
**Marked Agendas
Approved Minutes
Approved Reports**

**The April 16, 2015
Development Review
Board Meeting Agenda
and Minutes can be
found at**

<http://www.scottsdaleaz.gov/boards/DRB>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: April 16, 2015 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Inspire on Earll 51-DR-2014

Location: 7300 E. Earll Dr.

Request: Request approval of the site plan, landscape plan, and building elevations for a new 97-unit residential condominium project, with approximately 158,000 square feet of residential space in two multi-story buildings, and a parking structure beneath the buildings, all on 2.5 acres.

OWNER

DECO Communities
480-609-6779 x 108

ARCHITECT/DESIGNER

Harley Ellis Devereaux

ENGINEER

PK Kland Engineering

APPLICANT CONTACT

Dan Erlandson
480-850-2030

BACKGROUND

Zoning

This site is zoned Downtown District, Office-Residential, Type 2, Downtown Overlay (D/OR-2 DO), which allows a variety of commercial uses as well as multi-family residential. A recent zoning district map amendment (25-ZN-2005) changed the zoning on the site from Highway Commercial District, Downtown Overlay (C-3 DO) to D/OR-2 DO.

Context

Located approximately 700 feet east of Scottsdale Road on the north side of Earll Drive, this site is situated at the Downtown Area boundary. As such, transition is a key consideration in terms of massing and building height. The immediate vicinity is occupied by primarily single- and two-story

buildings with a mix of uses, including office, personal service, restaurants, and travel accommodations.

Adjacent Uses and Zoning

- North Residential Healthcare Facility, zoned Highway Commercial, Downtown Overlay (C-3 DO)
- South Office/Retail, zoned C-3 DO
- East Office, zoned C-3 DO
- West Hotel, zoned C-3 DO

Key Items for Consideration

- Development Review Board Criteria
- Sensitive Design Principles
- Downtown Urban Design and Architectural Guidelines
- A development application with similar height and intensity previously approved for the site (33-DR-2007)
- Located at the Downtown Area boundary
- Edge relationship between project and surrounding properties
- How project interacts with street frontage

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant seeks approval to construct a new 97-unit residential condominium project, consisting of two buildings varying in height from three to four stories, sub-grade resident parking, and associated site improvements.

Neighborhood Communication

Property owners within 750 feet of the site have been notified of the applicant’s request and the site is posted with the required signage.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Site Plan

This site is currently occupied by an office building that will be demolished to allow space for this project. Developed as a condominium project, each unit will be individually owned with common area and drive aisles dedicated as tracts that will be maintained by a community association. The site consists of two buildings surrounding a central common area that includes, among other amenities, a resident lounge and fitness facility, pool/spa, cabanas and a fire pit. All resident parking is provided in a sub-grade parking garage and surface parking is proposed for guests and visitors. Vehicular access to the site is provided from one primary entrance off Earll Drive that will be gated to provide an element of security and privacy. A secondary access point is proposed along the west edge of the site for emergency and service vehicle access only.

The proposal appears to fall short of a design objective in terms of how the project interacts with the street frontage. Scottsdale Sensitive Design Principle #7 suggests development “should show consideration for the pedestrian by providing landscaping and shading elements *as well as inviting access connections to adjacent developments*”. Additionally, Section A9 of the Downtown Urban

Design and Architectural Guidelines (UDAG) suggests the area between a building and the street should be “developed as a “patio” landscape designed primarily for pedestrian activity and enjoyment”. In this case, the applicant proposes a barrier between the building and the street that detracts from the pedestrian environment envisioned by the Sensitive Design Principles and the UDAG. The applicant contends the barrier is necessary to provide security and privacy for the ground-floor residents; and has proposed a view fence rather than a solid block wall that includes pedestrian gates that connect the ground floor units to the street. However, the barrier itself is contrary to the intent of the UDAG and Sensitive Design Principles. It should be pointed out that the previous project approved for this site did include a decorative wall between the building and the patio.

Building Elevations

Contemporary in design, the building façade consists primarily of a stucco finish that is neutral in color, with aluminum, metal and wood used as trim accents. The design includes stairway towers, with a cultured stone veneer, also neutral in color, that help to break up the façade and add a dramatic architectural element. Cultured stone is also used at the corners of the buildings to provide additional accenting. Balcony railings consist of metal cladding over wood framing and clear glass panels. In response to the Scottsdale Sensitive Design Principles, the applicant proposes overhangs and brows over windows, in addition to protruding balconies, to provide shading and help mitigate solar reflection and heat gain.

As this site is located at the Downtown Area boundary, it is critical for the project to “announce” the Downtown boundary. The project should establish an urban setting that responds to the City’s Sensitive Design Guidelines, as well as the Downtown Plan and UDAG. Consideration should also be given to the existing context and established character of the area. The project responds contextually by stepping the building height back from the street, as required by the original zoning approval. Building height is limited to three stories, or approximately 36 feet adjacent to the Earll Drive frontage, increasing to four stories and 45 feet in height toward the center of the site.

Landscape

Landscaping for the site consists of a variety of plantings and trees. A linear row of Palo Verde Trees highlight the frontage open space, providing a shading element for pedestrians on the street sidewalk in addition to a buffer between the building and the street. Sissoo Trees and groundcover are provided around the perimeter of the project to provide an aesthetic buffer and shading for residents, and sidewalks are also provided along the perimeter to connect residents to the central common area. Potted plantings are dispersed around the site and artificial turf is proposed for internal common areas only. No artificial turf will be visible from off-site.

Development Information

- Existing Use: Office/Retail (building is currently vacant)
- Proposed Use: Multi-Family Residential
- Parcel Size: 2.5 gross acres/ 111,880 square feet
2.3 net acres/ 100,941 square feet
- Dwelling unit space (residential): 157,605 square feet

- Building Height Allowed: 66 feet, including rooftop appurtenances
- Building Height Proposed: 55 feet, including rooftop appurtenances
- Parking Required: 169 spaces
- Parking Provided: 196 spaces
- Number of Dwelling Units Allowed: 125 units
- Number of Dwelling Units Proposed: 97 units
- Density Allowed: 50 dwelling units per gross acre
- Density Proposed: 38 dwelling units per gross acre

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Inspire on Earll, per the attached stipulations, finding that the provisions of Scottsdale Sensitive Design Guidelines, Downtown Urban Design and Architectural Guidelines and the Development Review Criteria have been met.


RESPONSIBLE DEPARTMENT

Planning and Development Services
Current Planning Services

STAFF CONTACT

Greg Bloemberg
Senior Planner
480-312-4306
E-mail: gbloemberg@ScottsdaleAZ.gov

APPROVED BY


Greg Bloemberg, Report Author

4-2-15
Date


Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@ScottsdaleAZ.gov

4/2/15
Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
- B. Fire Ordinance Requirements
- 1. Applicant's Narrative
- 2. Context Aerial
- 2A. Close-Up Aerial
- 3. Zoning Map
- 4. Combined Context Aerial and Site Plan
- 5. Site Plan
- 6. Building Elevations (Color)
- 7. Building Elevations (Black and White)
- 8. Perspective
- 9. Streetscape Elevations
- 10. Material and Color Board
- 11. Landscape Plans
- 12. Electrical Site Plan
- 13. Exterior Lighting Cut Sheets

**Stipulations for the
Development Review Board Application:
Inspire on Earll
Case Number: 51-DR-2014**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

Stipulation #6 amended by the Development Review Board. Alternative stipulation in bold print and italics after strikethrough

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations provided by Harley Ellis Devereaux, with a City staff date of 2/25/15.
 - b. The location and configuration of all site improvements shall be consistent with the site plan provided by Harley Ellis Devereaux, with a City staff date of 2/25/15.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan provided by Humphreys and Partners Landscape Architecture, with a City staff date of 2/25/15.
 - d. The case drainage report provided by PK Kland Engineering and accepted in concept by the Stormwater Management Department of the Planning, Neighborhood and Transportation Division.
 - e. The water and sewer basis of design report submitted by PK Kland Engineering and accepted in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the site was: 25-ZN-2005

ARCHITECTURAL DESIGN:

DRB Stipulations

2. *In accordance with the Scottsdale Sensitive Design Principles, all shade devices proposed over windows shall be designed so that the shade material has a density of 75% or greater, in order to maximize the effectiveness of the shade device.*
3. *With the final plans submittal, the applicant shall provide plans and details confirming all roof drainage components will be interior to the building, with the exception of overflow scuppers. If overflow scuppers are provided, they shall be integrated into the design of the building. Areas of the roof utilized for drainage shall be designed and constructed to minimize erosion or staining and direct water away from the building walls and foundations.*
4. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
5. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

6. *With the final plans submittal, the site plan shall be revised to eliminate the six-foot-tall view fence proposed between the building and the street; or the height of the wall shall be reduced from six feet to a maximum height of 45 inches, to the satisfaction of Current Planning staff. The proposed barrier between the building and the street shall not exceed six (6) feet in height, and shall consist of two (2) feet of block or stone with four (4) feet of decorative metal on top of the base, to the satisfaction of Current Planning staff.*
7. *With the final plans submittal, the site plan shall be revised to show the existing off-site improvements, with dimensions, and the building frontages for the buildings on the south side of Earll Drive.*
8. *The proposed underground garage exhaust vent, located at the southwest corner of the site, shall be concealed from off-site view by a six-foot-tall wall on all four sides. The wall shall be finished with the same stone veneer and cap stone design as the other walls along Earll Drive.*

FLOOR PLAN:

Ordinance

- B. With the final plans submittal, the Parking Garage Floor Plan shall be revised to confirm that any parking spaces adjacent to a wall, column or other obstruction are increased in width a minimum of two feet on the obstructed side, per Section 9.106.A of the Zoning Ordinance.

LANDSCAPE DESIGN:

DRB Stipulations

- 9. *If Golden Barrel Cactus is planted adjacent to any walkways or other pedestrian areas, it shall be planted so that the distance between the edge of the walkway and the pedestrian areas to the edge of the mature cactus is at least four feet.*
- 10. *With the final plans submittal, the landscape plan shall be revised to eliminate the planter in front of the proposed bicycle racks, adjacent to the mail room, to improve natural surveillance.*
- 11. *Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.*

EXTERIOR LIGHTING:

DRB Stipulations

- 12. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
- 13. Incorporate the following parking lot and site lighting into the project’s design:
 Parking Lot and Site Lighting:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.
 - d. The total lumen per luminaire shall not exceed 24,000 lumens.

STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:

DRB Stipulations

- 14. Prior to the issuance of a building permit for the site, the owner shall dedicate to the City the following right-of-way and submit plans to construct the following street improvements:

Street Name	Street Type	Dedications	Improvements	Notes
Earll Drive	Minor Collector	None – 40 feet right-of-way (existing)	Upgrade existing curb cut at the west end of the site to meet current standards	a

CASE NO. 51-DR-2014

- a. The existing street sidewalk on Earll Drive shall be removed and replaced with a new sidewalk, with a minimum width of eight (8) feet.
15. Before any building permit is issued for the site, the owner shall submit plans and receive plan approval to construct the main driveway entrance, in general conformance with City of Scottsdale's Supplement to the MAG Standard Detail #2256 for Type CL-1 driveways.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- C. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.

DRB Stipulations

16. Before any building permit is issued for the site, the owner shall dedicate an Emergency and Service Vehicle Easement over the entire width of the drive aisle along the west edge of the property, including the maneuvering space adjacent to the common area.

WATER AND WASTEWATER STIPULATIONS:

DRB Stipulations

17. Before the final improvement plan submittal to the Plan Review and Permit Services Division, the owner shall obtain approval of the Basis of Design reports from the Water Resources Department. The Basis of Design reports shall be in conformance with the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

18. With the improvement plan submittal, the owner shall submit a final drainage report and civil Grading and Drainage Plan, demonstrating consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

ADDITIONAL ITEMS:

DRB Stipulations

19. *Flagpoles, if provided, shall not exceed 36 feet in height and shall be one-piece, conical tapered design.*



51 DR 2014

DATE: 11/18/14

Inspire on Earl
7300 Earl
Scottsdale

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE. | <input checked="" type="checkbox"/> 9. BACKFLOW PREVENTION IS REQUIRED FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE. |
| <input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE AND INTERNATIONAL FIRE CODE REQUIREMENTS. | <input checked="" type="checkbox"/> 10. FIRE DEPARTMENT CONNECTIONS SHALL BE INSTALLED AT A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION. |
| <input checked="" type="checkbox"/> 3. PROVIDE ALL WEATHER ACCESS ROADS (MINIMUM 16' IN WIDTH) TO ALL BUILDINGS AND HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION. | <input type="checkbox"/> 11. FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE/STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. |
| <input checked="" type="checkbox"/> 4. PROVIDE A KNOX ACCESS SYSTEM:
<input checked="" type="checkbox"/> A. KNOX BOX
<input checked="" type="checkbox"/> B. PADLOCK
<input checked="" type="checkbox"/> C. KEY SWITCH AND PREEMPTION DEVICE OVERRIDE FOR AUTOMATIC GATES | <input type="checkbox"/> 12. FIRE SPRINKLER SYSTEM DESIGN CRITERIA FOR UNSPECIFIED SHELL BUILDINGS SHALL BE .45GPM OVER 3000 SQUARE FEET. |
| <input checked="" type="checkbox"/> 5. BUILDINGS ARE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM. | <input type="checkbox"/> 13. PROVIDE (NFPA) OWNER'S CERTIFICATE WITH FIRE SPRINKLER PLAN SUBMITTAL. |
| <input type="checkbox"/> 6. SUBMIT HAZARDOUS MATERIAL INVENTORY STATEMENT FOR ALL HAZARDOUS MATERIAL WHEN IFC PERMIT THRESHOLDS ARE MET. SUBMIT HMIS WITH BUILDING PLANS. | <input type="checkbox"/> 14. _____ |
| <input checked="" type="checkbox"/> 7. A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND COMPLY WITH CURRENTLY ADOPTED NFPA STANDARDS. | <input type="checkbox"/> 15. _____ |
| <input checked="" type="checkbox"/> 8. FIRELINES SPRINKLERS AND STANDPIPE SYSTEMS SHALL BE FLUSHED AND PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES. | <input type="checkbox"/> 16. _____ |
| | <input type="checkbox"/> 17. _____ |
| | <input type="checkbox"/> 18. _____ |

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-2500.

ATTACHMENT B

INSPIRE on EARLL Condominiums - Scottsdale, Arizona

Deco Communities

Project Narrative

11/7/2014

I. Introduction

This application seeks the Development Review Board's approval of the proposed *INSPIRE on EARLL* residential 97 unit condominium development located at 7300 East Earll Drive. Deco Communities, property owner, and Harley Ellis Devereaux, Architect have designed this project primarily for a young first time buyers and individuals that are downsizing who appreciate luxury and a home that telegraphs that message within the urban setting of downtown Scottsdale. The following description outlines the planning and design rationale for the siting, circulation and built form of this project.

This request is for an Infill Incentive designation on a +/-2.5 gross acre property located on the north side of East Earll Drive generally between North 73rd Street and Civic Center Plaza (aka North 74th Street) and referred to here as the "Property". The Property was re-zoned to Downtown/Office Residential Type 2 Downtown Plan. The zoning approval was for a multi-family residential development up to 50 feet in height excluding the height for mechanical equipment and its respective screening under Zoning Approval case 25-ZN-2005. It is our understanding that; provided that the development plan conforms to the site plan of the previously mentioned Zoning case, then the development plan would only require approval of the Development Review Board (DRB).

