-Family Residential

## OPEN SPACE CALCULATIONS

**Required Open Space**  
Number of Dwelling Units per Acre: 4  
Minimum Percentage of Lot Area Required Open Space: 22  
.22 X NET Lot Area  
.22 X 9,934 SF = 2185.48 SF = 22%

**Open Space Provided**  
3619.11 SF = 36.4%

**Frontage Open Space Calculations**  
0.5 X REQ. Open Space  
0.5 X 2185.48 SF = 1092.74 SF  
1806.11 SF Provided

**Private Patio Outdoor Space Calculations**  
0.10 X Unit SF  
0.10 X 1078 SF = 107.8 SF (Per Each Unit)  
108 SF Provided per Each Unit.

## HATCH AREA KEY

- Front Open Space
- Private Patio Outdoor Space
- Open Space other than Front Open Space

## Site Plan

1" = 1'-0"  
1' 4' 8'

DR Development  
Review Drawings

## The Holiday Apartments

Date:  
09.26.2015

6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
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P# 03201

**Mancusi**  
Design LLC

PO Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

**003**



ROOM FINISH SCHEDULE													
ROOMS			WALLS				CEILINGS			PAINT			
NO.	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CLG.	HT.	N	S	E	W
001	STORAGE	CONC	WOOD	DW	STUCCO	GLDW	DW	DW	8'-8"	X	X	X	X
101	LIVING	CONC	WOOD	GLDW	OPNDW	GLAZE	DW	DW	8'-8"	X	X	X	X
102	KITCHEN	CONC	WOOD	OPNDW	OPNDW	DW	DW	DW	7'-6"	X	X	X	X
103	DINING	CONC	WOOD	OPNDW	DW	GLAZE	DW	DW	8'-8"	X	X	X	X
104	BEDROOM 2	CONC	WOOD	DW	DW	DW	GLDW	DW	8'-8"	X	X	X	X
105	BATH 2	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
106	BATH 1	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
107	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
108	DEN	CONC	WOOD	DW	DW	DW	GLDW	DW	8'-8"	X	X	X	X
201	LIVING	CONC	WOOD	OPNDW	DW	DW	GLAZE	DW	8'-8"	X	X	X	X
202	KITCHEN	CONC	WOOD	OPNDW	OPNDW	DW	DW	DW	7'-6"	X	X	X	X
203	DINING	CONC	WOOD	DW	OPNDW	DW	GLAZE	DW	8'-8"	X	X	X	X
204	BEDROOM 2	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X
205	BATH 2	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
206	BATH 1	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
207	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
208	DEN	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X
301	LIVING	CONC	WOOD	DW	OPNDW	GLAZE	DW	DW	8'-8"	X	X	X	X
302	KITCHEN	CONC	WOOD	OPNDW	OPNDW	DW	DW	DW	7'-6"	X	X	X	X
303	DINING	CONC	WOOD	OPNDW	DW	GLAZE	DW	DW	8'-8"	X	X	X	X
304	DEN	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X
305	BATH 2	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
306	BATH 1	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
307	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
308	BEDROOM 1	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X
401	LIVING	CONC	WOOD	OPNDW	DW	DW	GLAZE	DW	8'-8"	X	X	X	X
402	KITCHEN	CONC	WOOD	OPNDW	OPNDW	DW	DW	DW	7'-6"	X	X	X	X
403	DINING	CONC	WOOD	DW	OPNDW	DW	GLAZE	DW	8'-8"	X	X	X	X
404	DEN	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X
405	BATH 2	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
406	BATH 1	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
407	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
408	BEDROOM 1	CONC	WOOD	DW	DW	GLDW	DW	DW	8'-8"	X	X	X	X

#### SYMBOL KEY

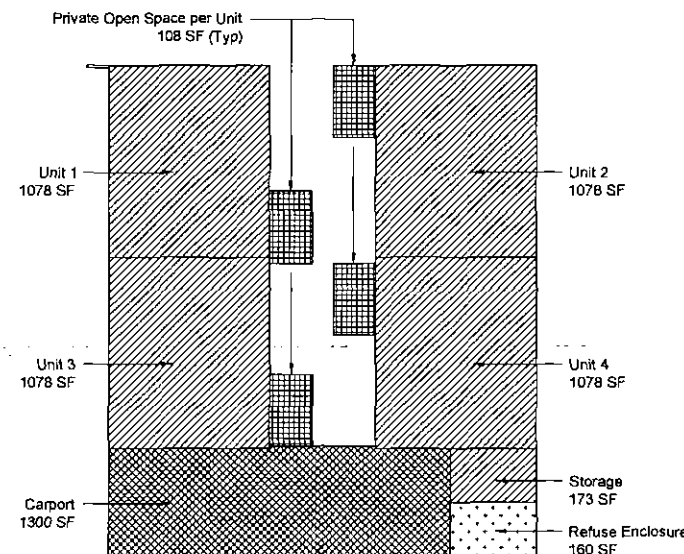
000	ROOM NUMBER
000	DOOR NUMBER
W00	WINDOW NUMBER

#### DOOR SCHEDULE

DOORS						FRAMES							
NO.	QTY.	DR.	SIZE	MAT.	TYPE	FIN.	TYPE	MAT.	FIN.	COLOR	MAT.	FIN.	COLOR
D01	5	L	12'-0" X 6'-0"	GL	"A"	CLM	SLIDING	ALUM	ALUM	AB	AB	AB	AB
D02	1	R	2'-0" X 7'-0"	STEEL	"B"	PAINT	STEEL	ALUM	ALUM	AB	AB	AB	AB
D03	4	L	2'-0" X 6'-0"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	WHT	WHT	WHT
D04	4	R	2'-0" X 6'-0"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	WHT	WHT	WHT
D05	4	L	2'-0" X 6'-0"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	WHT	WHT	WHT
D06	4	R	2'-0" X 6'-0"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	WHT	WHT	WHT
D07	1	R	2'-0" X 6'-0"	WOOD	"C"	PAINT	POCKET	WOOD	PAINT	WHT	WHT	WHT	WHT
D08	4	NA	8'-0" X 6'-0"	WOOD	"C"	PAINT	SLIDING	WOOD	PAINT	WHT	WHT	WHT	WHT
D09	1	NA	8'-0" X 6'-0"	WOOD	"C"	PAINT	SLIDING	WOOD	PAINT	WHT	WHT	WHT	WHT

