



Development Review (Minor) Staff Approval

160-SA-2016

Mercado Del Lago Exterior
Remodel

APPLICATION INFORMATION

| | |
|---|--|
| LOCATION: 8300 N Hayden Rd | APPLICANT: William Reilly |
| PARCEL: 174-03-004H | COMPANY: APMI |
| Q.S.: 25-47 | ADDRESS: 8300 N Hayden Rd A-209 Scottsdale, AZ 85258 |
| CODE VIOLATION #: | PHONE: 480-998-0709 |
| Request: Bathroom addition only to Building B | |

STIPULATIONS

1. This approval is for the bathroom addition only. No other design changes to the building are approved as part of this application.
2. Design and materials shall be consistent with the plans provided by APMI, with a staff approval date of 5/6/16.
3. Color of addition shall be consistent with the color of the existing building, with the exception of the green screen elements. **NOTE:** The green screen elements are approved as a temporary aesthetic feature. Staff may recommend the green screens be removed, depending on the outcome of the overall project DRB application.
4. A pedestrian walkway with a minimum width of six (6) feet shall be maintained between the bathroom addition and Building C until Building C is demolished.
5. No lighting or signage approved as part of this application.

CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter, and a completed Owner/Builder form if applicable, and a permit application along with the following plan set(s) to the One-Stop-Shop for review:

PERMIT APPLICATION: **Completed Permit Application.** The permit application may be obtained or completed online at the following weblink:

http://www.scottsdaleaz.gov/Assets/Public+Website/bldgresources/APP_Permit_Commercial.pdf

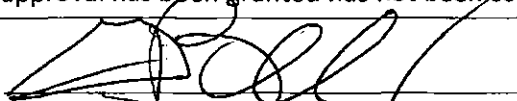
(Please complete the permit application online prior to arriving at the City to submit your construction documents)

ARCHITECTURAL: 4 sets of architectural plans and 1 additional site plan and elevation sheet

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature:


 Greg Bloemberg, Senior Planner

DATE:

May 6, 2016

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov

APMI, Inc.
8300 North Hayden Road
Suite A-209
Scottsdale, Arizona 85258

Tel: 480.998.0709
Fax: 480.998.7958
Email: apmi@apmi.com

Project Narrative: April 21, 2016

This project will be at Building B at the Mercado del Lago Center and will be for the addition of restrooms to replace the restrooms in Building C across the breezeway and for the changes to existing glazing within existing openings to increase energy efficiency of windows. Project location is as shown on the drawing attached, at the existing Mercado del Lago Center at 8300 N. Hayden Road, Building B, Scottsdale, Arizona. The restrooms will be approximately 380 s.f. of which 140 sq. ft will be under the existing roof overhang. The site is in a PNC Zone and within McCormick Ranch POA.

The restrooms will be a minor exterior change to Building B, with all proposed finishes proposed to match the existing Building B stucco finish.

Overall center and site upgrades are under a separate DR review and any exterior treatments and new materials would be proposed as a part of that submittal. For this submittal we would propose a very simple and basic material extension of existing Building B materials and finishes, in keeping with the existing center.

