

## Final Plans



**CONTACT**

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REVISION NO.	DATE
1 permit revision- site	03.22.2016
2 February RFIs	03.04.2016
3 reissue- slab plans	03.08.2016
4 March RFIs	04.01.2016
5 Civil Coordination	04.01.2016
6 permit revision 2- site	04.13.2016

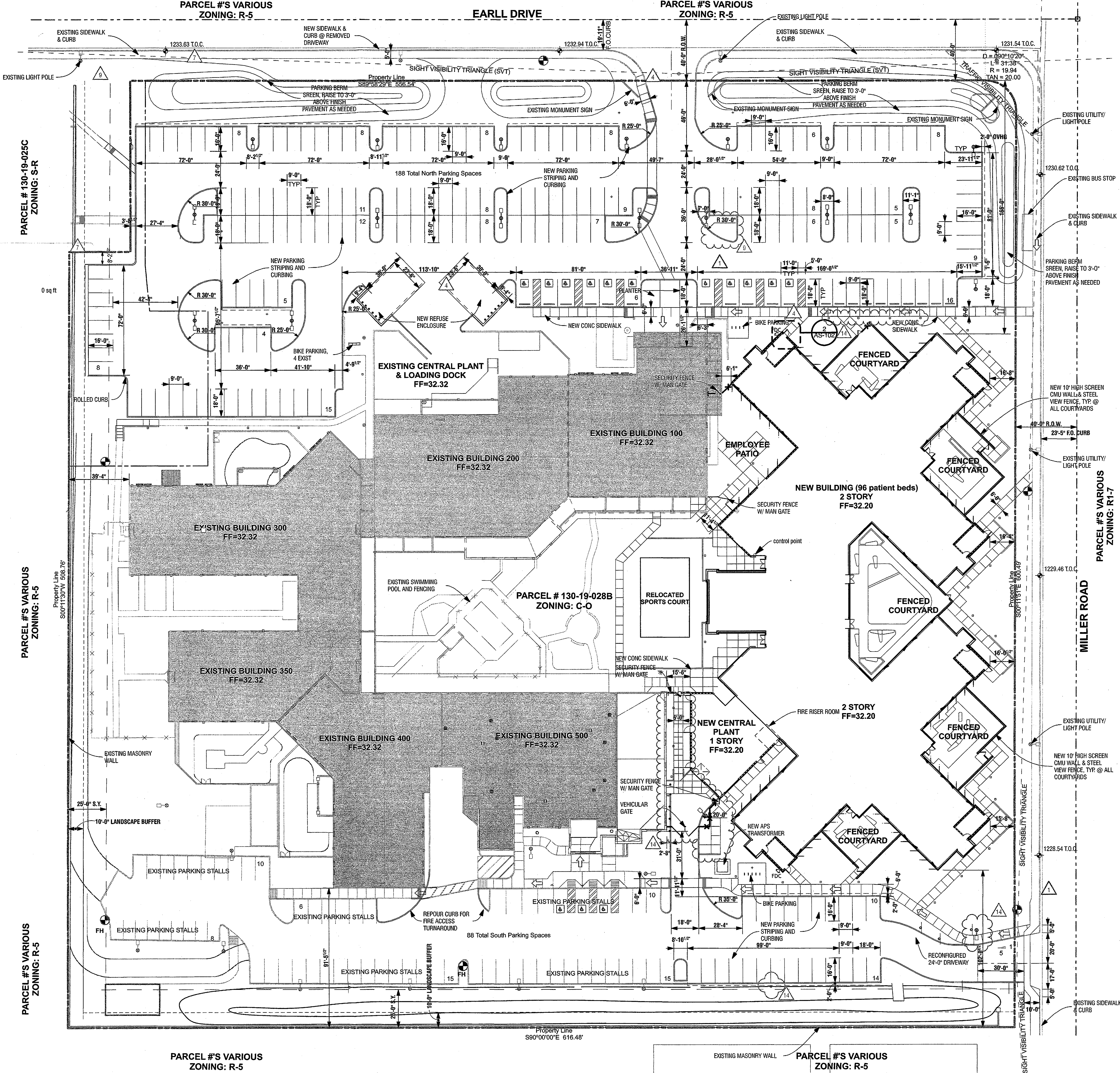
SHEET NO.

NO toll areas shall be provided.

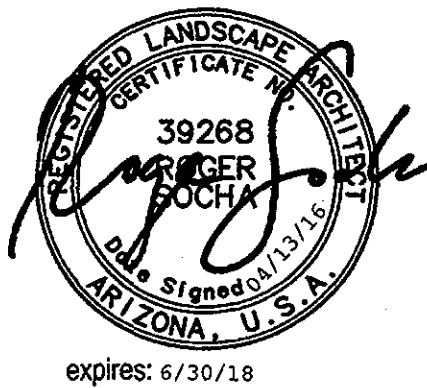
**Banner Behavioral Health  
Hospital Inpatient Building**  
7575 East Dr  
SCOTTSDALE, Arizona 85251

SCALE: 1" = 30'

0 30' 60'







02/08/18

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# BANNER BEHAVIORAL HEALTH HOSPITAL INPATIENT BUILDING

## LANDSCAPE ARCHITECTURAL SUBMITTAL - CONSTRUCTION DOCUMENTS

### PROJECT NOTES

THE DRAWINGS, SPECIFICATIONS, AND ADDENDA DESCRIBING WORK FOR LANDSCAPE, HARDSCAPE, AND IRRIGATION PORTIONS OF THE PROJECT SHALL BE REFERRED TO AS THE LANDSCAPE CONSTRUCTION DOCUMENTS.

1. COMPLIANCES
  - A. PROVIDE WORK PER LANDSCAPE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND CITY OF SCOTTSDALE SUPPLEMENTS TO MAG UNIFORM STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE IN LANDSCAPE CONSTRUCTION DOCUMENTS. BE FAMILIAR WITH THESE STANDARD SPECIFICATIONS, DETAILS, AND SUPPLEMENTS PRIOR TO BIDDING WORK COVERED BY THESE PLANS AND SPECIFICATIONS.
  - B. CONFORM TO APPLICABLE CODES AND ORDINANCES OF GOVERNING AUTHORITIES HAVING JURISDICTION (FEDERAL, STATE, LOCAL AND HEALTH DEPARTMENTS).
2. CONTRACTOR RESPONSIBILITIES
  - A. INSPECT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS THAT COULD AFFECT INSTALLATION OF WORK PRIOR TO SUBMITTING A BID.
  - B. OBTAIN PERMITS AND COMPLY WITH REQUIREMENTS TO COMPLETE THE WORK.
  - C. REVIEW PROJECT AND CONSTRUCTION SEQUENCE MILESTONE DATES WITH OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
  - D. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
  - E. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, COORDINATION, & SEQUENCING OF WORK.
  - F. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING WALKS, WALLS, DRIVES, CURBS, UTILITIES, AND OTHER IMPROVEMENTS.
  - G. PROTECT (IN-PLACE) EXISTING TREES & PLANT MATERIALS DESIGNATED TO REMAIN. SURROUND WITH PROTECTIVE FENCING APPROVED BY OWNER'S REPRESENTATIVE. ERECT PROTECTIVE FENCING BEFORE EARTH MOVING EQUIPMENT IS MOVED ONTO SITE AND BEFORE SALVAGE CLEARING AND GRUBBING TAKES PLACE. REPLACE IN KIND PLANT MATERIAL DAMAGED OR DESTROYED DURING CONSTRUCTION AT NO EXPENSE TO OWNER.
  - H. COORDINATE WORK WITH TRADES ON SITE AS NECESSARY TO ENSURE ORDERLY AND EFFICIENT COMPLETION OF WORK.
  - I. BE RESPONSIBLE FOR HAULING AND LEGALLY DISPOSING OF MATERIALS DESIGNATED TO BE REMOVED. PROVIDE RECEIPTS FOR DUMPING TO OWNER'S REPRESENTATIVE.
  - J. PROVIDE OWNER WITH WARRANTY INFORMATION, OPERATIONS AND MAINTENANCE INSTRUCTION MANUALS, AND PRODUCT INFORMATION FOR EQUIPMENT OR MACHINERY INSTALLED ON SITE, WITHIN TWO WEEKS AFTER SUBSTANTIAL COMPLETION.
3. QUESTIONS, DISCREPANCIES, MODIFICATIONS
  - A. IF QUESTIONS ARISE REGARDING LANDSCAPE CONSTRUCTION DOCUMENTS, CONTACT OWNER'S REPRESENTATIVE FOR CLARIFICATION BEFORE PROCEEDING FURTHER WITH WORK.
  - B. REPORT DISCREPANCIES BETWEEN PLANS AND SITE CONDITIONS IMMEDIATELY IN WRITING TO OWNER'S REPRESENTATIVE.
  - C. DO NOT MAKE DESIGN MODIFICATIONS WITHOUT WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE/ LANDSCAPE ARCHITECT.
4. LOCATE UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION. PROTECT FROM DAMAGE DURING CONSTRUCTION. CALL AZ BLUE STAKE CENTER 602-263-1100 OR 1-800-STAKE-IT PRIOR TO EXCAVATION. EXISTING UNDERGROUND SERVICES SHALL NOT BE DISTURBED OR REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS OR WITHOUT WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE. BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING CONSTRUCTION OPERATIONS.
5. LAYOUT INFORMATION IS APPROXIMATE AND MUST BE VERIFIED WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN FIELD. PRESENT CONFLICTS OR ADJUSTMENTS GRAPHICALLY TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
6. QUANTITIES AND SITE CONDITIONS SHOWN ON PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. VERIFY ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING WORK.
7. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
8. PROVIDE GENERAL SITE GRADING TO WITHIN +/- 0.10 FOOT, AND CONSTRUCT BERMS, SWALES AND RETENTION AREAS PER GRADE PLANS. LANDSCAPE AREAS SHALL NOT EXCEED 4:1 MAXIMUM SLOPE AND TURF AREAS SHALL NOT EXCEED 5:1 MAXIMUM SLOPE. VERIFY AND ACCEPT ROUGH GRADES PRIOR TO STARTING LANDSCAPE AND IRRIGATION WORK. PROTECT DRAINAGE FLOWS AND MAINTAIN THROUGHOUT LANDSCAPE AND IRRIGATION CONSTRUCTION.
9. QUALITY: WORK & MATERIALS AS PART OF THIS PROJECT SHALL BE OF A GRADE & QUALITY CONSISTENT WITH INTENDED USE AS APPROVED BY OWNER'S REPRESENTATIVE. WORK & MATERIALS NOT IN CONFORMANCE WITH LANDSCAPE CONSTRUCTION DOCUMENTS, OR THEIR INTENDED USE, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
10. COMPLETE & FUNCTIONING WORK: PROVIDE EQUIPMENT & MATERIALS NOT SPECIFICALLY IDENTIFIED BUT REQUIRED FOR A COMPLETE & FUNCTIONING INSTALLATION AS PART OF WORK WITHOUT ADDITIONAL COST TO OWNER.
11. CLEAN UP: KEEP SITE CLEAN AT ALL TIMES. PROVIDE TRASH BINS. AT COMPLETION OF CONSTRUCTION, PROJECT SHALL BE CLEAN OF DEBRIS OR SPOIL RESULTING FROM CONSTRUCTION. TURN OVER SITE TO OWNER IN BROOM OR RAKED CLEAN CONDITION.