Approval of this request will facilitate the development of a maximum of 100 upscale residential condominium units ranging in size from approximately 803 square feet to 1,529 square feet. The Property is located in Downtown Scottsdale's Entertainment District which provides dining nightclub and evening activities intended to complement the commercial retail uses located in the Fashion Square District both of which require residential densities in the vicinity to maximize their economic benefit to the City of Scottsdale; this request helps satisfy that critical demand.

This proposed 97-unit upscale condominium development proposes a maximum of 50 feet in building height (exclusive of mechanical equipment) and a maximum F.A.R. of 1.55 with 79% of the site maintained as open space. These development standards are appropriate given the context in which the Property is located, adjacent to the Holiday Inn Motel. This request, when approved, will comply with the Downtown Design Guidelines and will help promote and invigorate Downtown by providing residential dwelling units on a substantially underutilized piece of property. This request does not include any ancillary commercial, restaurant, bar or retail uses.

II. Context

The site is located at 7300 East Earll Drive, between 75th Street and 76th Street. **To the west**, the property abuts the three story Holiday Inn Express; **To the north**, the property abuts the Scottsdale Nursing and Rehabilitation Center; **To the East**, the project abuts a single story office building; **To the South (across East Earll Drive)**, the project faces Carpe Diem Secondary School.

The Downtown District is intended to facilitate the implementation of the objectives articulated in the Downtown Plan. This application fulfills these objectives which include opportunities and incentives for residential projects and mixed use development, establishing incentives for underground parking and more efficient land use to improve the appearance of Downtown and to allow latitude for creative design and architectural variety intended to reinforce Downtown Scottsdale's "sense of place".

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III. Site Planning

The proposed development will contain a total mix of 97 one and two bedroom condominiums plus below grade parking and Owner amenities potentially, built in two phases. A formal entry, feeding off East Earll Drive, for cars and pedestrians has been created at the southeast corner of the site. This driveway and walkway lead to a drop-off Phase I and Phase II building entries and continues on to surface visitor parking at the northeast corner of the site. The length of the driveway leading up to the vehicular security gate will negate traffic backing out into East Earll Drive.

The project is designed as two four story buildings atop a one level, below grade, parking structure. The two buildings are separated by a large courtyard that will be landscaped and contain the project's swimming pool and other Owner amenities. Trash Rooms with compactors for general solid waste and recycling are located in the garage below each building. Trash containers will be rolled out to a pick-up area housed in a utility service structure in the southeast corner of the property then returned to the Trash Room. Landscaped areas will include decorative unit pavers and indigenous water conserving plants. The proposed building respects the required set-backs as described in the accompanying Plan and Section documents.

IV. Building Aesthetics

Inspire on Earll ("Project") is largely influenced by the work of Frank Lloyd Wright, especially his Prairie Style architecture adapted for Scottsdale, and the Southwest in general. Wright's Fallingwater served as inspiration for the project's blend of comfortable desert modern with stone-like cladding on vertical building elements clearly expressed horizontal lines, and the use of generous canopies and overhangs, especially at building entrances.

The Project consists of a pair of three and four-story buildings, forming a large interior pool and spa courtyard. In keeping with the required setbacks, the proposed building along East Earll Drive presents a three-story façade stepping up to a four-story height for the portion of the building facing the interior courtyard. The north building consists of four stories.

The proposed buildings, primarily finished in light colored exterior cement plaster, are defined by strong horizontal accent lines generated by large covered balconies and deep overhanging canopies. Recessed aluminum casement windows are generously sized and finished in dark bronze. Vertical elements and select corners are finished in stone-like cladding along with select horizontal bands of planter walls which help ground them. Other materials include painted metal-clad fascia at canopies and painted wood "bris-solei" capping the three-story massing along Earll Drive.

V. Building Massing

The allowable height for this building is 50'-0" as measured from twelve inches above the average East Earll Drive Street curb height to the upper most part of the roof. This height is non-inclusive of rooftop equipment and mechanical screen walls or elevator over-runs. There are a total of four floors of residential units in two separate buildings. The ground floor houses a Lobby, Community Room and Fitness Center facilities. A pool is located in the central courtyard along with additional Owner amenities. The impact of the building height is mitigated by the step-back modulation of the façade. As an Urban Planning concept, the modulation of the façade will benefit the neighborhood by eliminating a

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monolithic building face. The designers have chosen to maximize the views from the units by specifying low U-Factor, high Shading Coefficient casement style glazing that will be recessed within the exterior walls. Balconies are recessed into the units to provide maximum shading for these outdoor living areas.

VI: SUMMARY

In summary, the request is for an Infill Incentive designation on a +/- 2.5 gross acre property located at 7300 East Earll Drive in Downtown Scottsdale and, to the maximum extent possible, conforms to the previously approved Zoning Case 25-ZN-2005. Approval of this request will allow the development of a maximum of 100 upscale residential condominium units ranging in size from approximately 803 square feet to 1,529 square feet. The Property is located in Downtown Scottsdale's Entertainment District which is characterized by providing dining, nightclub and evening activities intended to complement the commercial retail uses located in the Fashion Square District both of which require residential densities in the vicinity to maximize their economic vitality. The proposed residential project will bring synergy and desirable residential dwellings to the existing Entertainment District promoting a live, play, work philosophy.

The project will be constructed on under-utilized commercial property, and will promote economic revitalization in the Downtown Area. Furthermore, the development is complementary and supportive of the adjacent neighborhood uses helping to create a synergistic energy, to the benefit of local businesses.

VII. Development Review Board Criteria

A. SECTION 1.904 CRITERIA

In considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components for the applicable guidelines, development standards, Design Standards and Policies Manual, Master Plan and General Plan.

B. GENERAL PLAN CONTEXT

The General Plan designates the project area as a Downtown Multiple Use Type 2 Neighborhood.

RESPONSE: *The INSPIRE on EARLL Condominium project plays a small part in fulfilling the General Plan's goals to develop a new Multiple Use-Type 2 neighborhood defined loosely geographically by: East Earll, North Drinkwater Boulevard, North Scottsdale Road, and North Civic Center Plaza. A few years from now this area will be even more vibrant and active than it is currently. The access to major roads, bus routes, regional shopping, local events and good restaurants and museums are the development draw.*

C. DOWNTOWN PLAN: LAND USE

GOAL LU 1: MAINTAIN DOWNTOWN SCOTTSDALE AS THE COMMERCIAL, CULTURAL, CIVIC, AND SYMBOLIC CENTER OF THE COMMUNITY TO ENSURE A VIBRANT MIX OF MUTUALLY SUPPORTIVE LAND USES.

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LU 1.1: Revitalization should allow Downtown to remain competitive in local, regional, national and international.

RESPONSE: *The INSPIRE on EARLL Condominium project will inject a high income demographic into the Downtown area bringing with it the probability of disposable income infusion into local businesses and lead to the further recognition of Scottsdale as a leading lifestyle center.*

LU 1.2: Maintain Downtown as a year-round, 24 hour highly functional mixed-use center, containing areas of different densities, architectural styles, and land uses that support the needs of Scottsdale's residents and visitors.

RESPONSE: *Residential properties offer 24/7 year round activity to supplement the 9 to 5 activity associated with the typical business focused center so typical of downtown areas. The aesthetics of the project incorporate traditional materials with a clean modern look responding to the goal of "different architectural styles". The nature of high-end owner occupied condominiums is one where the owners naturally take a greater interest in the condition of their property reflecting their investment.*

LU 1.3: Maintain a balance of Downtown land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities, and the economic base needed to secure resources that support the community.

RESPONSE: *As noted in the response to LU 1.1, the INSPIRE on EARLL Condominium project will inject a high income demographic into the Downtown area bringing with it the probability of disposable income infusion into local businesses and lead to the further recognition of Scottsdale as a leading lifestyle center.*

GOAL LU 2: PROMOTE THE DEVELOPMENT OF DOWNTOWN AS A COLLECTION OF MIXED-USE URBAN NEIGHBORHOODS.

LU 2.1: As a General Plan designated Mixed-Use Neighborhood, Downtown Scottsdale should offer efficiencies of strong access to multiple modes of transportation and major regional access and services focused on human-scale development; accommodate higher density housing combined with complimentary office or retail uses and accommodate vertical mixed.

Response: *The Inspire on Earll Condominiums are close to bus route #72 and MRT and SNTR routes. The 101 Freeway connects Scottsdale to the rest of the East Valley and is only 2 miles to the east.*

LU 2.5: Encourage new development, redevelopment and infill that strengthen Downtown Scottsdale's mix of uses and activities through the development of mutually supportive land uses within the Downtown Multiple Use urban neighborhoods. Multiple Use areas include the majority of the properties within the overall Downtown Plan boundary.

New development and redevelopment within the Multiple Use areas adjacent to the Arizona Canal should incorporate vertically mixed land uses that activate the Canal with both visitors and residents year-round.

RESPONSE: *The Property is designated in the Downtown Multiple Use in the Downtown Plan and the City encourages, through the Downtown Plan and Infill Incentive Plan, redevelopment of underutilized parcels in the Downtown area while fulfilling the residential demand in Downtown Scottsdale. This development is a unique Downtown residential community of 97 dwelling units. Bringing residents into*

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this area will increase the livability of Downtown Scottsdale, as retail, entertainment, galleries and restaurant business will benefit.

GOAL LU3: CONTINUE THE USE OF DEVELOPMENT TYPES TO GUIDE THE PHYSICAL AND BUILT FORM OF DOWNTOWN SCOTTSDALE.

LU 3.2: Support higher scale Type 2 development in all non-Downtown Core areas of the Downtown.

RESPONSE: *The site is a Type-2 development outside of the Downtown Core. As such, higher scale and density is promoted. This proposal for 97 condominiums will provide an appropriate scale consistent with existing nearby Downtown developments.*

GOAL LU4: ENCOURAGE DOWNTOWN LAND USE DEVELOPMENT FLEXIBILITY.

LU 4.1: Retain, expand, or modify as necessary, flexibility in Downtown zoning, development standards, and incentives to achieve the goals of the Downtown Plan.

RESPONSE: *In keeping with the goals and policies established in the Downtown Plan and Infill Incentive Plan this small property has the opportunity to develop within the previously approved zoning and DRB approvals.*

LU 4.5: To assist the community in achieving the vision of the Downtown Plan, the provision of Downtown public amenities and benefits should be provided when development bonuses such as increased floor area, (ratio of usable building area to parcel size), greater density, greater height, transfer of development rights, and/or street/alley abandonment, are being considered. Potential public amenities and benefits may include, but are not limited to:

- New or expanded public realm and open space areas;
- Pedestrian enhancements and amenities;
- Mobility enhancements;
- Transit enhancements;
- Sensitive edge buffering;
- Revitalization of Downtown properties;
- Infrastructure improvements;
- Additional public parking and shared parking facilities;
- Historic preservation; and/or
- Work force housing.

RESPONSE: *The proposal will redevelop an underutilized commercial parcel in Downtown Scottsdale and is consistent with the Downtown Plan and Infill Incentive Plan as well as the Downtown Urban Design & Architectural Guidelines. The applicant is proposing 79% open space (0 SF is required in Downtown). The proposed condominium community will bring residential dwellings to the existing Entertainment District promoting a live, play, work philosophy.*

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GOAL U5: ENHANCE, EXPAND AND CREATE NEW DOWNTOWN PUBLIC REALM AND OPEN SPACE AREAS.

LU 5.2: Establish an interconnected Downtown public realm and open space network that is accessible, safe, and inviting to all members of the community.

RESPONSE: *While the nature of this type of development does not lend itself to an open space network that is interconnected to the Downtown public realm, the designers have provided a landscaped plaza between the entry gate and East Earll Drive which will provide shade and seating for passing pedestrians as a way-stop on their journey to the Downtown area.*

GOAL LU6: PROMOTE DIVERSITY IN DOWNTOWN HOUSING OPTIONS.

LU 6.2: Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

RESPONSE: *The proposed development is proposing a maximum of 100 high-end multi-family residential condominium units on a small infill parcel that will provide a housing component that is in demand in Downtown Scottsdale. The project will offer residents amenities such as: pool, spa, fitness center and community rooms for gatherings, plus secured parking for both vehicles and bicycles.*

D. DOWNTOWN PLAN: CHARACTER AND DESIGN

GOAL CD I: THE DESIGN CHARACTER OF ANY AREA SHOULD BE ENHANCED AND STRENGTHENED BY NEW DEVELOPMENT THAT PROMOTES CONTEXTUAL COMPATIBILITY.

CD 1.1: INCORPORATE, AS APPROPRIATE, IN BUILDING DESIGN, THE DISTINCTIVE QUALITIES AND CHARACTER OF THE SURROUNDING, AND/OR EVOLVING CONTEXT.

RESPONSE: *The direction in this area is for higher and denser development marketed towards a youthful demographic with disposable income. We believe the Inspire on Earll Condominium project meets and exceeds this goal.*

CD 1.2: ENCOURAGE CREATIVE AND INNOVATIVE CIVIC AND PROMINENT DEVELOPMENTS TO ESTABLISH NEW URBAN DESIGN CHARACTER AND CONTEXTUAL INTERPRETATIONS OF THE DOWNTOWN, FOR AREAS WHERE DEVELOPMENT PATTERNS ARE FRAGMENTED OR ARE IN TRANSITION.

RESPONSE: *This area of Downtown Scottsdale is in transition and, as such, lends itself to a new design direction that will help to create a new urban design character in the Downtown area.*

CD 1.4: PROMOTE DOWNTOWN URBAN AND ARCHITECTURAL DESIGN THAT IS INFLUENCED BY, AND RESPONDS TO, THE CHARACTER AND CLIMATE OF THE SONORAN DESERT.

RESPONSE: *The architectural design evokes an urban modern aesthetic and provides shade, shadow and building articulation to break-up up the building massing and create visual interest. The proposed building materials, color palette, placement of windows, balconies and canopies complement the surrounding urban fabric of Downtown Scottsdale.*

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CD 1.5: ENCOURAGE URBAN AND ARCHITECTURAL DESIGN THAT ADDRESSES HUMAN SCALE, AND PROVIDES FOR PEDESTRIAN COMFORT.

RESPONSE: *Inspire on Earll Condominiums is four stories high and will stand under fifty feet tall, including mechanical equipment screen walls. The Phase I (southern building) building presents a 3 story facade to East Earll Drive with a total grade to roof height of 33 feet. The ground level incorporates ample landscaping and seating in shaded areas for pedestrian use.*

GOAL CD 3: DOWNTOWN DEVELOPMENT SHOULD RESPECT AND RESPOND TO THE UNIQUE CLIMATE AND CONTEXT OF THE SOUTHWESTERN SONORAN DESERT.

CD 3.1: ENHANCE OUTDOOR PEDESTRIAN COMFORT THROUGH MICORCLIMATIC DESIGN THAT INCORPORATES A VARIETY OF SHADE CONDITIONS, LANDSCAPE, AND FEATURES THAT ARE DROUGHT TOLERANT, AS WELL AS OFFER ATTRACTIVE SPACES, AND PASSIVELY COOLER TEMPERATURES.