Applicant,

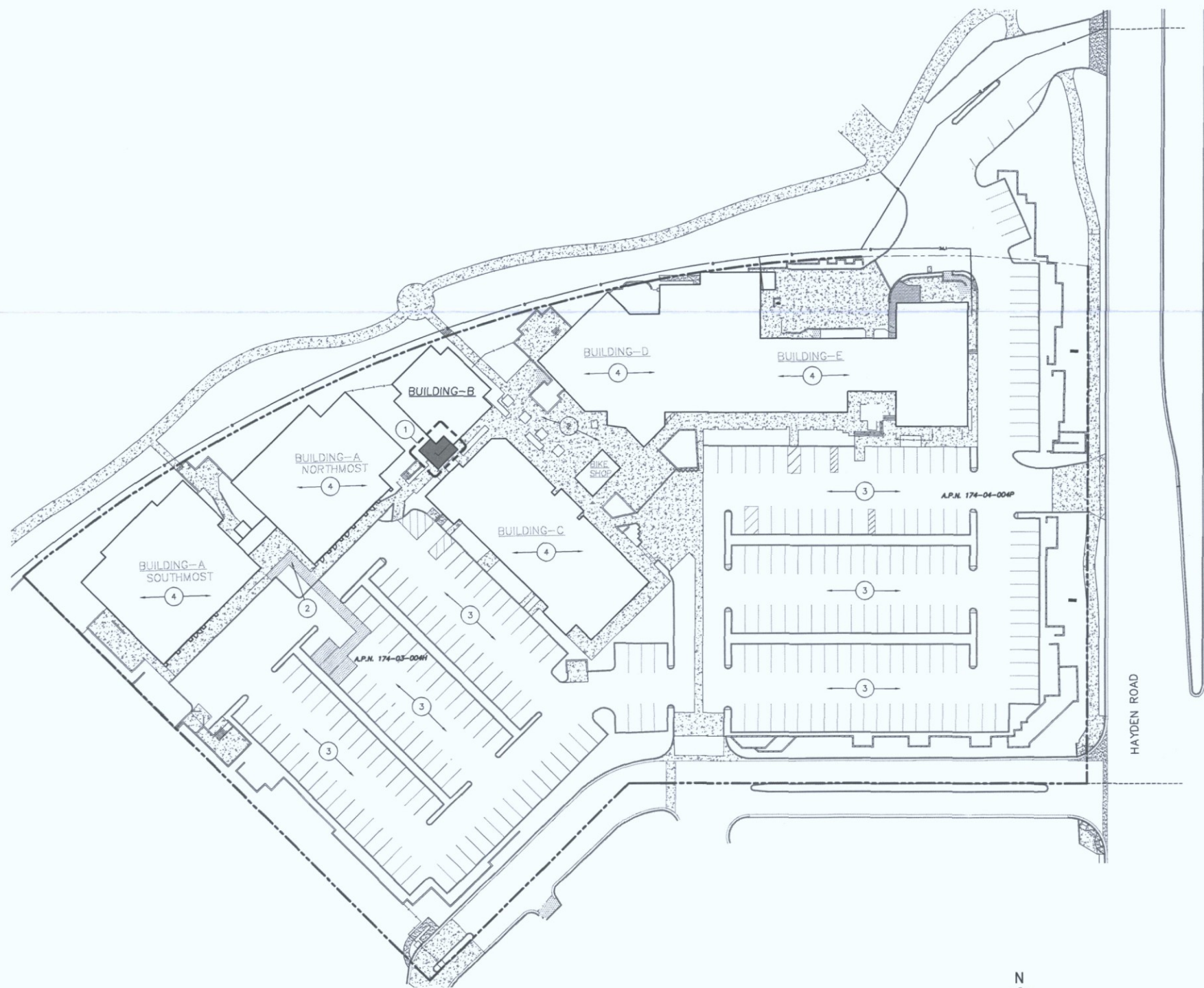
APMI, Inc.

William Reilly, AIA
Principal

ARCHITECTURE

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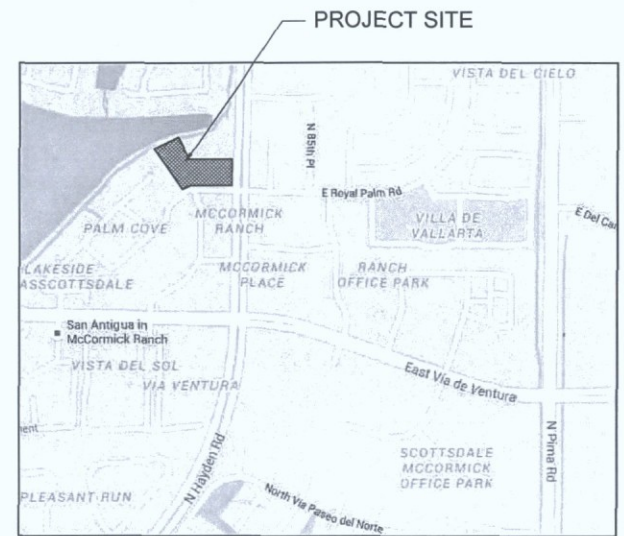
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OVERALL SITE PLAN
SCALE: 1" = 40'-0"



- SHEET INDEX**
- AS1.0 OVERALL SITE PLAN
 - AS2.0 ENLARGED SITE PLAN
 - A2.1 FLOOR PLAN
 - A3.0 EXISTING ELEVATIONS
 - A3.1 PROPOSED ELEVATIONS
- KEYNOTES**
1. PROPOSED AREA OF NEW RESTROOM ADDITION- BUILDING B
 2. PROPOSED SIDEWALK TO REMAIN
 3. EXISTING PARKING TO REMAIN
 4. EXISTING BUILDING TO REMAIN



VICINITY MAP
SCALE: N.T.S.

