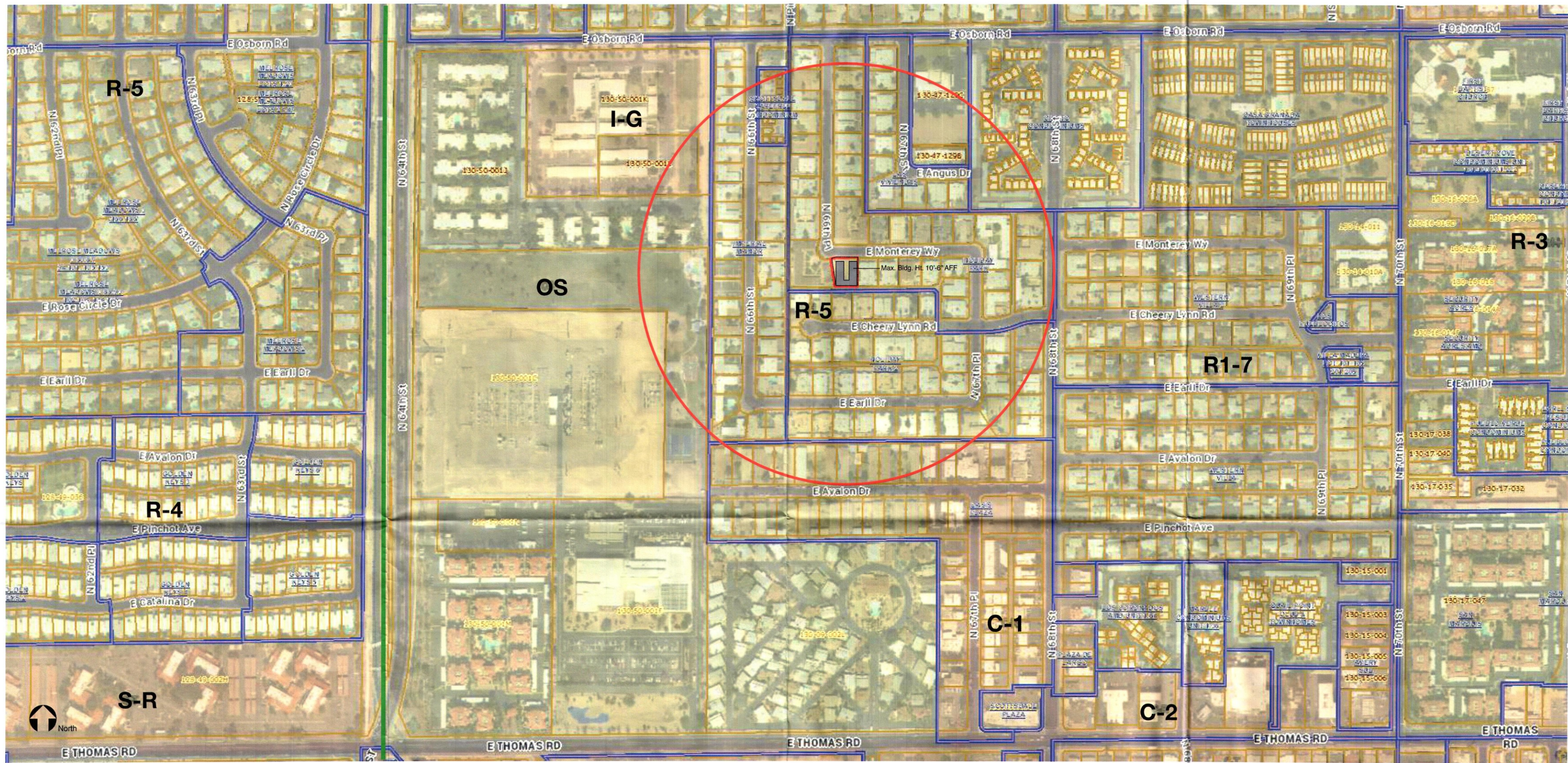




Bike Path along canal 

750 Foot radius 

Context Aerial

1" = 160'

Date:
07.21.2015

DR Development
Review Drawings

The Holiday Apartments

6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
P# 03201

Mancusi
Design LLC
PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

000

PROJECT INFORMATION

Project Name
The Holiday
Proposed Owner-Occupied Single-Level Quadplex.

Project Address
6377 E Monterey Way
Scottsdale, Arizona 85251

Owner
Ada Rose and Nicholas Mancusi
6125 E Indian School Road, #252 Scottsdale, Arizona 85251
Phone: 603.401.1548
Email: mancusin@gmail.com

Code
International Building Code 2012

Occupancy
Multi-Family Residence - (4 Units)

Number of Bedrooms
6 Bedrooms (2 @ 2 Bedroom, 2 @ 1 Bedroom)

Lot Size
9,934 SF / 0.22806 AC± Gross/Net

Lot Coverage
Proposed Conditioned Space 4,485 SF
Proposed Patio Space 432 SF
Proposed Carport 1,280 SF
Proposed Refuse Enclosure 150 SF
Proposed Total Area 6,347 SF

Allowed Coverage 78% or 7,748.52 SF
Proposed Coverage 63.8% or 6,347 SF

Maximum Height
10'-6" Above Finish Floor (36' Allowed)

Building Area
Living Unit 1,078 SF
Proposed Total of 4 Units 4,312 SF
Proposed Storage 173 SF
Proposed Total Conditioned Space 4,485 SF

Zoning
R-5 Multi-Family Residential

OPEN SPACE CALCULATIONS

Required Open Space
Number of Dwelling Units per Acre: 4
Minimum Percentage of Lot Area Required Open Space: 22
.22 X NET Lot Area
.22 X 9,934 SF = 2185.48 SF

Open Space Provided
3619.11 SF = 36.4%

PARKING CALCULATIONS

Required Spaces
Number of 2-Bedroom Dwelling Units: 2
Number of 1-Bedroom Dwelling Units: 2
Spaces Per 2-Bedroom Unit: 1.7
Spaces Per 1-Bedroom Unit: 1.3
(1.7 X 2 = 3.4) + (1.3 X 2 = 2.6) = 6
Parking Space Provided
6 Covered

Accessible Parking Space
4% of Parking Provided
.04 x 6 = .24 = 1
Accessible Parking Space Provided
1 @ End of Courtyard Walkway

Bicycle Parking
2 Spaces for Every 10 Parking Spaces
6 < 10 = 2
Bicycle Parking Provided
2

FIRE PROTECTION

Proposed Sprinkler System
13D Each Unit

Hydrant Distance
71' from Proposed Building

Site Plan

1" = 1'-0"
1' 4' 8'

DR | Development
Review Drawings

The Holiday Apartments

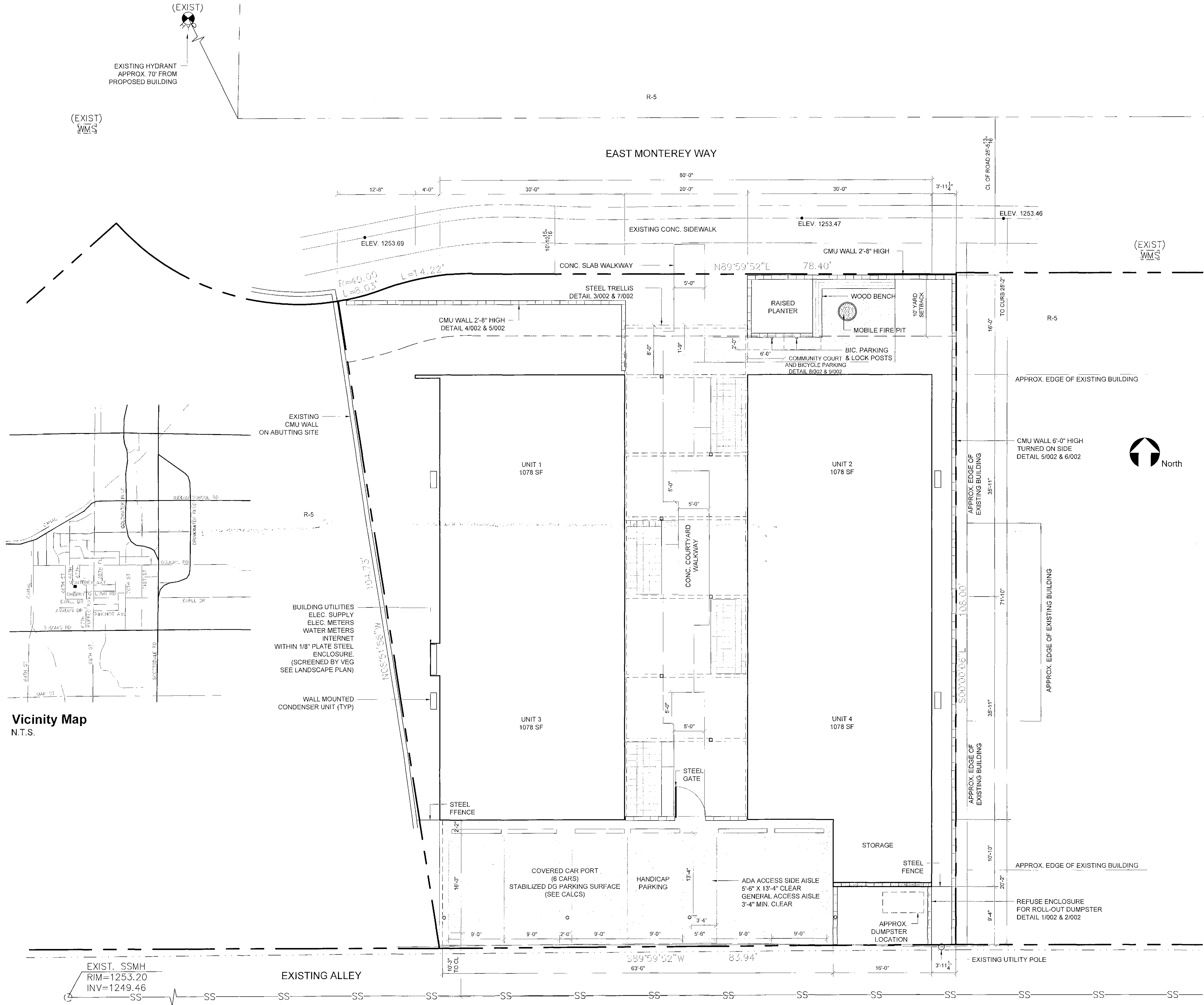
Date:
11.13.2015

6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

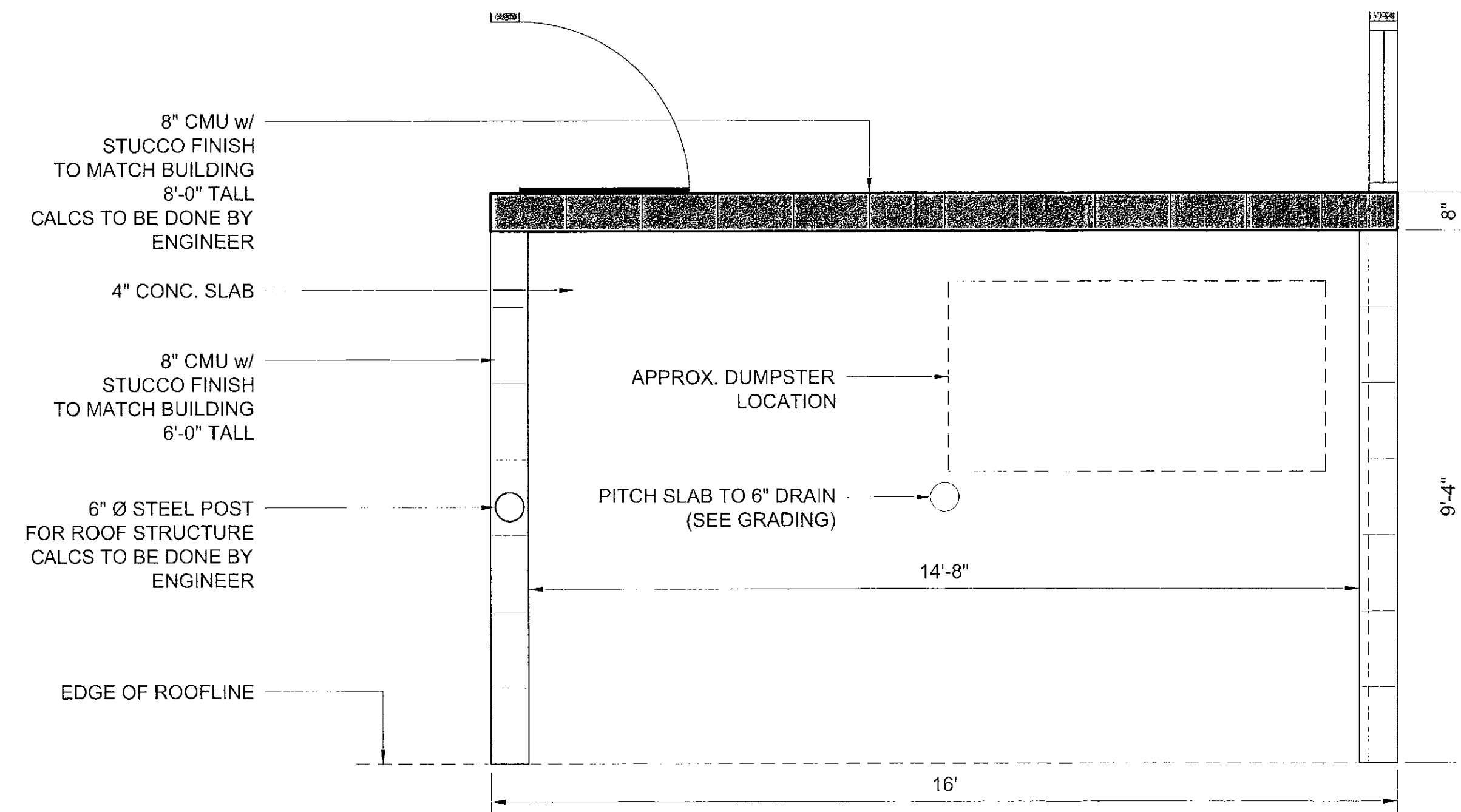
Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
P# 03201