RESPONSE: *The designers have crafted a ground level experience for pedestrians that include drought tolerant indigenous plantings, shade trees and a shaded walkway along the southern and eastern side of the building with pedestrian seating areas and bicycle parking. The selected plant materials are consistent with the designated palettes for this District. All plants are low water use and desert adapted. The streetscape scheme is made up of 4" caliper Desert Museum Palo Verdes (thorn less) at 30' on center. Planted in between the Palo Verde's are 18' tall Mexican Fan Palms mimicking the architectural accents on the building beyond. Since the majority of the project is over-structure, raised planters are designed to increase the volume and density of plant material also found with at-grade planters adjacent to East Earll Drive and the northern property line.*

CD 3.2: PUBLIC REALM AND SITE DESIGN SHOULD INCORPORATE TECHNIQUES FOR EFFICIENT WATER USE. WATER, AS A LANDSCAPE ELEMENT OR DESIGN FEATURE, SHOULD BE USED JUDICIOUSLY AND PLACED IN LOCATIONS WITH HIGH PEDESTRIAN ACTIVITY.

RESPONSE: *The designers have specified drought tolerant indigenous plant material inclusive of a drip irrigation system. The plant palette is composed of low water use and desert adapted species that are consistent with the approved list for this District.*

GOAL CD 4: STRENGTHEN PEDESTRIAN CHARACTER AND CREATE STRONG PEDESTRIAN LINKAGES.

CD 4.1: Develop an attractive, interconnected network of safe and walkable pedestrian linkages to, within, and between, the various Downtown urban neighborhoods.

RESPONSE: *the existing sidewalk along East Earll Drive is 5 feet wide and in poor condition. Deco Communities proposes to replace it with a new 8' wide sidewalk spanning from the eastern to western property lines of the project. It is assumed that future development along East Earll Drive will extend this expanded sidewalk thereby integrating the mixed uses into the Downtown/Arts & Entertainment Districts.*

CD 4.2: DEVELOPMENT SHOULD DEMONSTRATE CONSIDERATION FOR THE PEDESTRIAN BY PROVIDING ACCESS AND CONNECTIONS TO ADJACENT DEVELOPMENTS.

RESPONSE: *This project is an infill site bounded by existing built properties on the west, north and east. Aside from enhancements to the entry to the project from East Earll Drive, and a tree canopy*

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along East Earll Drive, no connections are being made to either the hotel to the west or office building to the east.

CD 4.3: RETAIN AND EXPAND THE TRADITION OF DOWNTOWN'S COVERED WALKWAYS.

RESPONSE: *The property is located at the southern edge of downtown in an area where covered walkways are not a feature of the environment. No covered walkways are being considered on the public side of the project.*

GOAL CD 5: CREATE COHERENT AND CONSISTENT STREET SPACES.

CD 5.3: STREETSCAPES SHOULD PROVIDE CONTINUITY ALONG AMONG ADJACENT USES THROUGH COMPREHENSIVE SUSTAINABLE LANDSCAPE IMPROVEMENTS, SHADE ELEMENTS, DECORATIVE PAVING, STREET FURNITURE, PUBLIC ART, AND INTEGRATED INFRASTRUCTURE ELEMENTS.

RESPONSE: *Inspire on Earll provides a planted landscape edge along East Earll Drive in conjunction with a canopy of 4 inch minimum diameter shade trees every 30 feet plus fan palms between each tree. The entrance into the project will feature a broad shaded plaza with seating and bicycle parking.*

GOAL CD 6: INCORPORATE A REGIONAL LANDSCAPE PALETTE THAT COMPLEMENTS DOWNTOWN'S URBAN CHARACTER.

CD 6.1: DOWNTOWN LANDSCAPE ELEMENTS SHOULD PROJECT A DESERT OASIS DESIGN CHARACTER, PROVIDING AN ABUNDANCE OF SHADE, COLOR, VARIED TESTURES AND FORMS.

RESPONSE: *Inspire on Earll will respond to the surrounding neighborhood through its landscape plan. The palette of desert drought friendly trees will be supplemented with low water use flowering shrubs and groundcovers all of which can be found on the Arizona Department of Water Resources plant list. This planting scheme along the project streetscape on Earll Drive is intended to mimic the surrounding character of the neighboring properties and downtown Scottsdale through its plant varieties, patterns, compositions and overall density. The streetscape scheme is made up of 4" caliper Desert Museum Palo Verdes (thorn less) at 30' on center. Planted in between the Palo Verde's are 18' tall Mexican Fan Palms mimicking the architectural accents on the building beyond. Supplemental ground level planting along the streetscape will be continuous rows of Mexican Bird of Paradise, Arizona Yellow Bells in the background with Fairy Duster, Lantana and Hesperaloe in the foreground.*

The East, West and South property lines will be lined with 24" Box Sissoo trees (where allowable due to site constraints) under planted with dense rows of Yellow Bells and Arizona Rosewood to buffer adjacent properties.

The North east corner of the property (dog leg) will have a retention basin that will be planted with hummingbird friendly native desert plantings and include a walking trail with benches for residents use.

Irrigation for the project will be on a low water use drip system controlled by an electronic timer.

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GOAL CD 7: THE EXTENT AND QUALITY OF LIGHTING SHOULD BE INTEGRALLY DESIGNED AS A PART OF THE BUILT ENVIRONMENT.

CD 7.1: ACHIEVE A BALANCE BETWEEN AMBIENT LIGHT LEVELS AND DESIGNATED LIGHTING NEEDS.

RESPONSE: *Selected areas of the façade along East Earll Drive have been chosen to accent the design. A succession of path lighting will illuminate the entry plaza and the walkway between the entry gate and the building entrances which will double as security and aesthetic lighting.*

CD 7.2: ENCOURAGE LIGHTING THAT IS ENERGY EFFICIENT AND DESIGNED TO SERVE BOTH PEDESTRIAN AND VEHICULAR TRAVE FOR SAFETY IN PUBLIC/PRIVATE SPACES.

RESPONSE: *Lighting will be designed per IESNA standards. Efficient light sources have been selected to minimize energy usage, while keeping lighting levels adequate for the task being performed in the space or area. General lighting will be LED and fluorescent and will use LED, T8 and /or T5 lamps with 80+ CRI and 3500K color temperature.*

GOAL CD 8: IMPLEMENT HIGH QUALITY DESIGN IN DOWNTOWN ARCHITECTURE

CD 8.1: ENCOURAGE CONTEMPORARY AND HISTORICAL INTERPRETATIONS OF REGIONAL SOUTHWESTERN SONORAN DESERT ARCHITECTURAL TRADITIONS

RESPONSE: *In keeping with contemporary interpretations of southwestern Sonoran desert design, the designers have interpreted Frank Lloyd Wright desert modern design utilizing low horizontal shading elements and desert colors of stucco and stone.*

CD 8.2: PROMOTE THE "SCOTTSDALE SENSITIVE DESIGN PRINCIPLES" IN THE CREATION OF ARCHITECTURE IN DOWNTOWN.

RESPONSE:

Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment, all of which are considered amenities that help sustain our community and its quality of life. The following design principles will help improve and reinforce the quality of design in our community:

- 1. The design character of any area should be enhanced and strengthened by new development. Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design. Building design should be sensitive to the evolving context of an area over time.**

RESPONSE: *This area of the Downtown is in a current state of evolution. Inspire on Earll Condominiums brings a new contemporary dimension to the design aesthetic, while respecting traditional Sonoran design traditions.*

- 2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as: Scenic views of the Sonoran desert and mountains.**

RESPONSE: *This siting of this project will not block existing building's view of the area since the existing structures are only one to three stories in height. Therefore, no one should feel deprived of any existing views. Since the project is only four stories in height, the project is designed around a*

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central courtyard affording 50% of the residences to face onto the lushly landscaped central amenity area. Residences on the third and fourth floors will have a view of the mountains to the north and northeast.

- 3. Development should be sensitive to existing topography and landscaping. A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.**

RESPONSE: *The proposed site is currently flat and occupied by a single story office building and parking lot. The existing topography is basically level and will be built up slightly to meet drainage requirements.*

- 4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.**

RESPONSE: *The site for the proposed design is currently occupied by a single story office building and parking lot. It is essentially devoid of any vegetation. However, the proposed native/Sonoran landscape palette will attract and sustain various forms of native/urban wildlife, such as hummingbirds, rabbits, quails and butterflies. A 3,200 square foot area in the northeast corner of the site is being set aside as a retention and garden area to be planted with native plantings intended to attract local birds and butterflies.*

- 5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations. Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.**

RESPONSE: *Since this is a single family residential development, parks, plazas, or public art are not directly considered in this case. In order to strengthen the Downtown's pedestrian system, the existing public sidewalks are to be widened to eight feet and enhanced by semi-mature shade trees and border landscaping.*

- 6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.**

RESPONSE: *This property was selected in part, for the excellent access to the City's bus route #72, MRT and SNTR routes. It is also approximately one mile away from the City's established downtown pedestrian zone and the Arizona Canal's greater trail system which links to Valley-wide hiking, biking and horse trails.*

- 7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments. Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.**

RESPONSE: *The public sidewalk along the East Earll Drive frontage is being expanded to eight feet in width and enhance by the introduction of number of large native shade trees per current City standards.*

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- 8. Buildings should be designed with a logical hierarchy of masses: To control the visual impact of a building's height and size, and to highlight important building volumes and features, such as the building entry.**

RESPONSE: *The design of this residential project incorporates the following setbacks and easements:*

- Phase I building from the East Earll Drive curb: 30'-8";
- The 4th floor of the Phase I building along East Earll Drive is set back 62'-0" from the curb;
- North property line set-back: 25'-0";
- Phase I building West property line set-back: 26'-11"
- Phase II building West property line set-back: 20'-0";
- East property line set back: 52'-4"

There are a total of four floors of residential; a ground floor housing a Lobby, Lounge and Fitness Center, pool and spa and shaded seating areas surrounding interactive amenities. The impact of the building height is mitigated by the step-back modulation of the façade and the proud use of cantilevered balconies. As an Urban Planning concept, the modulation of the façade will benefit the neighborhood by eliminating a monolithic building face.

- 9. The design of the built environment should respond to the desert environment: Interior spaces should be extended into the outdoors both physically and visually when appropriate. Materials with colors and coarse textures associated with this region should be utilized. A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities. Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.**

RESPONSE: *These residences are designed to fully engage the desert climate by focusing and encouraging indoor spaces to expand to the outside via the extensive use of balconies. Building materials such as exposed lightly sanded stucco, stone and metals are well suited to the demands of the climate, while providing a harmonious juxtaposition of contrasting textures.*

- 10. Developments should strive to incorporate sustainable and healthy building practices and products. Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.**

RESPONSE: *This development will be constructed in accordance with the City Adopted version of the 2012 International Green Construction Code. The buildings are designed as a passive response to the desert climate, utilizing the lowest glazing U-Coefficient values available to avail the most expansive views while conserving energy costs. Exterior materials have been selected for durability and low maintenance over time. Each unit will be built with high efficient mechanical equipment, doors and energy rated appliances. The most significant contribution to its sustainable development is its location. The project is within one-half to one mile of a great number of employment centers, shops, restaurants, art galleries and special event locations within the Arts District and Downtown Scottsdale.*

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- 11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region. The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement. The landscaping should complement the built environment while relating to the various uses.**

RESPONSE: The site for the proposed design is currently occupied by a single story free-standing office building and parking lot, virtually devoid of any vegetation. However, the proposed native/Sonoran landscape palette will include large trees positioned to provide shade to the street frontage pedestrian walkways and within the project site. Other plantings will be selected in accordance with the City's published plant palettes. There will be no traditional lawns on site and all plantings will be irrigated with drip irrigation systems.

- 12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants. Water, as a landscape element, should be used judiciously. Water features should be placed in locations with high pedestrian activity.**

RESPONSE: The proposed native/Sonoran landscape palette will provide the lowest water use type of plantings. Since the majority of the site is atop the parking deck, Inspire on Earll will utilize oversized planters to accommodate trees and water-wise plantings.

- 13. The extent and quality of lighting should be integrally designed as part of the built environment. A balance should occur between the ambient light levels and designated focal lighting needs. Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.**

RESPONSE: Lighting will be designed per IESNA standards. Efficient light sources have been selected to minimize energy usage, while keeping lighting levels adequate for the task being performed in the space or area. General lighting will be LED and fluorescent and will use LED, T8 and /or T5 lamps with 80+ CRI and 3500K color temperature. The lighting design will emphasize the high-end character of the development. The overhung walkway along the east edge of the building will be lit by hidden recessed lights in the cantilevered trellis. The Porte Cochere of the Phase II building will also be lit with lighting recessed into the ceiling. LED up-lighting will be used judiciously to highlight the stone portions of the building. No lighting will be positioned more than 20 feet above grade. The balance of the exterior ambient lighting will be provided by low voltage landscape lighting. Efficient light sources have been selected to minimize energy usage, while keeping lighting levels adequate for the task being performed in the space or area.

- 14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination. Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.**

RESPONSE: The project will have a single Identification sign located near the entrance from East Earll Drive. No signage will be located on the building proper.

CD 8.3: PROMOTE THE PRINCIPLES OF DESIGN IN THE "DOWNTOWN URBAN DESIGN AND ARCHITECTURAL GUIDELINES" IN ALL DOWNTOWN DEVELOPMENT.

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RESPONSE:

SECTION A: SITE DEVELOPMENT

A1: Relationship of New to Existing Development

RESPONSE: *Since the project is a condominium infill site security is a concern. To that end, a 6 foot high property line wall is to be constructed on the west, north and eastern sides of the project. Active areas, such as the pool and owner amenities have been located within the central courtyard to minimize fallout noise to the hotel on the west, the rehabilitation facility to the north and the office building to the east. All accent lighting on the building has been design to eliminate spillage to the adjacent properties. The entrance to the complex is located on the southeast corner of the site, a sufficient distance away from the hotel parking lot entrance to avoid any cross traffic issues. The buildings are sited approximately 150 feet away from the Holiday Inn Hotel.*

A2: Active Street Frontages

RESPONSE: *The existing public sidewalk is 5 feet wide parallel to the street for the length of the site. It is intended to be widened to eight feet. Heading north from the sidewalk, the walkway widens up to 15 feet at the pedestrian entrance gate. This plaza area is shaded by semi-mature trees, at the time of planting, seating and bicycle parking devices. These features as well as extensive street landscaping engage the condominium with pedestrians. The Buildings and landscaping define the street frontages along East Earll Drive. Owners will be issued a radio frequency gate operator and as a result of the Owner's ability to open the vehicular gate and the 70 foot queuing distance from East Earll Drive, there should never be any vehicles backing up into East Earll Drive. A visitor call box is located just east of the main drive entry affording visitors the ability to make a U-turn and exit back to East Earll Drive should their intended party not respond to the call.*

A3: Courtyards and Passages

RESPONSE: *Since this development is a low-rise structure, there are several ground level courtyards incorporated into the design. The pool, spa and community rooms are centrally located on the ground level with direct access to the pool/amenity courtyard. As the seasons change and depending on the time of day, all areas of the courtyard will receive direct sunlight. The landscape design has incorporated areas of seating to receive both shade and sun. Since all of the courtyards are to be constructed above the parking deck, various planters and decorative paving paths have been included in the design. Each building has multiple access points into the courtyard and the secured pool/spa area. A landscaped garden area of 3,200 square feet is planned for the northeast corner of the site to be planted with native plantings intended to be a quiet area for residents to relax and attract local birds and butterflies.*

A4: Parking Facilities

RESPONSE: *The project is parked at 1 stall per bedroom plus disabled parking stalls which exceeds the City requirement for parking. All resident parking is located one level below grade and is accessed via a ramp from the eastern drive aisle. Guest parking is located on the surface outside of the entrance to Phase I and in the northeast corner of the project adjacent to Phase II.*

A5: Building Equipment and Services

RESPONSE: *Individual condominiums and all other habitable spaces in the building will be provided individual split-system air conditioning units. Compressors for these units are fully hidden behind*

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stucco screen wall enclosures on the roof that extend to the full height of the tallest equipment. Each building is planned with dual trash chutes, accessed from each floor, for solid waste and recycling. Trash will be compacted within the building and the containers wheeled out to a collection point on the southeastern corner of the site on pick-up day. Following pick-up, the containers will be replaced into the enclosed trash room. The gas and electric meters are located in separate rooms in the garage. The ground mounted electrical transformer for the development will be located at the southeastern corner of the property. There is a wall screen for this element. Garage ventilation air intakes are located at grade level at the parking ramp, northeastern and southeastern edges of the site with Garage exhaust located at grade in the southwestern and northwestern corners of the site.