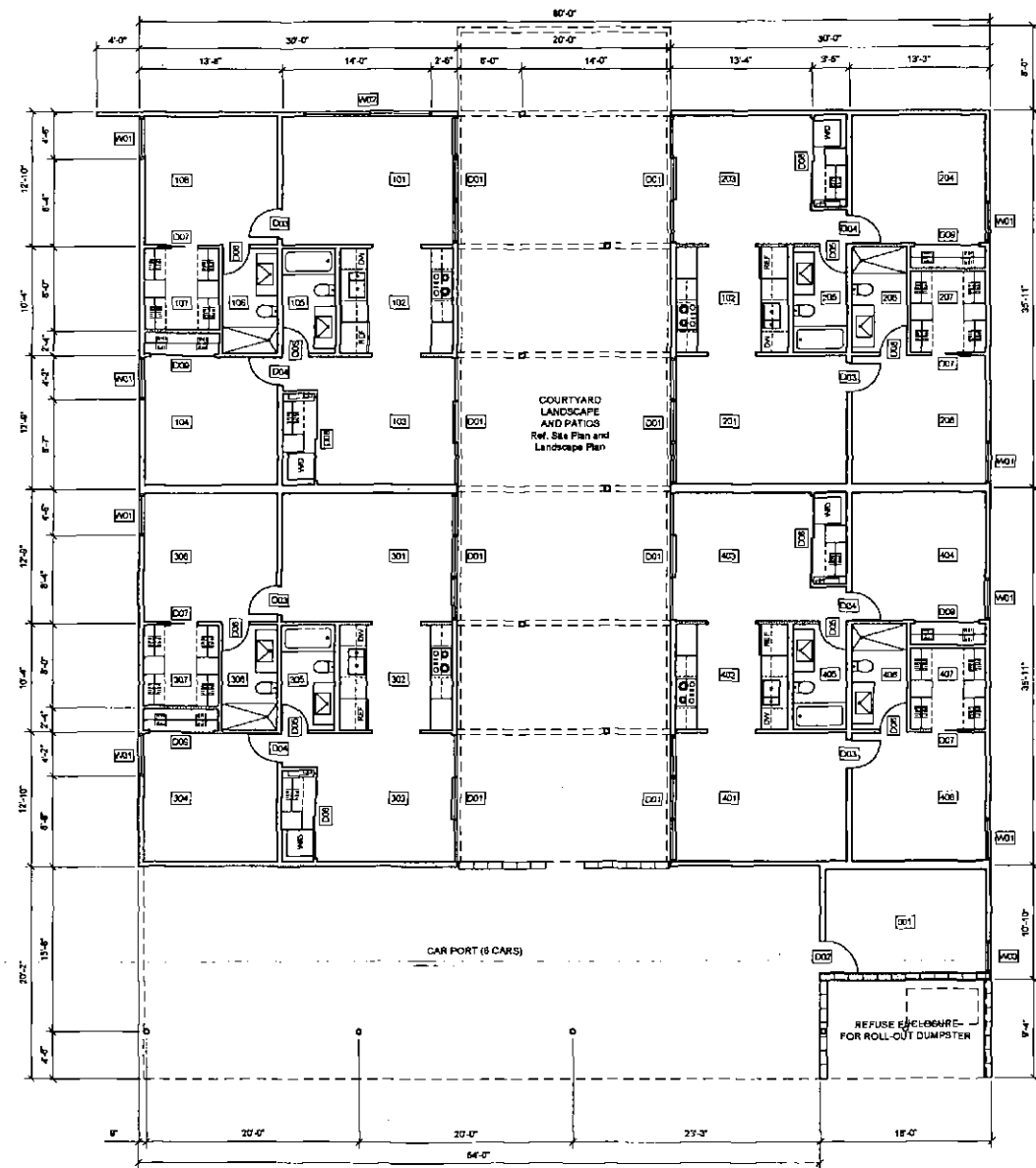
#### WINDOW SCHEDULE

WINDOWS							FRAMES				
NO.	QTY.	OPR.	SIZE	MAT.	TYPE	FIN.	TYPE	MAT.	FIN.	SGR.	
W01	5	Y	4'-0" X 7'-0"	GL	"T"	LOWE- CLR	TERMAL	ALUM	AB	Y	
W02	1	N	12'-0" X 1'-6"	GL	"T"	LOWE- CLR	TERMAL	ALUM	AB	N	
W03	1	Y	2'-0" X 7'-0"	GL	"T"	LOWE- CLR	TERMAL	ALUM	AB	N	



#### Floor Plan Areas

1/16" = 1'-0"



#### BUILDING PROGRAM

##### Two-Bedroom Unit (Unit Number 3 & 4)

Living Room  
Dining Room/Entry  
Kitchen  
Bath  
Master Bedroom  
Master Bath  
Walk-In-Closet  
Bedroom 2  
Rental Rate Factor:  
1.4 per SF  
Square Footage:  
1078 SF

##### One-Bedroom Unit (Unit Number 1 & 2)

Living Room  
Dining Room/Entry  
Kitchen  
Bath  
Master Bedroom  
Master Bath  
Walk-In-Closet  
Den  
Rental Rate Factor:  
1.2 per SF  
Square Footage:  
1078 SF



#### Building Floor Plan

1" = 1'-0"  
1' 4' 8'

DR Development  
Review Drawings

#### The Holiday Apartments

Date:  
09.26.2015

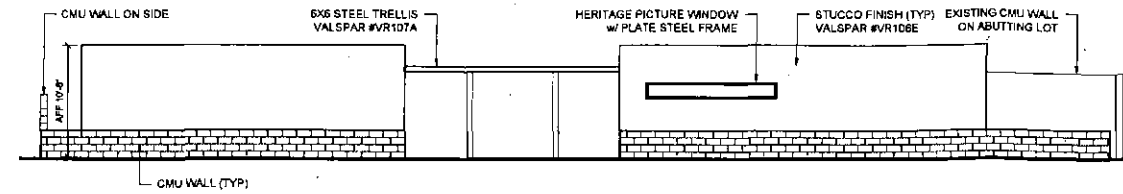
6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

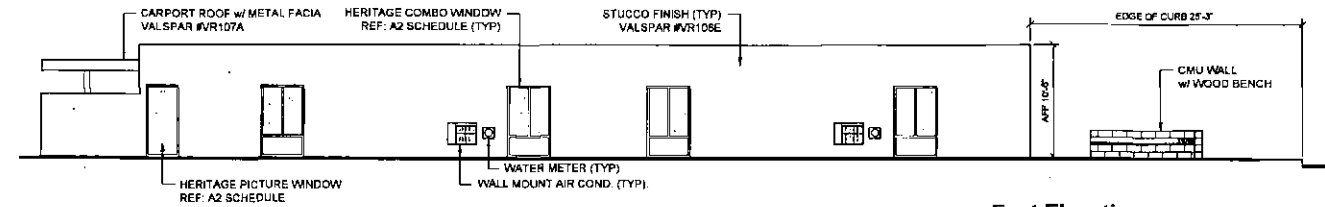
Mancusi  
Design LLC

PO Box 305  
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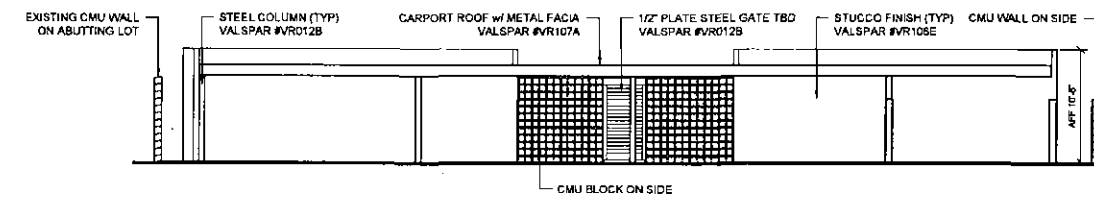
004



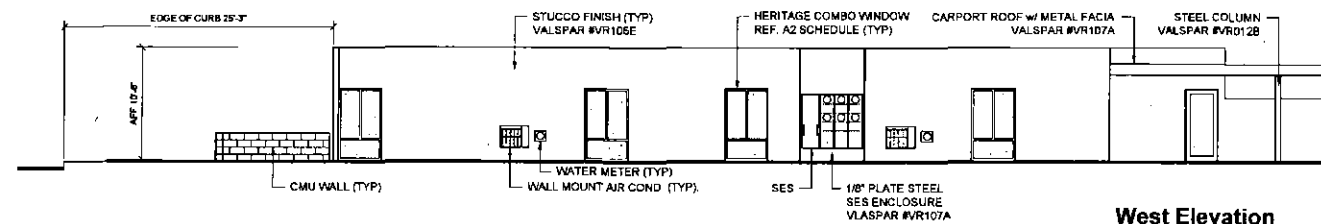
**North Elevation**  
Scale: 1/8" = 1'-0"