PROJECT INFORMATION

CLIENT / OWNER
SCOTTLIN, LLC
6621 N SCOTTSDALE RD
SCOTTSDALE, ARIZONA 85250
MARK BURNS
T. 480.368.0111

ARCHITECT (APPLICANT)
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WILLIAM J. REILLY, A.I.A.
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wreilly@apmi.com

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MERCADO DEL LAGO

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DATE 19.APRIL.2016
PROJECT 16104.06

OVERALL
SITE PLAN

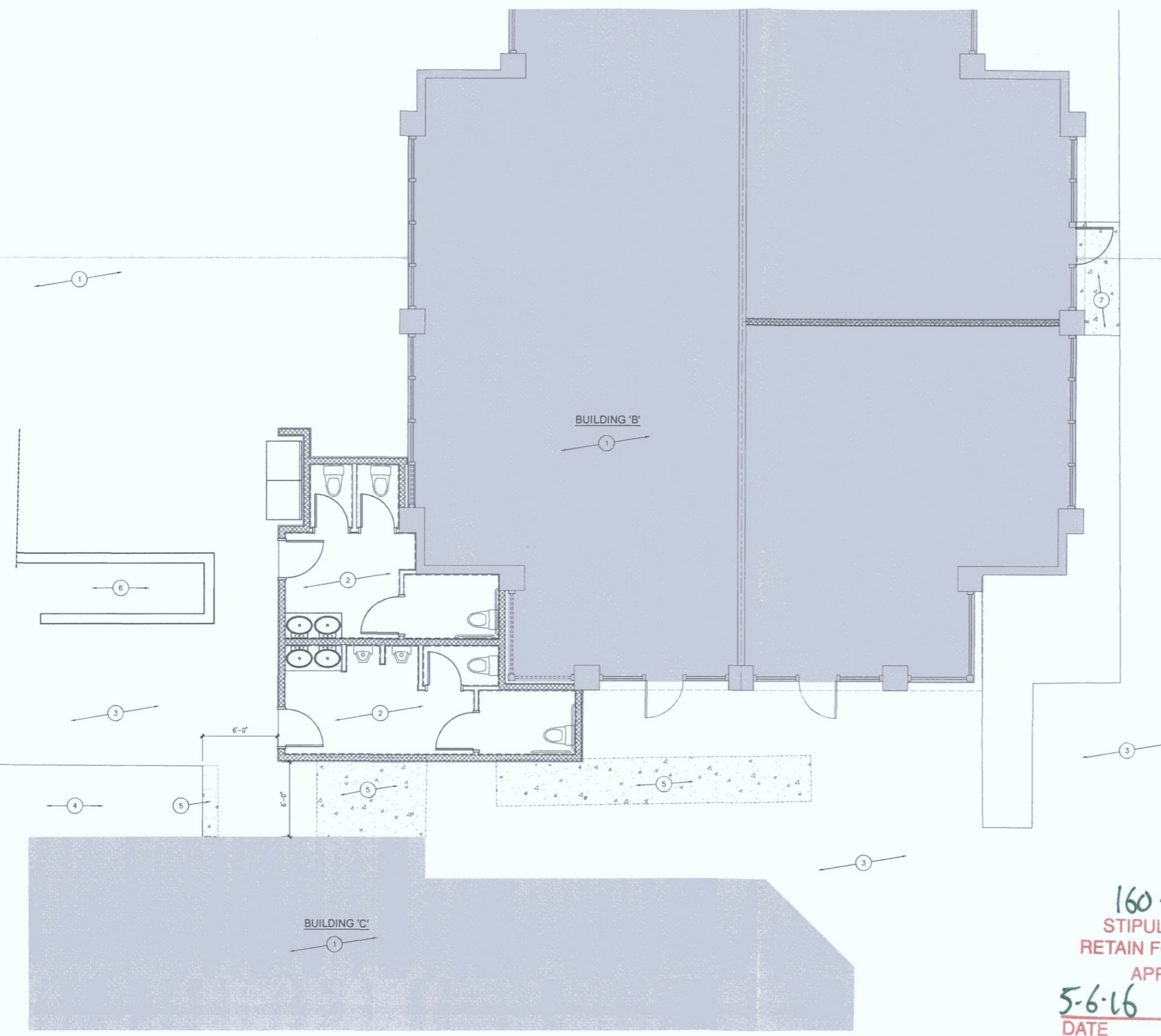
AS1.0

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- KEYNOTES**
1. EXISTING BUILDING TO REMAIN.
 2. PROPOSED AREA OF RESTROOM ADDITION
 3. EXISTING SIDEWALK
 4. EXISTING LANDSCAPE TO REMAIN
 5. NEW CONCRETE PAVING- INFILL TO MAINTAIN 6'-0" MINIMUM WIDTH PEDESTRIAN SIDEWALK
 6. EXISTING EXTERIOR STAIRS TO REMAIN
 7. NEW CONCRETE DOOR LANDING