Mancusi
DesignLLC
PO Box 305
Scottsdale, Arizona 85252-0305
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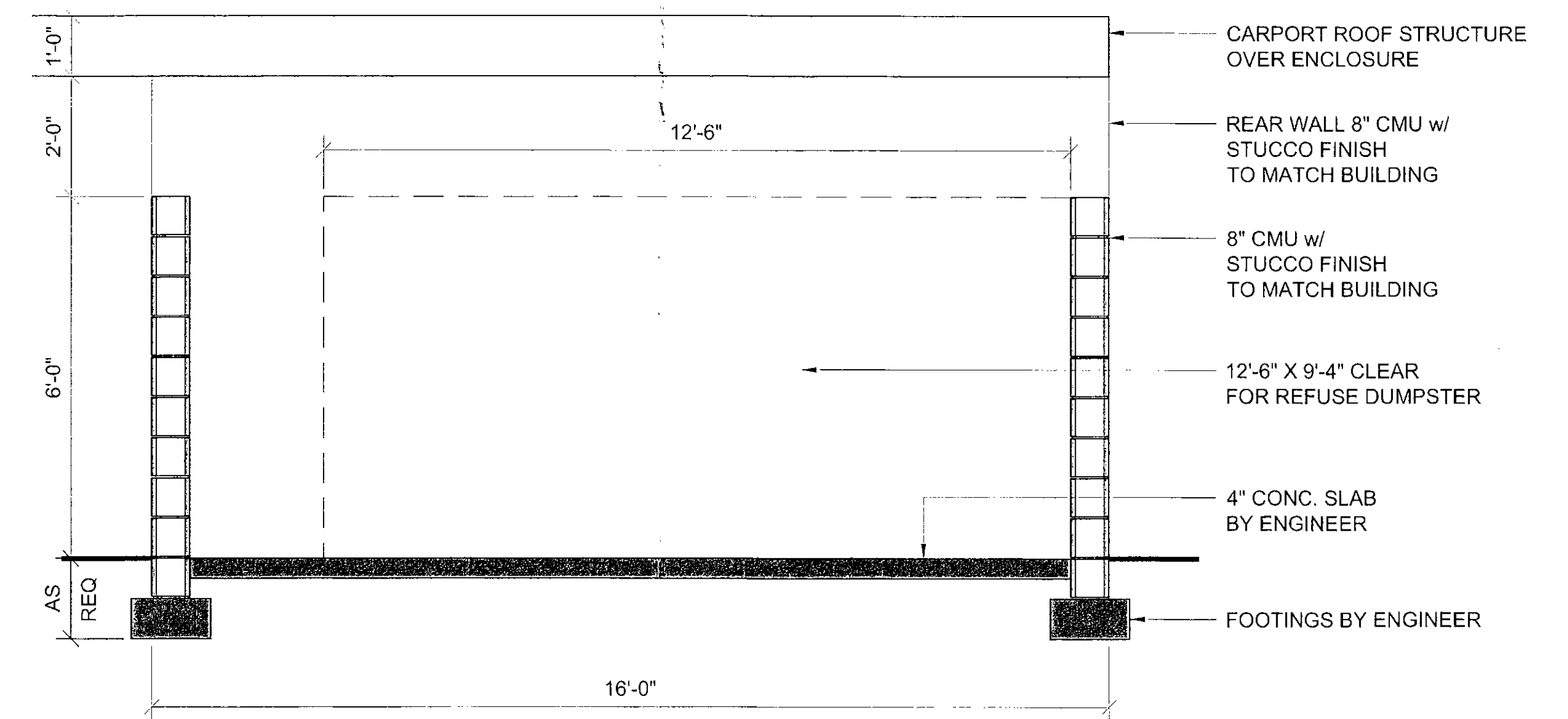
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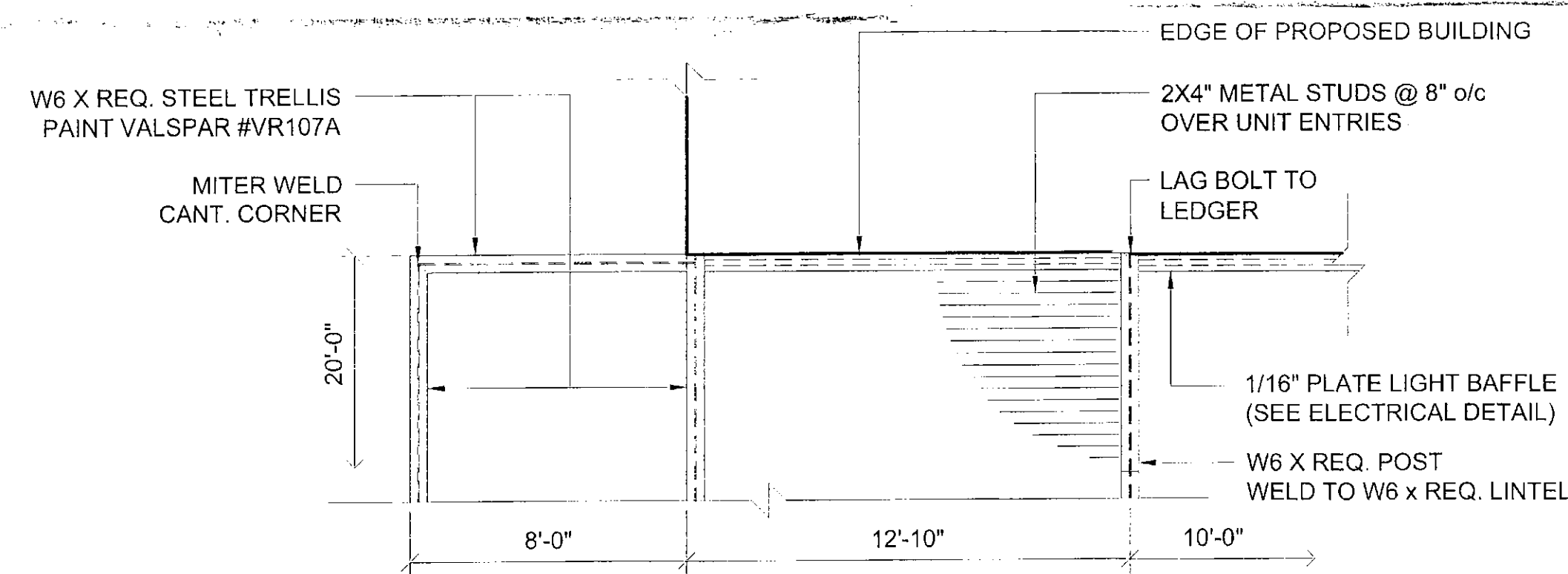
Vicinity Map
N.T.S.



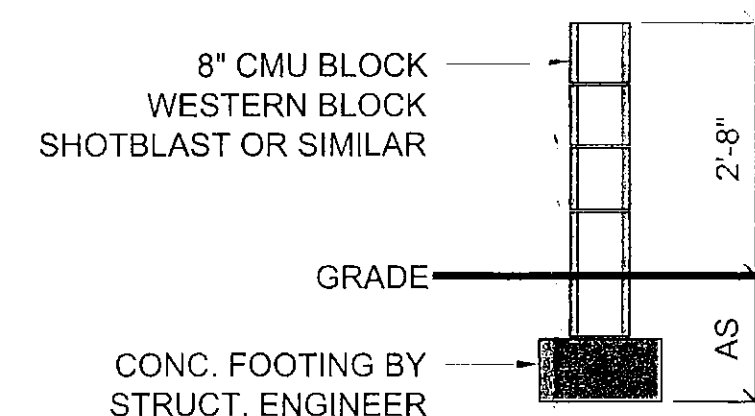
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002 Refuse Enclosure Plan
Scale: 1/2" = 1'-0"



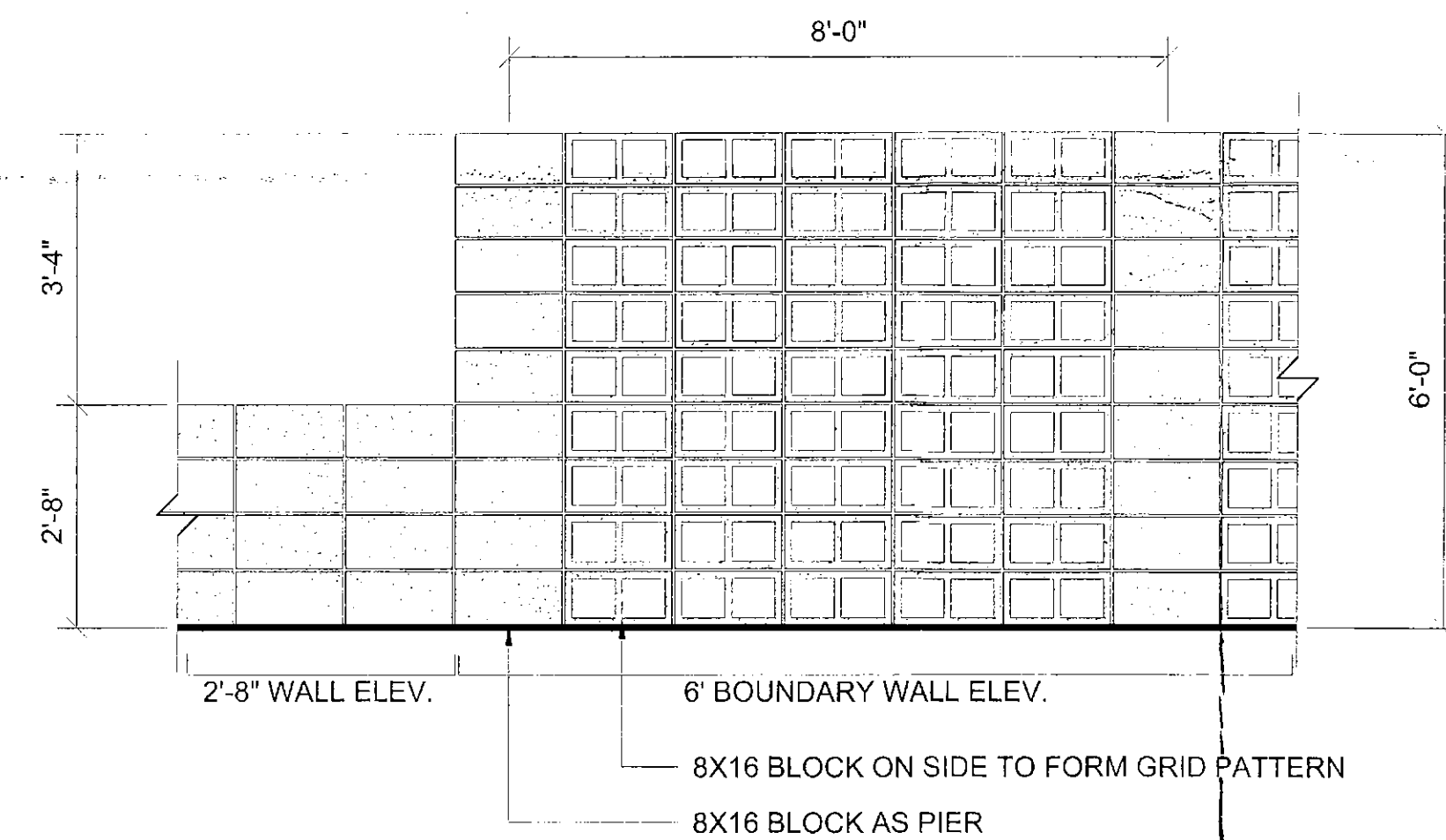
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002 Refuse Enclosure Section
Scale: 1/2" = 1'-0"



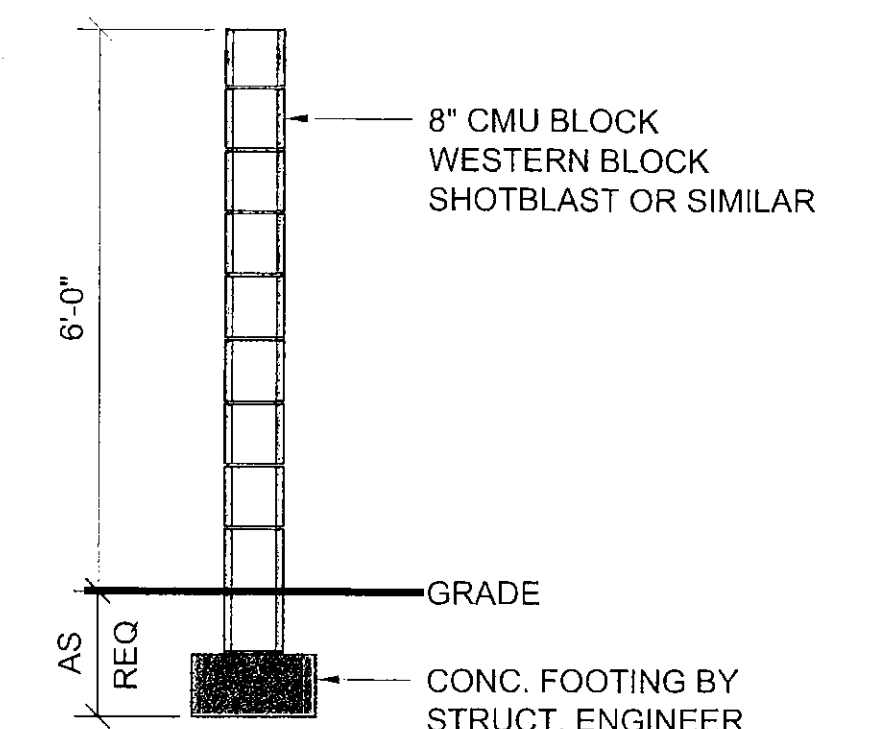
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002 Trellis Framing Plan Detail
Scale: 1/4" = 1'-0"



4
002 3' Site Wall Section
Scale: 1/2" = 1'-0"

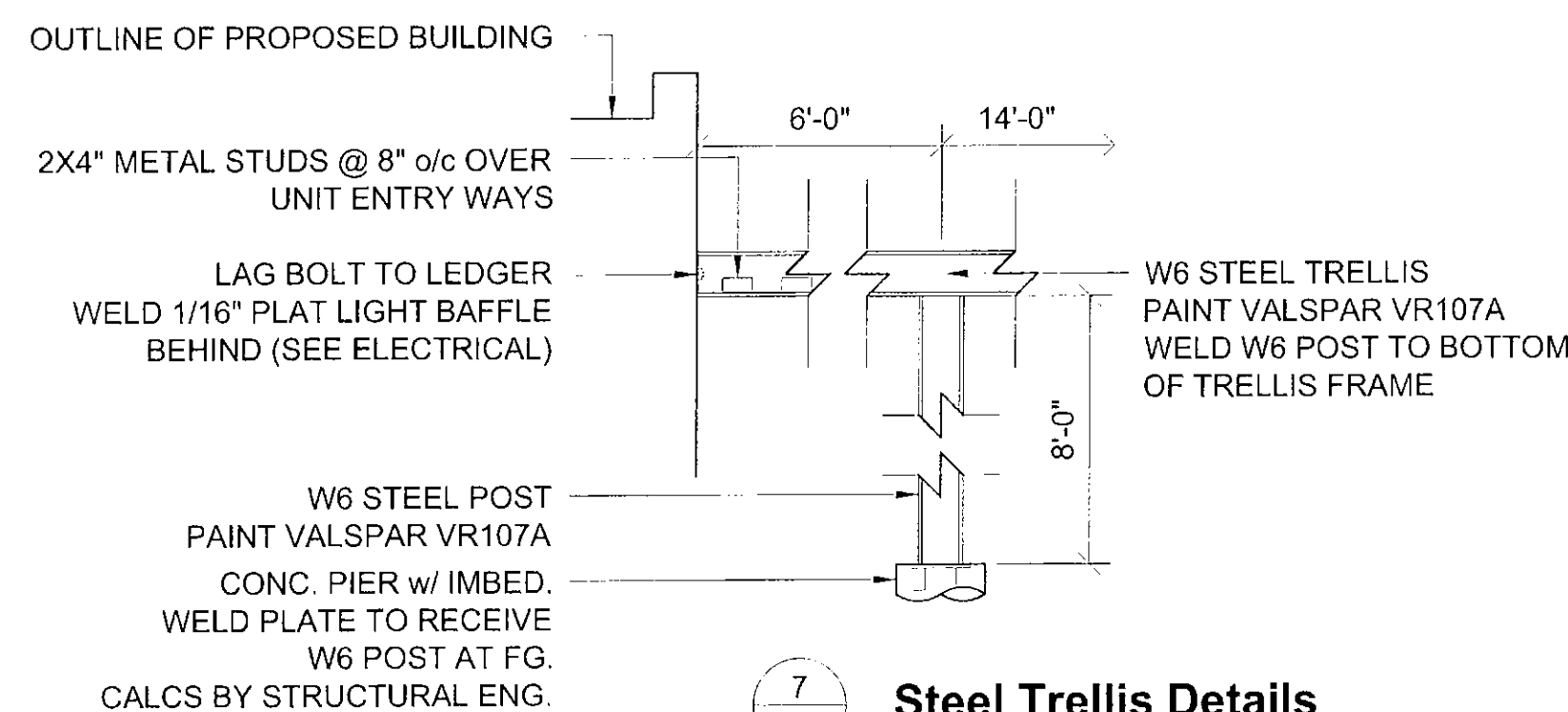


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002 Site Wall Elevations
Scale: 1/2" = 1'-0"