### GENERAL CONSTRUCTION NOTES

1. ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED.
2. ANY PLANT MATERIAL THAT MUST BE REMOVED DUE TO CONSTRUCTION MUST BE APPROVED BY OWNER'S REPRESENTATIVE. NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO REMOVAL AND/OR RELOCATION OF ALL PLANTS.
3. IF ANY EXISTING PLANT MATERIAL THAT IS TO REMAIN IS DAMAGED BY CONTRACTOR, THE CONTRACTOR SHALL REPLACE THE DAMAGED PLANT WITH NEW MATERIAL OF THE SAME SIZE AND VARIETY AT NO COST TO THE OWNER.
4. DO NOT DISTURB OR COMPACT SOIL WITHIN BRANCH SPREAD OF TREES OR SHRUBS TO REMAIN WITHOUT APPROVAL AND SUPERVISION OF THE OWNER'S REPRESENTATIVE.

### HARDSCAPE CONSTRUCTION NOTES

1. PROVIDE MOCKUP OF DESIGNATED CONSTRUCTION COMPONENTS, SEPARATE FROM PERMANENT WORK, FOR REVIEW AND ACCEPTANCE BY OWNER'S REPRESENTATIVE PRIOR TO THE INSTALLATION OF WORK. INCLUDE ALL ITEMS SPECIFIC TO THE WORK. APPROVED MOCKUPS REPRESENT ACCEPTED LEVEL OF QUALITY AND ARE TO REMAIN UNDISTURBED & AVAILABLE FOR REFERENCE UNTIL END OF PROJECT. REFER TO MATERIAL/FINISH SCHEDULE FOR LIST OF REQUIRED MOCK-UPS.
2. NOTIFY OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF CONCRETE OPERATIONS. ALLOW OWNER'S REPRESENTATIVE TO OBSERVE EXCAVATIONS AND APPROVE REINFORCING PRIOR TO CONCRETE PLACEMENT.
3. PROVIDE ELECTRICAL AND IRRIGATION SLEEVES UNDER PAVING AND THROUGH WALLS TO

- PLANTING AREAS. SIZE AS REQUIRED EXCAVATION UNDER FOOTINGS WILL NOT BE PERMITTED. SLEEVES TO RUN THROUGH STEM WALL ABOVE FOOTING BELOW GRADE.
4. FOUNDATIONS: EXCAVATE NEAT SOIL LINES FOR FOOTINGS. REMOVE LOOSE MATERIAL FROM SURFACE TO RECEIVE CONCRETE. PLACE FOUNDATION CONCRETE ONLY ON CLEAN, FIRM, INSPECTED BEARING MATERIAL. FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR ENGINEERED FILL. REFER TO GEOTECHNICAL REPORT. BEAR FOOTINGS AT DEPTHS INDICATED ON PLANS BUT AT DEPTHS NO SHALLOWER THAN 18" BELOW GRADE WITHIN 5 FEET OF BUILDING FOUNDATION.
  5. VERIFY HEIGHTS, SLOPES, EDGE THICKNESS, AND TURNDOWNS BEFORE POURING FOOTINGS AND SLABS.
  6. CONCRETE FLAT WORK ON GRADE SHALL BEAR ON UNDISTURBED NATIVE OR ENGINEERED BASE AS IDENTIFIED IN GEOTECHNICAL REPORT. REFER TO GEOTECHNICAL REPORT FOR SITE GRADING, SUBGRADE SOIL PREPARATION AND FILL AND COMPACTION REQUIREMENTS.
  7. CONCRETE MIX DESIGNS:
    - A. NON-FOOTING CONCRETE MAG CLASS 'A' (3000 PSI), UNLESS OTHERWISE NOTED ON DRAWINGS.
    - B. FOOTING CONCRETE MAG CLASS 'B' (2500 PSI), UNLESS OTHERWISE NOTED ON DRAWINGS.
    - C. PROVIDE CONCRETE MIX DESIGNS TO OWNER'S REPRESENTATIVE FOR REVIEW.
  8. CONCRETE TESTING: SUBMIT PRISM TEST REPORTS FOR CONCRETE MIX DESIGNS TO OWNER'S REPRESENTATIVE FOR REVIEW.
  9. CONCRETE FORMWORK SHALL BE INSPECTED BY OWNER'S REPRESENTATIVE AND APPROVED PRIOR TO CONCRETE POURS. CURVED FORMWORK SHALL BE CONTINUOUS THROUGHOUT CURVE, WITHOUT BREAKS OR FOLDS.
  10. INSTALL CONCRETE FLAT WORK WITH CONSTANT SLOPE BETWEEN TWO SPOT ELEVATIONS. ACCOMPLISH CHANGES IN SLOPE IN A GRADUAL MANNER. SLOPE HARDSCAPE AWAY FROM BUILDINGS AT MINIMUM 1/8:12 (1%) SLOPE, MAXIMUM 1:20 (5%) SLOPE, AND MEET ADA REQUIREMENTS.
  11. PROVIDE FIBER BOARD WITH JOINT CAP MATERIAL EXPANSION JOINTS IN PAVING. PROVIDE MINIMUM 1/2-INCH TOPPING OF 'SIKA FLEX' OR EQUAL EXPANSION JOINT SEALANT. COLOR TO MATCH ADJACENT MATERIAL AND BE APPROVED BY OWNER'S REPRESENTATIVE; FINISH WITH 100% COVERAGE OF SILICA SAND WHILE STILL TACKY.

### PLANTING NOTES

1. REVIEW THIS PROJECT WITH THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO STARTING WORK.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION NOT SHOWN ON DRAWINGS.
3. IF ANY QUESTIONS OR DISCREPANCIES ARISE REGARDING THESE PLANS OWNER'S REPRESENTATIVE FOR CLARIFICATIONS BEFORE PROCEEDING FURTHER.
4. SECURE NECESSARY PERMITS AND NOTIFY UTILITY COMPANIES PRIOR TO CONSTRUCTION. ADHERE TO APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, CODES AND ORDINANCES PERTAINING TO PROJECT.
5. LOCATE AND PROTECT UNDERGROUND UTILITIES, PIPES AND STRUCTURES PRIOR TO STARTING WORK. TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES DURING INSTALLATION OF LANDSCAPE AND IRRIGATION.
6. TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT PUBLIC AND ADJACENT PROPERTIES DURING EXECUTION OF WORK.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND ROUGH GRADES PRIOR TO STARTING WORK.
8. PROVIDE INCIDENTAL GRADING OF AREAS ADJACENT TO CURBS AND SIDEWALKS.
9. PROVIDE FINE GRADING (+/- 10 FOOT) OF ALL MOUNDS AND SWALES.
10. FINISH GRADE OF PLANTING BEDS AND D.G. AREAS TO BE 1/2-INCH BELOW ADJACENT PAVING, UNLESS OTHERWISE NOTED ON DRAWINGS. PROVIDE SOIL LEVEL 2-1/2-INCHES BELOW CURBS OR SIDEWALKS FOR AREAS RECEIVING DECOMPOSED GRANITE.
11. APPLY PRE-EMERGENT HERBICIDE TO SOIL BEFORE AND AFTER DECOMPOSED GRANITE HAS BEEN PLACED (AS APPROVED) PER MANUFACTURER'S SPECIFICATIONS. REAPPLY AS NECESSARY DURING MAINTENANCE PERIOD.
12. INSTALLATION OF LANDSCAPE AND IRRIGATION SYSTEM INCLUDING ADDITION OF GROUND PLANE MATERIALS SHALL NOT IMPEDE FLOW OF DESIGNED DRAINAGE FACILITIES NOR DECREASE DESIGN VOLUME OF DETENTION/RETENTION BASINS. ADHERE TO GRADING PLANS FOR DRAINAGE FLOWS AND BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, WALLS AND STRUCTURES WITHOUT OBSTRUCTIONS.
13. PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO ARIZONA NURSERYMEN'S ASSOCIATION STANDARDS FOR HEIGHT, WIDTH AND CALIPER UNLESS INDICATED OTHERWISE ON THESE PLANS.
14. LANDSCAPE ARCHITECT RESERVES RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE UPON DELIVERY TO SITE. CONTACT LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE INSTALLATION.
15. NO ROOT BOUND TREES WILL BE ACCEPTED OR PLANTED. REPLACE PLANTS FOUND TO BE ROOT BOUND UP TO ONE (1) YEAR AFTER INSTALLATION AT NO EXTRA COST TO OWNER.
16. MAKE NO PLANT SUBSTITUTIONS OF TYPE OR QUANTITY, THAT DEVIATE FROM DRAWINGS WITHOUT PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
17. WATER TEST TEST PLANTING PITS PRIOR TO PLANTING. IF PLANT PIT DOES NOT DRAIN PER SPECIFICATIONS, DO NOT PLANT AND CONTACT OWNER'S REPRESENTATIVE TO APPROVE USE OF HARDPAN PLANTING PROCEDURES AND DETAILS SHOWN ON THESE PLANS.
18. USE PLANT BACKFILL MIX AS INDICATED.
19. COORDINATE SHRUB AND TREE PLANTING INSTALLATION WITH OTHER CONSTRUCTION WORK ON SITE.
20. STAKE TREES WHEN PLANTED AS REQUIRED OR INDICATED ON DRAWINGS. MAINTAIN LANDSCAPE THROUGHOUT CONSTRUCTION PERIOD INCLUDING WEEDING, CULTIVATING, TRIMMING AND FERTILIZATION. SEE SPEC.
21. PLANT MATERIALS LOCATED WITHIN RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
22. PLANT CLEARANCE REQUIREMENTS; CONTRACTOR SHALL LOCATE PLANTS TO MAINTAIN THE FOLLOWING CLEARANCE REQUIREMENTS:
  - 8 FOOT CLEARANCE: IRRIGATION SPRINKLER HEADS, LIGHT FIXTURES, AND OTHER OBSTRUCTIONS.
  - 5 FOOT CLEARANCE: FIRE HYDRANTS, FIRE SUPPRESSION DEVICES (NO PLANTS SHALL ENCROACH WHEN MATURE).
  - 3 FOOT CLEARANCE: IRRIGATION VALVE BOXES
23. AFTER LANDSCAPE AND IRRIGATION INSTALLATION, PROVIDE NATIVE SITE SOIL, DECOMPOSED GRANITE, OR INERT GROUND COVER FOR TOP DRESSING OF PLANTING AREAS. IN AREAS RECEIVING DECOMPOSED GRANITE, INERT GROUND COVER, OR GRANITE SHALL EXTEND UNDER SHRUBS AND TREE CANOPIES. PROVIDE 5 EACH SAMPLES OF DECOMPOSED GRANITE, INERT GROUND COVER FOR LANDSCAPE ARCHITECT'S APPROVAL. MOCK-UP AREA SIZE PER MATERIAL/FINISH SCHEDULE.