- GENERAL NOTES**
- A. ALL EXPOSED STEEL SHALL BE PAINTED. SEE ROOM FINISH SCHEDULE ON SHEET AX.X FOR ADDITIONAL INFORMATION.
 - B. CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING FOR OWNER FURNISHED EQUIPMENT. COORDINATE WITH OWNER.
 - C. PROVIDE DOOR/SUITE SIGNAGE AT EACH DOORWAY PER DOOR SCHEDULE.

BUILDING B - ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



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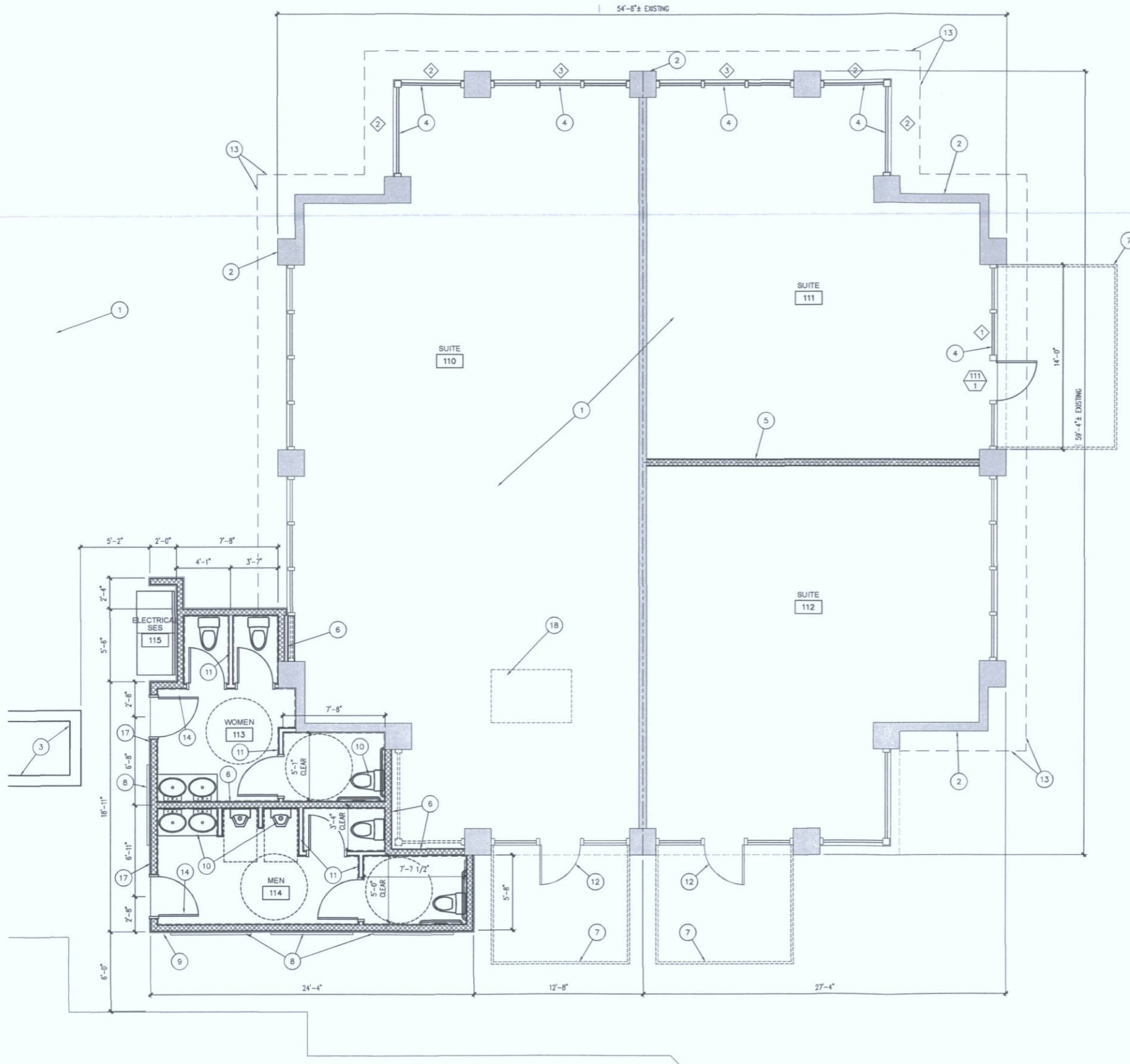
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BUILDING 'B'
ENLARGED SITE