A6: Building-Street Edge

RESPONSE: The Buildings and landscaping define the street frontages along East Earll Drive. The new eight foot public sidewalk will be shaded by in-ground native trees providing a shade canopy as required by the guidelines.

A7: Fine Grain Character

RESPONSE: The impact of the building height is mitigated by the step-back modulation of the façade and the strategic use of stone. As an Urban Planning concept, the modulation of the façade will benefit the neighborhood by eliminating a monolithic building face.

A8: Continuity of Street Spaces

RESPONSE: Currently, there is no continuity of street spaces to respond to as the hotel is set back from East Earll Drive 90 feet from the curb. The adjacent office building to the east is set back 15 feet from the curb. Inspire on Earll is set back 34 feet from the curb.

A9: The Building Setback Zone

RESPONSE: The project meets the following criteria of A9. Refer to the Landscape plans for documentation:

- More paved than unpaved area in a variety of textures and colors;
- Paving continuous from curb to building except for planters, planter beds, trees and fountains;
- Planting plan along street edges should be linear and rhythmic with occasional contrasts and accents;
- Site furnishing scaled to human size;
- Lighting at pedestrian height to supplement street lighting;
- Trees scaled and located to create shade for pedestrians and for appreciation by passing motorist.
- Geometric patterns are preferred instead of organic shapes.

A10: Linkage of Neighboring Developments

RESPONSE: This project is connected to the downtown pedestrian system through the provision of new 8-foot street edge. The new sidewalk will connect to the adjoining five foot wide public sidewalks.

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SECTION B: BUILDING FORM

B1: Reduction of Apparent Size and Bulk

RESPONSE: *Reduction in size is accomplished by the setback modulation of the facades and limiting the East Earll Drive side of the Phase I building to only 3 stories. The resulting pedestrian scale height is in-line with the adjacent properties.*

B2: Covered Walkways

RESPONSE: *The nature of this type of project does not avail itself to providing covered walkways along the street-side public way.*

SECTION C: ARCHITECTURAL CHARACTER

C1: Proportion, Scale and Composition

RESPONSE: *Inspire on Earll is largely influenced by the work of Frank Lloyd Wright, especially his Prairie Style architecture adapted for Scottsdale, and the Southwest in general. Wright's Fallingwater served as inspiration for the project's blend of comfortable desert modern with stone-like cladding on vertical building elements clearly expressed horizontal lines, and the use of generous canopies and overhangs, especially at building entrances.*

Windows are recessed several inches inside the exterior wall face and incorporate low U-value thermally insulated glazing. This, in conjunction with the "brow" at the roof, will provide needed shading for thermal comfort.

C2: Building Materials

RESPONSE: *The designers have limited the number of materials on the façade to glazing in aluminum frames, stucco, metal facias and stone.*

C3: Color and Texture

RESPONSE: *Being that the designers have chosen to design the project in keeping with contemporary interpretations of Frank Lloyd Wright southwestern design, the designers have chosen a palette of cream colored stucco with a light sand finish and stone.*

SECTION D: LANDSCAPE CHARACTER

D1: Streets - Planting Design and Paving

RESPONSE: *The streetscape planting design and paving contributes to a unified appearance by incorporating indigenous planting materials and semi-mature trees. A consistent 8'-0" clear sidewalk along with low water use, desert adapted shade trees spaced at regular intervals will line the street edge. The intent is to foster a soft edge to the project and set a precedent for future development along East Earll Drive. Textured and colored paving design has been incorporated into the drive entry off of East Earll Drive to enhance the viewer's experience as one passes by or enters the property.*

D2: Site Spaces

RESPONSE: *Provided within the streetscape spaces the designers have incorporated decorative seating adjacent to raised planters filled with low water use and colorful plant material. Located adjacent to the 8'-0" clear walkway, these benches and raised planters provide convenient seating opportunities.*

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Plants in raised planters are designed in over structure areas to create a softscape courtyard environment. Within the courtyard areas, not visible from the street, are an abundance of raised planters, pool, Jacuzzi spa, covered and exposed seating areas, outdoor dining area with BBQs and fire pits, cabanas and exercise areas. In the northeast corner of the site, the designers have located a 3,200 SF quiet garden area for Owners to escape and find solitude.

D3: Plant Selection

RESPONSE: *The plant palette is composed of low water use and desert adapted species that are consistent with the approved list for this District.*

This site is located within the Downtown Character Area Plan boundary. The development plan for the site is in compliance with the goals and policies outlined in the Downtown Character Area Plan (CAP). More specifically, the proposed development aligns with specific policies of the Land Use chapter including LU1.2, which states that it is important to maintain Downtown as a year-round, 24 hour, highly functional, mixed-use center, containing areas of different densities, architectural styles and land uses that support the needs of Scottsdale's residents and visitors. The proposed development plan is for a residential development that integrates with the existing land uses in this portion of the Downtown Area and will bring an upper income, upwardly mobile demographic to the area.

SECTION E: MOBILITY

M 1.3: Upgrade sidewalks and intersection to ensure continuity and consistency throughout Downtown. Improve pedestrian crossing facilities.

RESPONSE: *Recognizing that the existing sidewalks along the project edges will be replaced and that the neighboring adjoining sidewalks are only five feet wide, the new project sidewalks will be eight feet wide along East Earll Drive and transition to five feet wide at the property edges.*

VIII: SUMMARY

In summary, the request is for DRB approval on a +/- 2.5 gross acre property located at 7300 East Earll Drive in Downtown Scottsdale. Approval of this request will allow the development of a maximum of 100 upscale residential condominium units ranging in size from approximately 803 square feet to 1,529 square feet. The Property is located on the southern edge of Downtown Scottsdale's Entertainment District which is characterized by providing dining, nightclub and evening activities intended to complement the commercial retail uses located in the Fashion Square District both of which require residential densities in the vicinity to maximize their economic vitality. The proposed residential project will bring synergy and desirable residential dwellings to the existing Entertainment District promoting a live, play, work philosophy.

The project will be constructed on under-utilized commercial property, and will promote economic revitalization in the Downtown Area. Furthermore, the development is complementary and supportive of the adjacent neighborhood uses helping to create a synergistic energy, to the benefit of local businesses.



Q.S.
15-45

G.I.S. ORTHOPHOTO 2013

7300 Earl

51-DR-2014

ATTACHMENT #2



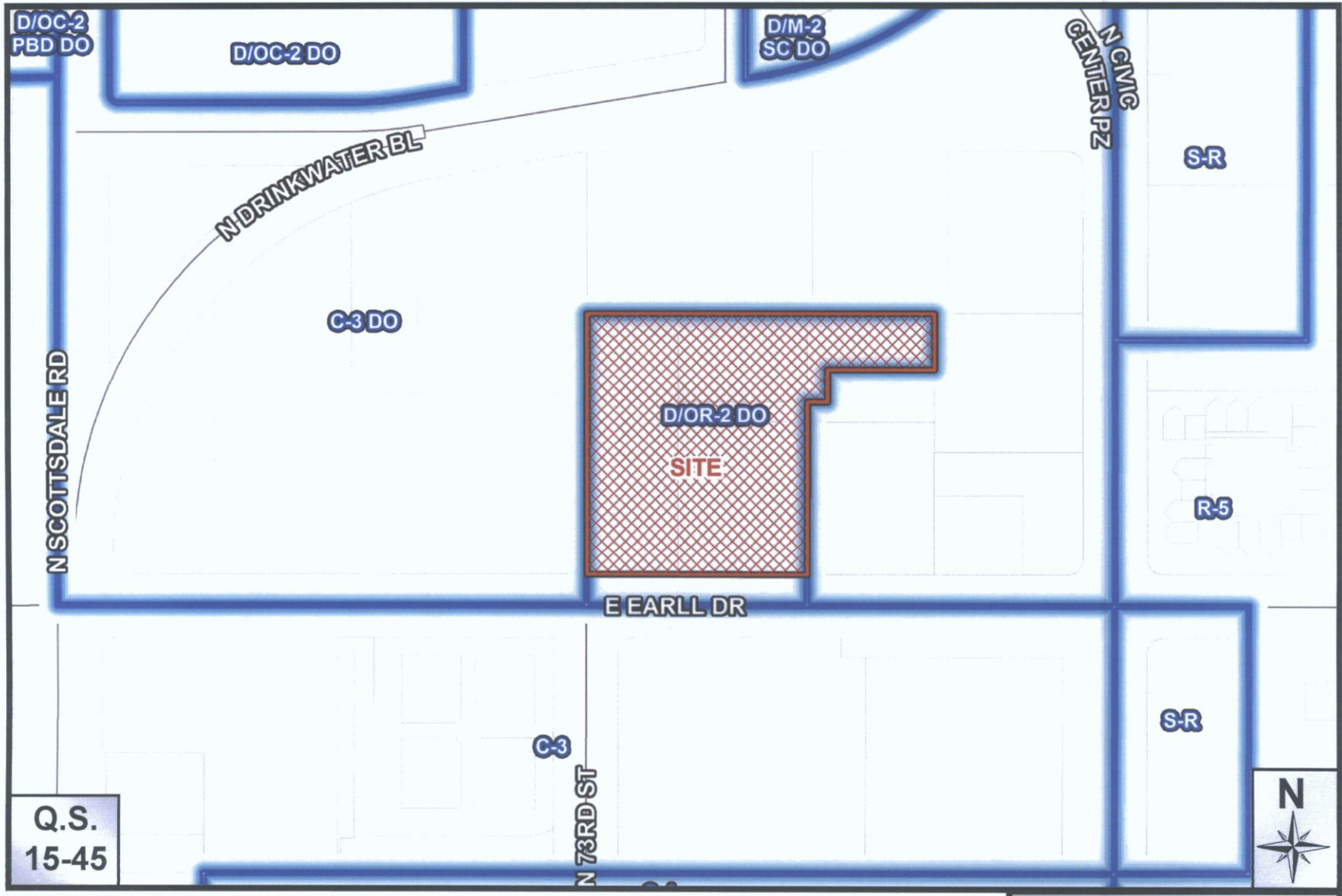
**Q.S.
15-45**

G.I.S. ORTHOPHOTO 2013

7300 Earl

51-DR-2014

ATTACHMENT #2A



Q.S.
15-45

7300 Earl

51-DR-2014



1
A-001
CONTEXT AERIAL
SCALE: 1" = 40'

NO EXISTING BIKE LANES WITHIN
750FT RADIUS

deco
COMMUNITIES
Owner Name
INSPIRE on EARLL

ADDRESSES
7300 E Earll Drive
Scottsdale, Arizona

Date Issue



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harley@decoworks.com

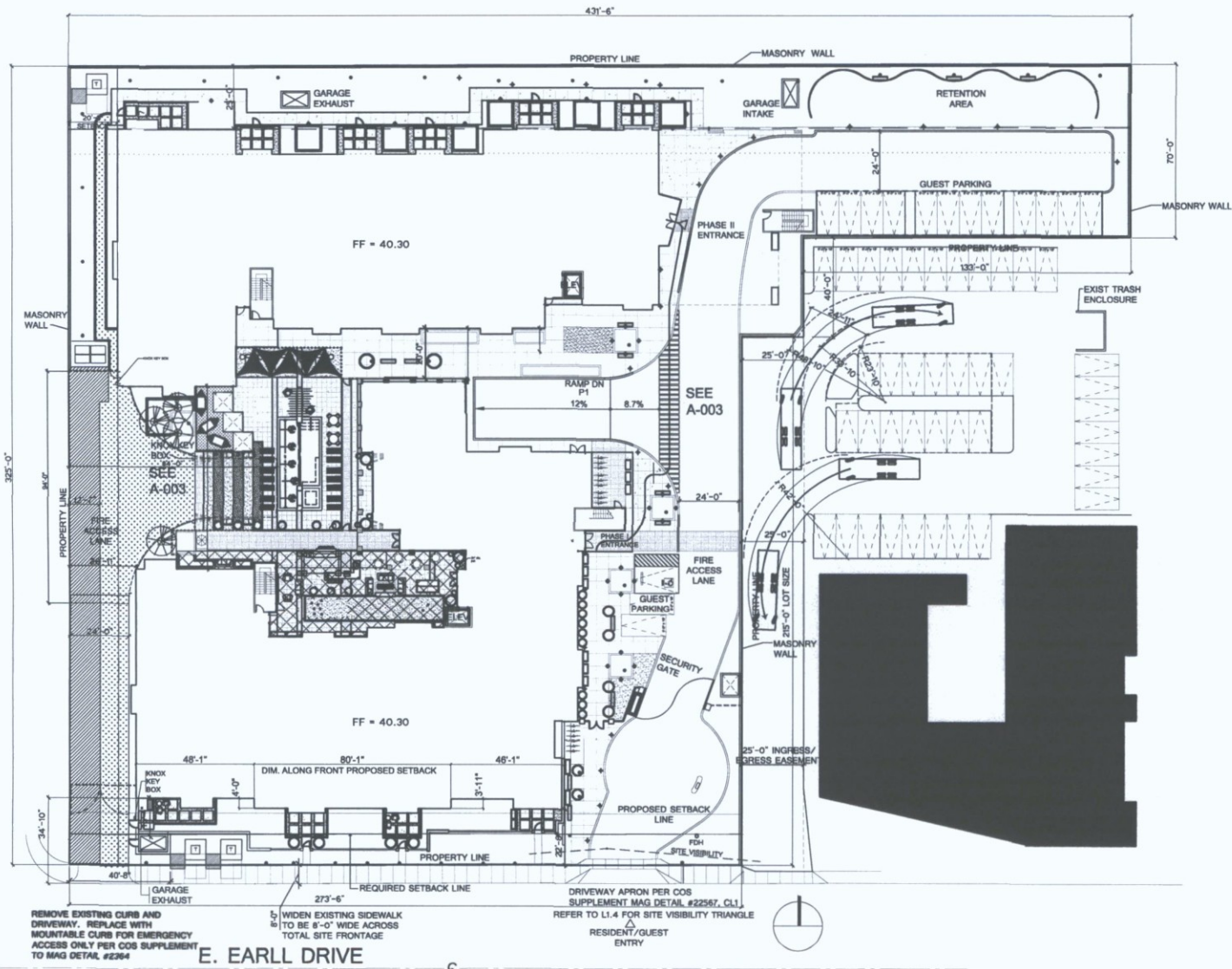
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February 24, 2015