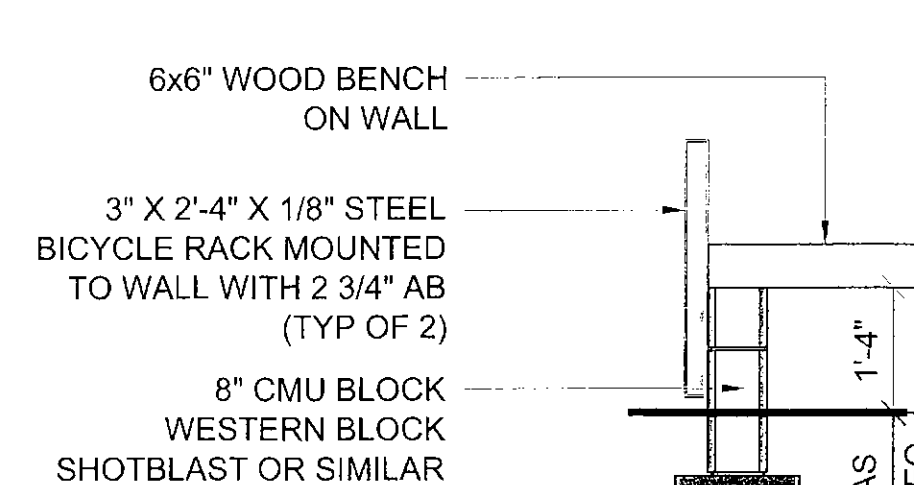


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002 6' Boundary Wall Section
Scale: 1/8" = 1'-0"

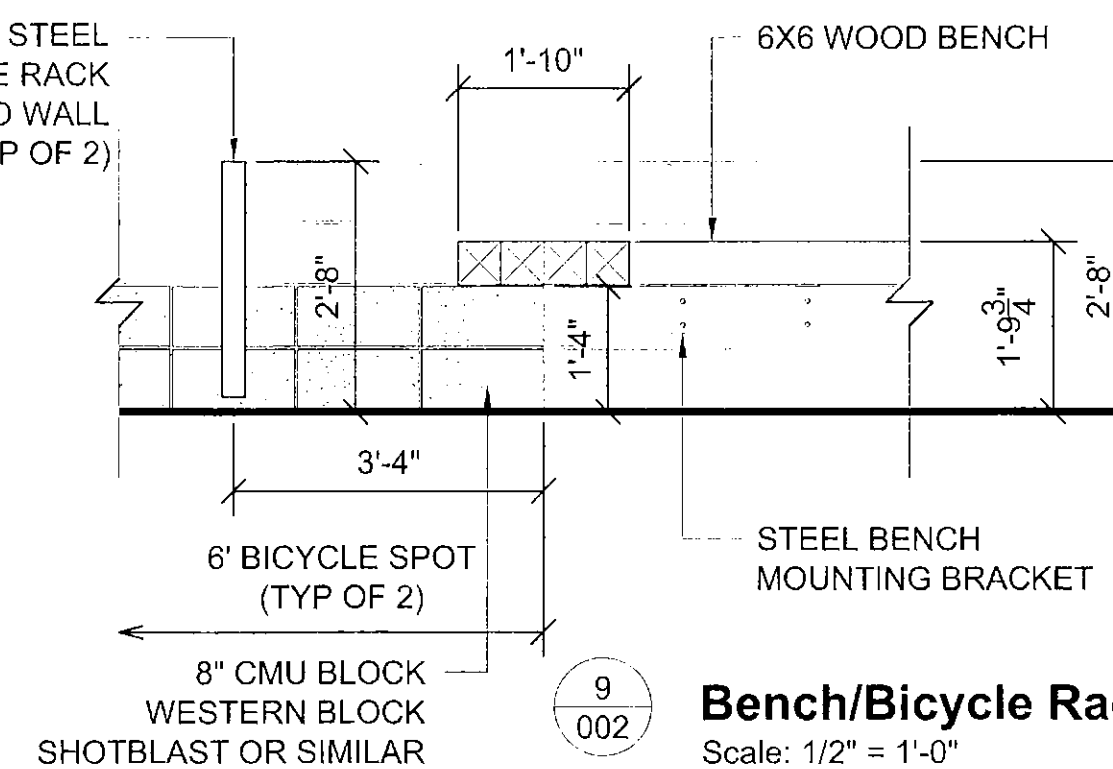
NOTE:
Trellis bolt sizes and weld specifications to be determined by engineer.



7
002 Steel Trellis Details
Scale: 1/2" = 1'-0"

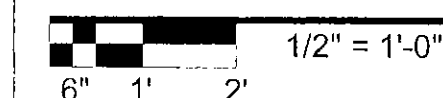


8
002 Bench/Bicycle Rack Detail
Scale: 1/2" = 1'-0"



9
002 Bench/Bicycle Rack Elevation
Scale: 1/2" = 1'-0"

Site Details



Date:
09.26.2015

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Review Drawings

The Holiday Apartments

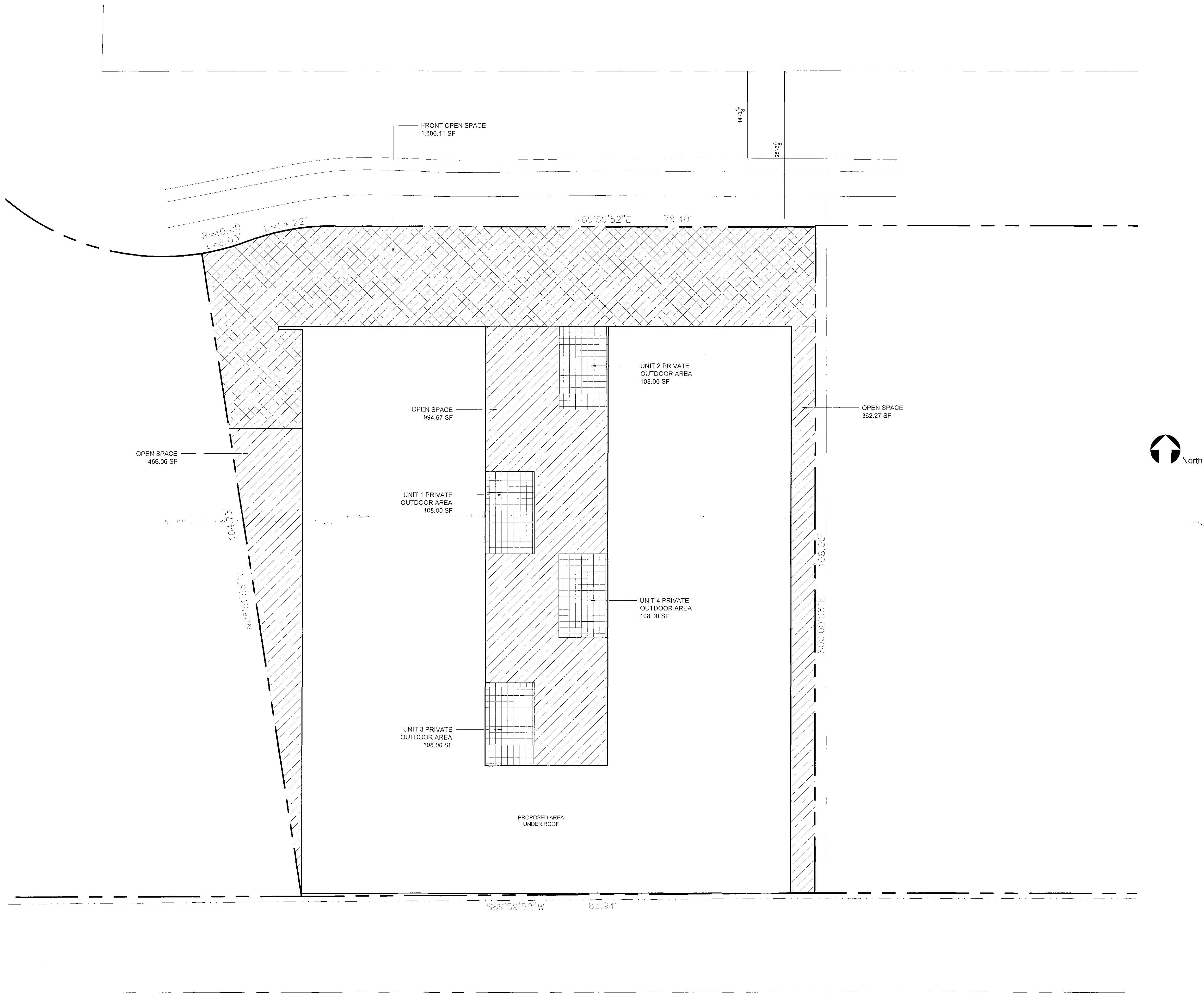
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P# 03201

Mancusi
Design LLC

PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

002



PROJECT INFORMATION

Project Name

The Holiday
Proposed Owner-Occupied Single-Level Quadplex.

Project Address

6377 E Monterey Way
Scottsdale, Arizona 85251

Owner

Ada Rose and Nicholas Mancusi
6125 E Indian School Road, #252 Scottsdale, Arizona 85251
Phone: 603.401.1548
Email: mancusin@gmail.com

Code

International Building Code 2012

Occupancy

Multi-Family Residence - (4 Units)

Number of Bedrooms

6 (2 @ 2 Bedroom, 2 @ 1 Bedroom)

Lot Size

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Lot Coverage

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Proposed Patio Space	432 SF
Proposed Carport	1,280 SF
Proposed Refuse Enclosure	150 SF
Proposed Total Area	6,347 SF

Allowed Coverage	78% or 7,748.52 SF
Proposed Coverage	63.8% or 6,347 SF

Maximum Height

10'-6" Above Finish Floor (36' Allowed)

Building Area

Living Unit	1,078 SF
Proposed Total of 4 Units	4,312 SF
Proposed Storage	173 SF
Proposed Total Conditioned Space	4,485 SF

Zoning

R-5 Multi-Family Residential

OPEN SPACE CALCULATIONS

Required Open Space

Number of Dwelling Units per Acre: 4
Minimum Percentage of Lot Area Required Open Space: 22
.22 X NET Lot Area
.22 X 9,934 SF = 2185.48 SF = 22%

Open Space Provided

3619.11 SF = 36.4%

Frontage Open Space Calculations

0.5 X REQ. Open Space
0.5 X 2185.48 SF = 1092.74 SF
1806.11 SF Provided

Private Patio Outdoor Space Calculations

0.10 X Unit SF
0.10 X 1078 SF = 107.8 SF (Per Each Unit)
108 SF Provided per Each Unit.

HATCH AREA KEY

- Front Open Space
- Private Patio Outdoor Space
- Open Space other than Front Open Space

Site Plan

1" = 1'-0"
1' 4' 8'

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Review Drawings

The Holiday Apartments

Date:
09.26.2015

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Proposed Single Level Owner-Occupied Quadplex
P# 03201

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003

ROOM FINISH SCHEDULE

ROOMS				WALLS				CEILING		PAINT			
NO.	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CLG.	HT.	N	S	E	W
001	STORAGE	CONC	WOOD	DW	STUCCO	GL/DW	DW	DW	8'-8"	X	X	X	X
101	LIVING	CONC	WOOD	GL/DW	OPN/DW	GLAZE	DW	DW	8'-8"	X	X	X	X
102	KITCHEN	CONC	WOOD	OPN/DW	OPN/DW	DW	DW	DW	7'-6"	X	X	X	X
103	DINING	CONC	WOOD	OPN/DW	DW	GLAZE	DW	DW	8'-8"	X	X	X	X
104	BEDROOM 2	CONC	WOOD	DW	DW	DW	GL/DW	DW	8'-8"	X	X	X	X
105	BATH 2	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
106	BATH 1	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
107	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
108	DEN	CONC	WOOD	DW	DW	DW	GL/DW	DW	8'-8"	X	X	X	X
201	LIVING	CONC	WOOD	OPN/DW	DW	DW	GLAZE	DW	8'-8"	X	X	X	X
202	KITCHEN	CONC	WOOD	OPN/DW	OPN/DW	DW	DW	DW	7'-6"	X	X	X	X
203	DINING	CONC	WOOD	DW	OPN/DW	DW	GLAZE	DW	8'-8"	X	X	X	X
204	BEDROOM 2	CONC	WOOD	DW	DW	GL/DW	DW	DW	8'-8"	X	X	X	X
205	BATH 2	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
206	BATH 1	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
207	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
208	DEN	CONC	WOOD	DW	DW	GL/DW	DW	DW	8'-8"	X	X	X	X
301	LIVING	CONC	WOOD	DW	OPN/DW	GLAZE	DW	DW	8'-8"	X	X	X	X
302	KITCHEN	CONC	WOOD	OPN/DW	OPN/DW	DW	DW	DW	7'-6"	X	X	X	X
303	DINING	CONC	WOOD	OPN/DW	DW	GLAZE	DW	DW	8'-8"	X	X	X	X
304	DEN	CONC	WOOD	DW	DW	DW	GL/DW	DW	8'-8"	X	X	X	X
305	BATH 2	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
306	BATH 1	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
307	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
308	BEDROOM 1	CONC	WOOD	DW	DW	DW	GL/DW	DW	8'-8"	X	X	X	X
401	LIVING	CONC	WOOD	OPN/DW	DW	DW	GLAZE	DW	8'-8"	X	X	X	X
402	KITCHEN	CONC	WOOD	OPN/DW	OPN/DW	DW	DW	DW	7'-6"	X	X	X	X
403	DINING	CONC	WOOD	DW	OPN/DW	DW	GLAZE	DW	8'-8"	X	X	X	X
404	DEN	CONC	WOOD	DW	DW	GL/DW	DW	DW	8'-8"	X	X	X	X
405	BATH 2	CONC	WOOD	DW	TILE	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
406	BATH 1	CONC	WOOD	TILE	DW	TILE/DW	TILE/DW	DW	7'-6"	X	X	X	X
407	WALK-IN CL	CONC	WOOD	DW	DW	DW	DW	DW	7'-6"	X	X	X	X
408	BEDROOM 1	CONC	WOOD	DW	DW	GL/DW	DW	DW	8'-8"	X	X	X	X

SYMBOL KEY

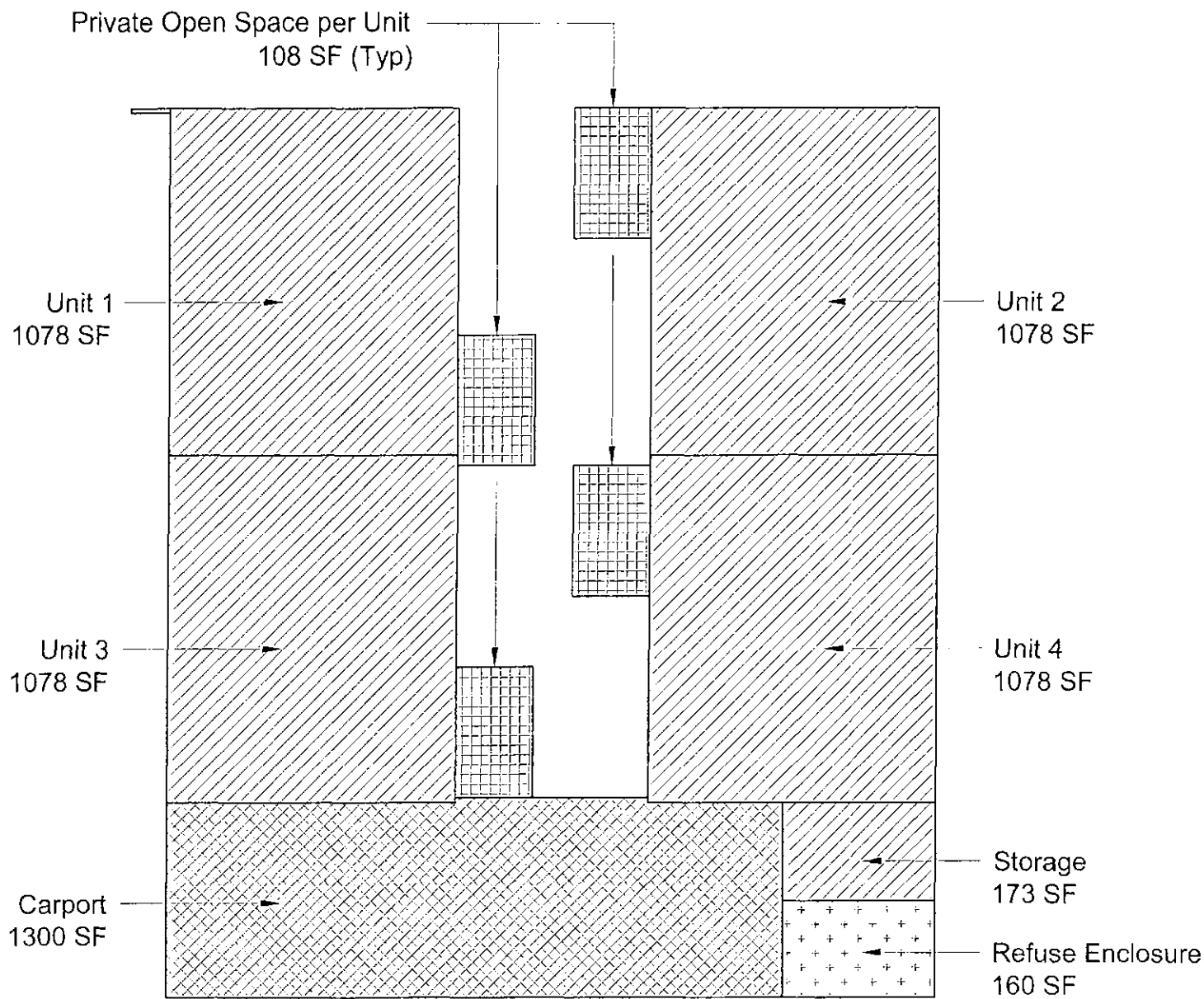
000	ROOM NUMBER
D00	DOOR NUMBER
W00	WINDOW NUMBER