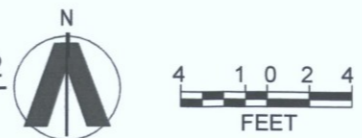
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BUILDING B LEASE PLAN - STE. B110/ B111/B112
SCALE: 1/4" = 1'-0"



KEYNOTES

1. EXISTING BUILDING TO REMAIN.
2. EXISTING STUCCO/EIFS FINISH
3. EXISTING STAIRS TO REMAIN.
4. NEW INSULATED GLAZING IN ALUMINUM STOREFRONT SYSTEM TO REPLACE EXISTING- MATCH EXISTING WIDTH; SEE ELEVATIONS.
5. NEW DEMISING WALL WITH 2x4 WOOD STUDS @16" O.C. WITH 5/8" TYPE 'X' GYP. BOARD EACH SIDE.
6. NEW DEMISING WALL WITH 2x6 WOOD STUDS @16" O.C. WITH 5/8" TYPE 'X' GYP. BOARD EACH SIDE.
7. NEW METAL CANOPY STRUCTURE, PAINTED.
8. NEW GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
9. NEW EXTERIOR WALL; 2x6 WOOD STUDS @16" O.C. WITH STUCCO FINISH- MATCH EXISTING COLOR AND TEXTURE
10. NEW PLUMBING FIXTURE - SEE PLUMBINGS
11. NEW INTERIOR WALL.
12. EXISTING EXTERIOR DOOR TO REMAIN - PAINT.
13. LINE OF ROOF OVERHANG ABOVE. SEE REFLECTED CEILING PLAN AND ROOF PLAN.
14. DOOR AND FRAME. SEE DOOR SCHEDULE.
15. RELOCATE ELECTRICAL SES PANEL. SEE ELECTRICAL.
16. WALL CORNER GUARD.
17. PROVIDE A.D.A RESTROOM SIGNAGE - SEE DOOR SCHEDULE/TYPES FOR TYPICAL MOUNTING HEIGHTS.
18. APPROXIMATE LOCATION EXISTING A/C ROOFTOP UNIT - SEE MECHANICAL DRAWINGS.

LEGEND

- DOOR TYPE TAG. SEE SHEET A6.1.
- WINDOW TYPE TAG. SEE SHEET A6.2 AND A6.3.
- WALL TYPE TAG. SEE SHEET A9.1.
- S.E. INDICATES DIMENSION TAKEN FROM SLAB EDGE.