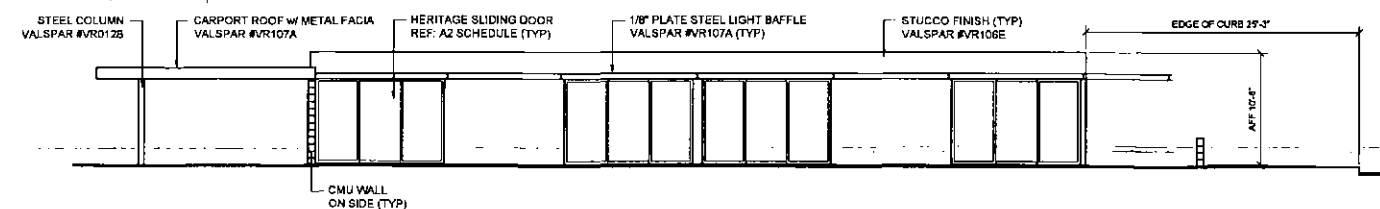
**East Elevation**  
Scale: 1/8" = 1'-0"



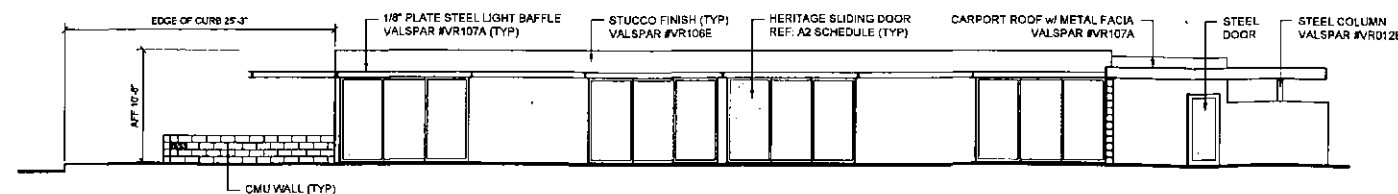
**South Elevation**  
Scale: 1/8" = 1'-0"



**West Elevation**  
Scale: 1/8" = 1'-0"



**Courtyard East Elevation**  
Scale: 1/8" = 1'-0"



**Courtyard West Elevation**  
Scale: 1/8" = 1'-0"

**Color Legend**

Valspar #VR108E - 2015 Name: Transparent  
Valspar #VR107A - 2015 Name: Vintage Fram  
Valspar #VR012B - 2015 Name: Bonjour

**Building Elevations**

1' 4' 8' 1/8" = 1'-0"

**DR** Development Review Drawings

**The Holiday Apartments**

Date:  
11.13.2015

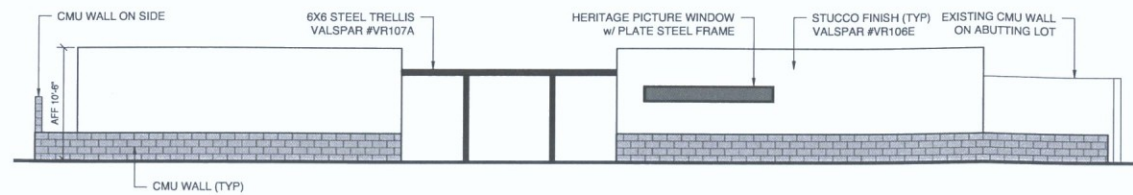
6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

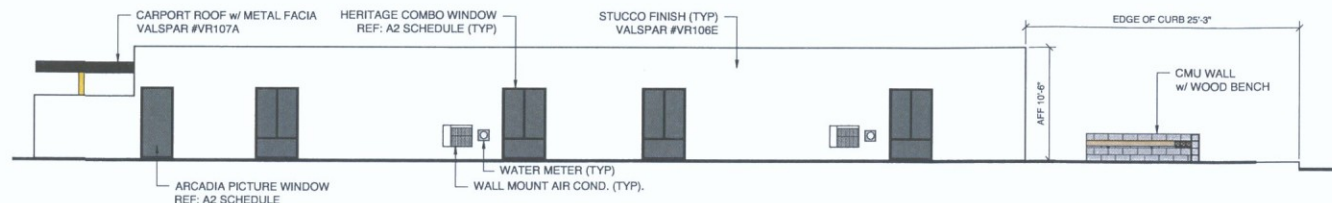
**Mancusi Design LLC**  
PO Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

**005**

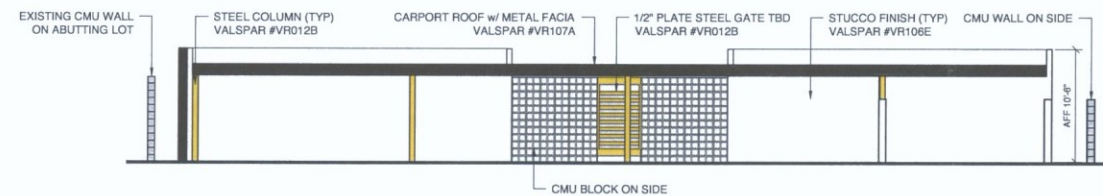




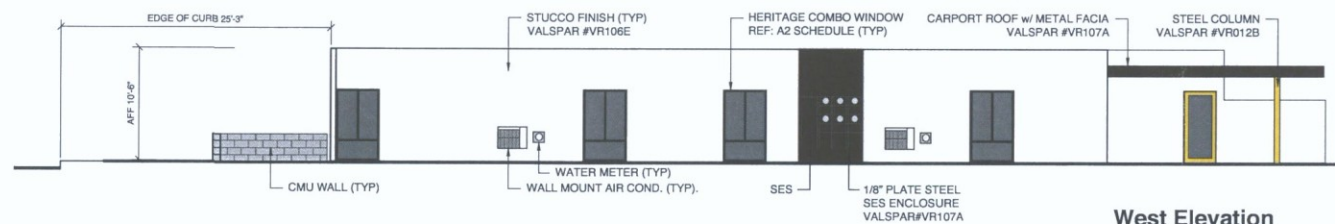
North Elevation  
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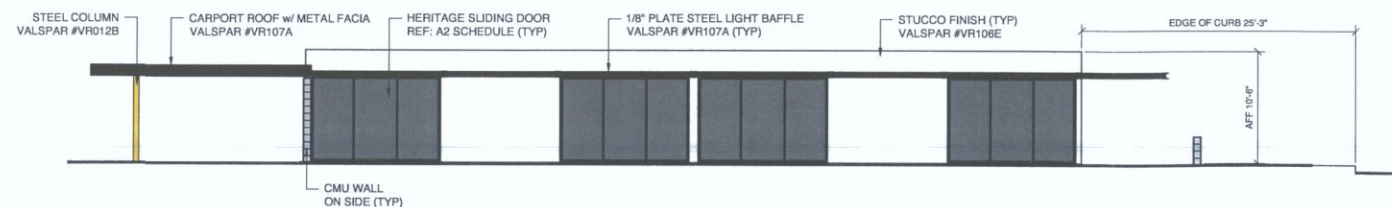
East Elevation  
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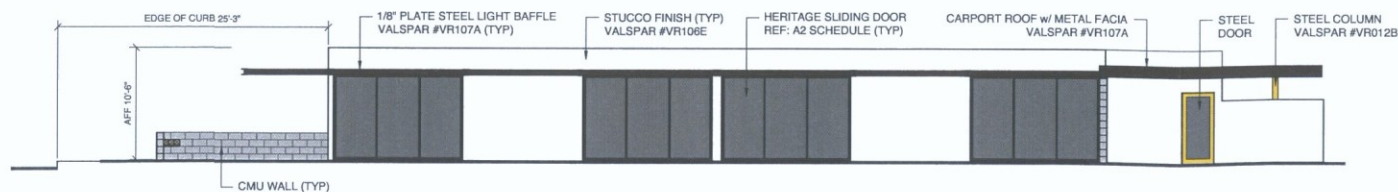
South Elevation  
Scale: 1/8" = 1'-0"