DOOR SCHEDULE

DOORS				FRAMES							
NO.	QTY.	DIR.	SIZE	MAT.	TYPE	FIN.	TYPE	MAT.	FIN.	COLOR	
D01	8	L	12'-0" X 8'-0"	GL	"A"	CLR.	SLIDING	ALUM	ALUM	AB	
D02	1	R	3'-0" X 7'-0"	STEEL	"B"	PAINT	STEEL	ALUM	ALUM	AB	
D03	4	L	2'-8" X 6'-8"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	
D04	4	R	2'-8" X 6'-8"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	
D05	4	L	2'-8" X 6'-8"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	
D06	4	R	2'-8" X 6'-8"	WOOD	"C"	PAINT	HINGED	WOOD	PAINT	WHT	
D07	4	R	2'-8" X 6'-8"	WOOD	"D"	PAINT	POCKET	WOOD	PAINT	WHT	
D08	4	N/A	8'-0" X 6'-8"	WOOD	"E"	PAINT	SLIDING	WOOD	PAINT	WHT	
D09	4	N/A	5'-0" X 6'-8"	WOOD	"E"	PAINT	SLIDING	WOOD	PAINT	WHT	

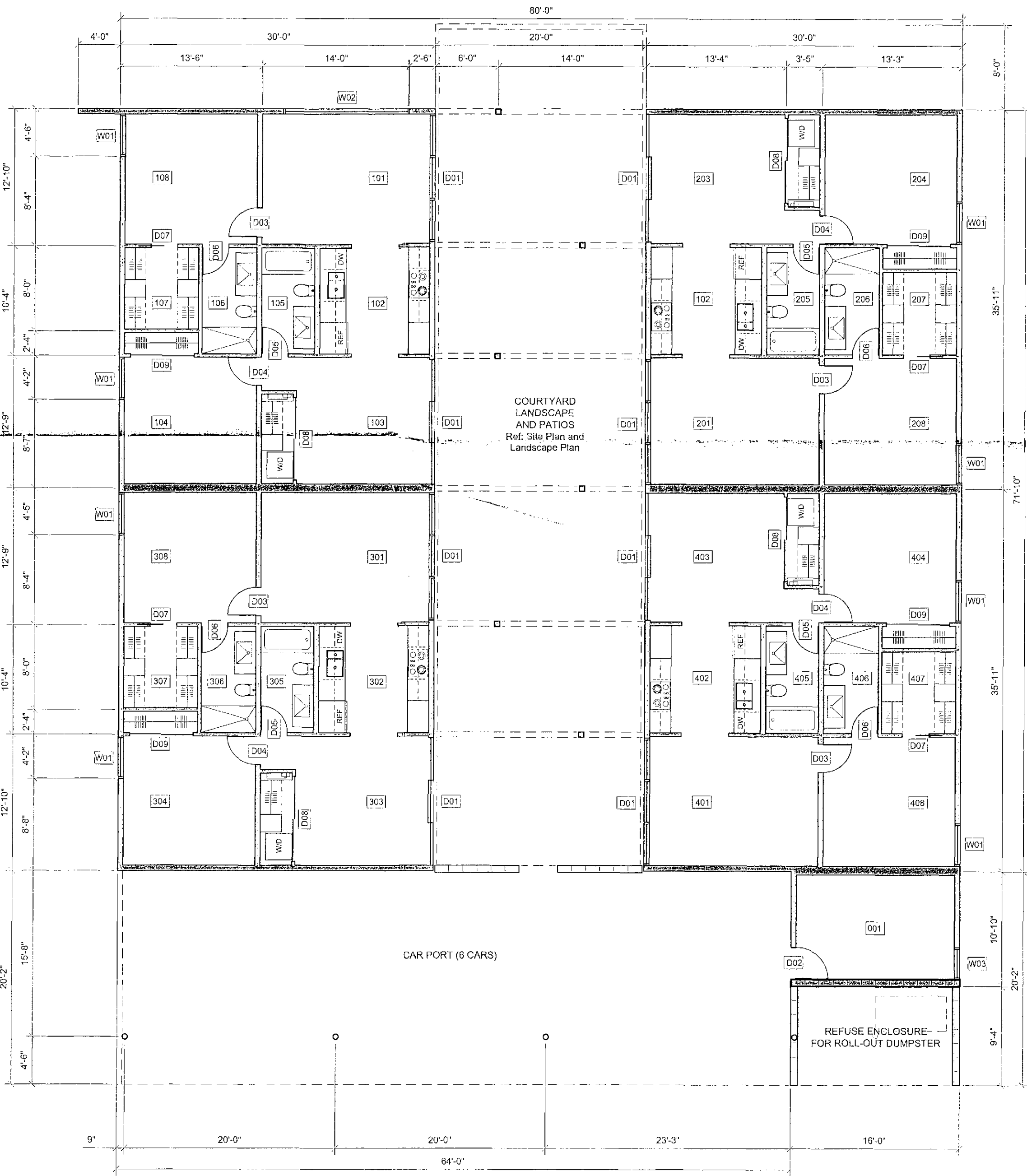
WINDOW SCHEDULE

WINDOWS				FRAMES							
NO.	QTY.	OPR.	SIZE	MAT.	TYPE	FIN.	TYPE	MAT.	FIN.	EGR.	
W01	8	Y	4'-0" X 7'-0"	GL	"1"	LOW E - CLR.	THERMAL	ALUM	AB	Y	
W02	1	N	12'-0" X 1'-6"	GL	"2"	LOW E - CLR.	THERMAL	ALUM	AB	N	
W03	1	Y	3'-0" X 7'-0"	GL	"3"	LOW E - CLR.	THERMAL	ALUM	AB	N	



Floor Plan Areas

1/16" = 1'-0"



BUILDING PROGRAM

Two-Bedroom Unit (Unit Number 3 & 4)

Living Room
Dining Room/Entry
Kitchen
Bath
Master Bedroom
Master Bath
Walk-In-Closet
Bedroom 2

Rental Rate Factor:

1.4 per SF

Square Footage:

1078 SF

One-Bedroom Unit (Unit Number 1 & 2)

Living Room
Dining Room/Entry
Kitchen
Bath
Master Bedroom
Master Bath
Walk-In-Closet
Den

Rental Rate Factor:

1.2 per SF

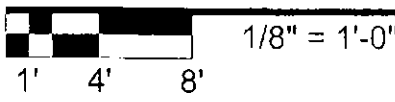
Square Footage:

1078 SF



North

Building Floor Plan



Date:
09.26.2015

The Holiday Apartments

6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

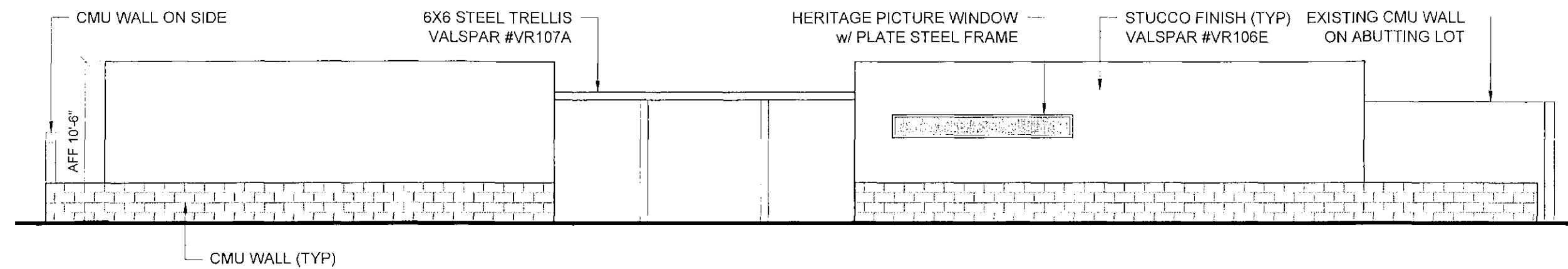
Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
P# 03201

Mancusi
DesignLLC

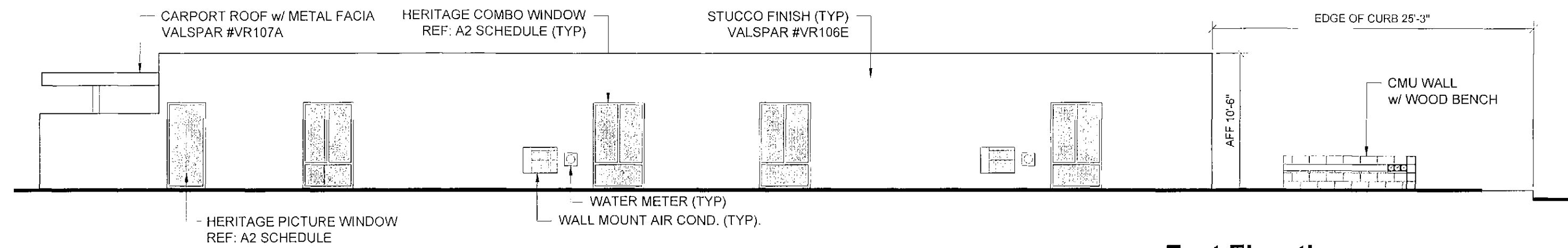
PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

004

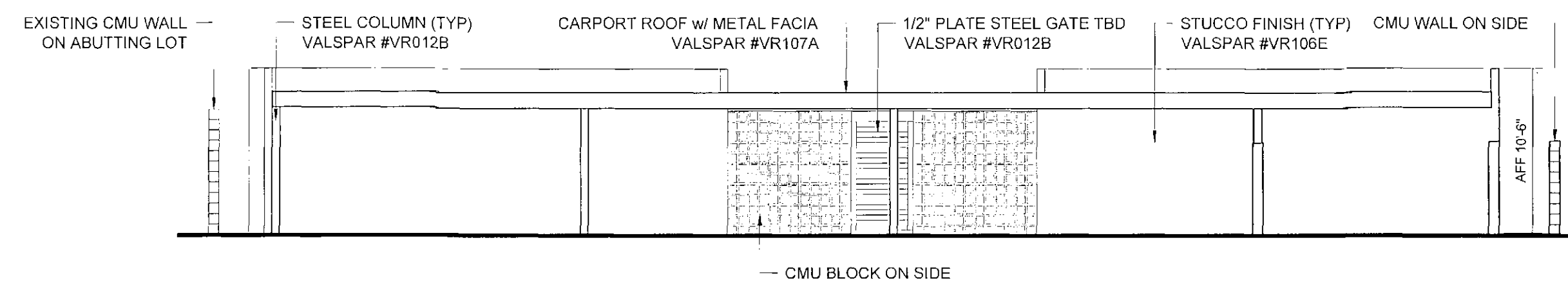
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9/29/15



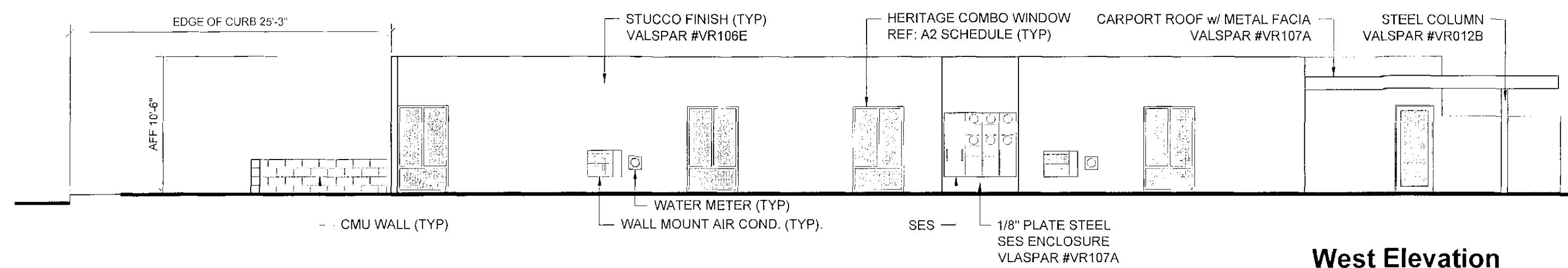
North Elevation
Scale: 1/8" = 1'-0"



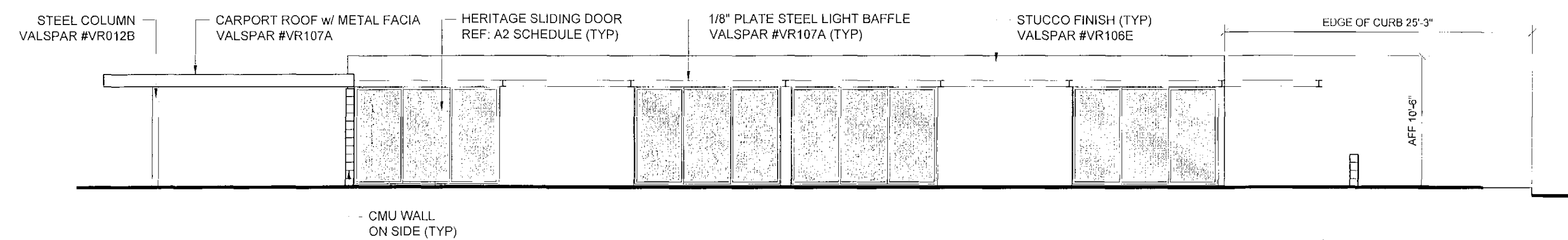
East Elevation
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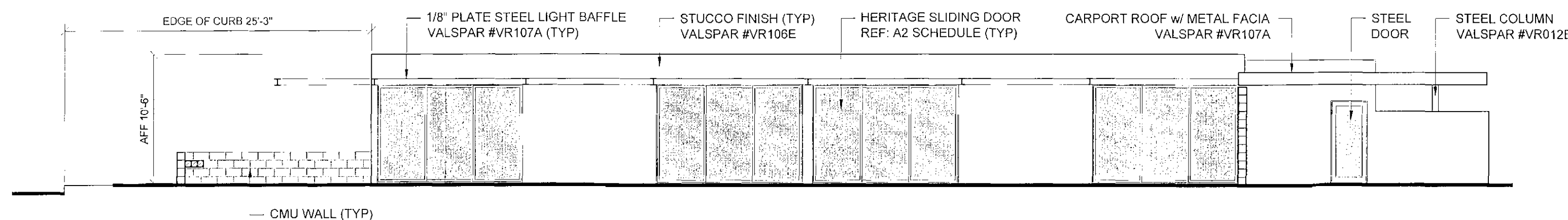
South Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"



Courtyard East Elevation
Scale: 1/8" = 1'-0"

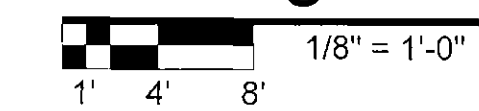


Courtyard West Elevation
Scale: 1/8" = 1'-0"