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FLOOR PLAN
'B' BUILDING

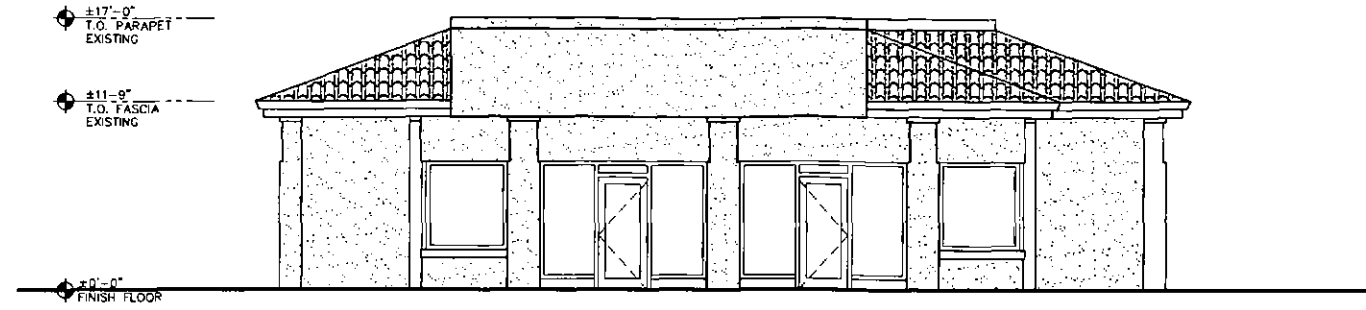
A2.1

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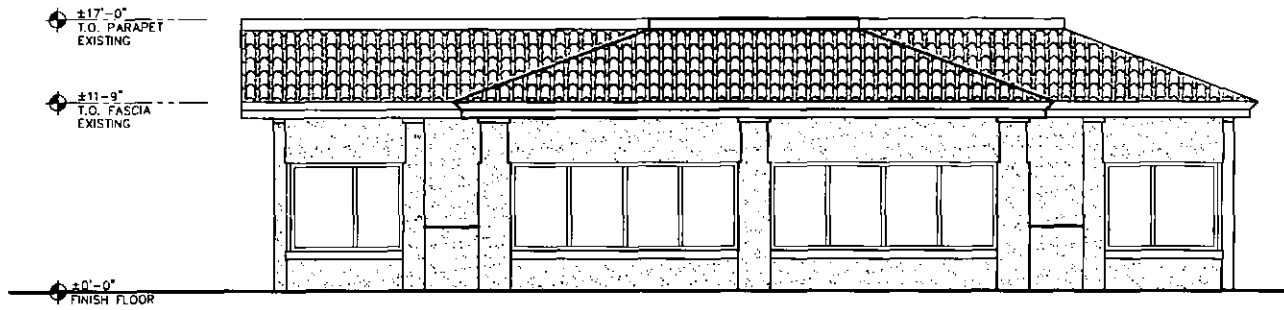
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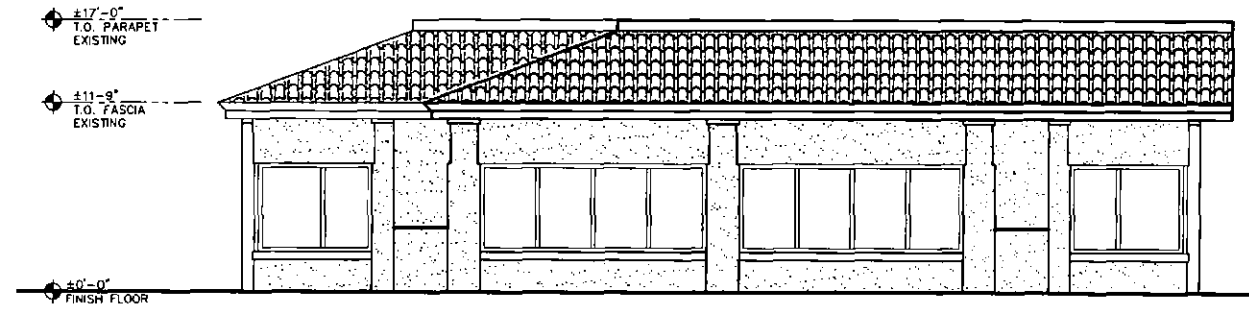
EXISTING SOUTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



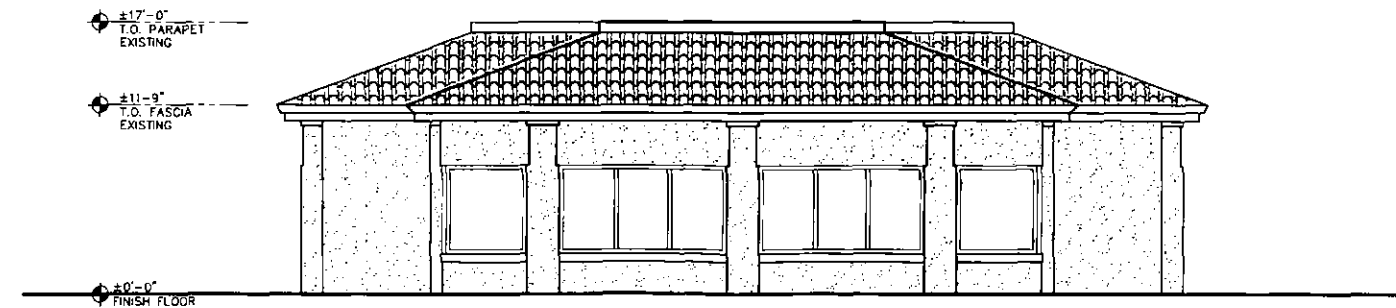
EXISTING EAST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING WEST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