West Elevation  
Scale: 1/8" = 1'-0"



Courtyard East Elevation  
Scale: 1/8" = 1'-0"



Courtyard West Elevation  
Scale: 1/8" = 1'-0"

#### Color Legend

Valspar #VR106E - 2015 Name: Transparent  
Valspar #VR107A - 2015 Name: Vintage Frame  
Valspar #VR012B - 2015 Name: Bonjour

#### Colored Building Elevations



DR Development  
Review Drawings

#### The Holiday Apartments

Date:  
11.13.2015

6637 East Monterey Way, Scottsdale, Arizona 85251  
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Mancusi  
DesignLL

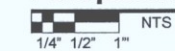
PO Box 305  
Scottsdale, Arizona 85252-0305  
mancusidesign.com

006





Perspective



Date:  
09.26.2015

DR | Development  
Review Drawings

## The Holiday Apartments

6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

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| 008





# Streetscape

1/4" 1/2" 1" NTS

Date:  
09.26.2015

DR Development  
Review Drawings

## The Holiday Apartments

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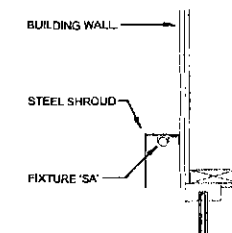
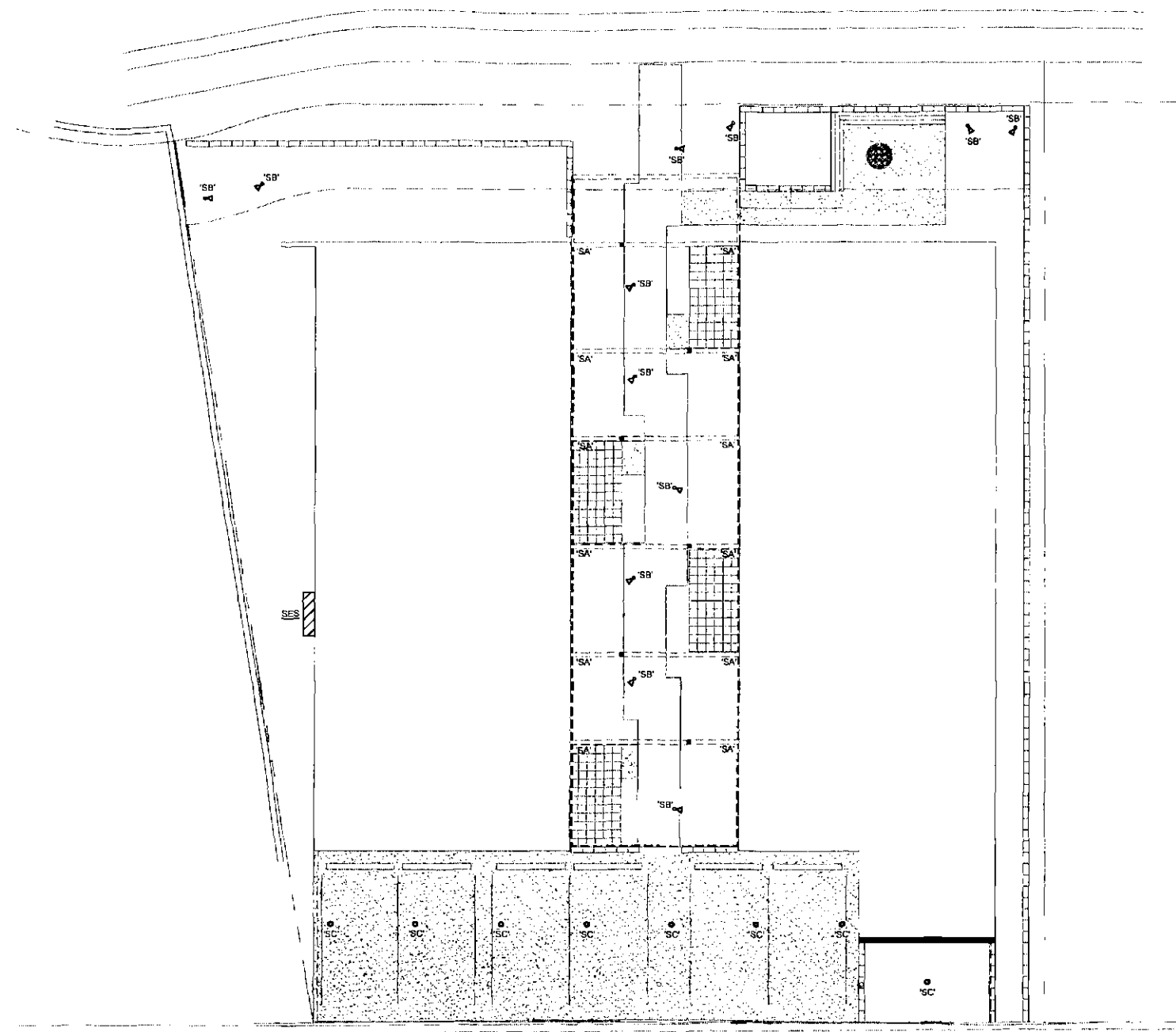
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| 009





**FIXTURE 'SA' MOUNTING DETAIL**

SCALE: \_\_\_\_\_ NCMF



**WOODWARD ENGINEERING**  
 WE # 15104  
 203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, AZ. 85281  
 T 480.854-4027 • F 480.854-1082 • www.woodward-engineering.com

**Site Plan**

1" = 4' 8" 1/8" = 1'-0"