Color Legend

Valspar #VR106E - 2015 Name: Transparent
Valspar #VR107A - 2015 Name: Vintage Fram
Valspar #VR012B - 2015 Name: Bonjour

Building Elevations



DR | Development
Review Drawings

The Holiday Apartments

Date:
11.13.2015

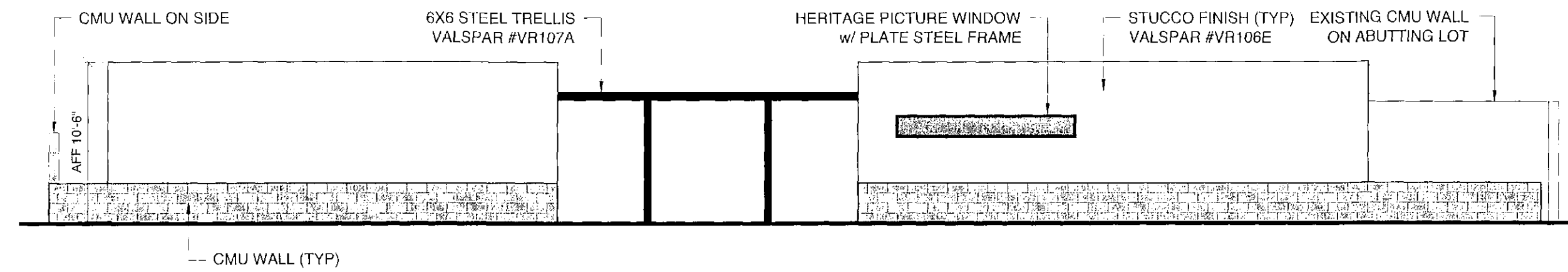
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P# 03201

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
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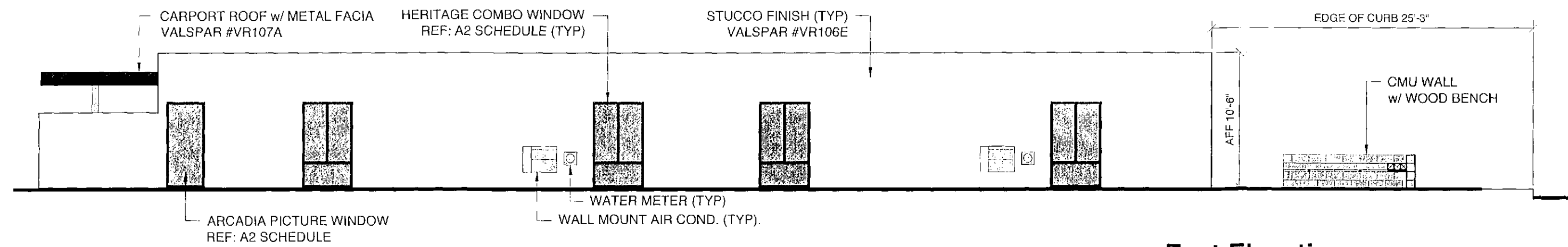
**Mancusi
Design** LLC

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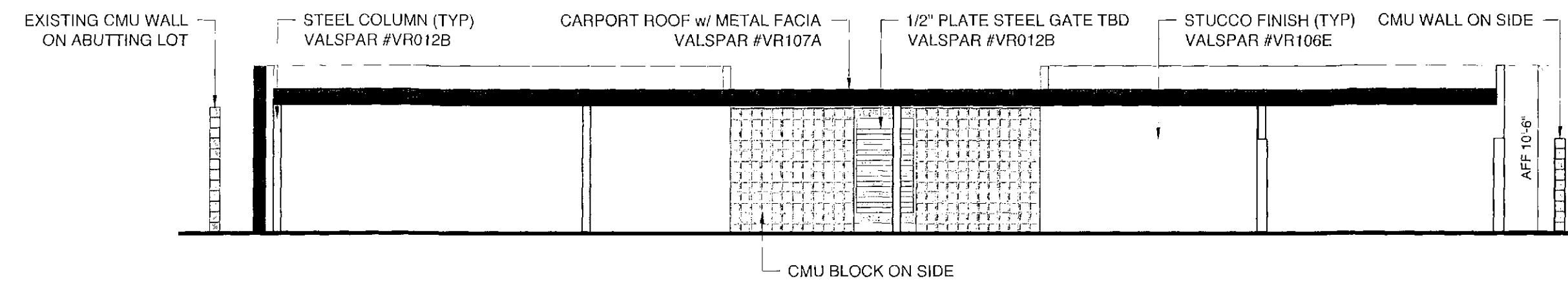
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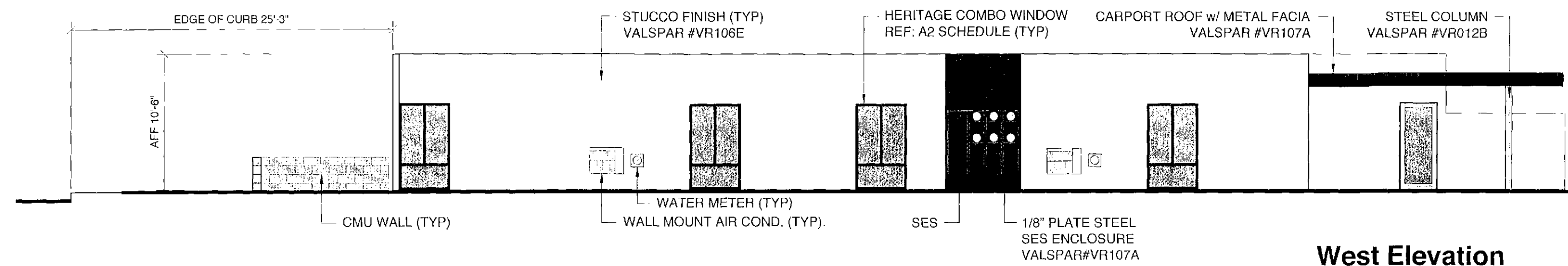
North Elevation
Scale: 1/8" = 1'-0"



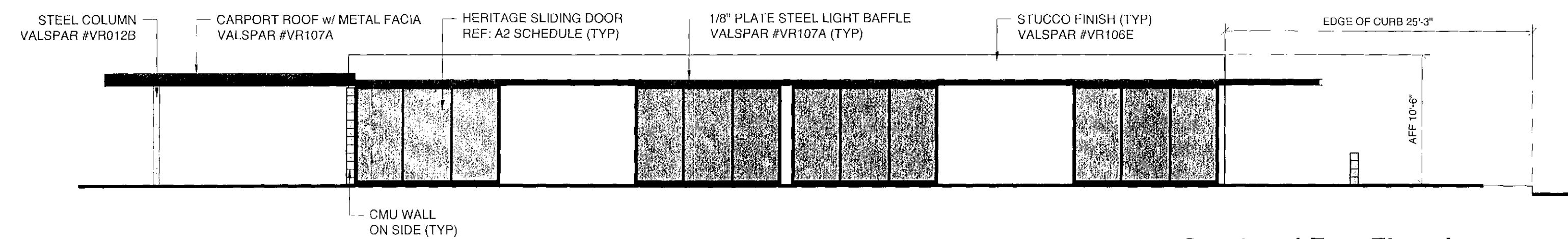
East Elevation
Scale: 1/8" = 1'-0"



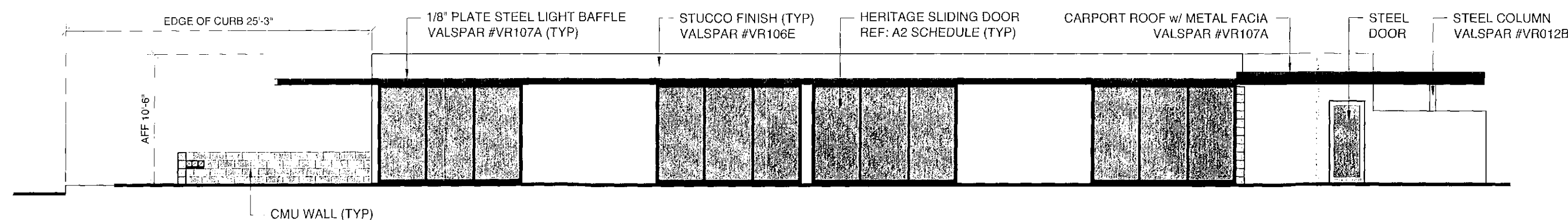
South Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"



Courtyard East Elevation
Scale: 1/8" = 1'-0"



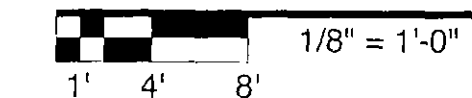
Courtyard West Elevation
Scale: 1/8" = 1'-0"

Color Legend

Valspar #VR106E - 2015 Name: Transparent
Valspar #VR107A - 2015 Name: Vintage Frame
Valspar #VR012B - 2015 Name: Bonjour

Colored Building Elevations

DR | Development
Review Drawings



The Holiday Apartments

Date:
11.13.2015

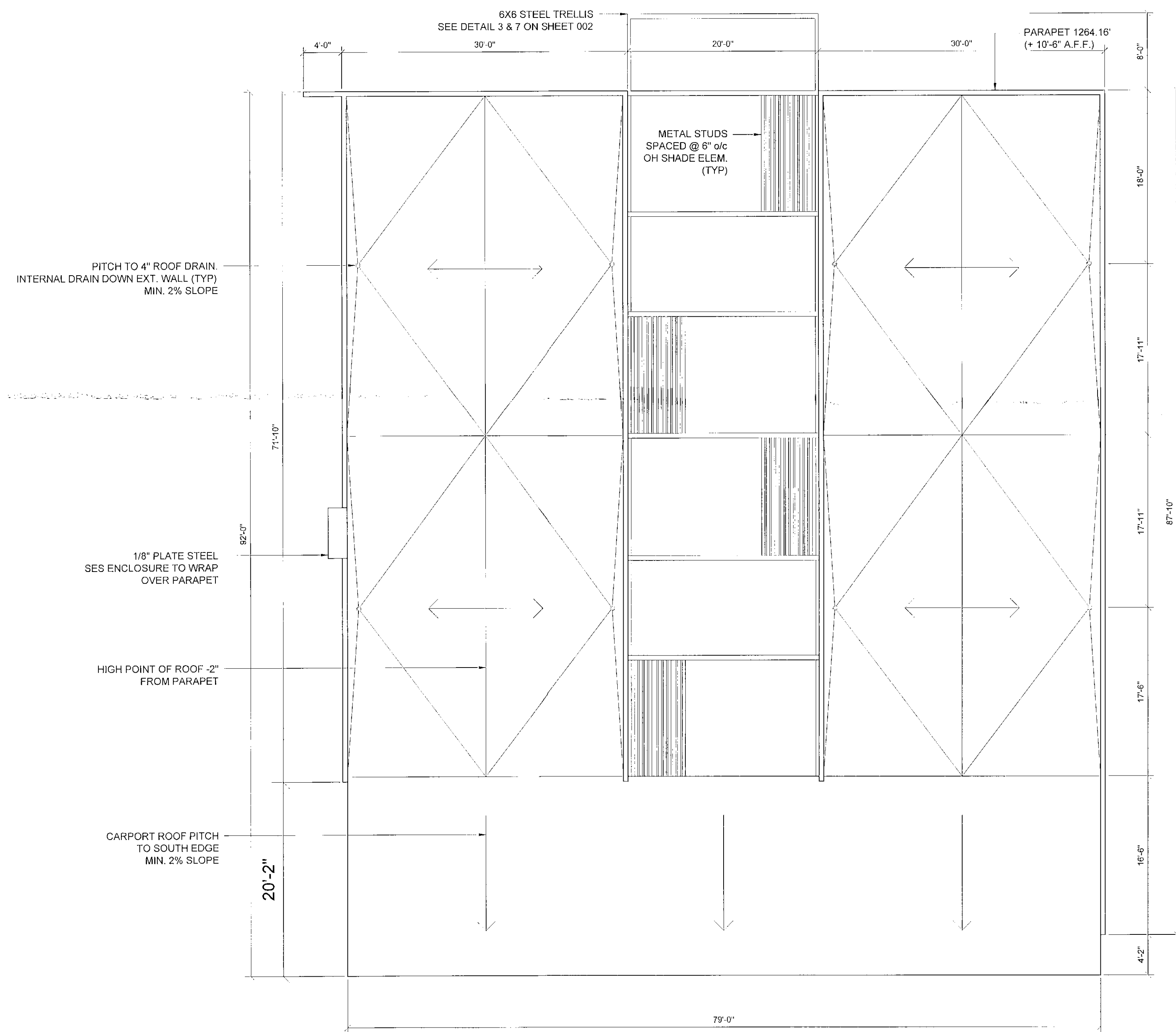
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006



ROOF DATA

Total Roof Area:
5,923 SF

Parapet Height:
0'-6" Above Roof Rim

Roofing Type
Membrane - White Finish

Mechanical Screening
No Mechanicals to be located on Roof



Building Roof Plan

1' 4' 8' 1/8" = 1'-0"

DR | Development
Review Drawings

The Holiday Apartments

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007



Perspective

1/4" 1/2" 1" NTS

Date:
09.26.2015

DR | Development
Review Drawings

The Holiday Apartments

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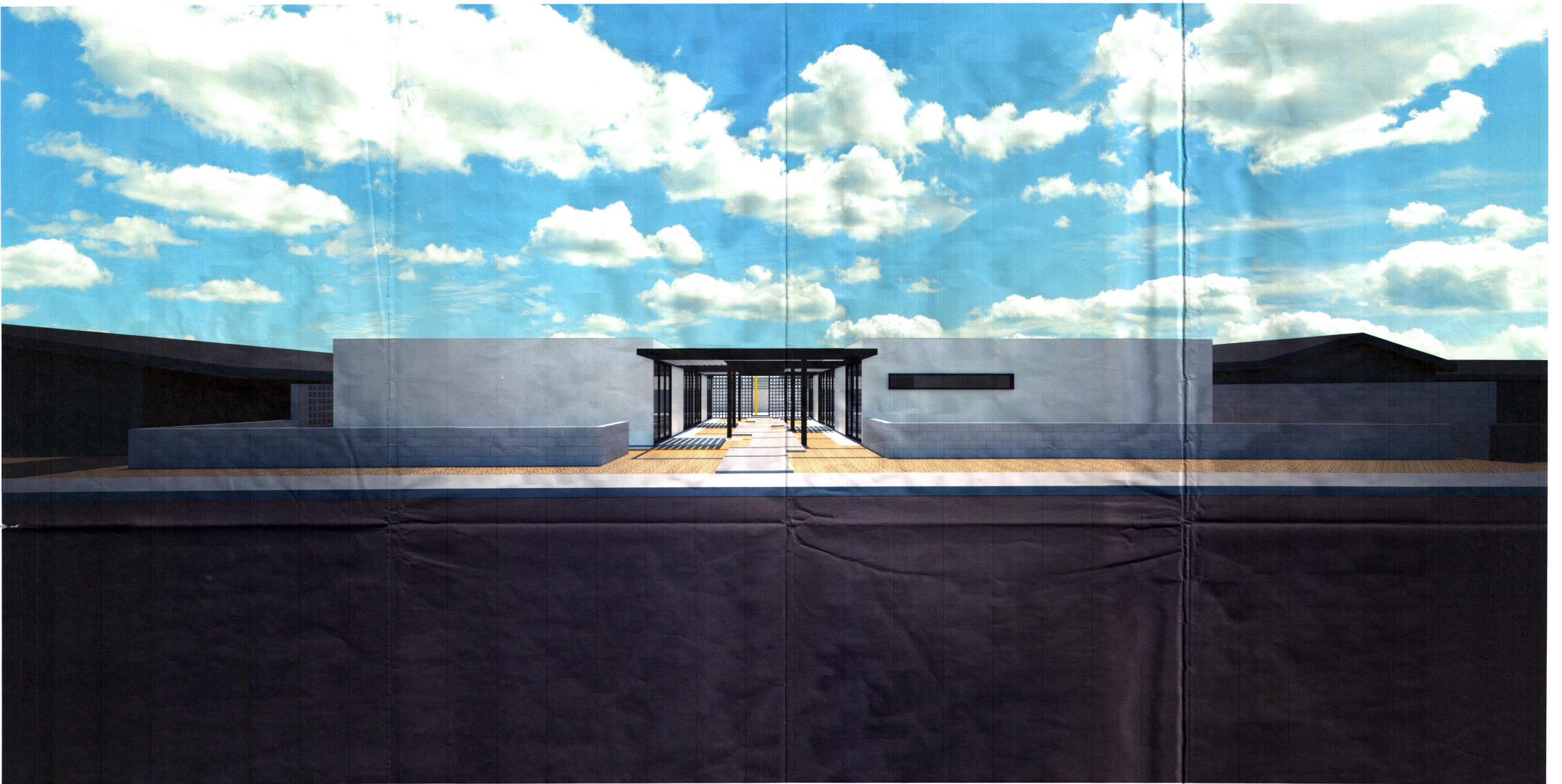
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mancusidesign.com