24. BE RESPONSIBLE FOR ESTABLISHING, MAINTAINING AND GUARANTEE OF LANDSCAPING AS PER PLANS. MAINTAIN LANDSCAPE THROUGHOUT CONSTRUCTION PERIOD, INCLUDING WEEDING, CULTIVATING, TRIMMING, AND FERTILIZING.
25. LANDSCAPE ARCHITECT MAY INSPECT PLANT MATERIAL AT SOURCE OF SUPPLY FOR COMPLIANCE REQUIREMENTS FOR QUALITY, SIZE, SHAPE, FORM AND VARIETY. PLANTS SHALL BE CLEARLY MARKED PRIOR TO REVIEW.
26. PROVIDE PLANT STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED. TRADEMARKED PLANTS SHALL BEAR NURSERY TAG.
27. NOTIFY LANDSCAPE ARCHITECT TWO (2) DAYS NOTICE PRIOR TO REQUIRED SITE OBSERVATIONS.
  - ROUGH GRADING
  - AT COMPLETION OF FINE GRADING, PRIOR TO PLANTING
  - SEE IRRIGATION NOTES FOR IRRIGATION INSPECTIONS
  - AT TIME OF LOCATION OF PLANT MATERIAL ON SITE, PRIOR TO PLANTING
  - UPON COMPLETION AND ACCEPTANCE BY LANDSCAPE ARCHITECT TO ESTABLISH COMPLETION OF START DATE OF SPECIFIED LANDSCAPE MAINTENANCE PHASE
  - AT COMPLETION OF THE PLANT ESTABLISHMENT AND MAINTENANCE PHASE
28. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS AND DUE TO GRADE LIMITATIONS ON SITE. REVIEW MODIFICATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
29. MINIMUM SETBACK FOR PLANTS: MINIMUM SETBACKS TO BE MAINTAINED BETWEEN PLANTINGS AND ADJACENT WALK, DRIVE AND/OR STREETS: TREES 8FT; CACTI (LARGE) 6FT; CACTI (SMALL) 4 FT AND SHRUBS 3FT. MATURE HEIGHT OF 3 FT. OR MORE INCLUDES CACTI, YUCCA AND OCOTILLO.

### CONTRACTOR MAINTENANCE AND GUARANTEE

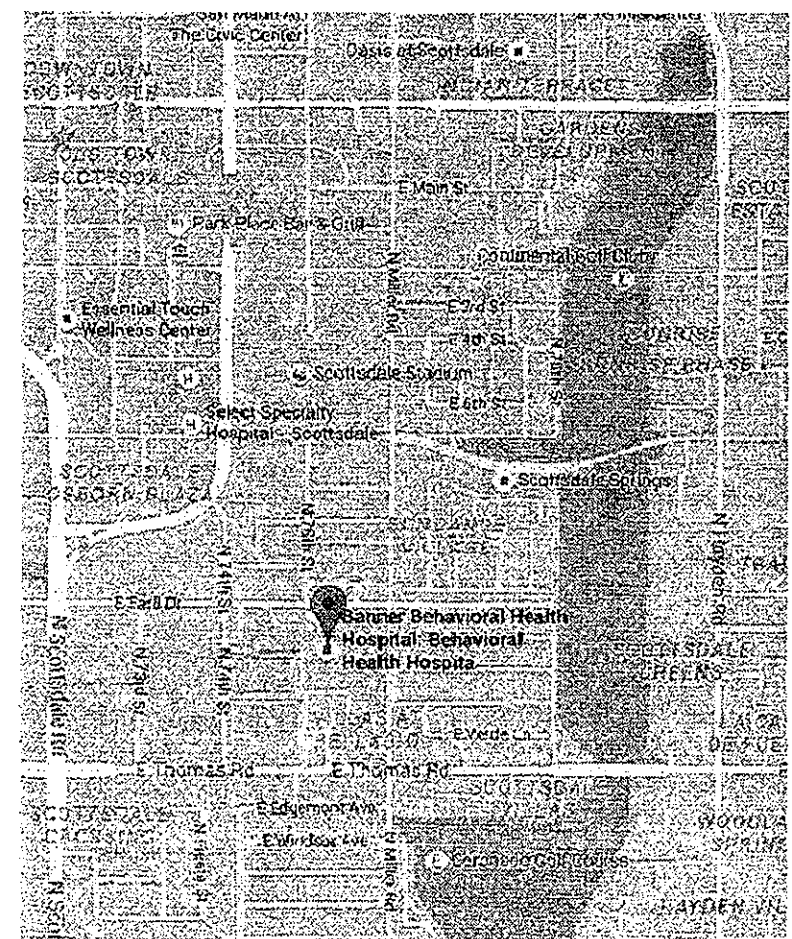
1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPED AREAS FOR A PERIOD OF NINETY (90) DAYS. MAINTENANCE INCLUDES WATERING, TRIMMING, WEEDING, AND CULTIVATING OF BEDS IN CONFORMANCE WITH SPECIFICATIONS.
2. UPON FINAL ACCEPTANCE TREES AND CACTI SHALL BE GUARANTEED FOR ONE (1) YEAR AND ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR NINETY (90) DAYS. ALL PLANTS NOT SHOWING HEALTHY GROWTH AT THE END OF THE GUARANTEE PERIODS SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE. AT THIS TIME, ALL NEW PLANTS SHALL RECEIVE ADDITIONAL GUARANTEE PERIODS AS SPECIFIED ABOVE.
3. LANDSCAPE CONTRACTOR, IN ORDER TO PROTECT HIS GUARANTEE, SHALL GIVE TYPEWRITTEN TO THE OWNER, A COMPLETE MAINTENANCE INSTRUCTION BOOKLET IN THE CARE AND FEEDING OF THE LANDSCAPE WORK.
4. LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER FIVE (5) DAYS PRIOR TO END OF THE MAINTENANCE PERIOD THAT FINAL INSPECTION IS REQUESTED. THE OWNER SHALL MAKE NOTATIONS OF ANY ITEMS NOT ACCEPTABLE OR REQUIRING CORRECTIONS AND WILL NOTIFY LANDSCAPE CONTRACTOR FOR IMMEDIATE ACTION. SUBMIT COPIES TO THE LANDSCAPE ARCHITECT.

### CITY OF SCOTTSDALE STANDARD LANDSCAPE NOTES

1. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
2. A MINIMUM OF 50 PERCENTAGE UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
3. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6- INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
4. AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
5. NO TURF AREAS ARE TO BE PROVIDED.
6. RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
7. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
8. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
9. TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
10. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
11. THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
12. THE CLEARANCE REQUIREMENT SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
13. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
14. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

### PROJECT INFORMATION

ZONING: C-O  
PARCEL # 130-19-028B  
PARCEL ADDRESS:  
7575 E. EARLL DRIVE  
SCOTTSDALE, AZ 85251  
CASE NAME: 51-DR-DR2015#2  
NATIVE PLANT PLAN#: N/A

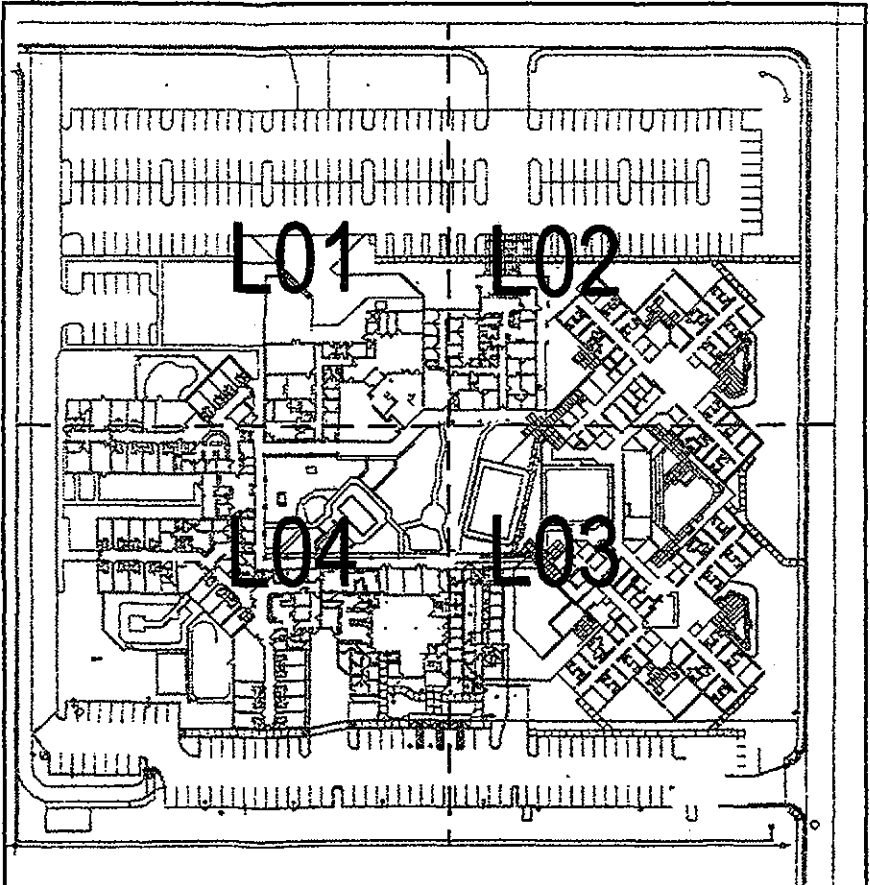


VICINITY MAP

nts

### LANDSCAPE SHEET INDEX

1. L001 LANDSCAPE COVER & GENERAL NOTES
2. L102 HARDSCAPE PLAN
3. L103 HARDSCAPE PLAN
4. L109 HARDSCAPE DETAILS



KEY MAP

nts

LANDSCAPE PLAN REAPPROVAL		
Reapproval #	Revised Sheet #(s)	Description of Revision(s)
Case #	Approved by	Date
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.		