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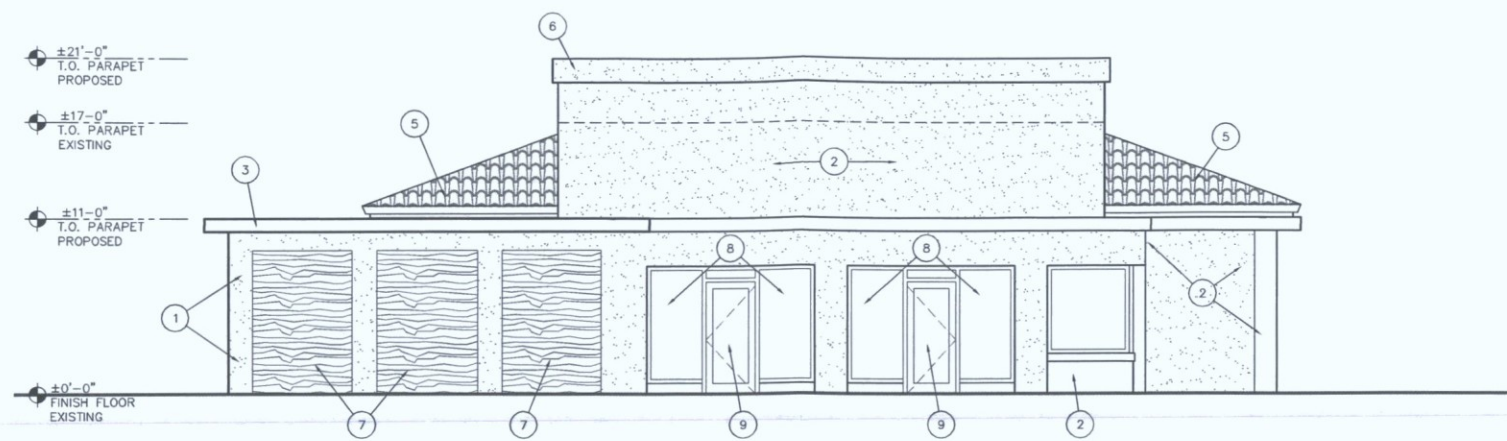
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EXISTING ELEVS
'B' BUILDING

A3.0

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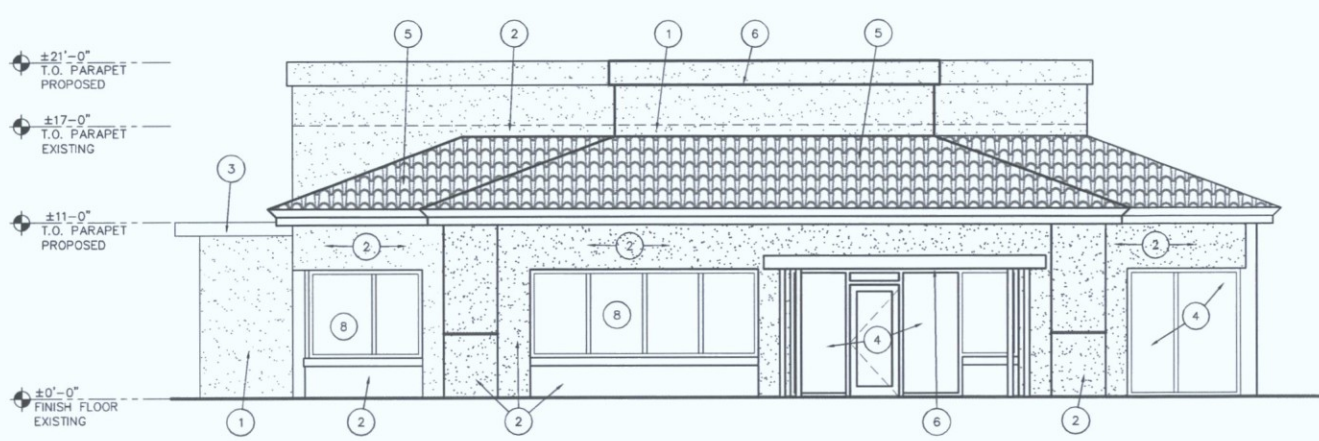
SOUTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