008

35-DR-2015
9/29/15



Streetscape

1/4" 1/2" 1" NTS

Date:
09.26.2015

DR | Development
Review Drawings

The Holiday Apartments

6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
P# 03201

Mancusi
Design LLC

PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

009

NOTES:

1. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
2. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
3. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1' ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
5. THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
6. BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.
7. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
8. ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 602-263-1100.
9. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
10. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
11. THIS SITE PLAN SHOWS ALL OF THE PLANTS OF ARCHITECTURAL SIGNIFICANCE IN THE AREA OF CONSTRUCTION. THE CITY OF SCOTTSDALE PLANT ORDINANCE IS LESS RESTRICTIVE AND ONLY PERTAINS TO CACTI OF 3' & TALLER & TREES 4" Ø OR LARGER.
12. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
13. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
14. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
15. MATERIAL USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
16. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
17. DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES SHOULD BLEND WITH SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LAND FORM AND MINIMIZE EXPOSED SCARS.
18. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OF FROM PUBLIC VIEWPOINT.
19. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
20. ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.
21. HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
22. ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
23. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.
24. ALL ABOVE GROUND UTILITY EQUIPMENT COVERED BY THIS PERMIT SHALL BE SCREENED OR PAINTED TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
25. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT TO AVOID HIGH CONTRAST.
26. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
27. PLANT MATERIALS THAT ARE NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE FROM LOWER ELEVATION.
28. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
29. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTED OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
30. MIRRORRED SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORRED SURFACE ARE PROHIBITED.
31. THE OWNER AND/OR CONTRACTOR INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LANDFORM AND MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
32. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF.)
33. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.

NOTES:

35. A REGISTERED LAND SURVEYOR SHALL STAKE AND ROPE OR FENCE THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT IN ACCORDANCE WITH THE SITE PLAN AND THE EASEMENT LEGAL DESCRIPTION.
36. NO PAINT COLORS SHALL BE USED WHICH HAVE A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
37. TEMPORARY /SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
38. NO NATIVE PLANTS ARE PERMITTED TO BE DISTURBED DO TO CONSTRUCTION AND RELATED ACTIVITIES ASSOCIATED WITH THIS APPROVAL.
39. POSITIVE DRAINAGE AWAY FROM STRUCTURES, (5% MIN. FOR 10 FEET)
40. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
41. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.

LEGEND:

BAR	BARREL CACTUS
BLDR	BOULDER
BJ	BOULDER JUMBLE
BSL	BUILDING SETBACK LINE
○	CABLE TELEVISION
CATV	
CC	CAT CLAW
CFC	CHAIN FRUIT CHOLLA
CT	CRUCIFIXION THORN
(C)	DENOTES CALCULATED
(M)	DENOTES MEASURED
(R)	DENOTES RECORDED
→	DIRECTION OF DRAINAGE
DE	DRAINAGE EASEMENT
EDA	EDGE OF DISTURBED AREA
(EXIST)	
□	ELECTRIC
ELEC.	
~00~	EXISTING CONTOUR
(00.0)	EXISTING ELEVATION
(EXIST)	
⋈	EXISTING FIRE HYDRANT
FND	
◇	FOUND
◆	FOUND BUILDING ENVELOPE STAKE
◇	FOUND MONUMENT
GPE	GENERAL PURPOSE EASEMENT
IW	IRONWOOD
[ICV]	IRRIGATION CONTROL VALVE
MESQ	MESQUITE
OCO	OCOTILLO
PV	PALO VERDE
~00~	POWER LINES
00.0	PROPOSED CONTOUR
PUE	PROPOSED ELEVATION
o	PUBLIC UTILITIES EASEMENT
RECORD	RECORD MONUMENT
RIP-RAP	(SEE NOTE 9)
RO	ROCK OUTCROP
SAG	SAGUARO CACTUS
(EXIST)	
□	TELEPHONE RISER
TEL.PED.	
T/C	TOP OF CURB
TF	TOP OF FOOTING
TR	TOP OF RAIL
TW	TOP OF WALL
VNAE	VEHICULAR NON-ACCESS EASEMENT
(1)	WALL OPENING FOR DRAINAGE (8"x16")
[WM]	WATER METER BOX
[WMS]	WATER METER BOX WITH SERVICE
WV	WATER VALVE
Y	YUCCA
YC	YUCCA CLUMP
*	YUCCA(S) under 6' in height (unless otherwise indicated)
OS	OPEN SPACE
S.F.E.	SUBDIVISION FACILITIES EASEMENT

BENCHMARK:

FND COS BRASSCAP IN HAND HOLE, DOWN 0.7' AT INTERSECTION OF OSBORN ROAD & 68TH STREET. ELEVATION= 1255.76 (NAVD-88)

T.B.M.:

FND BRASSCAP (FLUSH) AT INTERSECTION OF MONTEREY WAY & 66TH PLACE NEAR NORTH WEST PROPERTY CORNER OF LOT 50 ELEVATION = 1254.05 (NAVD-88)

BENCHMARK CERTIFICATION:

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK.

GRADING & DRAINAGE PLAN

LOT 50 HOLIDAY PARK

RECORDED IN BOOK 76 OF MAPS, PAGE 14 M.C.R. SITUATED IN THE SW ¼ OF SECTION 27, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN SCOTTSDALE, MARICOPA COUNTY, ARIZONA.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
045012	2235 (10/16/13)	L	(10/16/13)	D	N/A

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100 YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE FLOODWAYS AND FLOODPLAIN ORDINANCE, CHAPTER 37, S.R.C..

SCOTTSDALE FIRE DEPARTMENT ACCESS REQUIREMENTS:

ACCESS GRADES FROM 0% TO 12% FOR SINGLE FAMILY RESIDENCE					
DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-A-ROUND REQUIRED	HOSE LAY	SPRINKLER REQUIREMENTS MOD-13D
LESS THAN 200 FEET	12	AW	NO	< 200 FEET	YES

POOL ENCLOSURES:

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVEGROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096 ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

PLANT SALVAGE NOTE:

ON-SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES ONLY. ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGE, ABANDONMENT, REMOVAL AND/OR RELOCATION OF ON-SITE PLANT MATERIALS. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.

UTILITIES NOTE:

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

WALL INFO:

RETAINING WALLS= N/A
NON-RETAINING WALLS 385 LF.

GUEST HOUSE NOTE:

GUEST HOUSE SHALL NEVER BE OFFERED FOR RENT. GUEST HOMES ON LOTS UNDER 35,000 SQ. FT. MAY NOT PROVIDE COOKING FACILITIES. A GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.

LOT DATA:

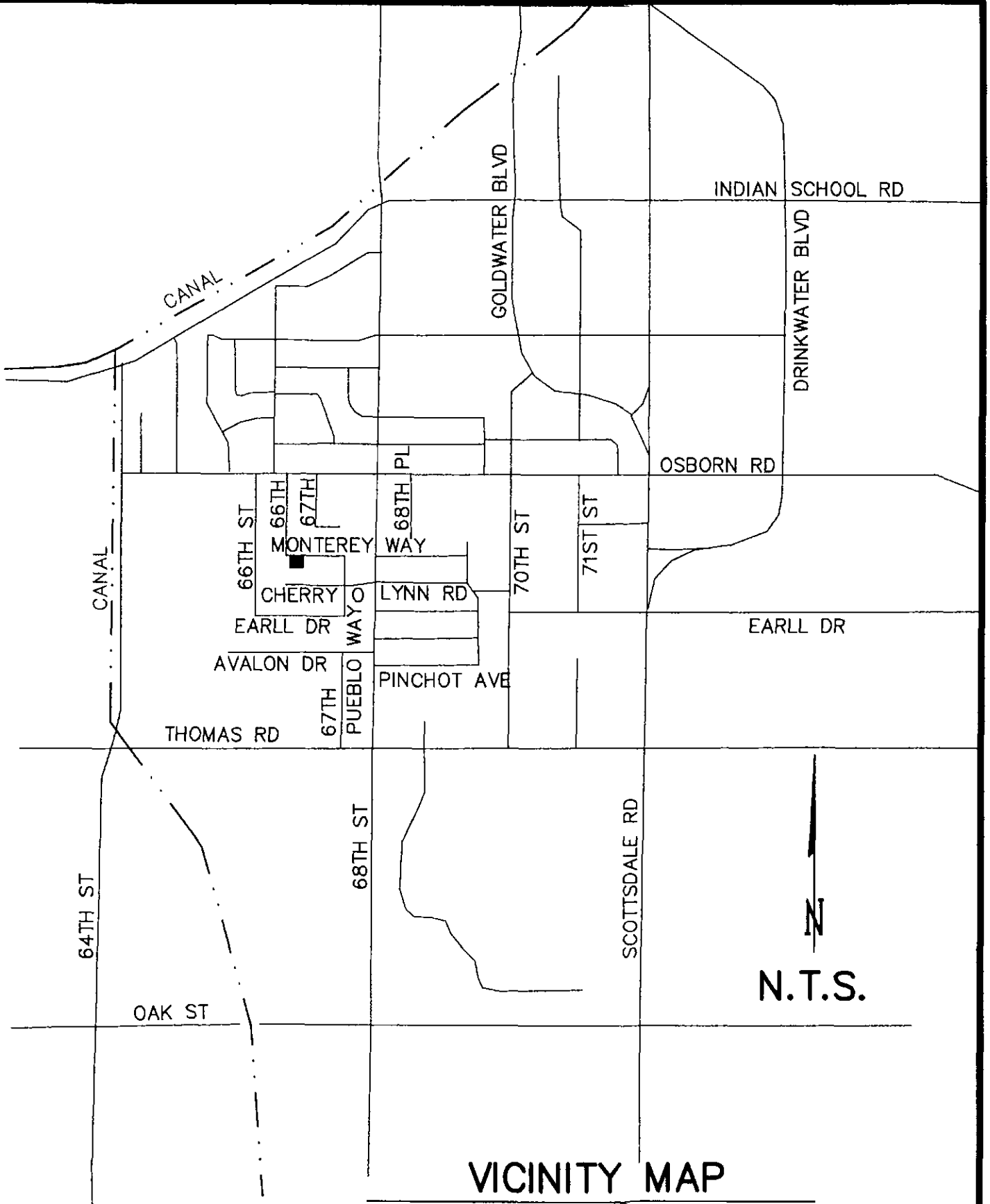
AREA= 9,934 S.F./0.22806 AC.±
SLOPE= PRE-ENGINEERED
NAOS REQUIRED= N/A S.F.
NAOS PROVIDED= N/A S.F.
LANDFORM= LOWER-DESERT

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



PRELIMINARY



CLIENT:

NICK MANCUSI
6125 E. INDIAN SCHOOL ROAD #252
SCOTTSDALE, AZ 85251
MANCUSIN@GMAIL.COM
262-224-1333

OWNER:

NICHOLAS & ADA ROSE MANCUSI
6125 E. INDIAN SCHOOL ROAD #252
SCOTTSDALE, AZ 85251

SITE ADDRESS:

6637 E. MONTEREY WAY
SCOTTSDALE, AZ 85251

ASSESSORS PCL. NO.:

130-47-094

ZONING:

R-5 DO

C.O.S. QUARTER SECTION NO.:

15-43

DATE:

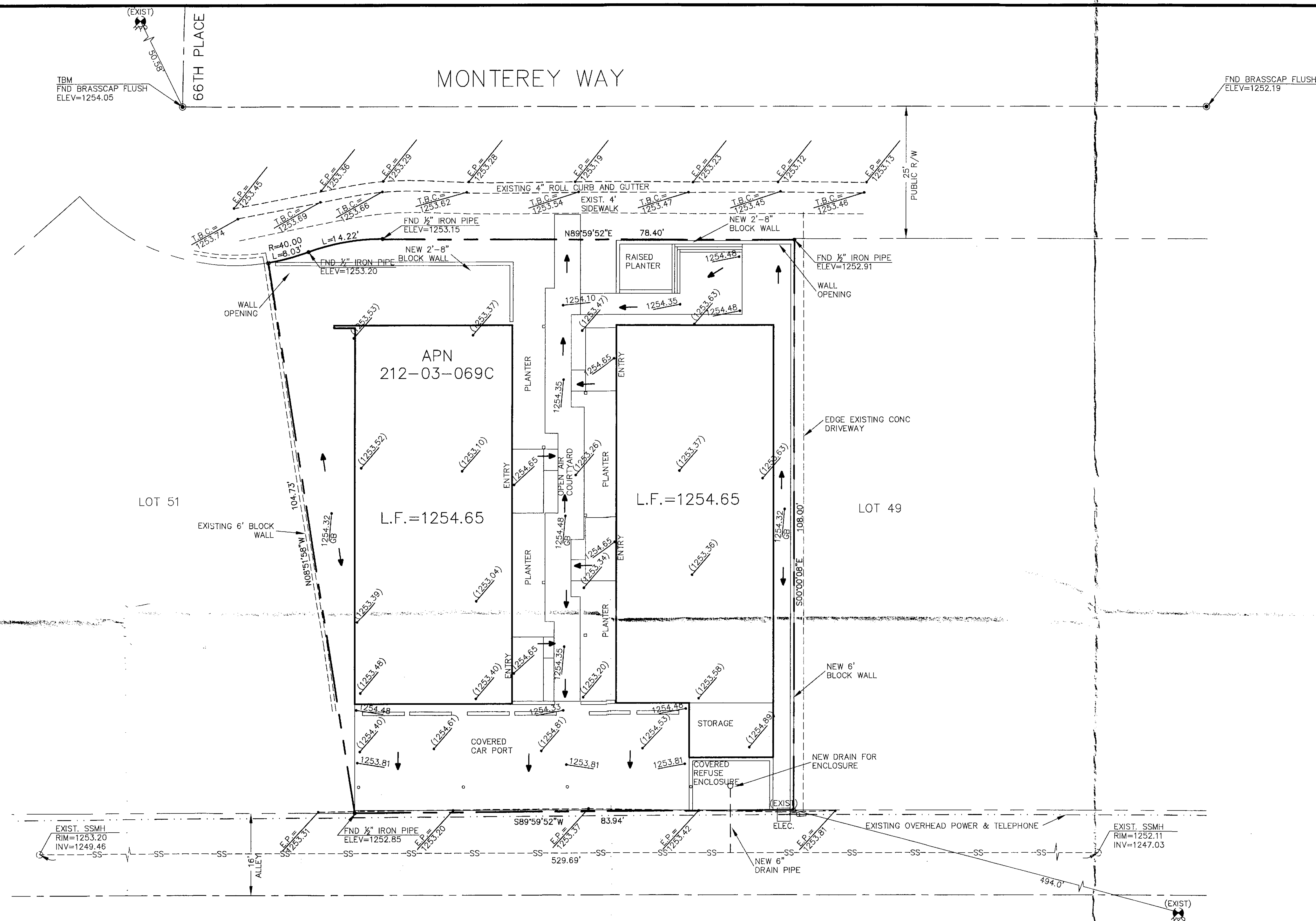
PHASE I	04-30-15	BF
PHASE II	07-24-15	BR
----	----	----
----	----	----



GRAHAM SURVEYING & ENGINEERING INC.