Title: CONTEXT AERIAL

Sheet No. A-001



REMOVE EXISTING CURB AND DRIVEWAY. REPLACE WITH MOUNTABLE CURBS FOR EMERGENCY ACCESS ONLY PER COS SUPPLEMENT TO MAG DETAIL #2264

WIDEN EXISTING SIDEWALK TO BE 8'-0" WIDE ACROSS TOTAL SITE FRONTAGE

REFER TO LI.4 FOR SITE VISIBILITY TRIANGLE

DRIVEWAY APRON PER COS SUPPLEMENT MAG DETAIL #22557, CL1

RESIDENT/GUEST ENTRY

E. EARLL DRIVE

1 SITE
A-100 SCALE: 1" = 20'

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COMMUNITIES

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ADDRESSES
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Scottsdale, Arizona

Date Issue
3/13/15 REV FOR DBB



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Title: SITE

Sheet No. A-100



MATERIAL LEGEND	
1.1 WINDOW WALL TYPE I	UNIT GLAZING SYSTEM W/ LOW-E GLAZING, PPG SOLARBAN 89 24"mm IGU, 1 1/8" EXT. REFLECTIVITY
2.1 WINDOW TYPE I	ALUMINUM WINDOW, PPG SOLARBAN 60 (DARK BRONZE FRAME)
3.1 BALCONY TYPE I	METAL CLADDING OF WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEAL SKIN SATIN FINISH
4.1 PAINTED WOOD	SHERWIN WILLIAMS (SW7675) - SEAL SKIN SATIN FINISH
5.1 STUCCO, INTEGRAL COLOR	LA HABRA - X-55 FRENCH VANILLA, INTEGRAL COLOR STUCCO SYSTEM
6.1 GUARDRAIL TYPE I	UNIT BALCONY SYSTEM, GLASS GUARDRAIL, PAINTED METAL RAILINGS, S.W. - URBANE BRONZE
7.1 CULTURED STONE TYPE I	STONE-LIKE TILE, INTEGRAL COLOR, SAND COLOR
8.1 BROW TYPE I	METAL CLADDING OF WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEAL SKIN SATIN FINISH
9.1 PAINTED METAL	SHERWIN WILLIAMS (SW7675) - SEAL SKIN SATIN FINISH

2 PHASE I - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

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Owner Name
INSPIRE on EARL

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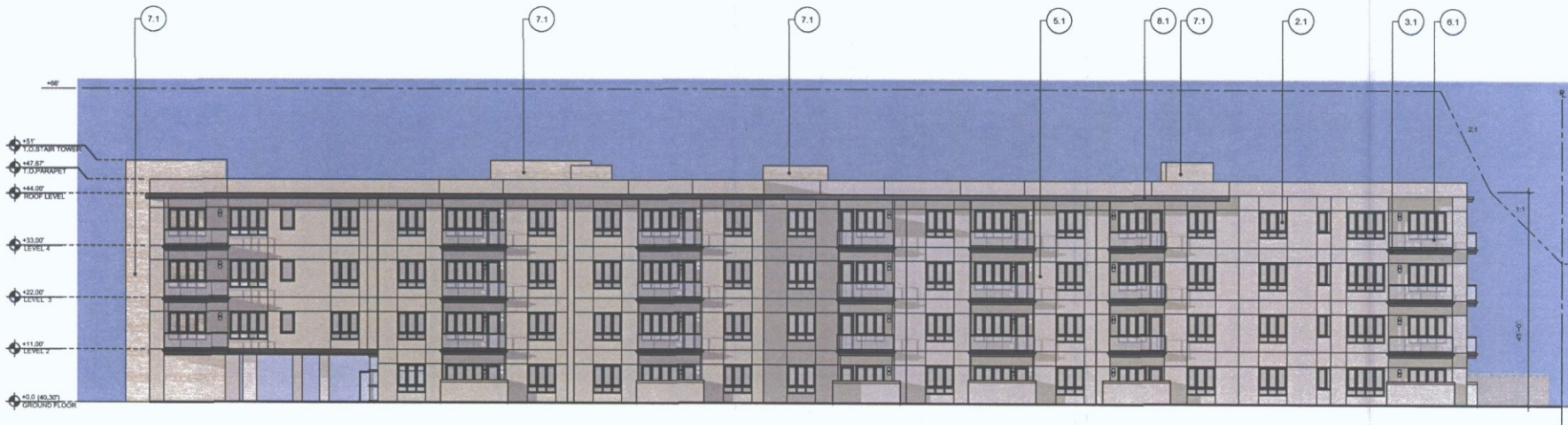


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Title: ELEVATIONS
PHASE I SOUTH
& EAST

Sheet A-201
No.



2 NORTH ELEVATION
A-202 SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
A-202 SCALE: 3/32" = 1'-0"

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.



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Owner Name
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Date Issue



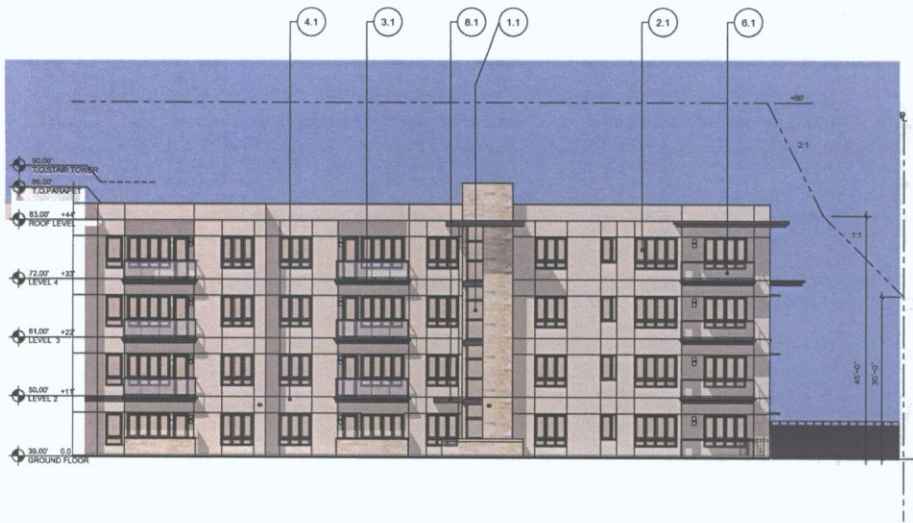
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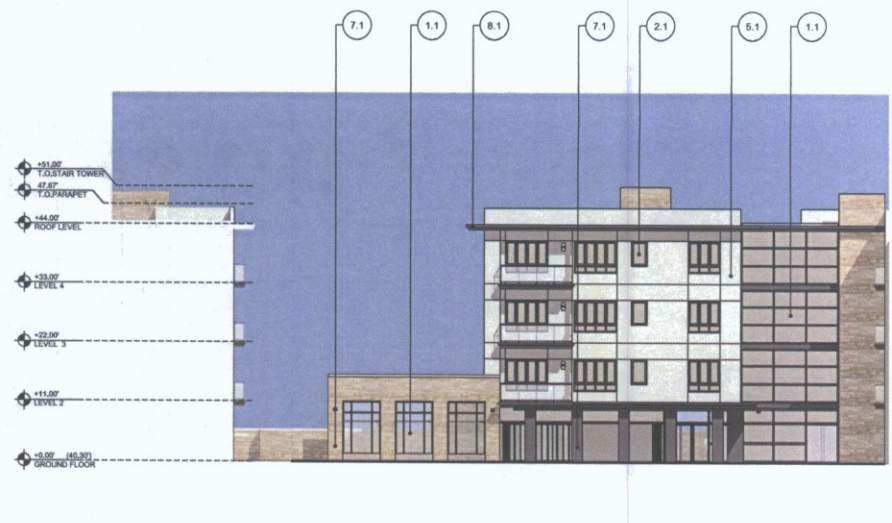
Title: ELEVATIONS
NORTH &
WEST

Sheet A-202
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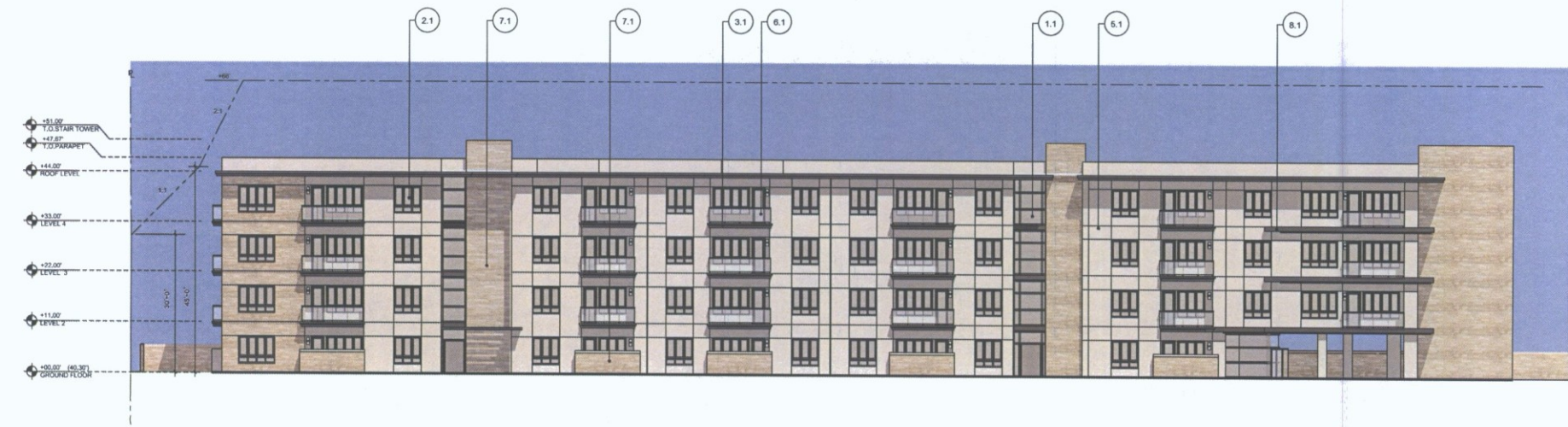
51-DR-2014
2/25/15



2 COURTYARD - NORTH ELEVATION (PHASE I)
A-203 SCALE: 3/32" = 1'-0"



3 COURTYARD - WEST ELEVATION
A-203 SCALE: 3/32" = 1'-0"



1 COURTYARD - SOUTH ELEVATION (PHASE II)
A-203 SCALE: 3/32" = 1'-0"

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.



ADDRESSES
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Scottsdale, Arizona

Date Issue



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Title: COURTYARD
ELEVATIONS
NORTH, SOUTH & WEST

Sheet A-203
No.

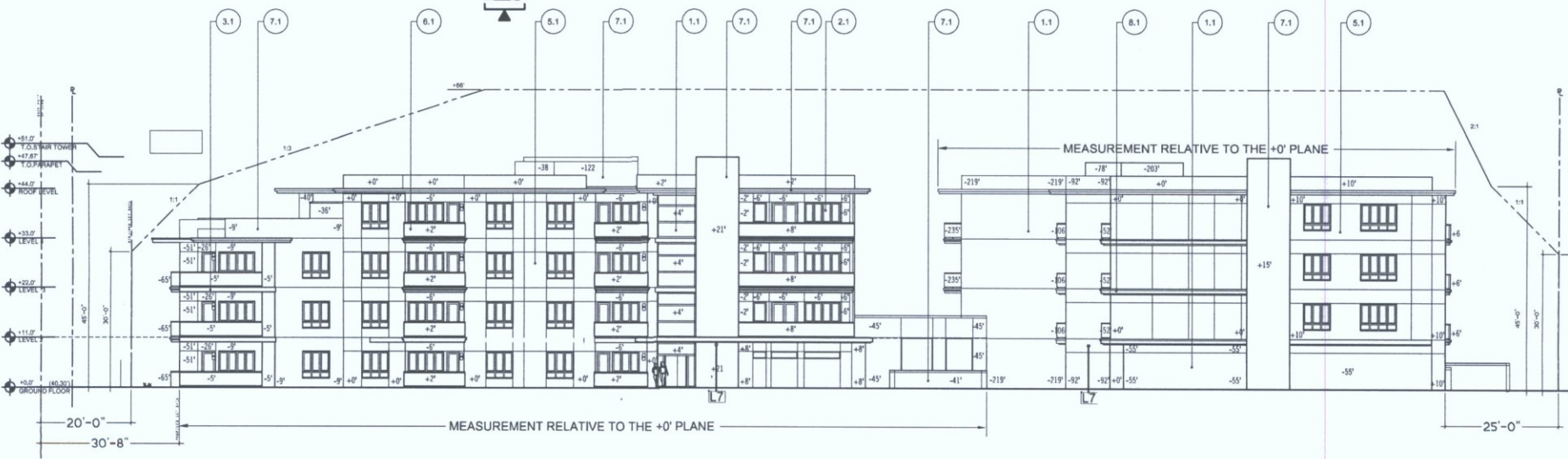
51-DR-2014
2/25/15



MATERIAL LEGEND	
1.1 WINDOW WALL TYPE I	UNIT GLAZING SYSTEM W/ LOW-E GLAZING, PPG SOLARBAN 60 24.7mm IGLU, 11% EXT. REFLECTIVITY
2.1 WINDOW TYPE I	ALUMINUM WINDOW, PPG SOLARBAN 60 (DARK BRONZE FRAME)
3.1 BALCONY TYPE I	METAL CLADDING O' WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEAL-SKIN SATIN FINISH
4.1 PAINTED WOOD	SHERWIN WILLIAMS (SW7675) - SEAL-SKIN SATIN FINISH
5.1 STUCCO, INTEGRAL COLOR	LA HABRA - X-85 FRENCH VANILLA, INTEGRAL COLOR STUCCO SYSTEM
6.1 GUARDRAIL TYPE I	UNIT BALCONY SYSTEM, GLASS GUARDRAIL, PAINTED METAL PAB INGS. S.W. - URBANE BRONZE
7.1 CULTURED STONE TYPE I	STONE-LIKE TILE, INTEGRAL COLOR, SAND COLOR
8.1 BROW TYPE I	METAL CLADDING O' WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEAL-SKIN SATIN FINISH
9.1 PAINTED METAL	SHERWIN WILLIAMS (SW7675) - SEAL-SKIN SATIN FINISH

REFER TO E100 FOR LIGHTING SCHEDULE

2 PHASE I - SOUTH ELEVATION
A-205 SCALE: 3/32" = 1'-0"



1 EAST ELEVATION
A-205 SCALE: 3/32" = 1'-0"

ADDRESSES
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Scottsdale, Arizona