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PROJECT NO. 2015\_043  
DATE OF ISSUE 04.13.16

REVISION NO. DATE  
7 CDD-001 02.01.16  
8 January RfIs 02.01.16  
9 Permit Revisions-site 02.22.16  
10 February RfIs 03.04.16  
11 Redesign - Sub Plans 03.08.16  
12 March RfIs 04.01.16  
13 Civil Coordination 04.01.16  
14 Permit Revision 2-site 04.13.16

PROJECT TEAM DRAWN BY  
TRUEFORM team

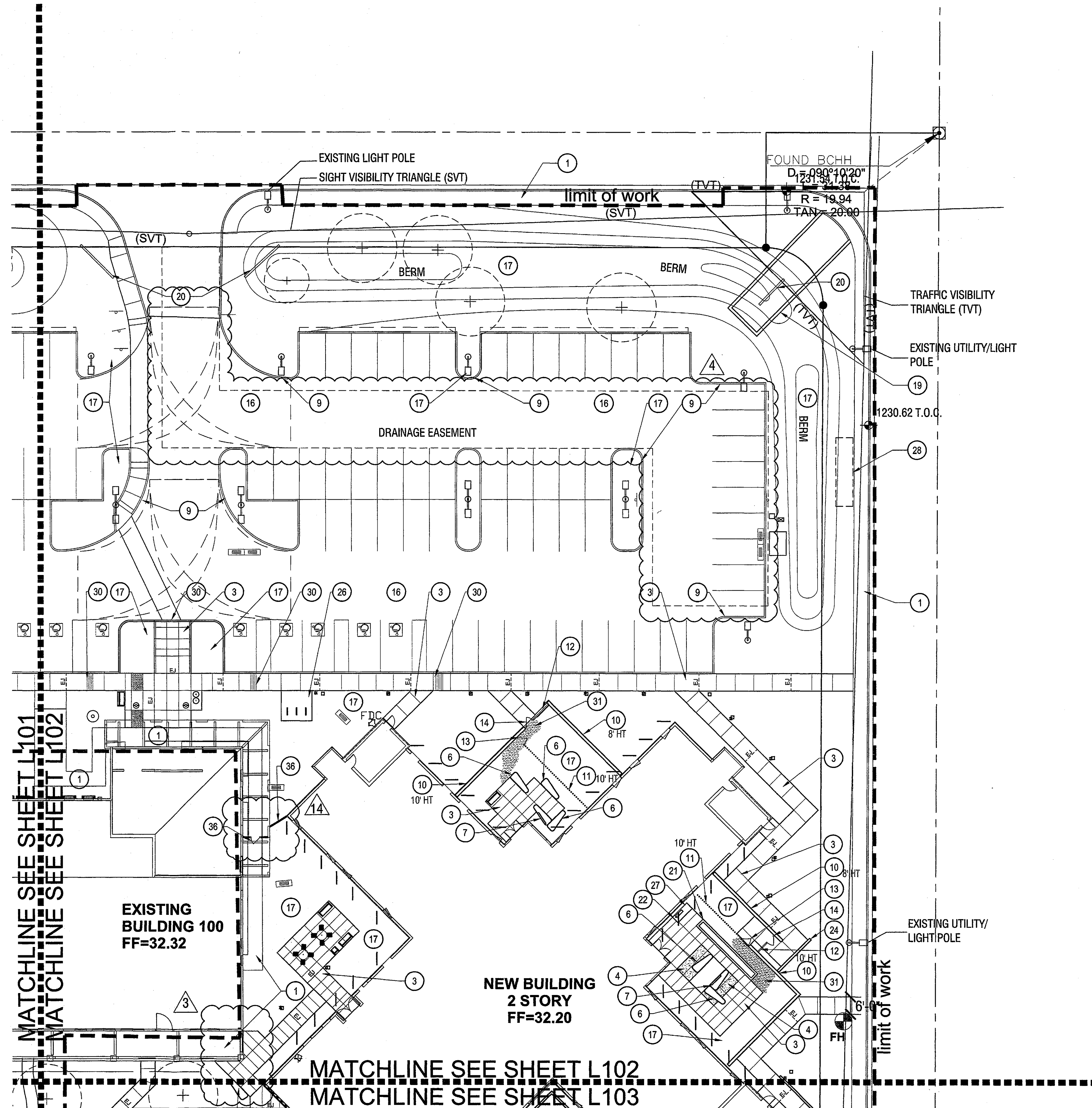
PROJECT PHASE  
construction documents

SHEET CONTENTS  
cover sheet

SHEET NO.

L-001





#### HARDSCAPE KEY NOTES:

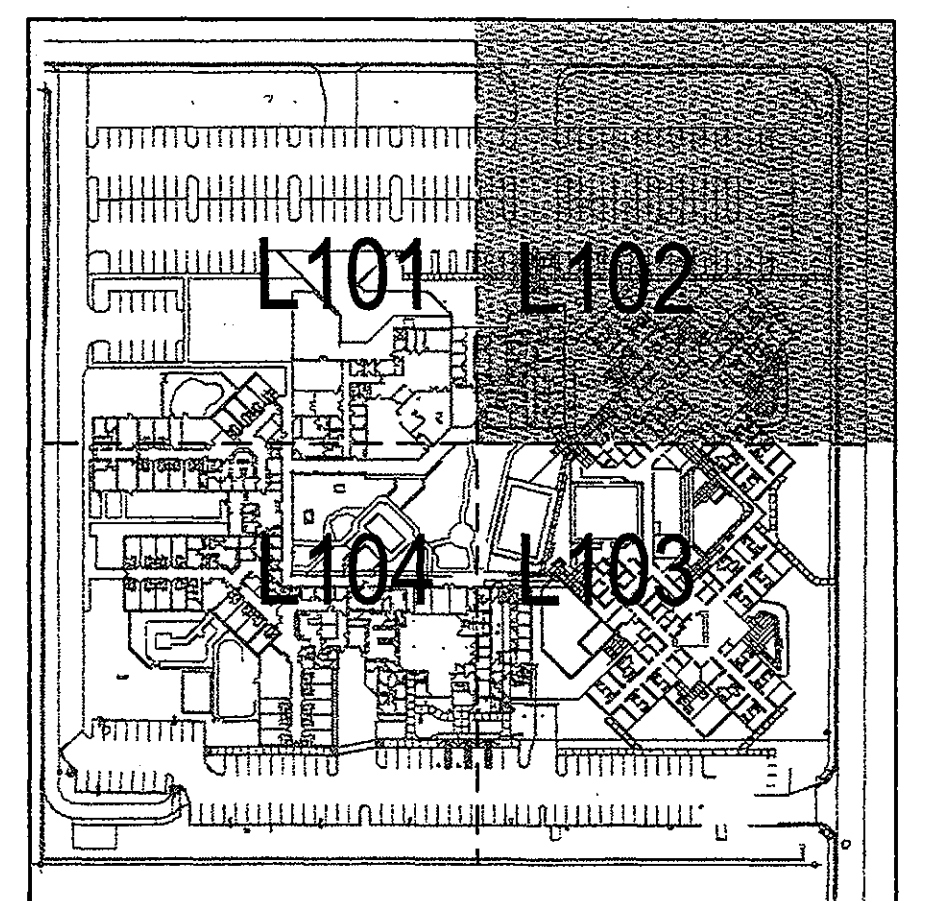
#	DESCRIPTION	DETAIL/SHEET
1	EXISTING CONCRETE SIDEWALK TO REMAIN	
2	EXISTING ASPHALT PARKING TO REMAIN	
3	CIP CONCRETE PAVING TYPE 'A'	DETAIL 1/L105
4	CIP CONCRETE PAVING TYPE 'B'	DETAIL 1/L105
5	CONCRETE SEATWALL & PLANTER	DETAIL 5/L107
6	CIP CONCRETE BENCH TYPE 'A'	DETAIL 1/L106
7	CIP CONCRETE BENCH TYPE 'B'	DETAIL 2/L106
8	EXISTING BIKE RACK TO REMAIN	
9	CIP CONCRETE CURB	SEE CIVIL
10	CMU BANNER BLOCK WALL 8' OR 10' HT	DETAIL 8/L105
11	STEEL TUBE PICKET FENCE 10' HT	DETAIL 3/L107
12	ANTI-CLIMB SECURITY FENCE 8' HT	DETAIL 1/L107
13	STEEL TUBE PICKET GATE	DETAIL 2/L107
14	ANTI-CLIMB SECURITY GATE	DETAIL 1/L107
15	METAL TROUGH GARDEN PLANTER	DETAIL 4/L106
16	ASPHALT PARKING	SEE CIVIL
17	PLANTING AREA WITH DECOMPOSED GRANITE	
18	SYNTHETIC TURF AREA	DETAIL 5/L105
19	CIP CONCRETE HEADER	DETAIL 3/L105
20	FUTURE SIGNAGE SEPARATE SUBMITTAL	
21	CIP CONCRETE RAISED GARDEN PLANTER	DETAIL 6/L105
22	HOSE BIBS	
23	RELOCATED PARCOURSE ELEMENTS	
24	BANNER BLOCK HEAD WALL	DETAIL 4/L107
25	NEW SRP TRANSFORMER	
26	BIKE RACK	DETAIL 9/L105
27	CIP CONCRETE TROUGH/WORK TABLE	DETAIL 3/L106
28	EXISTING BUS STOP	
29	RELOCATED SPORT COURT	DETAIL 7/L105
30	ADA RAMP/FLUSH WITH CURB	
31	STABILIZED DECOMPOSED GRANITE	DETAIL 4/L105
32	NEW REFUSE ENCLOSURE, PER ARCH	
33	EXISTING MASONRY WALL TO REMAIN	
34	C.I.P. CONCRETE STEPS WITH HANDRAIL	DETAIL 2/L108
35	C.I.P. CONCRETE HEAD WALL WITH GUARDRAIL	DETAIL 3/L108
36	ANTI-CLIMB FENCE AND GATE 10' HT	DETAIL 2/L109
37	ANTI-CLIMB VEHICULAR GATE/FENCE 10' HT	DETAIL 1/L109

#### PAVING FINISH AND JOINT LEGEND:

SYMBOL	DESCRIPTION
—	1/8" SAWCUT JOINT
—EJ—	EXPANSION JOINT
[Pattern]	TYPE 'A' CIP CONCRETE - INTEGRAL COLOR: PEBBLE MEDIUM BROOM PARALLEL TO LONG JOINT
[Pattern]	TYPE 'A' CIP CONCRETE - INTEGRAL COLOR: PEBBLE MEDIUM BROOM PERPENDICULAR TO LONG JOINT
[Pattern]	TYPE 'B' CIP CONCRETE - 3/8" EXPOSED AGGREGATE
[Pattern]	STABILIZED DG AT COURTYARD GATES
[Pattern]	SYNTHETIC TURF