Civil Engineers & Land Surveyors
P.O. BOX 1240, Carefree, Arizona 85377
(480) 488-4393

LOT 50 HOLIDAY PARK, SHT. 1 OF 2, JOB #15-067p20



BENCHMARK:

FND COS BRASSCAP IN HAND HOLE, DOWN 0.7' AT INTERSECTION OF OSBORN ROAD & 66TH STREET. ELEVATION = 1255.76 (NAVD-88)

T.B.M.:

FND BRASSCAP (FLUSH) AT INTERSECTION OF MONTEREY WAY & 66TH PLACE NEAR NORTH WEST PROPERTY CORNER OF LOT 50 ELEVATION = 1254.05 (NAVD-88)

BENCHMARK CERTIFICATION:

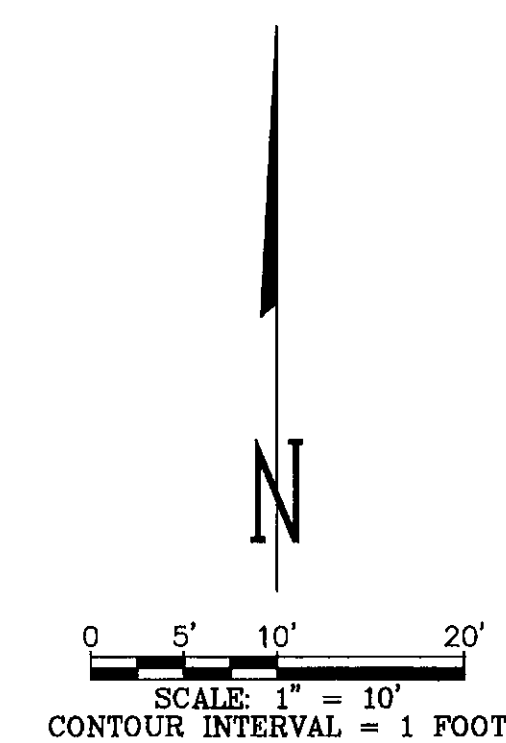
I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK.

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.

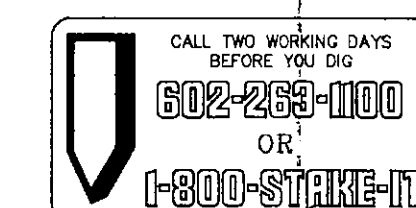


PRELIMINARY



DATE:

PHASE I	04-30-15	BF
PHASE II	07-24-15	BR
---	---	---
---	---	---

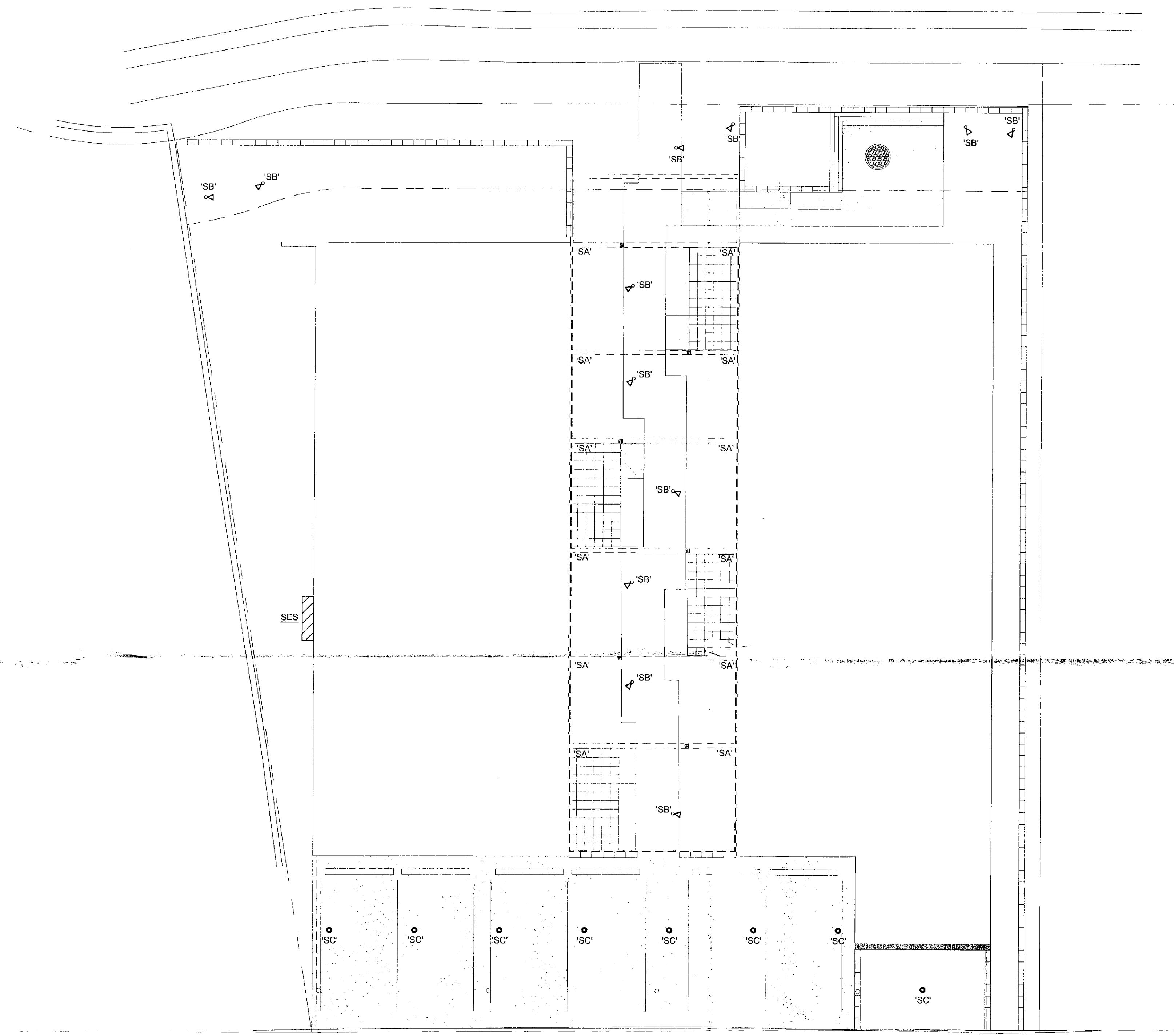


GRAHAM SURVEYING & ENGINEERING INC.

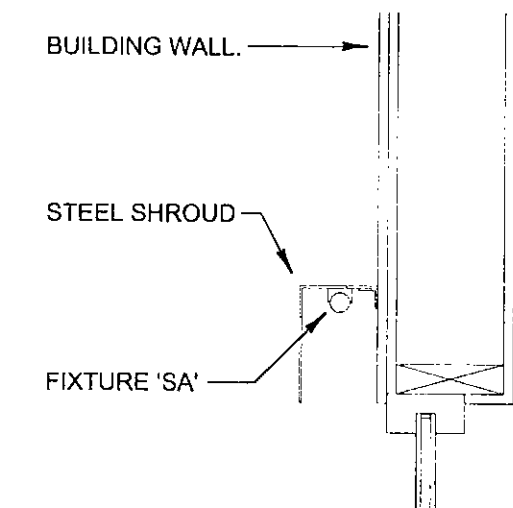
Civil Engineers & Land Surveyors
P.O. BOX 1240, Carefree, Arizona 85377
(480) 488-4393

LOT 50 HOLIDAY PARK, SHT. 2 OF 2, JOB #15-067p20

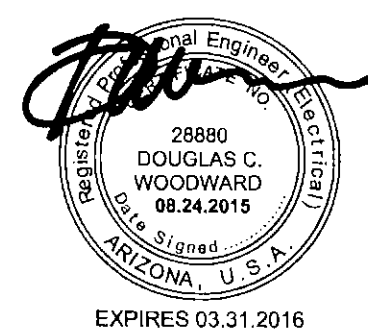
C-2



SITE PLAN
SCALE: 1/8" = 1'-0"



FIXTURE 'SA' MOUNTING DETAIL
SCALE: NONE



WOODWARD ENGINEERING
WE # 15104
203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, AZ 85281
(480.894.4057 • F 480.894.1063 • www.woodward-engineering.com

Site Plan
1" 4" 8" 1/8" = 1'-0"

DR | Development
Review Drawings

The Holiday Apartments

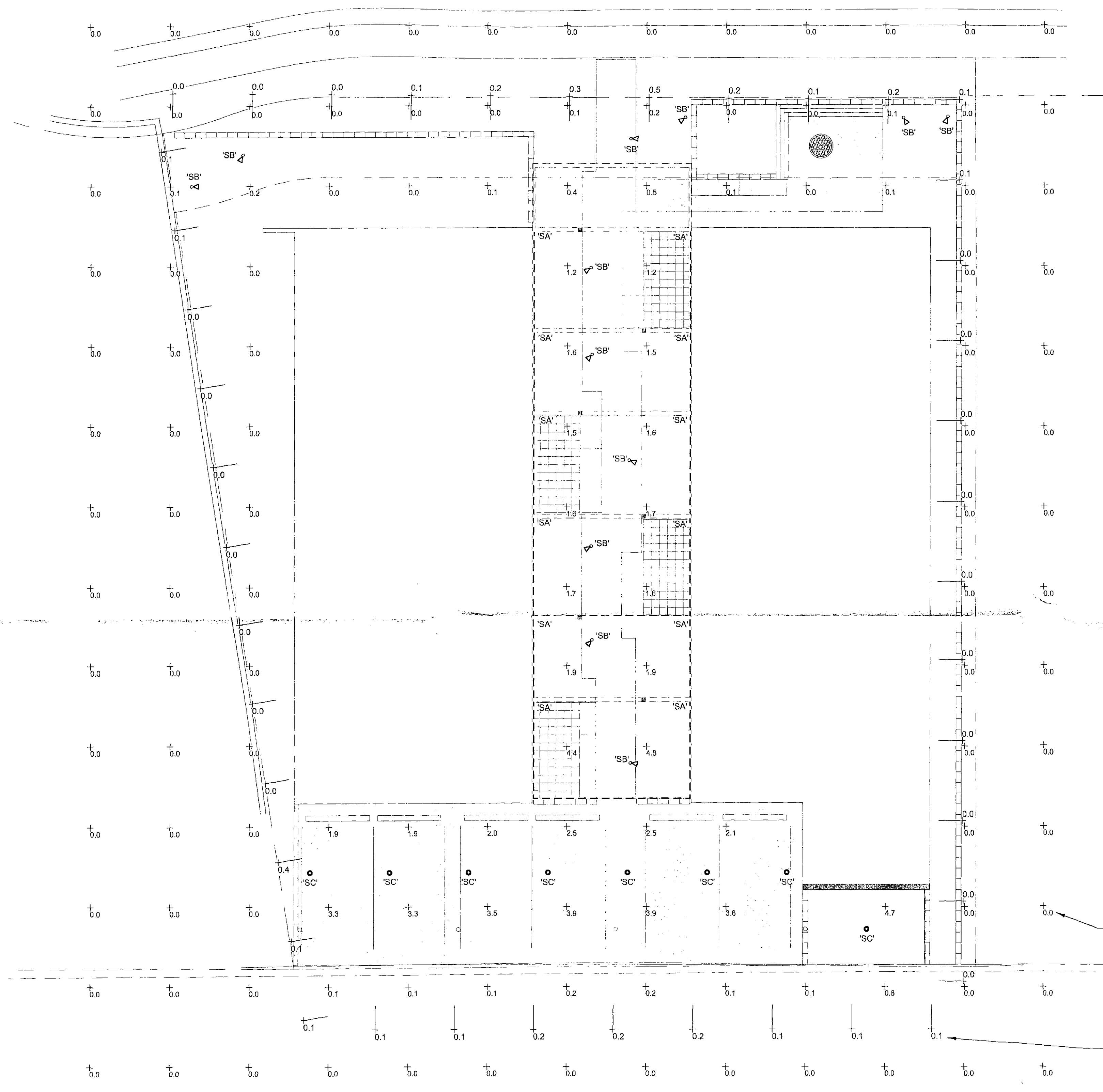
Date:
07.21.2015

6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
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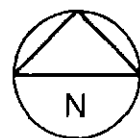
Mancusi Design LLC
PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

E01



SITE PHOTOMETRIC PLAN

SCALE: 1/8" = 1'-0"



INITIAL LIGHTING FIXTURE SCHEDULE

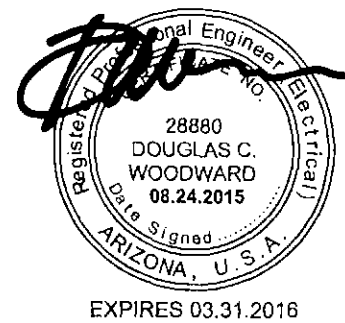
SYMBOL	TAG	MTG.	MANUFACTURER	CATALOG No.	VOLT	No.	TYPE	LAMPS			REMARKS
								LUMENS	C. TEMP	LLF	
---	'SA'	SURF	JESCO	DL-AC-FLEX-27	120	--	5W / FT LED	480/FT	2700K	1.0	120 V LED FLEX TAPE FULLY SHIELDED IN METAL SHROUD, MOUNTED AT APPROX 8' AFG
∞	'SB'	GND	WINSCAPE	ASPEN A SMR35 12 NFL FLC KM STK C2 DBL	12	--	9W LED MR16	590	2700K	1.0	BLACK L.V. LANDSCAPE LIGHT MOUNTED AT APPROX 6' AFG
●	'SC'	REC	GOTHAM	EVO 27/07 4AR WD LSS 120	120	--	10 W LED	750	2700K	1.0	4" ROUND LED DOWNLIGHT MOUNTED AT APPROX. 7'-0" AFG

MAINTAINED LIGHTING FIXTURE SCHEDULE

SYMBOL	TAG	MTG.	MANUFACTURER	CATALOG No.	VOLT	No.	TYPE	LAMPS			REMARKS
								LUMENS	C. TEMP	LLF	
---	'SA'	SURF	JESCO	DL-AC-FLEX-27	120	--	5W / FT LED	480/FT	2700K	0.9	120 V LED FLEX TAPE FULLY SHIELDED IN METAL SHROUD, MOUNTED AT APPROX 8' AFG
∞	'SB'	GND	WINSCAPE	ASPEN A SMR35 12 NFL FLC KM STK C2 DBL	12	--	9W LED MR16	590	2700K	0.9	BLACK L.V. LANDSCAPE LIGHT MOUNTED AT APPROX 6' AFG
●	'SC'	REC	GOTHAM	EVO 27/07 4AR WD LSS 120	120	--	10 W LED	750	2700K	0.9	4" ROUND LED DOWNLIGHT MOUNTED AT APPROX. 7'-0" AFG

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Site - Maintained LLF=.9	Illuminance	Fc	0.36	4.8	0.0	N.A.	N.A.	
Property line trespass - Initial LLF=1.0	Illuminance	Fc	0.09	0.5	0.0	N.A.	N.A.	

ALL FIXTURES AND ASSOCIATED HARDWARE TO BE BLACK OR DARK BRONZE.