Date: 03/13/15
Issue: REV FOR DRB

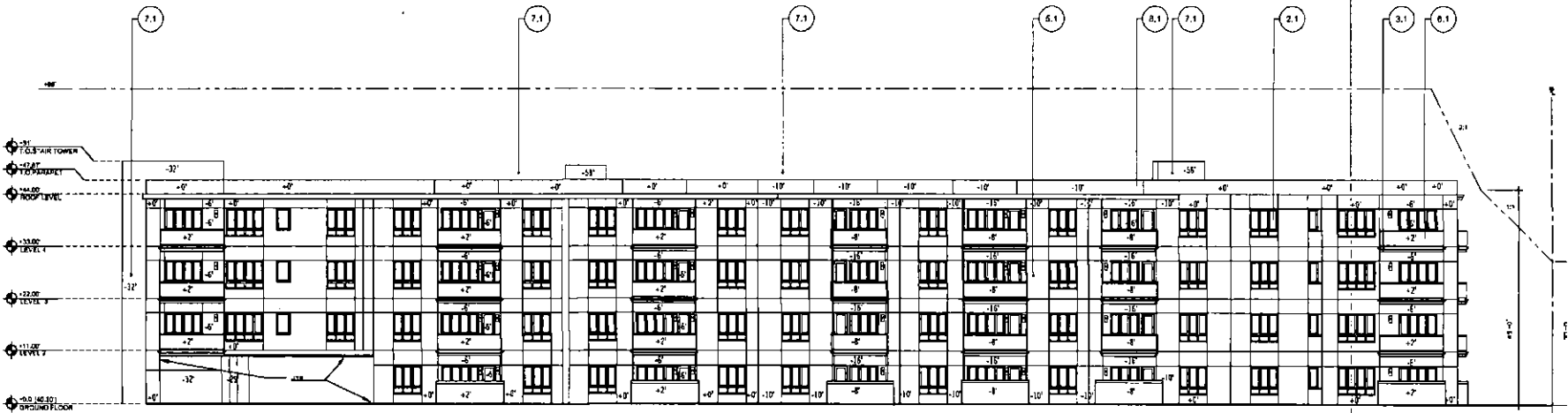


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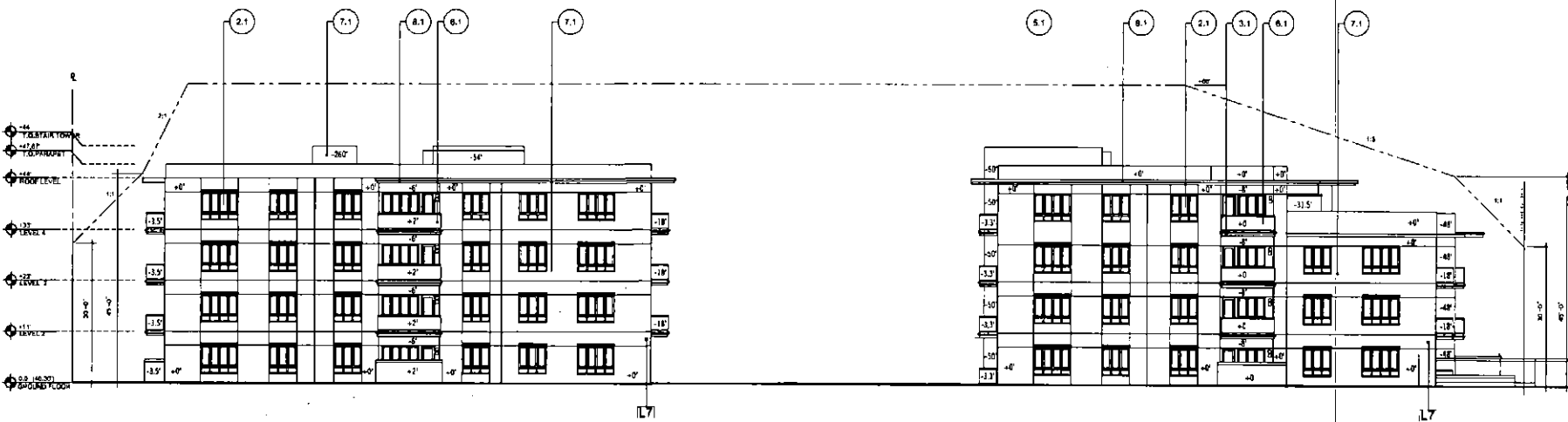
Project No. 2014-00018.000
Schematic Design Set
February 24, 2015

Title: ELEVATIONS
PHASE I SOUTH & EAST

Sheet No. A-204



2 NORTH ELEVATION
A-204 SCALE:3/32" = 1'-0"



1 WEST ELEVATION
A-204 SCALE:3/32" = 1'-0"

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.

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COMMUNITIES
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Scottsdale, Arizona

Date: 03/13/15
Issue: REV FOR DRB

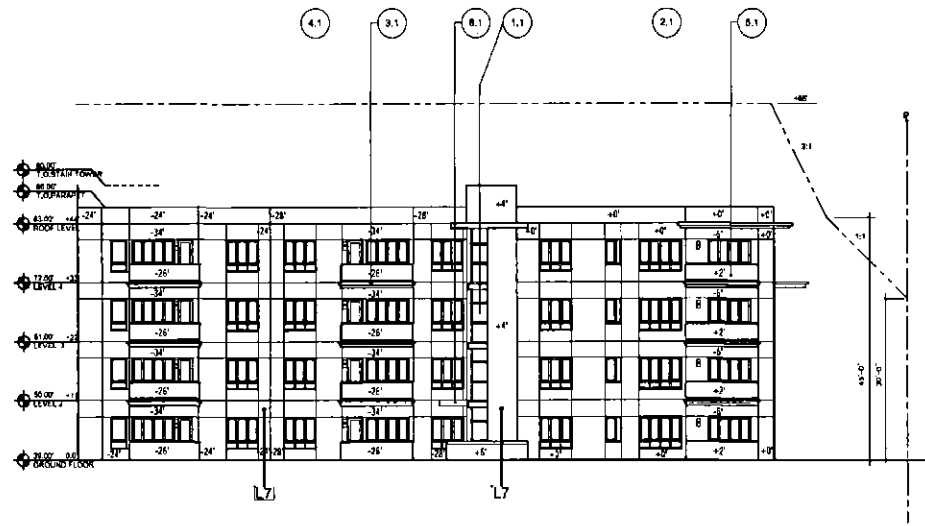


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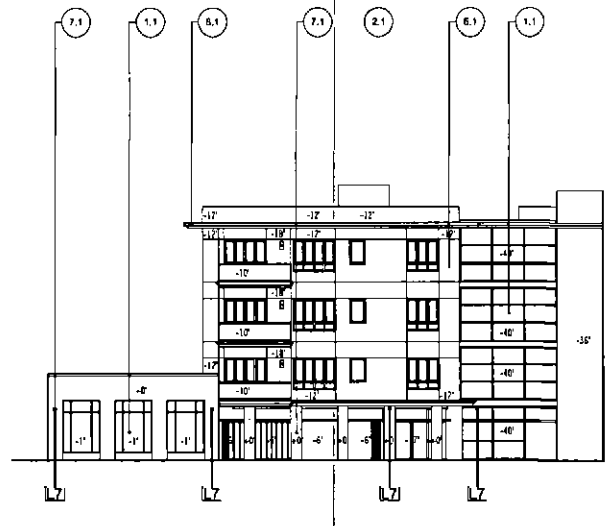
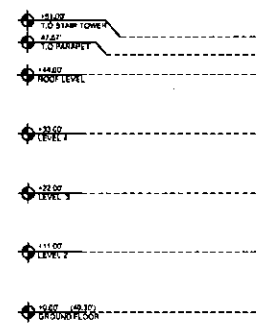
Project No. 2014-000118-000
Schematic Design Set
February 24, 2015

Title: ELEVATIONS
NORTH & WEST

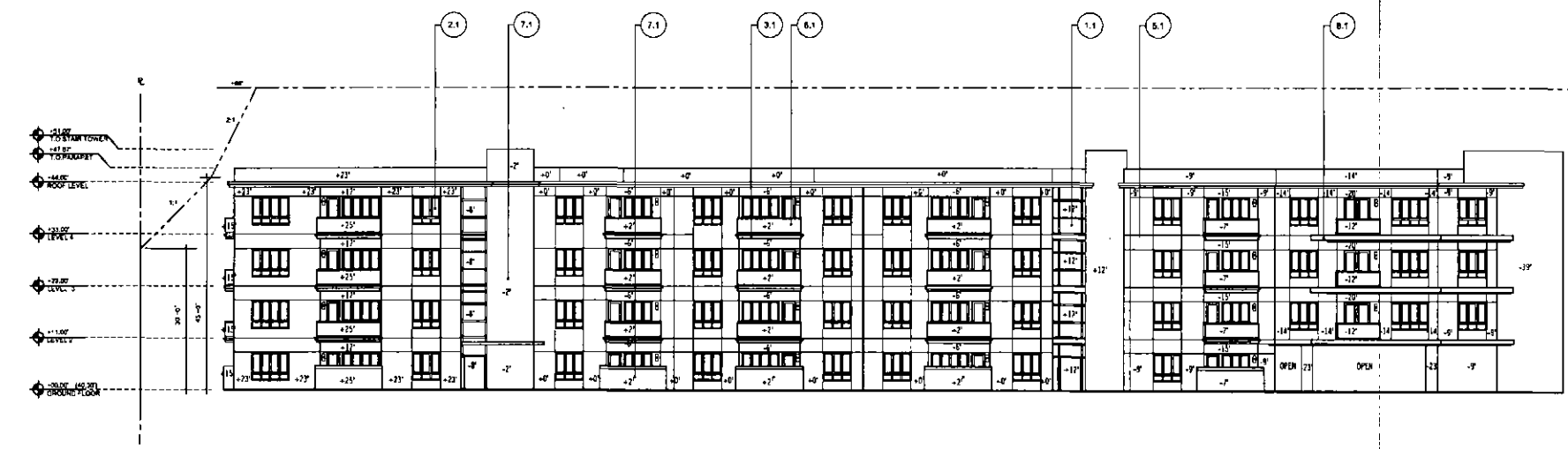
Sheet No. A-205



2 COURTYARD - NORTH ELEVATION (PHASE I)
A-206 SCALE: 3/32" = 1'-0"



3 COURTYARD - WEST ELEVATION
A-206 SCALE: 3/32" = 1'-0"



1 COURTYARD - SOUTH ELEVATION (PHASE II)
A-206 SCALE: 3/32" = 1'-0"



HARLEY ELLIS
DEVEREAUX

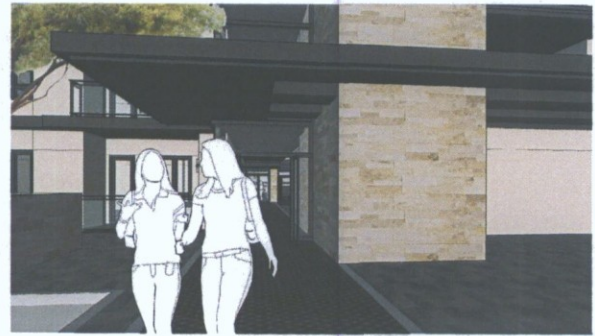
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Title: COURTYARD ELEVATIONS
NORTH, SOUTH & WEST

Sheet No. A-206



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COMMUNITIES

Owner Name
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Date Issue



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Schematic Design Set

February 24, 2015

Title: PROJECT
PERSPECTIVES

Sheet No. A-501



3
STREETScape ELEVATION
LOOKING NORTH

A-002 SCALE:NTS



2
STREETScape ELEVATION
LOOKING EAST

A-002 SCALE:NTS



1
STREETScape ELEVATION
LOOKING WEST

A-002 SCALE:NTS



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Title: STREETScape
ELEVATIONS

Sheet No. A-002

EXTERIOR BUILDING COLOR MATERIAL SAMPLE BOARD 1/2

1-1



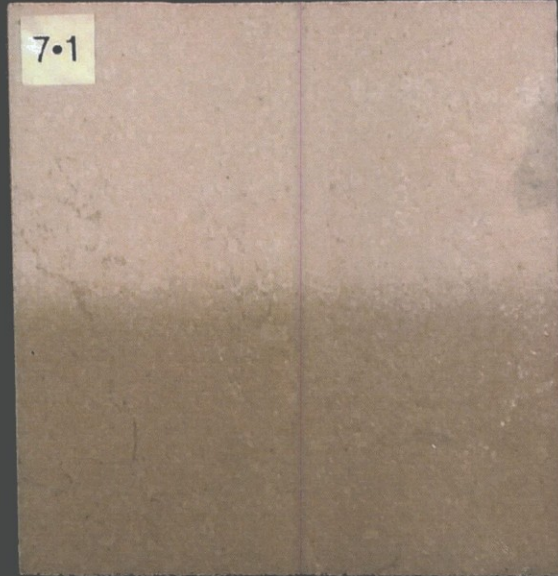
5-1



LA HABRA X55

SEASTONE SAND COLOR

7-1



DARK BRONZE METAL FRAME

SOLARBAN® 60 (2) Glass Below • Clear Glass Insulating Glass Unit

Sample	VLT	Exterior Reflectance	SC	SHGC	Solar Factor (p) EN 410	U-Value Imperial		U-Value EN 673 W/m ² K	LSG
						Win	Sum		
Clear	70%	11%	0.44	0.38	0.42	0.29	0.27	1.55	1.85
ATLANTICA™	54%	8%	0.31	0.27	0.30	0.29	0.27	1.55	1.98
AZURIA™	54%	8%	0.32	0.28	0.29	0.29	0.27	1.55	1.93
PACIFICA™	34%	6%	0.26	0.22	0.23	0.29	0.27	1.55	1.52
SOLEXIA™	61%	10%	0.36	0.32	0.28	0.29	0.27	1.55	1.92
SOLARBLUE™	45%	7%	0.32	0.28	0.30	0.29	0.27	1.55	1.60
SOLARBronze®	42%	7%	0.31	0.27	0.34	0.29	0.27	1.55	1.66
SOLARGRAY®	35%	6%	0.28	0.24	0.26	0.29	0.27	1.55	1.47