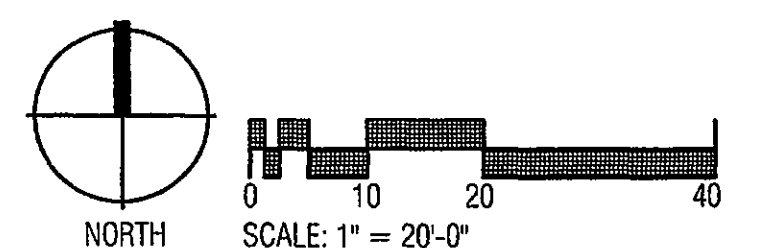
#### LEGEND:

SYMBOL	DESCRIPTION/AVERAGE SIZE	SYMBOL	DESCRIPTION/AVERAGE SIZE
[Symbol]	TRASH AND RECYCLE RECEPTACLES	[Symbol]	FIXED TABLES AND CHAIRS
[Symbol]	PEDESTRIAN LIGHTING	[Symbol]	EXISTING TREE TO REMAIN, PROTECT IN PLACE
[Symbol]	VEHICULAR LIGHT POLE	[Symbol]	EXISTING SHRUB TO REMAIN, PROTECT IN PLACE
[Symbol]	BENCH - 60"		
[Symbol]	BENCH - 24"		



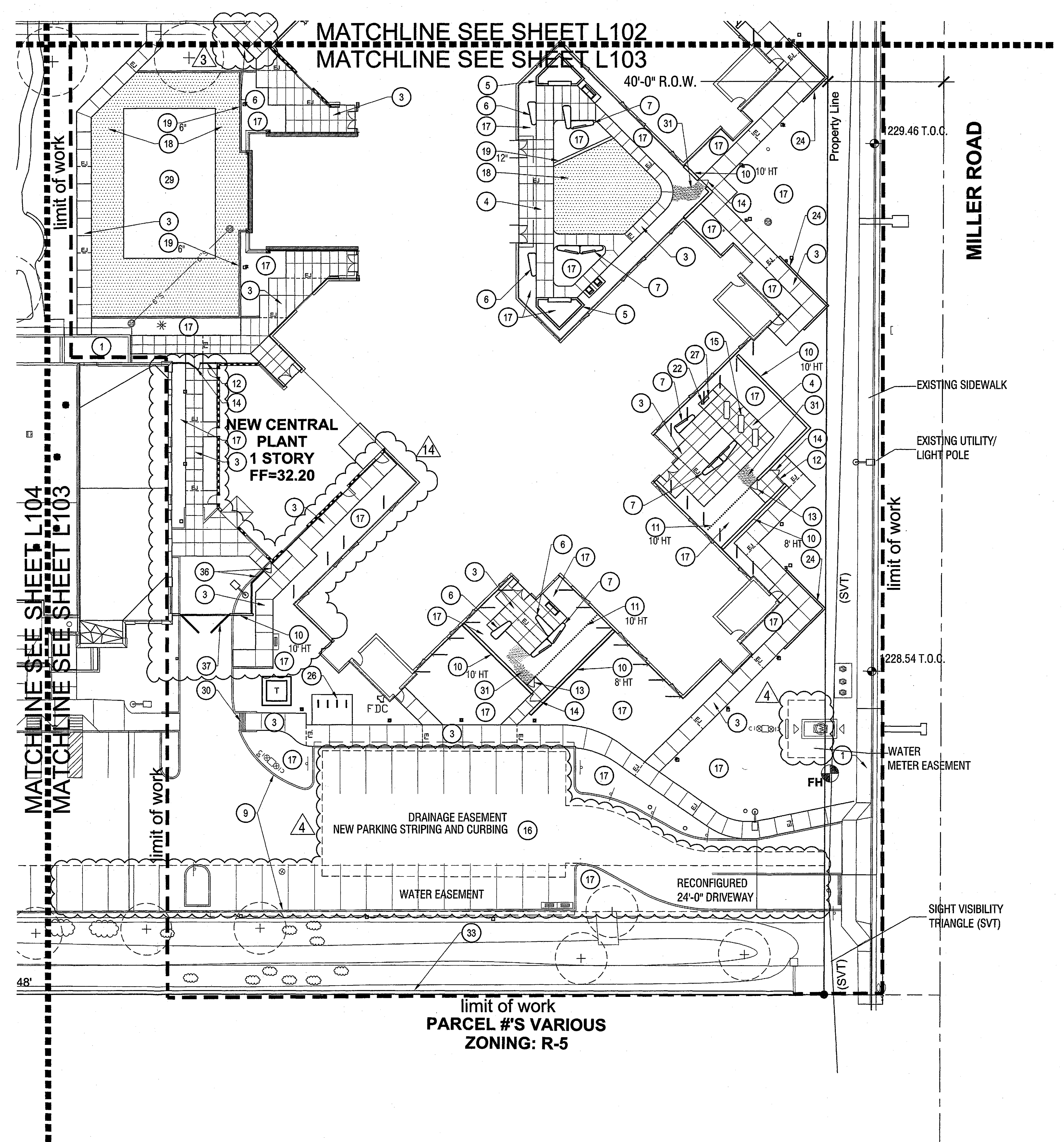
#### KEYMAP

nts



APPROVED  
4-12-2016  
[Signature]





**HARDSCAPE KEY NOTES:**

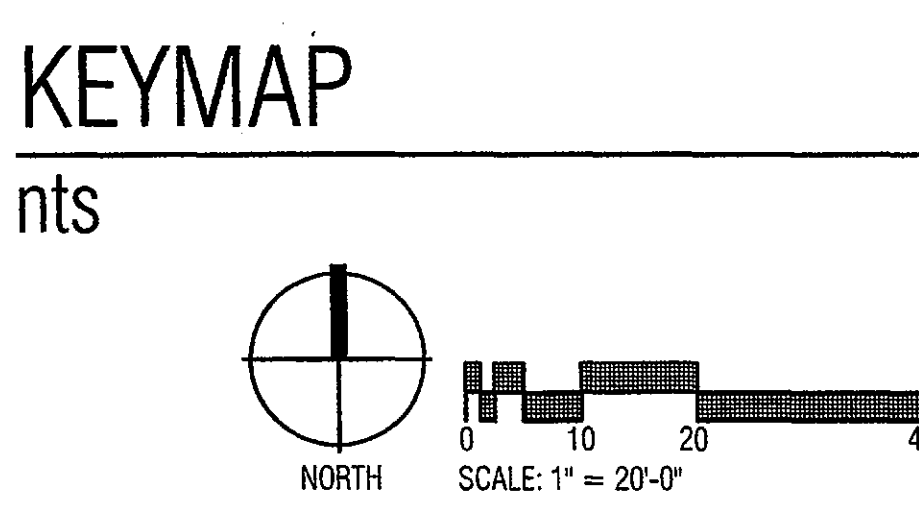
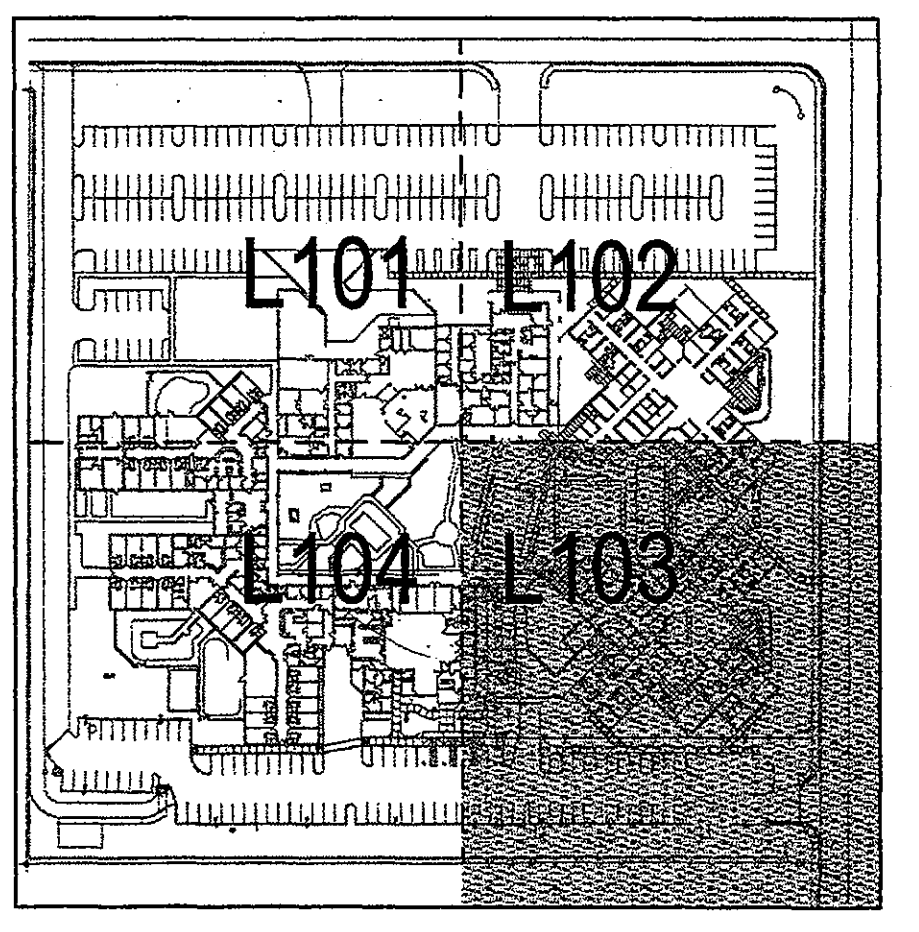
#	DESCRIPTION	DETAIL/SHEET
1	EXISTING CONCRETE SIDEWALK TO REMAIN	
2	EXISTING ASPHALT PARKING TO REMAIN	
3	CIP CONCRETE PAVING TYPE 'A'	DETAIL 1/L105
4	CIP CONCRETE PAVING TYPE 'B'	DETAIL 1/L105
5	CONCRETE SEATWALL & PLANTER	DETAIL 5/L107
6	CIP CONCRETE BENCH TYPE 'A'	DETAIL 1/L106
7	CIP CONCRETE BENCH TYPE 'B'	DETAIL 2/L106
8	EXISTING BIKE RACK TO REMAIN	
9	CIP CONCRETE CURB	SEE CIVIL
10	CMU BANNER BLOCK WALL 8' OR 10' HT	DETAIL 8/L105
11	STEEL TUBE PICKET FENCE 10' HT	DETAIL 3/L107
12	ANTI-CLIMB SECURITY FENCE 8' HT	DETAIL 1/L107
13	STEEL TUBE PICKET GATE	DETAIL 2/L107
14	ANTI-CLIMB SECURITY GATE	DETAIL 1/L107
15	METAL TROUGH GARDEN PLANTER	DETAIL 4/L106
16	ASPHALT PARKING	SEE CIVIL
17	PLANTING AREA WITH DECOMPOSED GRANITE	
18	SYNTHETIC TURF AREA	DETAIL 5/L105
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**PAVING FINISH AND JOINT LEGEND:**