**DR** Development Review Drawings

**The Holiday Apartments**

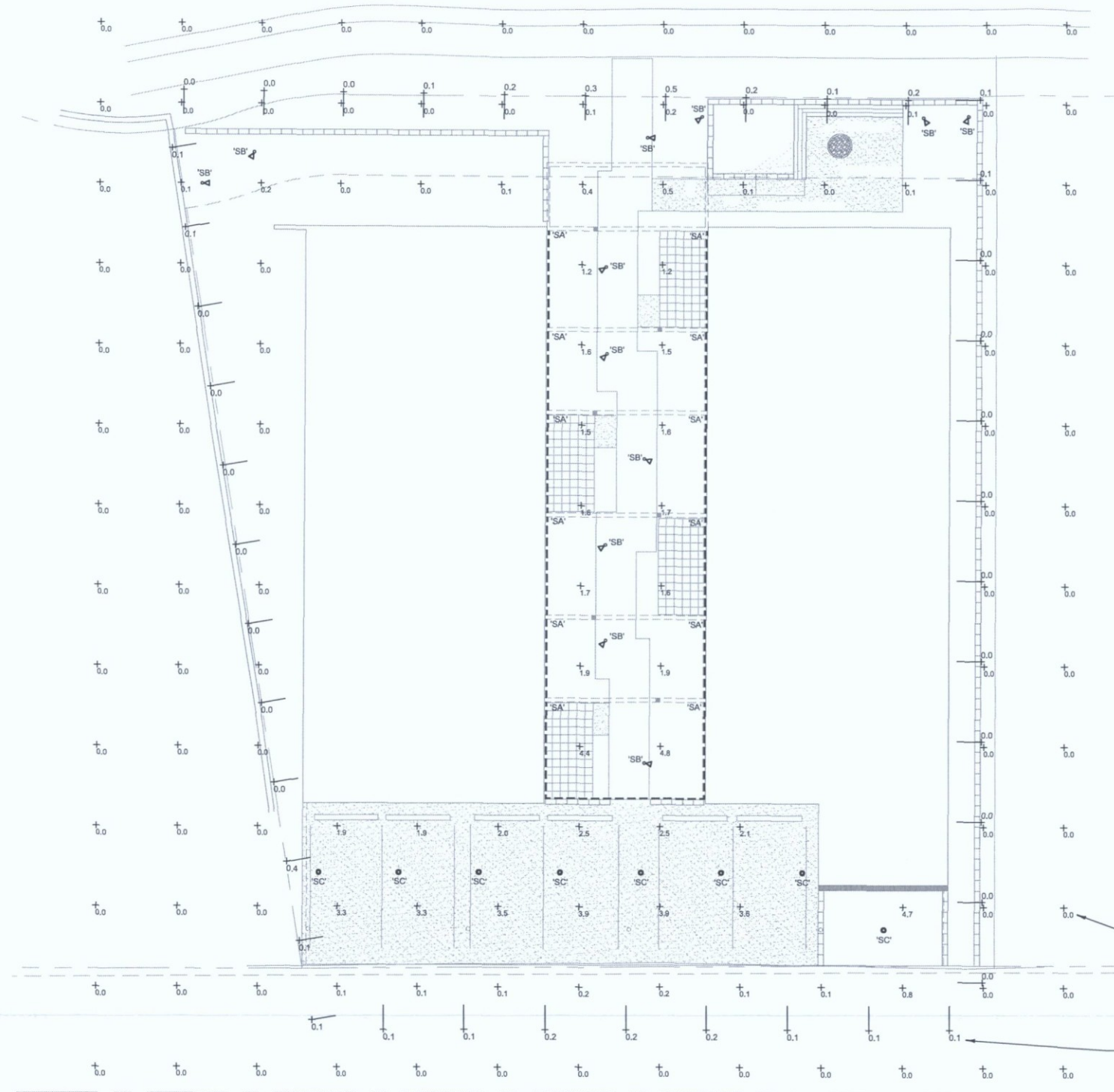
Date: 07.21.2015  
 6637 East Monterey Way, Scottsdale, Arizona 85251  
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 P# 03201

**Nicholas and Ada Rose Mancusi**  
 6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
 P# 03201

**SITE PLAN**  
 SCALE: 1/8" = 1'-0" N

**Mancusi Design LLC**  
 PO Box 305  
 Scottsdale, Arizona 85252-0305  
 mancusidesign.com

**E01**



INITIAL LIGHTING FIXTURE SCHEDULE											
SYMBOL	TAG	MTG.	MANUFACTURER	CATALOG No.	VOLT	LAMPS					REMARKS
						No.	TYPE	LUMENS	C. TEMP	LLF	
---	'SA'	SURF	JESCO	DL-AC-FLEX-27	120	--	5W / FT LED	480/FT	2700K	1.0	120 V LED FLEX TAPE FULLY SHIELDED IN METAL SHROUD. MOUNTED AT APPROX 8' AFG
ed	'SB'	GND	WINSCAPE	ASPEN A SMR35 12 NFL FLC KM STK C2 DBL	12	--	9W LED MR16	590	2700K	1.0	BLACK L.V. LANDSCAPE LIGHT MOUNTED AT APPROX 6' AFG
●	'SC'	REC	GOATHAM	EVO 27/07 4AR WD LSS 120	120	--	10 W LED	750	2700K	1.0	4" ROUND LED DOWNLIGHT MOUNTED AT APPROX. 7'-0" AFG

MAINTAINED LIGHTING FIXTURE SCHEDULE											
SYMBOL	TAG	MTG.	MANUFACTURER	CATALOG No.	VOLT	LAMPS				REMARKS	
						No.	TYPE	LUMENS	C. TEMP		LLF
---	'SA'	SURF	JESCO	DL-AC-FLEX-27	120	--	5W / FT LED	480/FT	2700K	0.9	120 V LED FLEX TAPE FULLY SHIELDED IN METAL SHROUD. MOUNTED AT APPROX 8' AFG
ed	'SB'	GND	WINSCAPE	ASPEN A SMR35 12 NFL FLC KM STK C2 DBL	12	--	9W LED MR16	590	2700K	0.9	BLACK L.V. LANDSCAPE LIGHT MOUNTED AT APPROX 6' AFG.
●	'SC'	REC	GOATHAM	EVO 27/07 4AR WD LSS 120	120	--	10 W LED	750	2700K	0.9	4" ROUND LED DOWNLIGHT MOUNTED AT APPROX. 7'-0" AFG

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site - Maintained LLF=.9	Illuminance	Fc	0.36	4.8	0.0	N.A.	N.A.
Property line trespass - Initial LLF=1.0	Illuminance	Fc	0.09	0.5	0.0	N.A.	N.A.

ALL FIXTURES AND ASSOCIATED HARDWARE TO BE BLACK OR DARK BRONZE.



WE # 15104  
**WOODWARD ENGINEERING**  
203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, AZ. 85281  
T 480.894.4057 • F 480.894.1063 • www.woodward-engineering.com

**Site Photometric Plan** **DR** Development Review Drawings  
**The Holiday Apartments**  
Date: 07.21.2015  
6637 East Monterey Way, Scottsdale, Arizona 85251  
Proposed Single Level Owner-Occupied Quadplex  
P# 03201

Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252, Scottsdale, Arizona 85251  
P# 03201