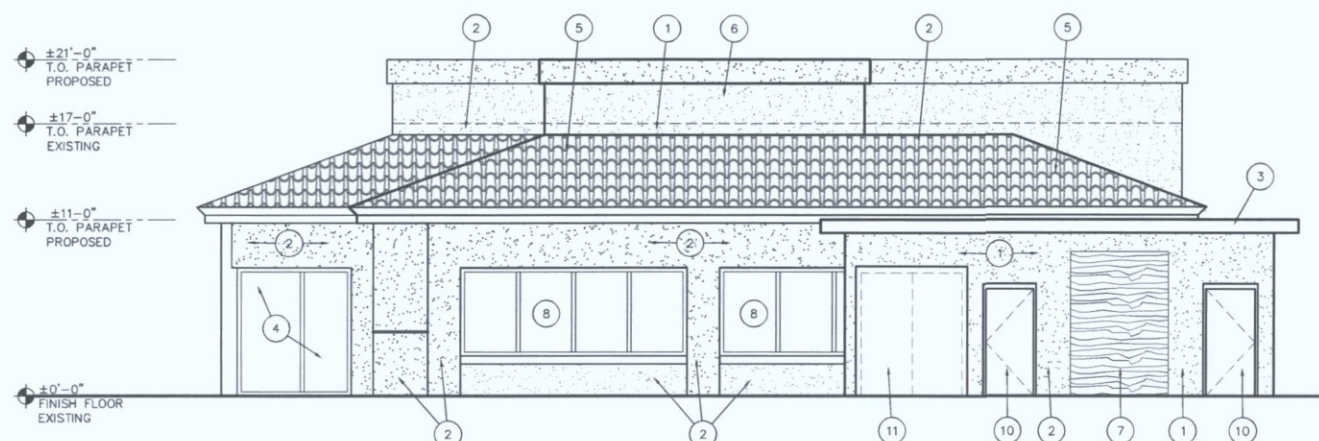
KEYNOTES

1. STUCCO. MATCH EXISTING FINISH AND COLOR
2. EXISTING STUCCO TO REMAIN
3. NEW FASCIA- PAINT TO MATCH EXISTING COLOR
4. STOREFRONT ALUMINUM WITH COLOR AND GLAZING TO MATCH BUILDING 'A' STOREFRONT.
5. EXISTING RED TILE ROOF EXISTING TO REMAIN
6. RAISE PARAPET TO SCREEN EXISTING MECHANICAL EQUIPMENT
7. GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
8. EXISTING WINDOWS TO REMAIN
9. EXISTING DOOR TO REMAIN
10. NEW RESTROOM DOOR- PAINT TO MATCH EXISTING DOORS.
11. FULLY RECESSED S.E.S.- PAINT TO MATCH EXISTING ADJACENT WALL COLOR.



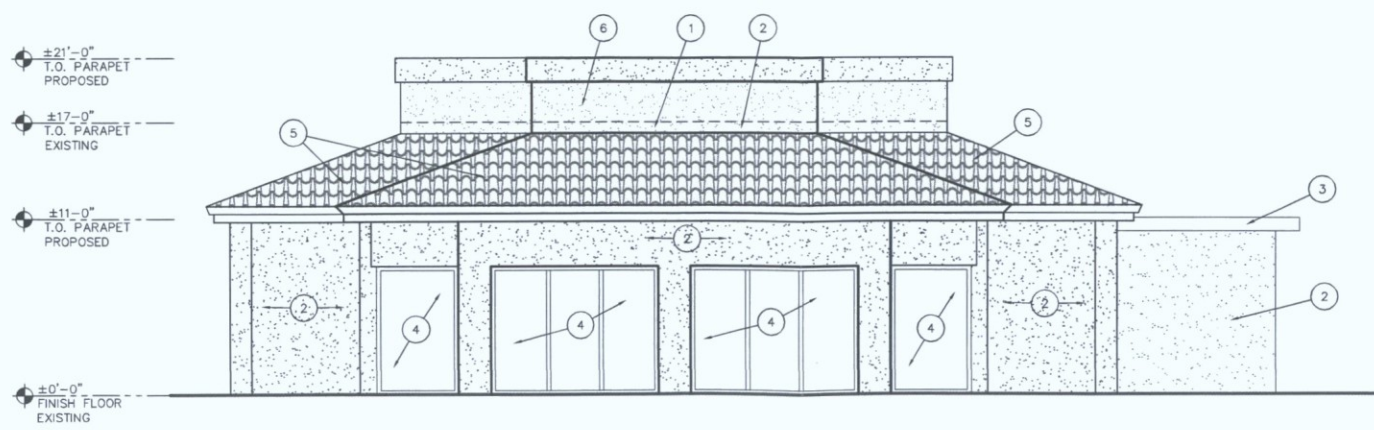
EAST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



WEST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



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EXT. ELEVATIONS
 'B' BUILDING

A3.1

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