SYMBOL	DESCRIPTION
1/8" SAWCUT JOINT	
EXPANSION JOINT	
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TYPE 'B' CIP CONCRETE - 3/8" EXPOSED AGGREGATE	
STABILIZED DG AT COURTYARD GATES	
SYNTHETIC TURF	

**LEGEND:**

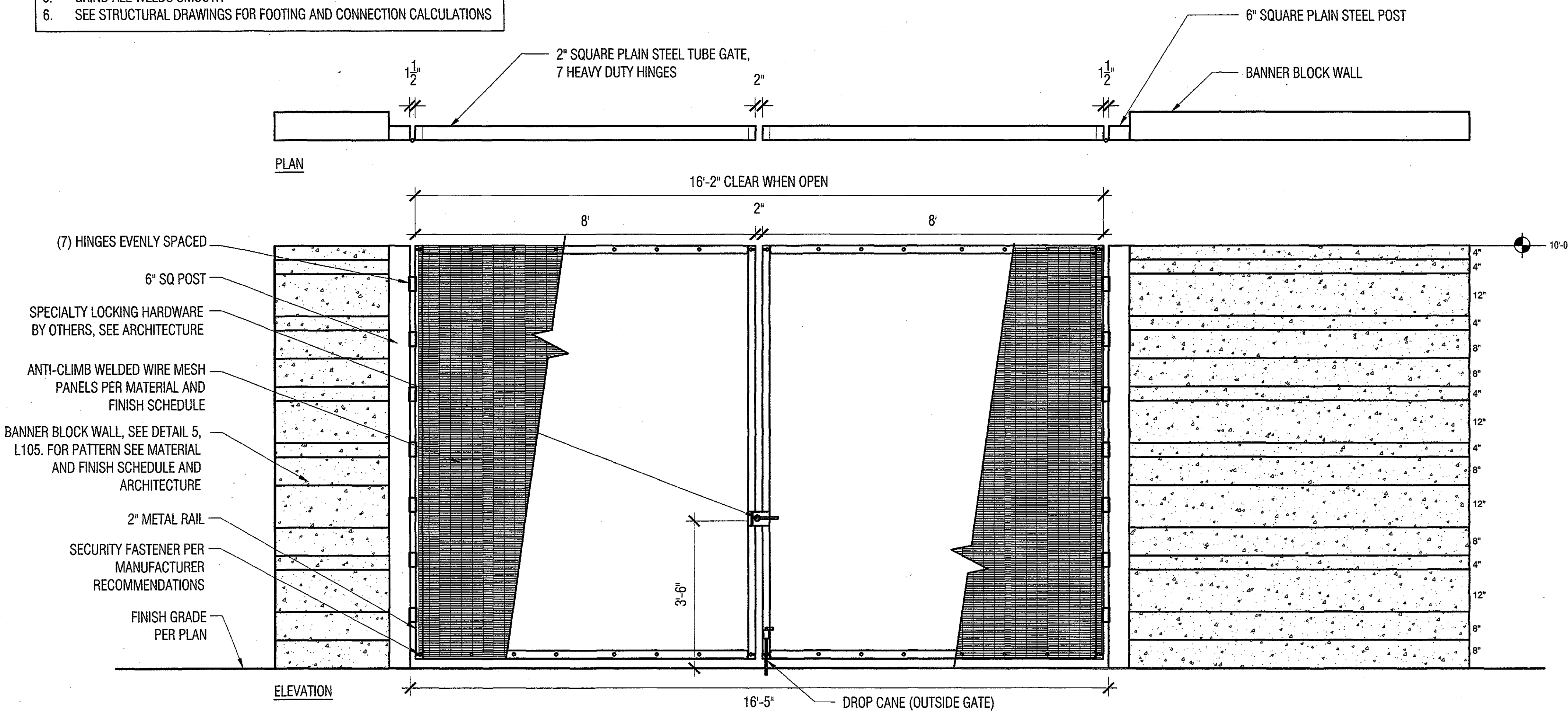
SYMBOL	DESCRIPTION/AVERAGE SIZE	SYMBOL	DESCRIPTION/AVERAGE SIZE
TRASH AND RECYCLE RECEPTACLES		FIXED TABLES AND CHAIRS	
PEDESTRIAN LIGHTING		EXISTING TREE TO REMAIN, PROTECT IN PLACE	
VEHICULAR LIGHT POLE		EXISTING SHRUB TO REMAIN, PROTECT IN PLACE	
BENCH - 66"			
BENCH - 24"			



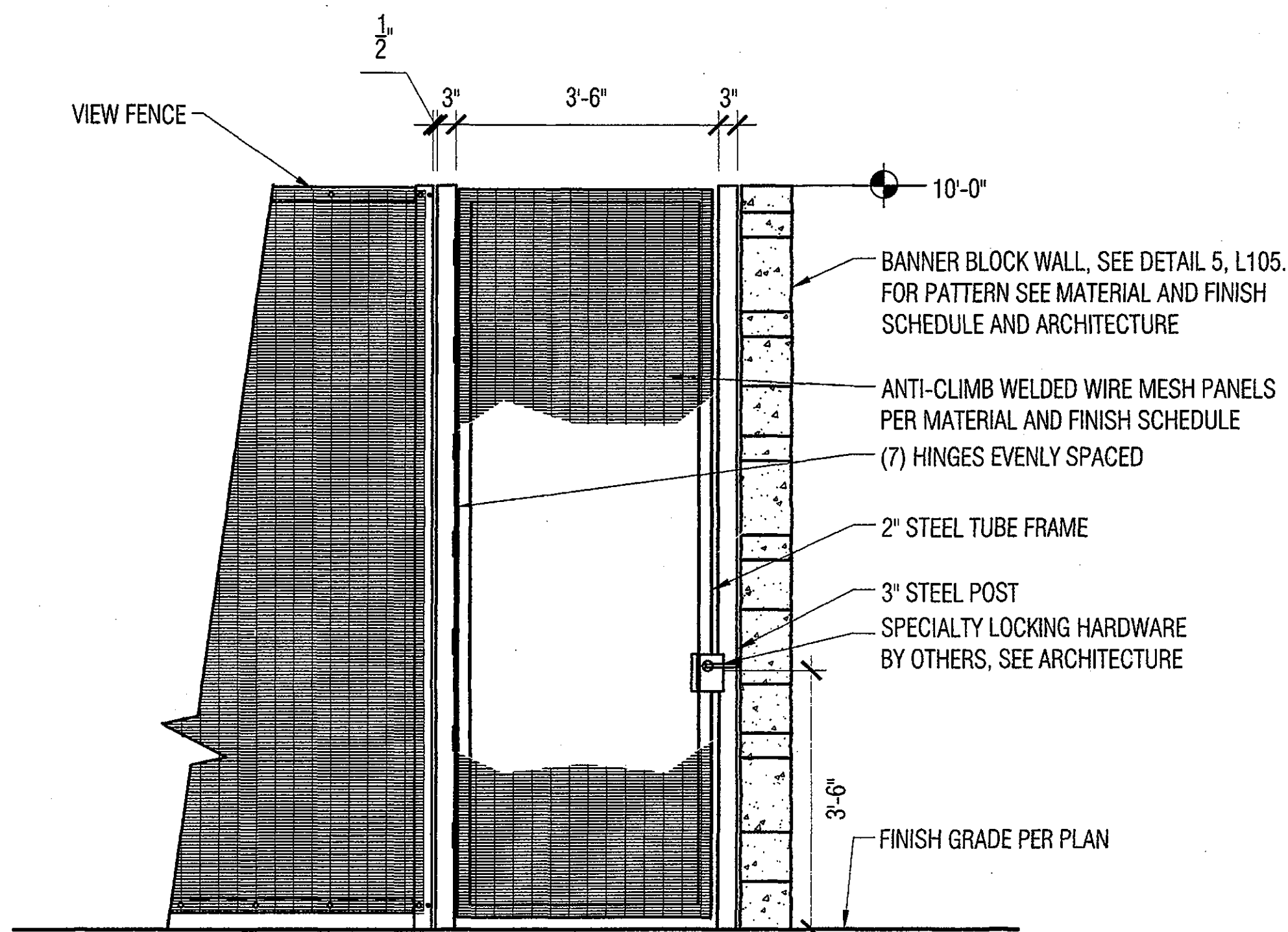
4-26-16



- GENERAL FENCE AND GATE NOTES:
1. ALL FENCE AND GATE INFORMATION IS SCHEMATIC. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.
  2. INSTALL ANTI-CLIMB WELDED WIRE MESH PANELS PER MANUFACTURERS INSTRUCTIONS.
  3. BOTTOM OF FENCE SHALL BE NO MORE THAN 2" ABOVE FINISH GRADE.
  4. SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISH AND COLORS.
  5. GRIND ALL WELDS SMOOTH.
  6. SEE STRUCTURAL DRAWINGS FOR FOOTING AND CONNECTION CALCULATIONS.