**SITE PHOTOMETRIC PLAN**  
SCALE: 1/8" = 1'-0"

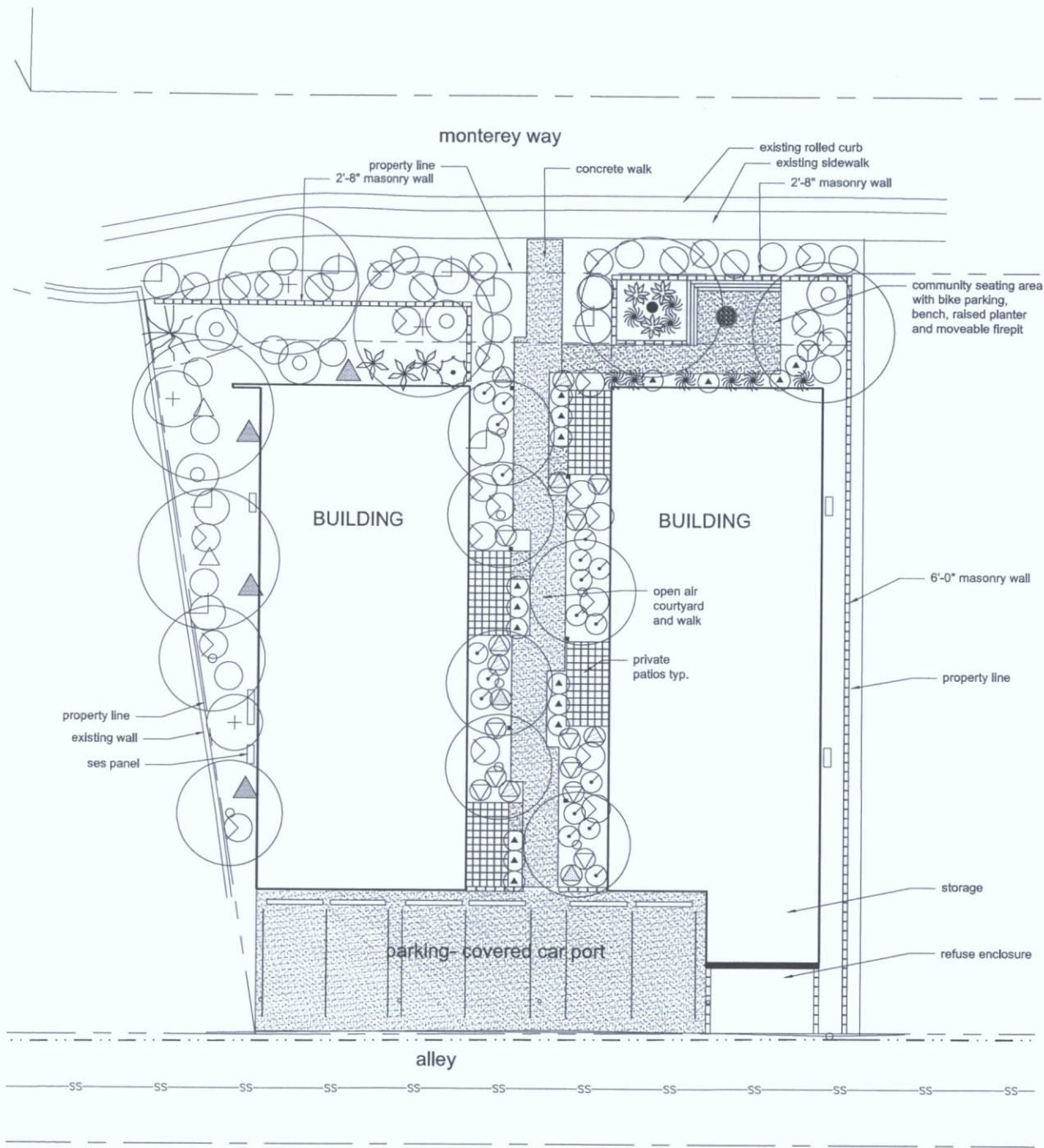
**Mancusi Design** LLC  
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**E02**









**LANDSCAPE LEGEND**  
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

TREES		Size
Parkinsonia sp.	Blue Palo Verde	15 Gallon
Prosopis velutina	Native Mesquite	15 Gallon
Prosopis hybrid 'Phoenix'	Hybrid Phoenix Mesquite	15 Gallon
Caesalpinia mexicana	Mexican Bird of Paradise	15 Gallon
SHRUBS		Size
Tecoma stans	Arizona Yellow Bells	5 gallon
Larrea tridentata	Creosote	5 gallon
Justicia californica	Chuparosa	5 gallon
Viguiera deltoidea	Golden Eye	5 gallon
Encelia farinosa	Brittle Bush	5 gallon
Aloe barbadensis	African Aloe	5 gallon
Justicia fulvicoma	Mexican Plume	5 gallon
Gaura lindheimeri	Gaura	5 gallon
CACTI/SUCCULENTS		Size
Fouquieria splendens	Ocotillo	16" box
Lophocereus schottii	Totem Pole	5 gallon
Opuntia ficus indica	Thornless Prickly-pear	5 gallon
Agave Weberii	Weber's Agave	5 gallon
Agave desertiana	Smooth Agave	5 gallon
Asclepias subulata	Desert Milkweed	5 gallon
Lophocereus monstrosa	Native Totem Pole	5 gallon
Euphorbia antisyphilitica	Candelilla	5 gallon
INERT GROUNDCOVER		
refer to specifications for composition and application		
Recycled concrete rip rap at downspouts and areas called for on civil		
2" thickness of 3/4" minus Decomposed Granite in all landscape areas		

**CITY OF SCOTTSDALE NOTES**

Areas of decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage. (If you're in an ELSO or HD area, delete the "decomposed granite and put "salvaged desert surface soil")

A minimum of 50 percentage of the provided trees shall be mature trees, pursuant to the City of Scottsdale's Zoning Ordinance Article Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article III, Section 3.100

A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6 inches above finished grade adjacent to the trunk.

A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk.

A multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 6" above finished grade if all trunk -originate from the soil.

Area within the Sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet \* Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.

No turf areas are to be provided.

Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders - etc.) shall require additional final plans staff review and approval.

All right-of-way adjacent to this property shall be landscaped and maintained by the property

Prior to the establishment of water service, nonresidential projects with an estimated annual water demand often (10) acre-feet or more shall submit a conservation plan in conformance with Sections 49-245 through 49-248 of the City Code to the Water Conservation Office. II

Turf shall be limited to the maximum area specified in Sections 49-245 through 49-248 of the City Code and shall be shown on landscape plans submitted at the time of final plans.

No lighting is approved with the submittal.

The landscape specification section(s) of these plans have not reviewed and shall not be part of the City of Scottsdale's Approval.

All signs require separate permits and approvals.

New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the Certificate of Occupancy / Letter of Acceptance to the satisfaction of the Inspection Services Staff.

NOTE: NO TREES, SHRUBS OR WALLS SHALL BE WITHIN A 5' RADIUS OF ALL FIRE HYDRANT AND OR FIRE DEPARTMENT CONNECTION.

**GENERAL LANDSCAPING NOTES:**

The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (See specifications)

For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.

The Landscape Architect is to approve any and all substitutions.

Plant list provided for contractor's convenience only. Plans take precedence.

Double stake all 15 gallon and 24" box trees as required.

Sprinkler Contractor must guarantee 100% coverage in all landscape areas.

Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.

Finished grade in ground cover, granite and lawn areas shall be 1" below adjacent header board, paving, curbing, etc.

Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.

Ground cover and/or decomposed granite shall extend under shrubs unless noted.

After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.

Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.

All earthwork is to be done so that all water drains away from all structures.

A pre-emergent herbicide is to be applied to all granite areas after the granite has been laid. Include all river rock areas, granite rip rap etc., if applicable.

All underground conduits are to be located before digging. If doubt exists call Blue Stake at (602) 263-1100.

All material to be guaranteed for a period of one (1) year after final acceptance.

Landscape Contractor is responsible for moving, rough grade, and final grading on all landscaped areas.

A planting mix of 1/3 mulch, 2/3 native soil mixed thoroughly is to be used as plant backfill.

Remove existing grass and weeds from all areas to be converted into decomposed granite areas. Site verify all existing turf conditions.

Review site and conditions prior to bidding. Any discrepancies are to be brought to the attention of the Landscape Architect immediately and clarified in the bid. No change orders due to field conditions will be accepted once the contract has been awarded.

In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.

Existing landscape to be preserved. Repair damaged areas as necessary. See existing landscape and irrigation notes.

All existing trees are to be protected and watered during all phases of construction. If any tree should die from damage or neglect, it shall be replaced with a like species and size.

Apply systemic spray to remove existing weeds and grasses. (see Recommended Turf Removal Methodology).

Reseed as necessary to repair demolition of existing planters.

All finished granite areas are to be 1" below all sidewalks and curbs.

Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the LA prior to any planting.

Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from LA in writing.