PPG SOLARBAN 60 24.7mm IGU

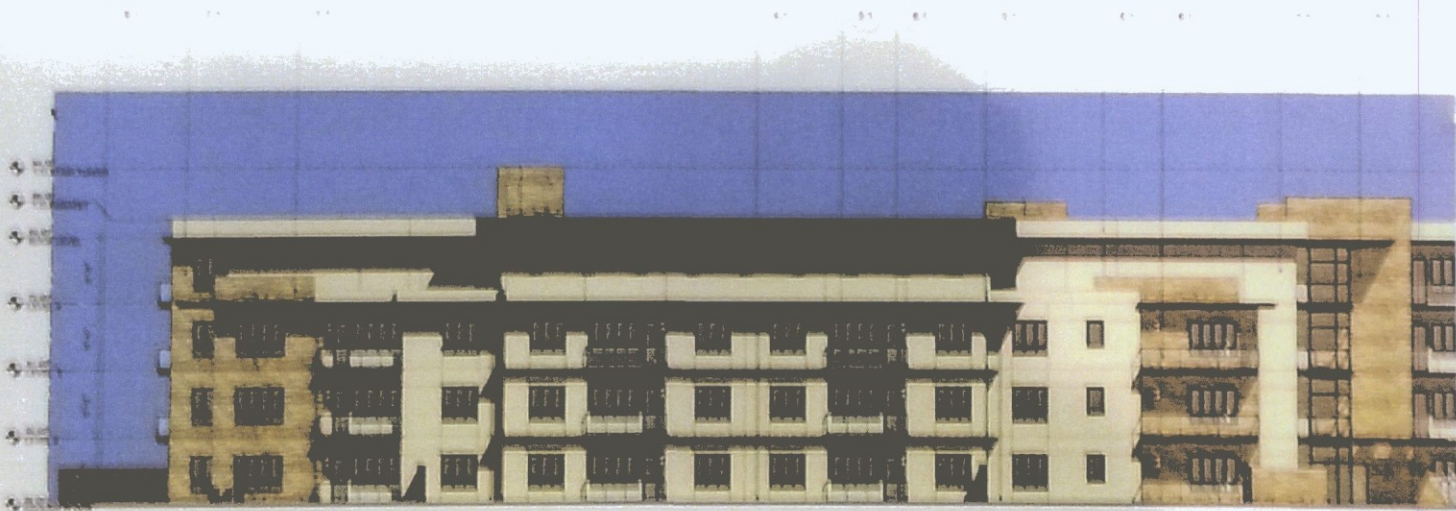
SEALSKIN SW7675

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COMMUNITIES

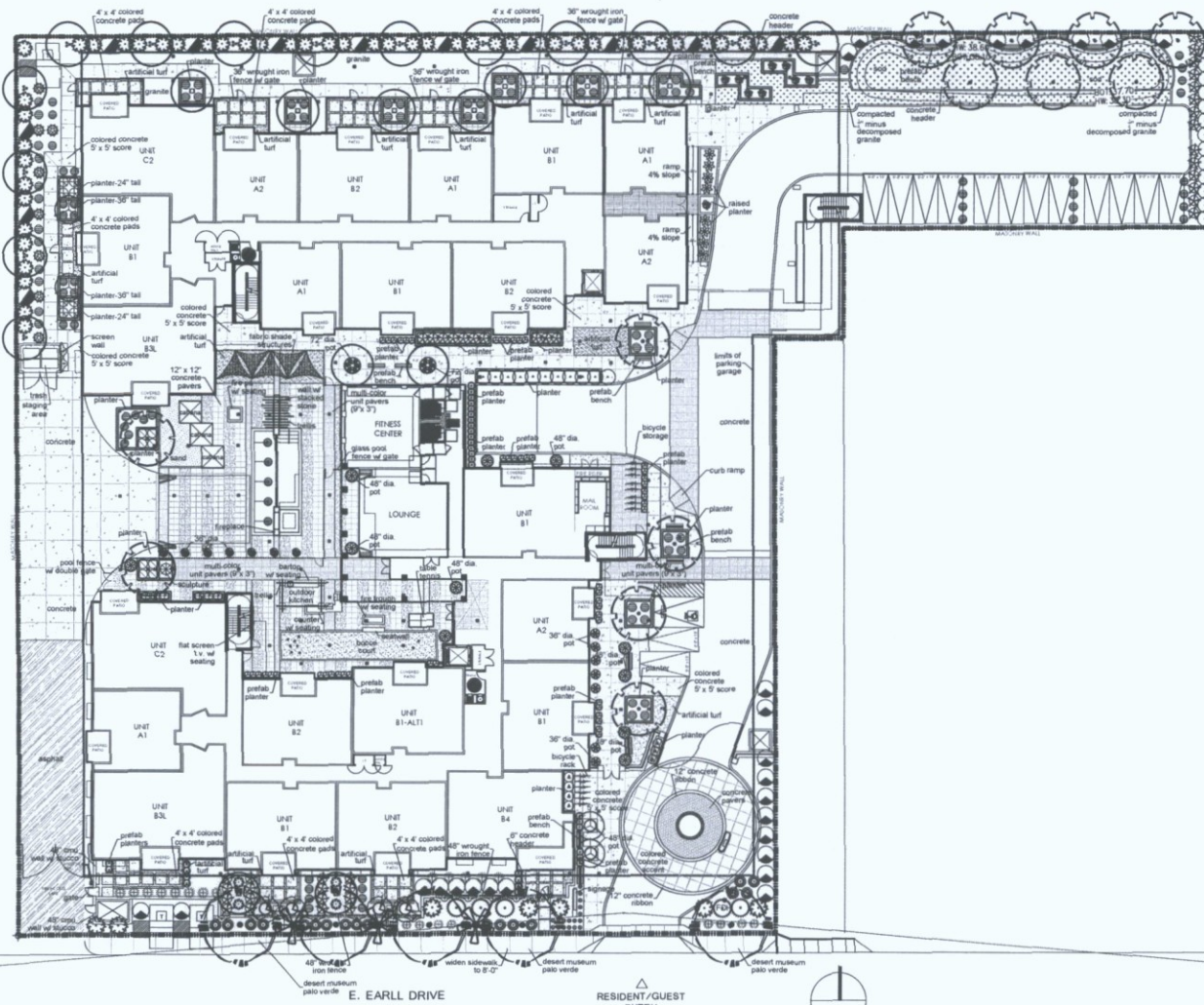
EXTERIOR BUILDING COLOR MATERIAL SAMPLE BOARD 2/2

MATERIAL LEGEND

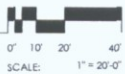
- | | | |
|---|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | WINDOW WALL TYPE | UNIT GLAZING SYSTEM W/ LOW-E GLAZING
PHO SOLARBAN 80 24 THK IGU -1% EXT REFLECTIVITY
TERRANCE ALUMINUM 2000 WINDOW PHO SOLARBAN 80
24 THK IGU -1% EXT REF (DARK BRONZE FRAME) |
| 2 | WINDOW TYPE | |
| 3 | BALCONY TYPE | METAL CLADDING O' WOOD FRAMING |
| 4 | PAINTED WOOD | SHERWIN WILLIAMS (SW767) SEALSKIN SATIN FINISH |
| 5 | STUCCO INTEGRAL COLOR | SHERWIN WILLIAMS (SW767) SEALSKIN SATIN FINISH
LA HABRA 3.85 FRENCH VANILLA |
| 6 | QUADRANT TYPE | INTEGRAL COLOR STUCCO SYSTEM
UNIT BALCONY SYSTEM GLASS QUADRANT |
| 7 | COLORLED STONE TYPE | PAINTED METAL RAILINGS S W - URBANE BRONZE
STONELIKE TILE INTEGRAL COLOR AT 45 CONCORD |
| 8 | BRICK TYPE | SEASTONE SAND COLOR RECTIFIED PORCELAIN TILE
METAL CLADDING O' WOOD FRAMING |
| 9 | PAINTED METAL | SHERWIN WILLIAMS (SW767) SEALSKIN SATIN FINISH
SHERWIN WILLIAMS (SW767) SEALSKIN SATIN FINISH |



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LANDSCAPE PLAN



GENERAL LANDSCAPE CALCULATIONS

TOTAL LOT AREA	100,980 S.F.
TOTAL LANDSCAPE AREA PROVIDED	13,400 S.F.
TOTAL RIGHT OF WAY	600 S.F.
TOTAL PARKING LOT LANDSCAPE AREA	715 S.F.

PLANT PALETTE

TREES

Species	Size/Qty
WASHINGTONIA ROBUSTA	18" 20" HT. 03 SKINNED
MEXICAN FAN PALM	
PARKINSONIA DESERT MUSEUM	4" CAL. 05 MULTI-TRUNK
DESERT MUSEUM PALO VERDE	3" CAL. 04 SINGLE-TRUNK
GALUNIA LANAIKIDES	
ANACACHO ORCHID	
PROSOPIS GLANDULOSA	3"-4" CAL. 13 SINGLE-TRUNK
TEXAS HONEY MESQUITE	3"-4" CAL. 14 SINGLE-TRUNK
CALBERGIA SISKIYOU	
SISSOO TREE	
ACACIA ANEURA	3" CAL. 11 SINGLE-TRUNK
MULGA ACACIA	
MYRTUS COMMUNIS 'BOETICA'	3" CAL. 04 SINGLE-TRUNK
TWISTED MYRTLE	

SHRUBS

Species	Size/Qty
CAESALPINA MEXICANA	5 GAL. 05
RED BIRD OF PARADISE	5 GAL. 18
CALLIANDRA ERIOPHYLLA	5 GAL. 07
PINK FAIRY DUSTER	5 GAL. 14
RUELLIA PENINSULARIS	5 GAL. 08
BAJA RUELLIA	5 GAL. 25
EREMOPHILA MACULATA 'VALENTINE'	5 GAL. 14
VALENTINE EMBU BUSH	5 GAL. 08
CALLIANDRA ERIOPHYLLA	5 GAL. 25
BAJA FAIRY DUSTER	5 GAL. 25
VAUQUELINIA CALIFORNICA	5 GAL. 14
ARIZONA ROSEWOOD	5 GAL. 14
TECOMA STANS 'ORANGE JUBILEE'	5 GAL. 14
ARIZONA ORANGE BELLS	5 GAL. 14
MULLENBERGII RIGENS	5 GAL. 14
DEER GRASS	5 GAL. 14
GALVIA GREGGII	5 GAL. 14
AUTUMN SAGE	5 GAL. 14
TECOMA STANS	5 GAL. 14
ARIZONA YELLOW BELLS	5 GAL. 14
OSMANTHUS 'L'YNN SECUNDFLORA	15 GAL. 12
TEXAS MOUNTAIN LAUREL	5 GAL. 12
ODOONAEA VISCOSA	5 GAL. 12
HOPSEED BUSH	5 GAL. 12

GROUNDCOVERS | VINES

Species	Size/Qty
LANTANA MONTEVIDEENSIS	1 GAL. 64
PURPLE TRAILING LANTANA	1 GAL. 49
LANTANA CAMARA 'NEW GOLD'	5 GAL. 11
NEW GOLD LANTANA	
BOUGAINVILLEA BARBARA KARST	
BARBARA KARST BOUGAINVILLEA	

CACTI | SUCCULENTS

Species	Size/Qty
AGAVE WEBERI	15 GAL. 12
WEBER'S AGAVE	
CASYLINUM WHEELERI	5 GAL. 07
DESERT SPOON	
LOPHOCEREUS SCHOTTII	15 GAL. 07
TOTEM POLE CACTUS	
HESPERALOE PARVIFLORA	5 GAL. 06
RED YUCCA	
EUPHORBIA LOMELII	5 GAL. 13
LADY SLIPPER	
ECHINOCACTUS HORIZONTALONIS	5 GAL. 17
BLUE BARREL CACTUS	

SURFACE MATERIALS

Material	Size/Qty
1/2" SCREENED GRANITE (4" MIN. DEPTH)	S.F.
COLOR: TBO, (BY)	
ARTIFICIAL TURF (SEE NUMBERED LEGEND ABOVE FOR SPECS)	S.F.
CONCREON DACTYLON (SEED OR SOOD) SPEC:	S.F.
CONCRETE PAVER (REFER TO DETAIL 00(L,X))	S.F.
STYLE: TBO, SIZE: 12" x 12" x", (BY)	
CONCRETE PAVER (REFER TO DETAIL 00(L,X))	S.F.
STYLE: TBO, SIZE: 12" x 12" x", (BY)	
UNIT PAVER (REFER TO DETAIL 00(L,X))	S.F.
COLOR: TBO, SIZE: 9" x 3" x" UNITS, (BY)	
COLOR: CONCRETE (REFER TO DETAIL 00(L,X))	S.F.
SIZE: 5" x 5" SCORE, COLOR: TBO	
COMPACTED 1/4" MINUS DECOMPOSED GRANITE (4" MIN. DEPTH), COLOR: TBO	S.F.
UNIT PAVERS (REFER TO DETAIL 00(L,X))	S.F.
STYLE: TBO, SIZE: TBO, PATTERN: HERRINGBONE	

WATER INTENSIVE LANDSCAPE CALCS

TOTAL LOT AREA	100,980 S.F.
10% OF FIRST 9,000 S.F.	900 S.F.
5% OF REMAINING LOT AREA UP TO 217,800 S.F.	5,004 S.F.
TOTAL ALLOWABLE	5,004 S.F.
TOTAL TURF AREA PROVIDED	1,870 S.F.
TOTAL PLANT MATERIAL AREA	10,630 S.F.
TOTAL LANDSCAPE AREA PROVIDED	12,500 S.F.

INSPIRE ON EARLL
7300 E. EARLL DRIVE
SCOTTSDALE, AZ 85251

These drawings are for preliminary coordination only and shall be used for regulatory approval or construction.



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humphreys and partners landscape architecture, llc
1000 W. WASHINGTON AVENUE
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DENVER, CO 80202
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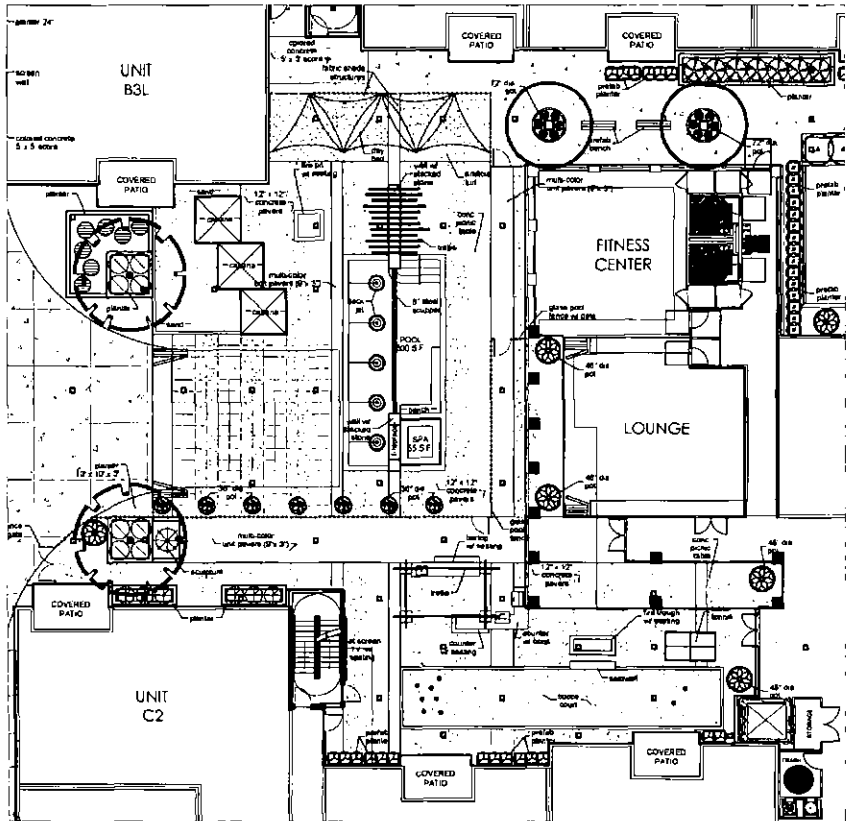
best owners preliminary landscape plan

sheet no.