1 ANTI-CLIMB VEHICULAR GATE  
SCALE: 1/2" = 1'-0"



2 ANTI-CLIMB GATE  
SCALE: 1/2" = 1'-0"

BANNER HEALTH  
Banner Behavioral Health  
Hospital Inpatient Building  
7575 EAST EARLL DRIVE, SCOTTSDALE, ARIZONA 85251

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PROJECT NO.	DATE OF ISSUE
2015_043	04.13.16
REVISION NO.	DATE
7 CCD-001	02.01.16
8 January RfIs	02.01.16
9 Permit Revisions-slab	02.22.16
10 February RfIs	03.04.16
11 Release - Slab Plans	03.08.16
12 March RfIs	04.01.16
13 Civil Coordination	04.01.16
14 Permit Revision 2-slab	04.13.16

PROJECT TEAM DRAWN BY  
TRUEFORM team

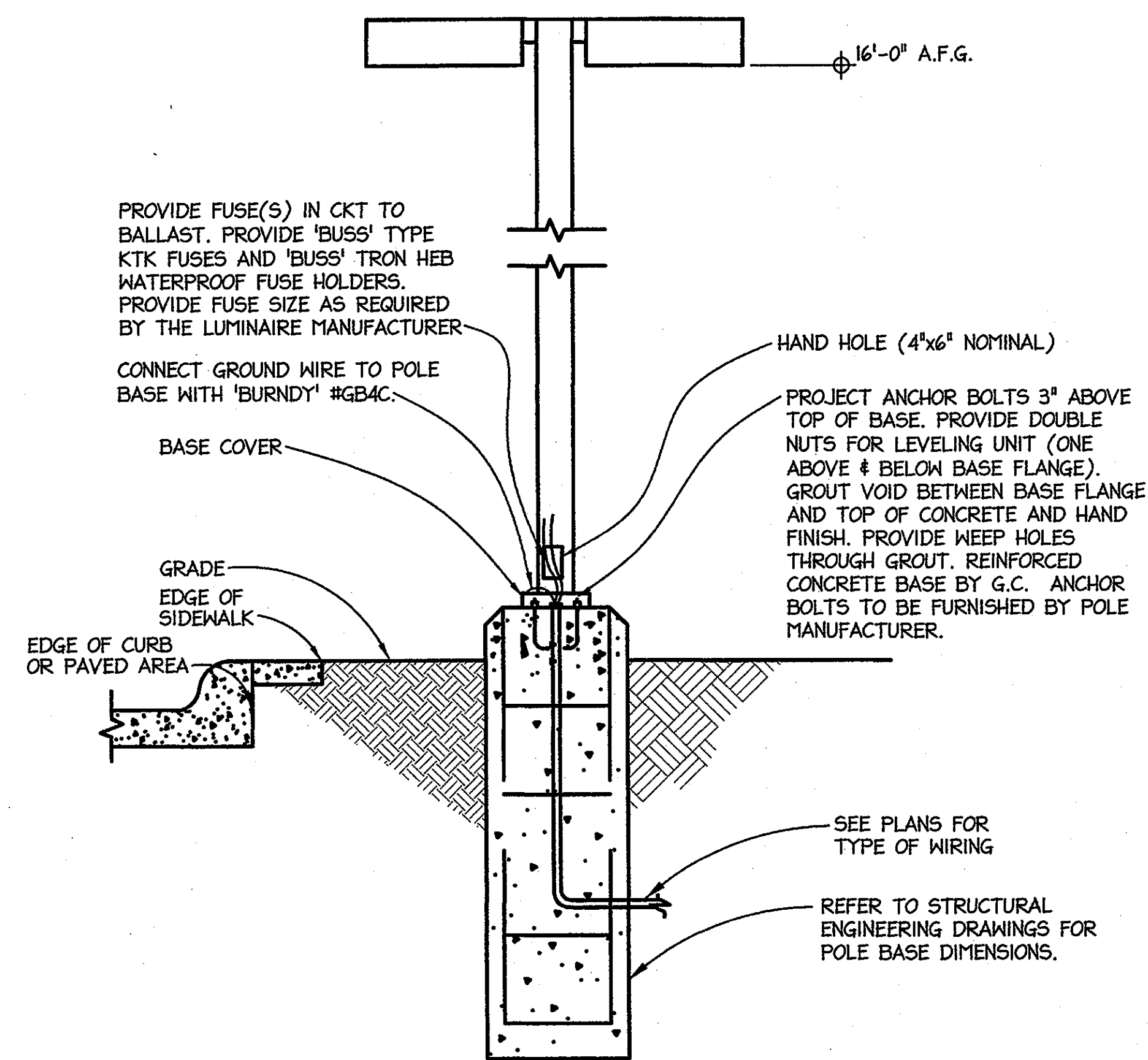
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construction documents

SHEET CONTENTS  
hardscape details

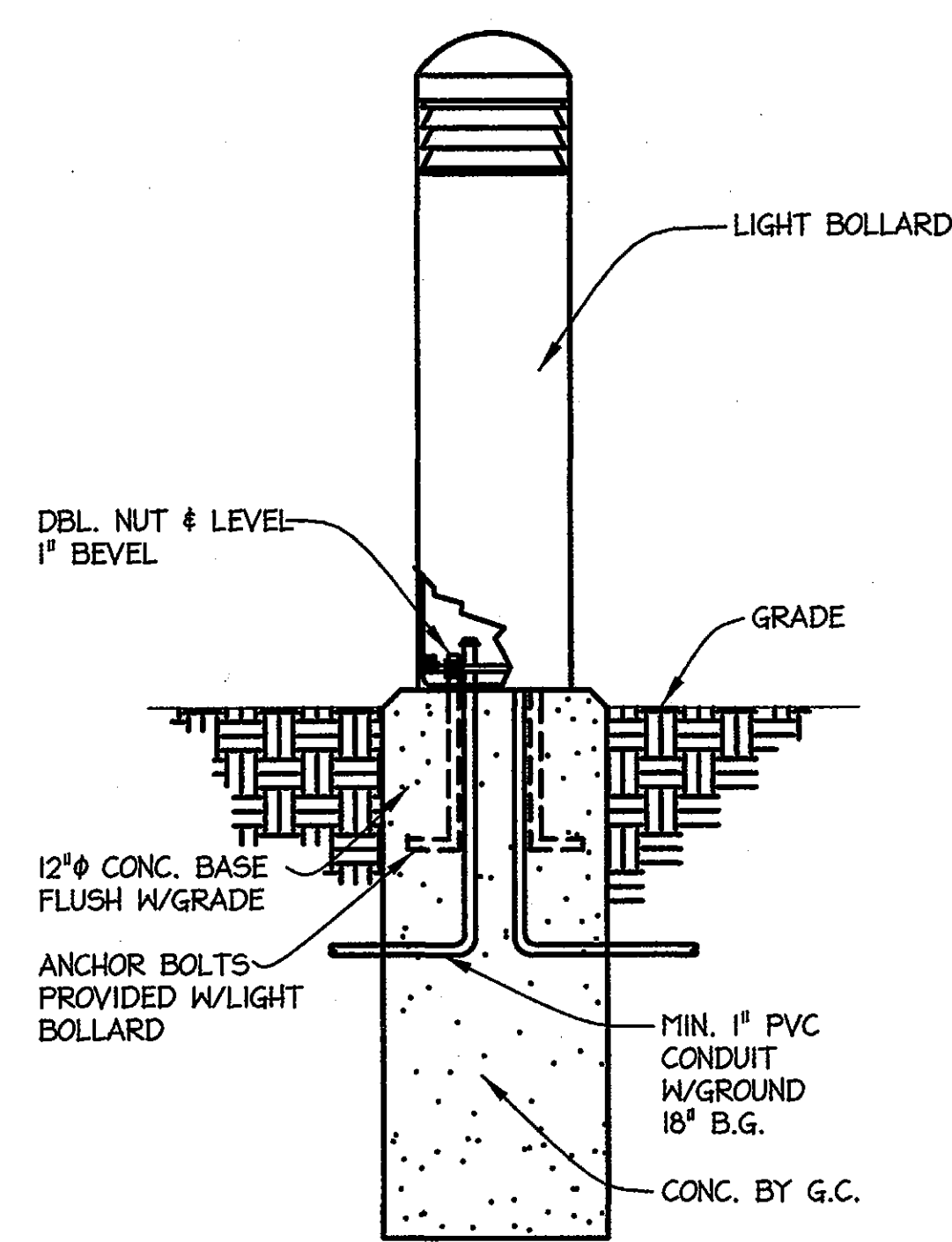
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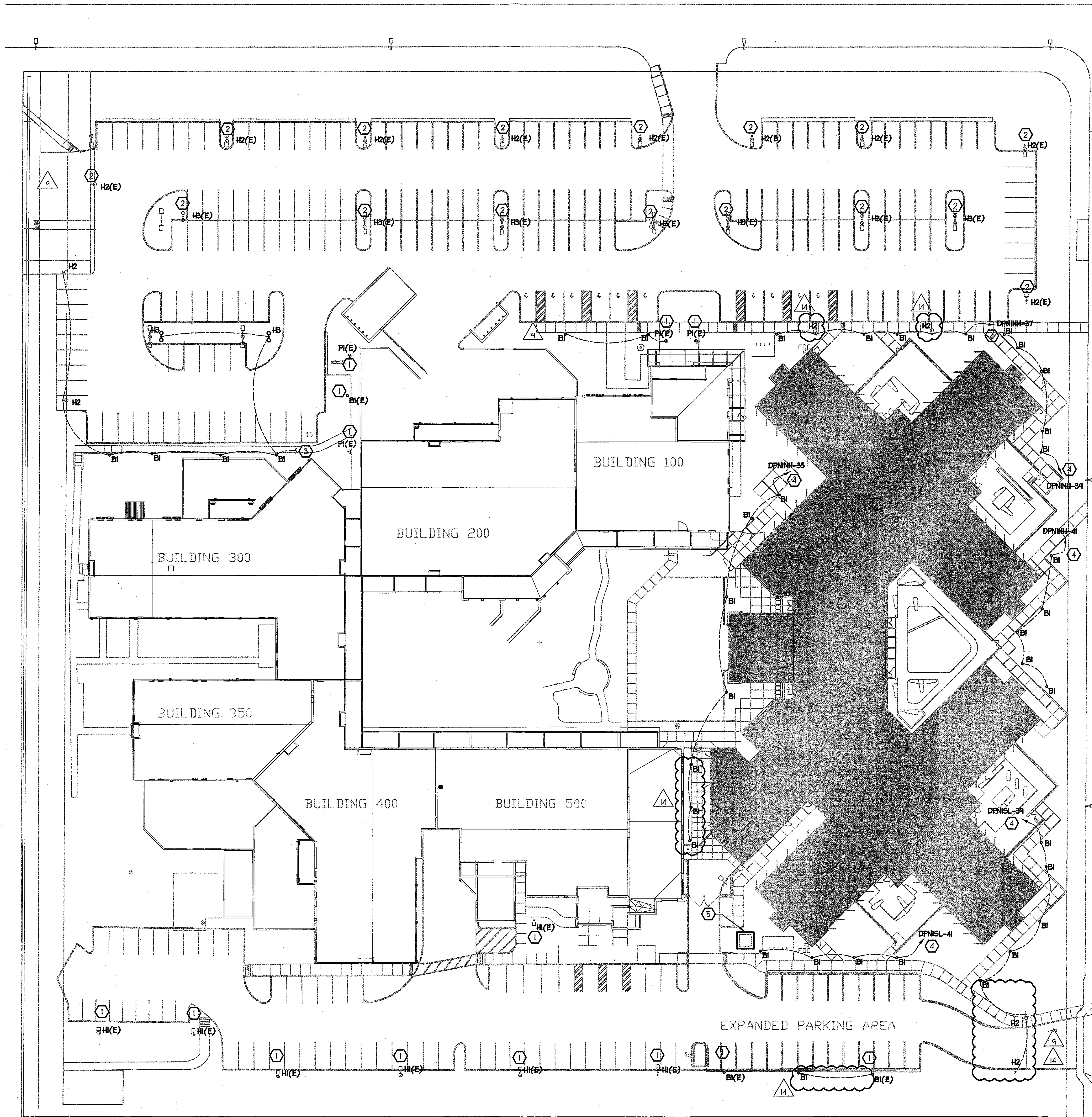