Chris Winters & Associates + ARC studios  
820 North 3rd Street, Phoenix, Arizona 85004  
Tel: 602.955.8088, Fax: 602.253.3606  
email: cwi@cwadstudio.com  
landscape architecture urban design

The Holiday  
6637 East Monterey Way  
Scottsdale, Arizona 85251  
landscape plan

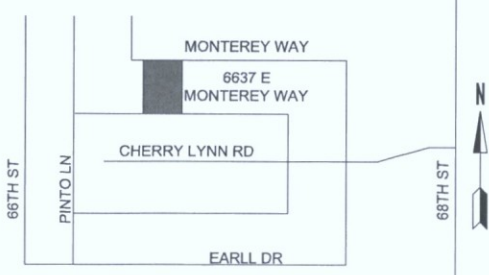
Drawn: CW  
Checked: CW  
Date: 2015-07-27  
Revisions: 9-25-15

CITY NUMBERS  
35-DR-2015

L1

1 of 1

**OWNER**  
Nicholas and Ada Rose Mancusi  
6125 E Indian School Road, #252  
Scottsdale, Arizona 85251  
**ZONING**  
R-5



**VICINITY MAP**



**LANDSCAPE PLAN  
APPROVED  
CITY OF SCOTTSDALE**

CASE NUMBER APPROVED BY DATE  
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.

**landscape plan**



# NOTES:

- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1' ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 602-263-1100.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- THIS SITE PLAN SHOWS ALL OF THE PLANTS OF ARCHITECTURAL SIGNIFICANCE IN THE AREA OF CONSTRUCTION. THE CITY OF SCOTTSDALE PLANT ORDINANCE IS LESS RESTRICTIVE AND ONLY PERTAINS TO CACTI OF 3' & TALLER & TREES 4' # OR LARGER.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- MATERIAL USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
- SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
- DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES SHOULD BLEND WITH SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LAND FORM AND MINIMIZE EXPOSED SCARS.
- EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OF FROM PUBLIC VIEWPOINT.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
- ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.
- HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
- ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.
- ALL ABOVE GROUND UTILITY EQUIPMENT COVERED BY THIS PERMIT SHALL BE SCREENED OR PAINTED TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT TO AVOID HIGH CONTRAST.
- SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
- PLANT MATERIALS THAT ARE NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE FROM LOWER ELEVATION.
- REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
- REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTED OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
- MIRRORED SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORED SURFACE ARE PROHIBITED.
- THE OWNER AND/OR CONTRACTOR INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LANDFORM AND MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR LIGHT FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF.)
- ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.

# NOTES:

- A REGISTERED LAND SURVEYOR SHALL STAKE AND ROPE OR FENCE THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT IN ACCORDANCE WITH THE SITE PLAN AND THE EASEMENT LEGAL DESCRIPTION.
- NO PAINT COLORS SHALL BE USED WHICH HAVE A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
- TEMPORARY /SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- NO NATIVE PLANTS ARE PERMITTED TO BE DISTURBED DO TO CONSTRUCTION AND RELATED ACTIVITIES ASSOCIATED WITH THIS APPROVAL.
- POSITIVE DRAINAGE AWAY FROM STRUCTURES, (5% MIN. FOR 10 FEET)
- POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.

# LEGEND:

BAR	BARREL CACTUS
BLDR	BOULDER
BJ	BOULDER JUMBLE
BSL	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CC	CAT CLAW
CFC	CHAIN FRUIT CHOLLA
CT	CRUCIFIXION THORN
(C)	DENOTES CALCULATED
(M)	DENOTES MEASURED
(R)	DENOTES RECORDED
DE	DIRECTION OF DRAINAGE
EDA	DRAINAGE EASEMENT
(EXIST)	EDGE OF DISTURBED AREA
ELEC	ELECTRIC
00.0	EXISTING CONTOUR
(00.0)	EXISTING ELEVATION
(EXIST)	EXISTING FIRE HYDRANT
FND	FOUND
◇	FOUND BUILDING ENVELOPE STAKE
◇	FOUND MONUMENT
GPE	GENERAL PURPOSE EASEMENT
IW	IRONWOOD
ICV	IRRIGATION CONTROL VALVE
MESQ	MESQUITE
OCO	OCOTILLO
PV	PAVED VERGE
PL	POWER LINES
00.0	PROPOSED CONTOUR
PUE	PROPOSED ELEVATION
o	PUBLIC UTILITIES EASEMENT
o	RECORD MONUMENT
RO	RIP-RAP (SEE NOTE 9)
SAG	ROCK OUTCROP
SAG	SAGUARO CACTUS
(EXIST)	TELEPHONE RISER
TEL.PED.	
T/C	TOP OF CURB
TF	TOP OF FOOTING
TR	TOP OF RAIL
TW	TOP OF WALL
VNAE	VEHICULAR NON-ACCESS EASEMENT
①	WALL OPENING FOR DRAINAGE (8"x16")
WM	WATER METER BOX
WMS	WATER METER BOX WITH SERVICE
WV	WATER VALVE
Y	YUCCA
YC	YUCCA CLUMP
Y	YUCCA(S) under 6' in height (unless otherwise indicated)
OS	OPEN SPACE
S.F.E.	SUBDIVISION FACILITIES EASEMENT

# BENCHMARK:

FND COS BRASSCAP IN HAND HOLE, DOWN 0.7' AT INTERSECTION OF OSBORN ROAD & 68TH STREET. ELEVATION = 1255.76 (NAVD-88)

# T.B.M.:

FND BRASSCAP (FLUSH) AT INTERSECTION OF MONTEREY WAY & 66TH PLACE NEAR NORTH WEST PROPERTY CORNER OF LOT 50 ELEVATION = 1254.05 (NAVD-88)

# BENCHMARK CERTIFICATION:

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK.

# GRADING & DRAINAGE PLAN

## LOT 50 HOLIDAY PARK

RECORDED IN BOOK 76 OF MAPS, PAGE 14 M.C.R. SITUATED IN THE SW ¼ OF SECTION 27, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN SCOTTSDALE, MARICOPA COUNTY, ARIZONA.

## FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
045012	2235 (10/16/13)	L	(10/16/13)	D	N/A

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100 YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE FLOODWAYS AND FLOODPLAIN ORDINANCE, CHAPTER 37, S.R.C..

## SCOTTSDALE FIRE DEPARTMENT ACCESS REQUIREMENTS:

ACCESS GRADES FROM 0% TO 12% FOR SINGLE FAMILY RESIDENCE					
DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-A-ROUND REQUIRED	HOSE LAY	SPRINKLER REQUIREMENTS MOD-13D
LESS THAN 200 FEET	12	AW	NO	< 200 FEET	YES

## POOL ENCLOSURES:

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVEGROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096 ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

## PLANT SALVAGE NOTE:

ON-SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES ONLY. ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGE ABILITY, REMOVAL AND/OR RELOCATION OF ON-SITE PLANT MATERIALS. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.

## UTILITIES NOTE:

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

## WALL INFO:

RETAINING WALLS=	N/A
NON-RETAINING WALLS	385 LF.

## GUEST HOUSE NOTE:

GUEST HOUSE SHALL NEVER BE OFFERED FOR RENT. GUEST HOMES ON LOTS UNDER 35,000 SQ. FT. MAY NOT PROVIDE COOKING FACILITIES. A GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.