WOODWARD ENGINEERING

203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, AZ 85281
T 480.894.4057 • F 480.894.1063 • www.woodward-engineering.com

Site Photometric Plan

DR Development
Review Drawings

1" = 1'-0"
1' 4' 8'

The Holiday Apartments

Date: 07.21.2015
6637 East Monterey Way, Scottsdale, Arizona 85251
Proposed Single Level Owner-Occupied Quadplex
P# 03201

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252, Scottsdale, Arizona 85251
P# 03201

Mancusi Design LLC
PO Box 305
Scottsdale, Arizona 85252-0305
mancusidesign.com

E02

SC*

4" EVO
Downlight
Single-Dance Lighting

PHOTOMETRY

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance: Single Luminaire 30° Above Floor

EVO 35/30 4AR LS

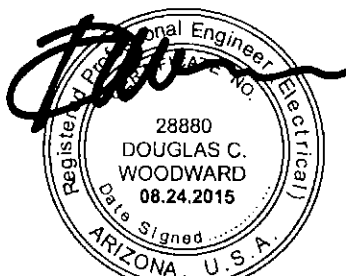
INPUT WATTS: 36.9, DELIVERED LUMENS: 3112, LMW=84.3, 1.07 S/MIL, TEST NO. LTJ27791

Zone	Lumens	Zone	Lumens	C.U.	50°		70°		90°		S/LT beam - 30°	S/LT beam - 40°
					Adj.	50°	70°	90°	50°	70°		
0	2102	0°-30°	2226.6	71.9	2	119 189 119	116 110	112 111 111	119 119 119	116 110	50° beam - 30°	50° beam - 40°
5	2221 216	0°-30°	2226.6	71.9	3	111 189 119	108 105	102 100	119 119 119	116 110	50° beam - 30°	50° beam - 40°
15	3133 309	0°-30°	2102.1	79.6	2	103 20 20	95 95	95 95	102 100	95 95	50° beam - 30°	50° beam - 40°
25	2417 209	0°-30°	2102.1	79.6	3	95 20 20	88 20 20	82 20 20	95 95	88 20 20	50° beam - 30°	50° beam - 40°
35	1117 624	30°-120°	0.0	0.0	2	90 91 91	83 90	80 90	91 91	83 90	50° beam - 30°	50° beam - 40°
45	186 50	30°-120°	0.0	0.0	3	83 71 71	77 71	72 71	83 71	77 71	50° beam - 30°	50° beam - 40°
55	8 0	30°-120°	0.0	0.0	4	77 64 64	72 64	67 64	77 64	67 64	50° beam - 30°	50° beam - 40°
65	2 0	30°-120°	0.0	0.0	5	72 61 61	67 61	62 61	72 61	62 61	50° beam - 30°	50° beam - 40°
75	3 2	30°-120°	0.0	0.0	6	67 59 59	62 59	57 59	67 59	57 59	50° beam - 30°	50° beam - 40°
85	2 2	30°-120°	0.0	0.0	7	62 57 57	57 57	52 57	62 57	52 57	50° beam - 30°	50° beam - 40°
95	0 0	30°-120°	0.0	0.0	8	57 52 52	52 52	47 52	57 52	47 52	50° beam - 30°	50° beam - 40°
100	0 0	30°-120°	0.0	0.0	9	52 47 47	47 47	42 47	52 47	42 47	50° beam - 30°	50° beam - 40°

EVO 35/15 4AR LS

INPUT WATTS: 17.3, DELIVERED LUMENS: 1559, LMW=87.2, 1.08 S/MIL, TEST NO. LTJ27786

Zone	Lumens	Zone	Lumens	C.U.	50°		70°		90°		S/LT beam - 30°	S/LT beam - 40°
					Adj.	50°	70°	90°	50°	70°		
0	1252	0°-30°	1044.0	71.6	2	119 189 119	116 110	112 111 111	119 119 119	116 110	50° beam - 30°	50° beam - 40°
5	1218 321	0°-30°	1119.2	71.9	3	111 189 119	108 105	102 100	119 119 119	116 110	50° beam - 30°	50° beam - 40°
15	1671 321	0°-30°	1044.0	71.6	2	103 20 20	95 95	95 95	102 100	95 95	50° beam - 30°	50° beam - 40°
25	1107 57	0°-30°	1044.0	71.6	3	95 20 20	88 20 20	82 20 20	95 95	88 20 20	50° beam - 30°	50° beam - 40°
35	595 305	30°-120°	0.0	0.0	2	90 91 91	83 90	80 90	91 91	83 90	50° beam - 30°	50° beam - 40°
45	86 50	30°-120°	0.0	0.0	3	83 71 71	77 71	72 71	83 71	77 71	50° beam - 30°	50° beam - 40°
55	2 1	30°-120°	0.0	0.0	4	77 64 64	72 64	67 64	77 64	67 64	50° beam - 30°	50° beam - 40°
65	0 0	30°-120°	0.0	0.0	5							




WE # 15104
WOODWARD ENGINEERING
 203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, ARIZONA 85283
 t 480.894.4057 • f 480.894.1053 • www.woodward-engineering.com

EXPIRES 03.31.2016

Fixture Cut Sheets
DR | Development
Review Drawings


 1" = 1'-0"

1' 4' 8'

The Holiday Apartment

Date: 07.21.2015

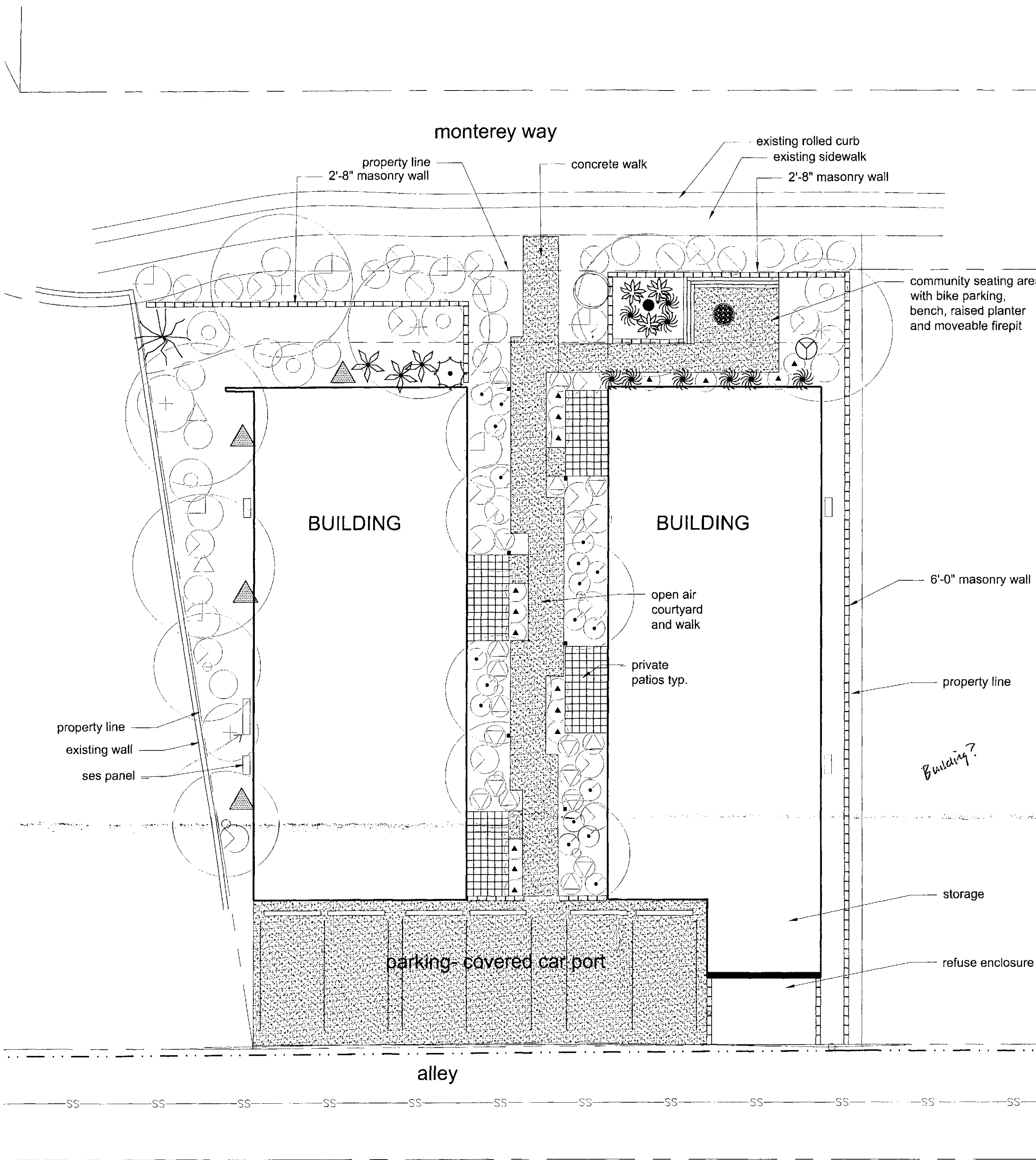
6637 East Monterey Way, Scottsdale, Arizona
 Proposed Single Level Owner-Occupied

Nicholas and Ada Rose
 6125 E Indian School Road, #252, Scottsdale, Arizona

Mancusi Design_{LLC}

PO Box 305
 Scottsdale, Arizona 85252-0305
mancusidesign.com

E0



LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

TREES	Size
Parkinsonia sp. Blue Palo Verde	15 Gallon
Prosopis velutina Native Mesquite	15 Gallon
Prosopis hybrid 'Phoenix' Hybrid Phoenix Mesquite	15 Gallon
Caesalpinia mexicana Mexican Bird of Paradise	15 Gallon
SHRUBS	Size
Tecoma stans Arizona Yellow Bells	5 gallon
Larrea tridentata Creosote	5 gallon
Justicia californica Chuparosa	5 gallon
Viguiera deltoidea Golden Eye	5 gallon
Encelia farinosa Brittle Bush	5 gallon
Aloe barbadensis African Aloe	5 gallon
Justicia fulvicoma Mexican Plume	5 gallon
Gaura lindheimeri Gaura	5 gallon
CACTI/SUCCULENTS	Size
Fouquieria splendens Ocotillo	16" box
Lophocereus schottii Totem Pole	5 gallon
Opuntia ficus indica Thornless Prickly-pear	5 gallon
Agave Weberii Weber's Agave	5 gallon
Agave desmettiana Smooth Agave	5 gallon
Asclepias subulata Desert Milkweed	5 gallon
Lophocereus monstrosa Native Totem Pole	5 gallon
Euphorbia antisyphilitica Candelilla	5 gallon
INERT GROUNDCOVER	Size
Recycled concrete rip rap at downspouts and areas called for on civil	16" box
2" thickness of 3/4" minus Decomposed Granite in all landscape areas	5 gallon

CITY OF SCOTTSDALE NOTES

Areas of decomposed granite without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any on \ direction, measured between plant canopies and/or coverage. (If you're in an ELSO or HD area, delete the "decomposed granite and put "salvaged desert surface soil")

A minimum of 50 percentage of the provided trees shall be mature trees, pursuant to the City of Scottsdale's Zoning Ordinance Article Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article III, Section 3.100

A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6 I inches above finished grade adjacent to the trunk.

A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest I diameter of the trunk 12-inches above finished grade adjacent to the trunk.

A multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 6" above finished grade if all trunk ~originate from the soil.

Area within the Sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet * Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.

No turf areas are to be provided.

Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders ~ etc.) shall require additional final plans staff review and approval.

All right-of-way adjacent to this property shall be landscaped and maintained by the property

Prior to the establishment of water service, nonresidential projects with an estimated annual water demand of (10) acre-feet or more shall submit a conservation plan in conformance with Sections 49-245 through 49-248 of the City Code to the Water Conservation Office. II

Turf shall be limited to the maximum area specified in Sections 49-245 through 49-248 of the City Code and shall be shown on landscape plans submitted at the time of final plans.

No lighting is approved with the submittal.

The landscape specification section(s) of these plans have not reviewed and shall not be part of the City of Scottsdale's Approval.

All signs require separate permits and approvals.

New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the Certificate of Occupancy / Letter of Acceptance to the satisfaction of the Inspection Services Staff.

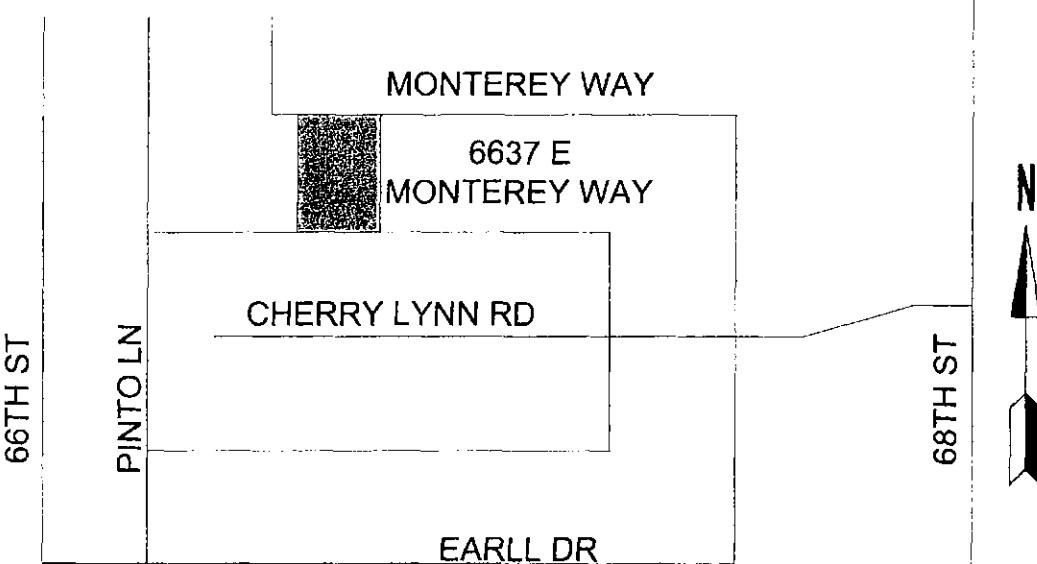
NOTE: NO TREES, SHRUBS OR WALLS SHALL BE WITHIN A 5' RADIUS OF ALL FIRE HYDRANT AND OR FIRE DEPARTMENT CONNECTION.

OWNER

Nicholas and Ada Rose Mancusi
6125 E Indian School Road, #252
Scottsdale, Arizona 85251

ZONING

R-5



VICINITY MAP

GENERAL LANDSCAPING NOTES:

The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (See specifications)

For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.

The Landscape Architect is to approve any and all substitutions.

Plant list provided for contractor's convenience only. Plans take precedence.

Double stake all 15 gallon and 24" box trees as required.

Sprinkler Contractor must guarantee 100% coverage in all landscape areas.

Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.

Finished grade in ground cover, granite and lawn areas shall be 1" below adjacent header board, paving, curbing, etc.

Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.

Ground cover and/or decomposed granite shall extend under shrubs unless noted.

After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.

Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.

All earthwork is to be done so that all water drains away from all structures.

A pre-emergent herbicide is to be applied to all granite areas after the granite has been laid. Include all river rock areas, granite rip rap etc., if applicable.

All underground conduits are to be located before digging. If doubt exists call Blue Stake at (602) 263-1100.

All material to be guaranteed for a period of one (1) year after final acceptance.

Landscape Contractor is responsible for moving, rough grade, and final grading on all landscaped areas.

A planting mix of 1/3 mulch, 2/3 native soil mixed thoroughly is to be used as plant backfill.

Remove existing grass and weeds from all areas to be converted into decomposed granite areas. Site verify all existing turf conditions.

Review site and conditions prior to bidding. Any discrepancies are to be brought to the attention of the Landscape Architect immediately and clarified in the bid. No change orders due to field conditions will be accepted once the contract has been awarded.

In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.

Existing landscape to be preserved. Repair damaged areas as necessary. See existing landscape and irrigation notes.

All existing trees are to be protected and watered during all phases of construction. If any tree should die from damage or neglect, it shall be replaced with a like species and size.

Apply systemic spray to remove existing weeds and grasses. (see Recommended Turf Removal Methodology).

Reseed as necessary to repair demolition of existing planters.

All finished granite areas are to be 1" below all sidewalks and curbs.

Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the LA prior to any planting.

Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from LA in writing.

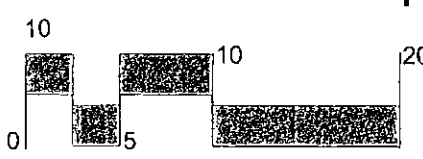
LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED BY DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.

landscape plan

CALL TWO WORKING DAYS BEFORE YOU DIG
(602) 263-1100
1-800 STAKE IT
(OUTSIDE MARICOPA COUNTY)



Chris Winters & Associates + ARC studios
820 north 3rd street, phoenix, arizona 85004
tel 602 955 8888 fax 602 243 3806
email cw@cwadesign.com
landscape architecture urban design

The Holiday
6637 East Monterey Way
Scottsdale, Arizona 85251
landscape plan

Drawn: CW
Checked: CW
Date: 2015-07-27

Revisions: 9-25-15

CITY NUMBERS

35-DR-2015

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