**POLE BASE DETAIL**  
NOT TO SCALE



**LIGHT BOLLARD BASE DETAIL**  
NOT TO SCALE



**SITE LIGHTING PLAN**  
SCALE: 1" = 30'-0"

- LIGHTING NOTES:**
- GENERAL NOTES:**
1. REFER TO DRAWING E012 FOR LIGHT FIXTURE SCHEDULE.
- KEYED NOTES:**
- 1 EXISTING LIGHT FIXTURE TO REMAIN.
  - 2 RELOCATED EXISTING LIGHT FIXTURE. MAINTAIN EXISTING CIRCUITING AND CONTROL.
  - 3 CONNECT NEW LIGHT FIXTURE TO EXISTING SITE LIGHTING CIRCUIT SERVING AREA. LOAD ADDED = 246VA
  - 4 PROVIDE 6 POLE LIGHTING CONTACTOR IN ELECTRICAL ROOM TO CONTROL SITE LIGHTING FIXTURES. PROVIDE CONTACTOR WITH ASTRONOMICAL TIME CLOCK AND PHOTOCELL INPUT. MOUNT PHOTOCELL ON ROOF PER MANUFACTURER'S INSTRUCTIONS.
  - 5 UTILITY SERVICE TRANSFORMER CONCRETE PAD. PROVIDE PER APS REQUIREMENTS.

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**Richard M. Seger**  
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**Banner Behavioral Health Hospital**  
**Inpatient Building**  
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PROJECT NO.	DATE OF ISSUE
2015_043	11.09.2015
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9 PERMIT REVISION - SITE	2016-02-22
10 FEBRUARY RFI	2016-03-04
11 REISSUE - SLAB PLANS	2016-03-08
12 MARCH RFI	2016-04-01
13 CIVIL COORDINATION	2016-04-01
14 PERMIT REVISION 2 - SITE	2016-04-13

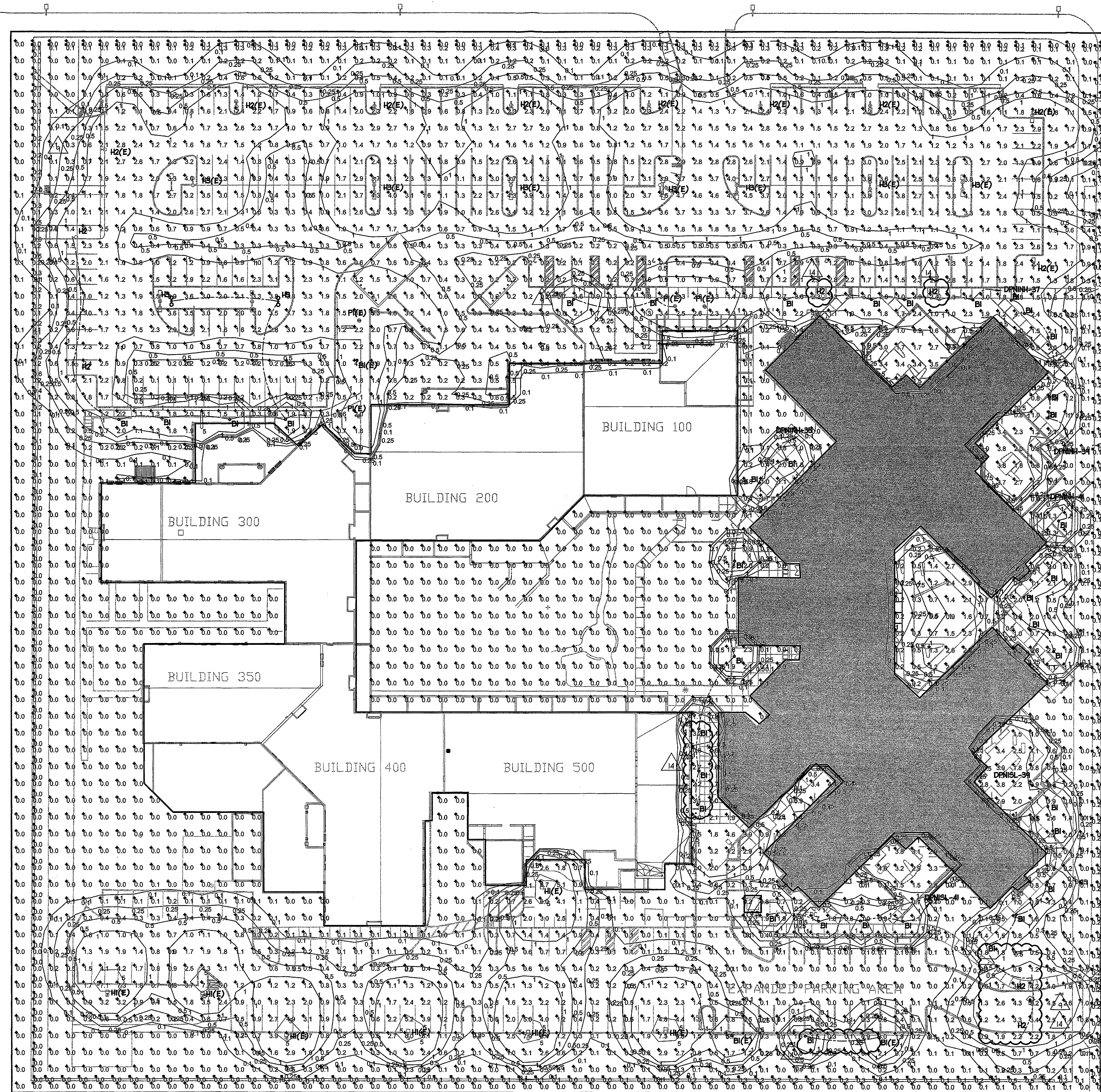
**PROJECT TEAM**  
mulhall team

**PROJECT PHASE**  
construction documents

**SHEET CONTENTS**  
SITE LIGHTING PLAN

**SHEET NO.**  
E011





Statistics

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Site Calculation	+	0.8 fc	8.0 fc	0.0 fc	N/A	N/A
East Property Line	□	0.2 fc	0.7 fc	0.0 fc	N/A	N/A
North Property Line	□	0.2 fc	0.4 fc	0.1 fc	4.0 ft	2.0 ft
South Property Line	□	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
West Property Line	□	0.1 fc	0.6 fc	0.0 fc	N/A	N/A

LIGHT FIXTURE SCHEDULE									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	File Name	Lumens Per Lamp	Wattage
○	B1	35	KIM LIGHTING	VRB1-20LAK	VANDAL RESISTANT ROUND BOLLARD LED CAST ALUMINUM DOME AND LOUVERS ATTACHED TO AN ALUMINUM RISER. TEMPERED CLEAR GLASS.	20 LEDs, 4200K	vrb1-20LAK.lvs	1005.068	24.2
○	B1E	3	KIM LIGHTING	VRB1100PMH-ED17	VANDAL-RESISTANT ROUND BOLLARD LUMINAIRE CAST ALUM CAP & LOUVER ASSEMBLY WITH ALUM OR CONCRETE SHAFT	100 WATT PMH COATED ED-17 MED BASE VERT.	vrb1-100p.lvs	7800	100
□	H1E	7	SPALLDING LIGHTING	RCS-x-P15-H4	OUTDOOR ARCHITECTURAL ROADWAY REEL HANDBLANK ALUMINUM ENCL. CLEAR FLAT GLASS	150W MET HAL ED 28	RCS-x-P15-H4.lvs	12800	188
⊗	H2	9	Libitona Lighting	MR1 LED 42C 350 40K SR2 MVOLT	MR1 AREA LIGHT 42 LEDs 350 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_350_40K_SR2_MVOLT.lvs	5127.416	49
⊗	H2E	9	Libitona Lighting	MR1 LED 42C 350 40K SR2 MVOLT	MR1 AREA LIGHT 42 LEDs 350 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_350_40K_SR2_MVOLT.lvs	5127.416	49
⊗	H3	2	Libitona Lighting	MR1 LED 42C 350 40K SR2 MVOLT	MR1 AREA LIGHT 42 LEDs 350 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_350_40K_SR2_MVOLT.lvs	5127.416	98
⊗	H3E	8	Libitona Lighting	MR1 LED 42C 350 40K SR2 MVOLT	MR1 AREA LIGHT 42 LEDs 350 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	MR1_LED_42C_350_40K_SR2_MVOLT.lvs	5127.416	88
○	P1E	4	KIM LIGHTING	NR1H270PMH-ED17	NEOSPHERE AREA & PATH LUMINAIRE ONE CAST ALUM. REFLECTOR SYSTEM WITH SPECULAR PANELS & ONE CAST ALUM. HOUSING AND LENS FRAME CLEAR REINFORCED ACRYLIC LENS	70 WATT COATED, PMH ED17 MEDIUM BASE LAMP. HORIZONTAL POSITION, RATED AT 4750 INITIAL LUMENS	nr1h2-70p.lvs	4750	70
□	W1	11	SPALLDING LIGHTING	TRP-30LAK-053-4	TRP GEOMETRIC SCIENCE 4000K, 525 mA, TYPE 4 LENS	30-NICHIA LEDS 4000K	TRP-30LAK-053-4.lvs	3178.635	50
□	W2E	5	Libitona Lighting	TWP 70M	DIE-CAST GENERAL PURPOSE WALLPACK WITH POLYCARBONATE REFRACTOR	ONE 70-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	TWP_70M.lvs	5200	95
□	W3E	1	NULITE	EA-175MH	CAST ALUMINUM HOUSING, FORMED SEMI-SPHERICAL HANDBLANK ALUMINUM REFLECTOR, CLEAR GLASS ENCLOSURE.	ONE CLEAR HORIZONTAL MET 175 WATT METAL HALIDE LAMP RATED AT 14,000 LUMENS.	EA-175MH.lvs	5200	175

NORTH  
SITE LIGHTING PHOTOMETRIC CALCULATION PLAN  
SCALE: 1" = 30'-0"

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mulhall team

PROJECT PHASE  
construction documents

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SITE LIGHTING  
PHOTOMETRIC PLAN  
SHEET NO.

E012