## LOT DATA:

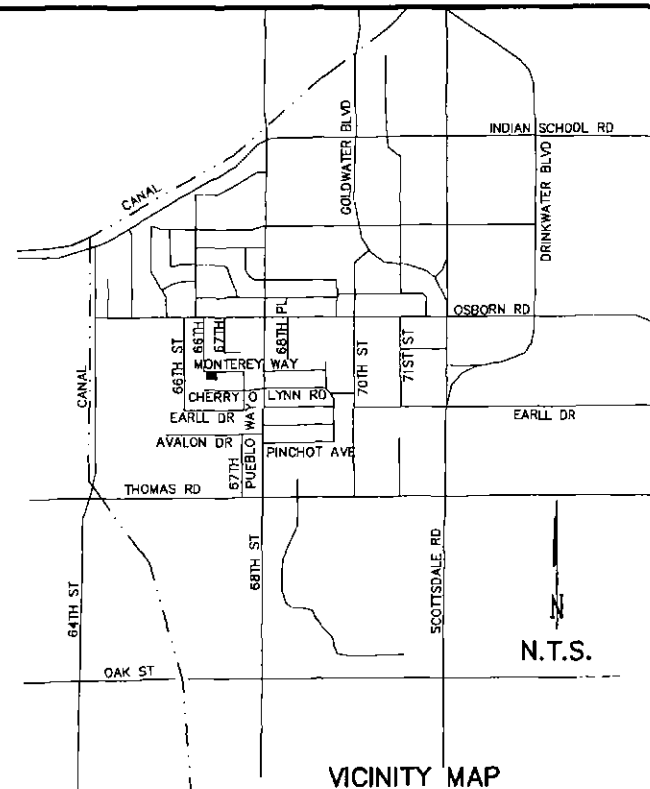
AREA=	9,934 S.F. / 0.22806 AC.±
SLOPE=	PRE-ENGINEERED
NAOS REQUIRED=	N/A S.F.
NAOS PROVIDED=	N/A S.F.
LANDFORM=	LOWER-DESERT

## ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



**PRELIMINARY**



## CLIENT:

NICK MANCUSI  
6125 E. INDIAN SCHOOL ROAD #252  
SCOTTSDALE, AZ 85251  
MANCUSIN@GMAIL.COM  
262-224-1333

## OWNER:

NICHOLAS & ADA ROSE MANCUSI  
6125 E. INDIAN SCHOOL ROAD #252  
SCOTTSDALE, AZ 85251

## SITE ADDRESS:

6637 E. MONTEREY WAY  
SCOTTSDALE, AZ 85251

## ASSESSORS PCL. NO.:

130-47-094

## ZONING:

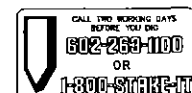
R-5 DO

## C.O.S. QUARTER-SECTION NO.:

15-43

## DATE:

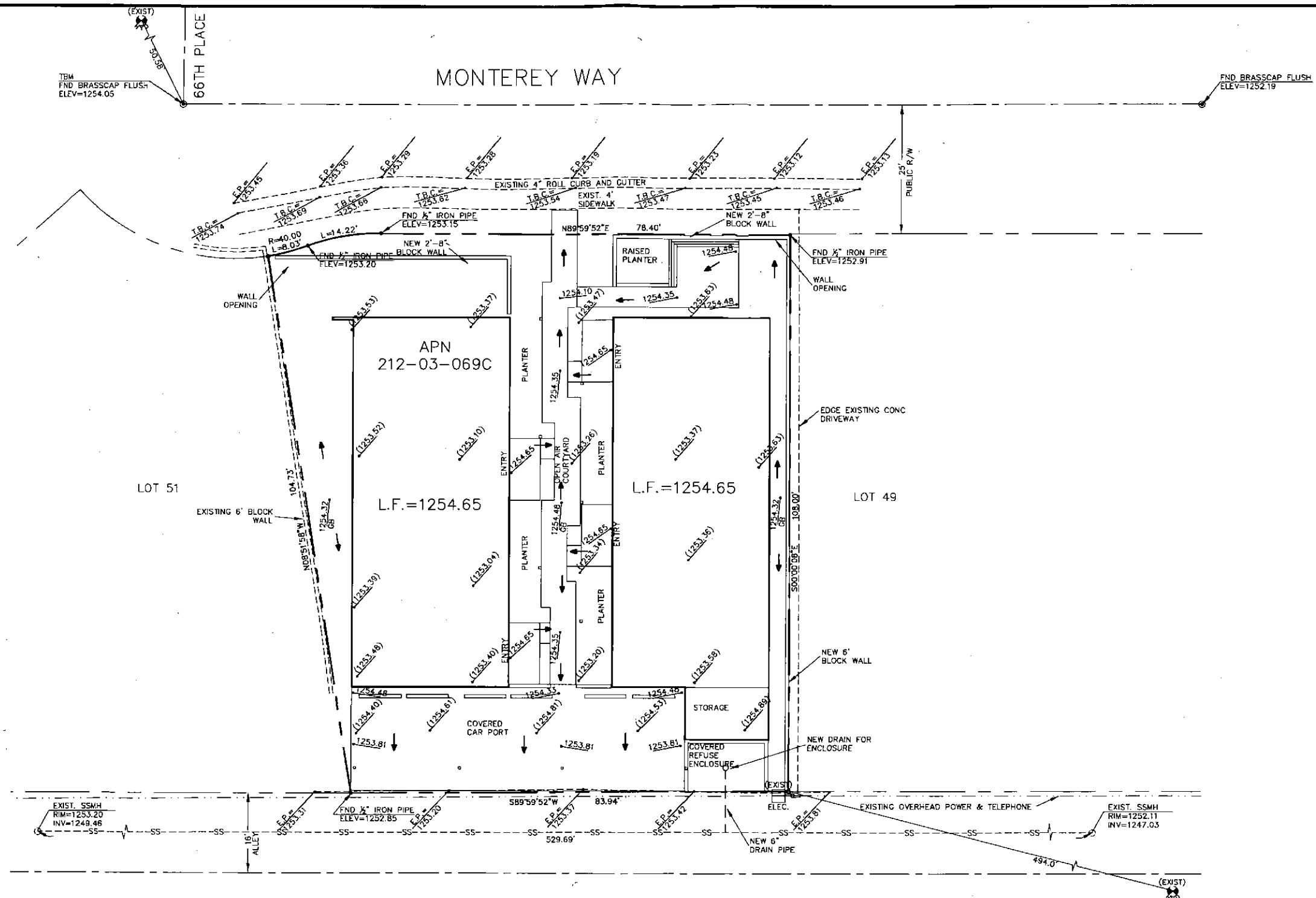
PHASE I	04-30-15	BF
PHASE II	07-24-15	BR
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## GRAHAM SURVEYING & ENGINEERING INC.

Civil Engineers & Land Surveyors  
P.O. BOX 1240, Carefree, Arizona 85377  
(480) 488-4393

LOT 50 HOLIDAY PARK, SHT. 1 OF 2, JOB #15-067p20



#### BENCHMARK:

FND COS BRASSCAP IN HAND HOLE, DOWN 0.7" AT INTERSECTION OF OSBORN ROAD & 68TH STREET. ELEVATION = 1255.78 (NAVD-88)

#### T.B.M.:

FND BRASSCAP (FLUSH) AT INTERSECTION OF MONTEREY WAY & 66TH PLACE NEAR NORTH WEST PROPERTY CORNER OF LOT 50. ELEVATION = 1254.05 (NAVD-88)

#### BENCHMARK CERTIFICATION:

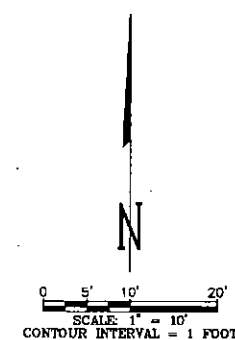
I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK.

#### ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



**PRELIMINARY**



#### DATE:

PHASE I	04-30-15	BF
PHASE II	07-24-15	BR
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**GRAHAM SURVEYING & ENGINEERING INC.**

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LOT 50 HOLIDAY PARK, SHT. 2 OF 2, JOB #15-067p20

C-2