L1.4

HPA # 14458

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2/25/15



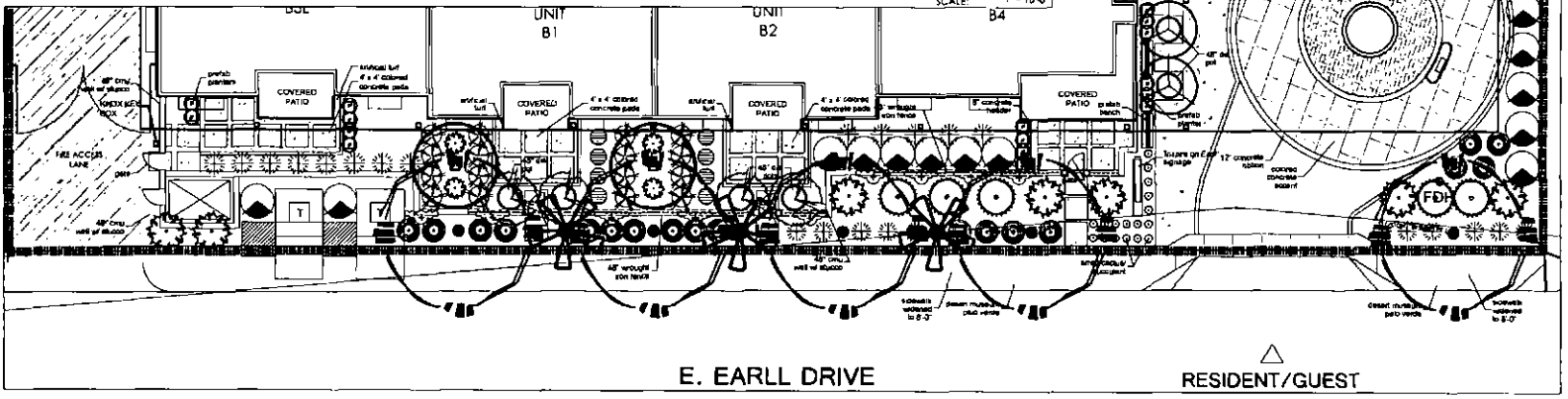
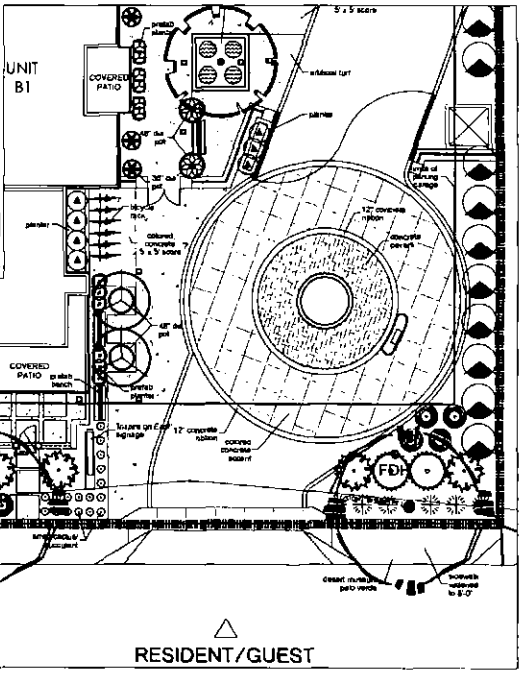
LANDSCAPE PLAN: COURTYARD
 SCALE: 1" = 10'-0"

- PLANT PALETTE**
- TREES**
- 18" WINDMILL OLBORITA
 - MEXICAN FAN PALM
 - DESERT MUSEUM YOSEMITE MUSEUM
 - DESERT MUSEUM PALO VERDE
 - GALEBERGIA LINDLEI
 - AMARGOSO OLIVOID
 - PROSOPIS GLANDULOSA
 - LEMAS HONEY MERQUITE
 - GALEBERGIA SISMOO
 - SISMOO FREE
 - ACACIA ANJURA
 - MUSA ACACIA
 - WHITEFLUSH COMMANDS 'BOETICA'
 - TWISTED MYRTLE
- SHRUBS**
- CAESALPINA MEXICANA
 - RED BIRD OF PARADISE
 - CALLIPAZORA DROPHYLLA
 - SPIN FAIRY CLUSTER
 - ALUELLA PENINSULARIS
 - BAMA PUELLA
 - EREMOPHILA MACULATA 'VALENTINE'
 - VALENTINE DRU BUSH
 - CALLIANDRA DROPHYLLA
 - BAMA FAIRY CLUSTER
 - VALDELLINA CALIFORNICA
 - MEXICANA ROSEWOOD
 - TECOMA STANIS ORANGE JUBILEE
 - ARIZONA ORANGE BELLS
 - MEXICANA RIGIDS
 - DEER GRASS
 - SAVIA GRASSII
 - ALUTUM SAGE
 - TECOMA STANIS
 - ARIZONA YELLOW BELLS
 - DESMODIUM LUM SECUNDUM ORA
 - TEXAS MOUNTAIN LAUREL
 - DODONAEA VISCOSA
 - HORSSEED BUSH
- GROUNDCOVERS | VINES**
- LANTANA MONTEVIDEENSIS
 - PURPLE TRAILING LANTANA
 - LANTANA CARANEA 'NEW GOLD'
 - NEW GOLD LANTANA
 - BONGATVILLEA 'BARBARA HARST'
 - BARBARA HARST BONGATVILLEA
- CACTI | SUCCULENTS**
- AGAVE WEBERI
 - WEISER'S AGAVE
 - DESERT LEMON WHIFFLER
 - DESERT SPOON
 - LECHOCEREUS SCHOTTII
 - TOTEM POLE CACTUS
 - HE SPERALICE PARVIFLORA
 - RED YUCCA
 - EUPHORBIA LOMLUI
 - LADY SLIPPER
 - LECHOCEREUS HORIZONTHALOMIUS
 - BLUR BARREL CACTUS

SURFACE MATERIALS

SIZE/QT	DESCRIPTION	SIZE/QT
5 SF.	1/2" SCREENED GRANITE (4" MIN. DEPTH) COLOR: TBD, (8P)	5 SF.
5 SF.	ARTIFICIAL TURF (SEE NUMBERED LEGEND ABOVE FOR SPEC)	5 SF.
5 SF.	CYDONIA DACTYLON (SEED DR. 500) SPACES	5 SF.
5 SF.	CONCRETE PAVEMENT (REFER TO DETAIL 001X K) STYLE: TBD, SIZE: 12" x 12" x 1", (8P)	5 SF.
5 SF.	CONCRETE PAVEMENT (REFER TO DETAIL 001X K) STYLE: TBD, SIZE: 12" x 12" x 1", (8P)	5 SF.
5 SF.	UNIT PAVEMENT (REFER TO DETAIL 001X K) COLOR: TBD, SIZE: 9" x 3" x 1" UNITS, (8P)	5 SF.
5 SF.	COLORED CONCRETE (REFER TO DETAIL 001X K) SIZE: 5' x 5' SCORE, COLOR: TBD	5 SF.
5 SF.	COMPACTED 1/4" MINUS DECOMPOSED GRANITE (4" MIN. DEPTH), COLOR: TBD	5 SF.
5 SF.	UNIT PAVEMENT (REFER TO DETAIL 001X K) STYLE: TBD, SIZE: TBD, PATTERN: HERRINGBONE	5 SF.

LANDSCAPE PLAN: STREETSCAPE
 SCALE: 1" = 10'-0"



Project: _____
 Date: _____
 Scale: _____
 Drawing No: _____

INSPIRE ON EARLL
 7300 E. EARLL DRIVE
 SCOTTSDALE, AZ 85251

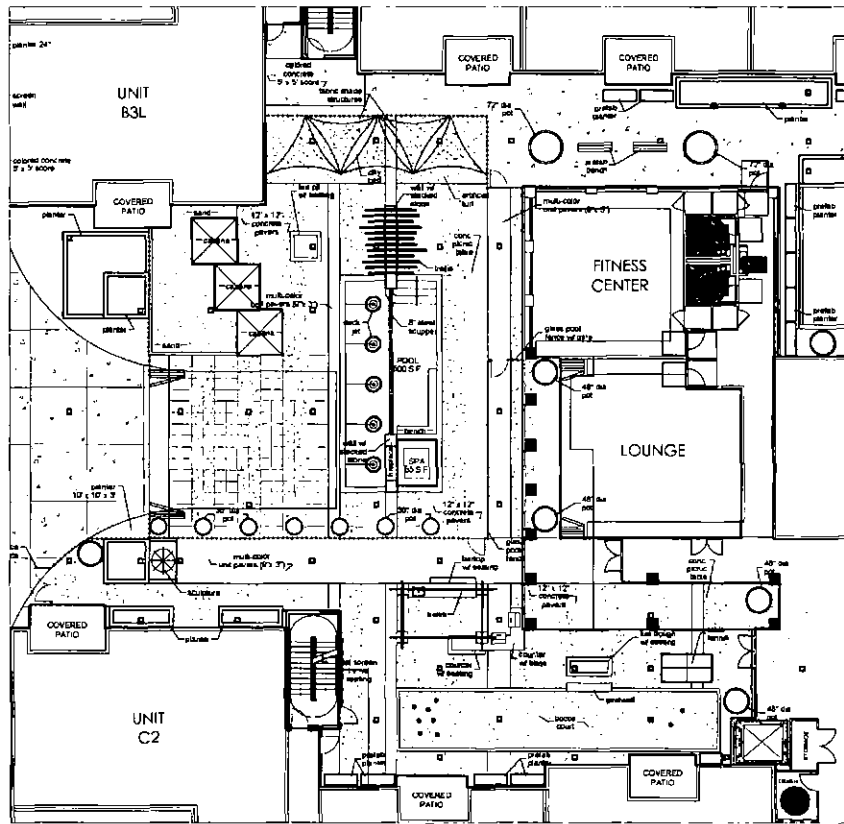


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 preliminary
 landscape plan
 042110

L2.4
 HPA # 14450



HARDSCAPE PLAN: COURTYARD

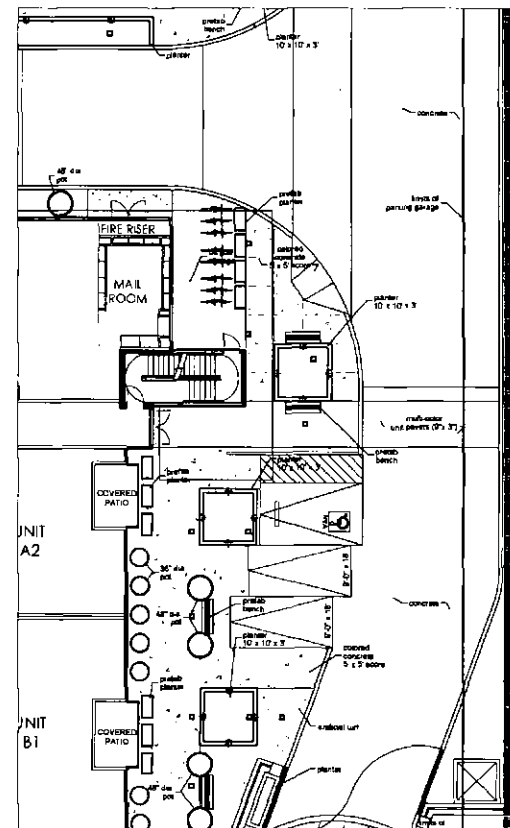
HARDSCAPE LEGEND

- SURFACE MATERIALS**
- 1/2" SCREENED GRANITE (4" MIN DEPTH)
COLOR: TBD, (R1)
 - ARTIFICIAL FLINT
(SEE NUMBERED LEGEND ABOVE FOR SPECS)
 - MID-IRON SOOD
SPECS:
 - CONCRETE PAVEN (REFER TO DETAIL 09.A.1)
STYLE: TBD, SIZE: 12" x 12" x 1", (R1)
 - CONCRETE PAVEN (REFER TO DETAIL 09.A.1)
STYLE: TBD, SIZE: 12" x 12" x 1", (R1)
 - UNIT PAVEN (REFER TO DETAIL 09.A.1)
COLOR: TBD, SIZE: 8" x 3" x 1" UNITS, (R1)
 - COLORLED CONCRETE (REFER TO DETAIL 09.A.1)
SIZE: 5' x 5' SQUARE, COLOR: TBD
 - COMPACTED 1/4" MINUS DECOMPOSED GRANITE
(4" MIN. DEPTH), COLOR: TBD
 - UNIT PAVEN (REFER TO DETAIL 09.A.1)
STYLE: TBD, SIZE: TBD, PATTERN: HEIKKILINGBONE
 - OPEN
 - OPEN

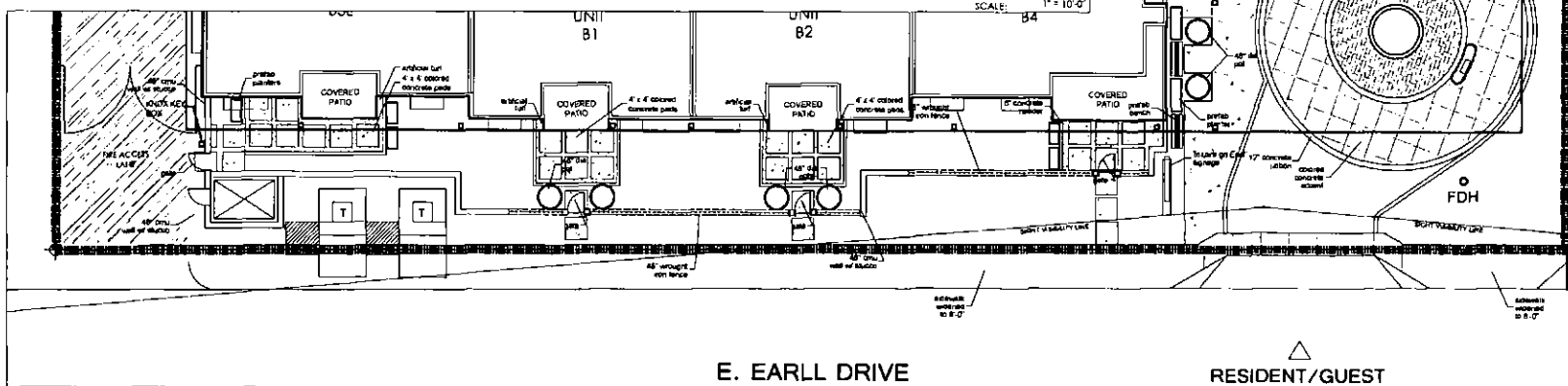
- DRAINAGE**
- NYC/PLAST DOME DRAIN W/ DRAIN IN GRATE
LIGHT DUTY, 8" STANDARD
- NOTES:** ALL DRAINS WITHIN 60" MAXIMUMS OF UNDERGROUND PARKING GARAGE TO BE TIED INTO PROPOSED DRAINAGE SYSTEMS - SEE CIVIL PLANS

- LOW VOLTAGE LIGHTING LEGEND**
- 1 UPLIGHT (TREES)
MODEL: MLD-75H (MAGNETIC/ALUM), COLOR: BLACK
 - 2 WALL LIGHT
MODEL: FX LOUVER MASSING, COLOR: BLACK
 - LOW VOLTAGE TRANSFORMER (AS NEEDED)
MODEL: FX POTENZA 3-PLA00/PX300

- SITE LIGHTING LEGEND**
- 3 BOLLARD (BLACK)
MODEL: BL-3-UV LED (BY KEM LIGHTING)



HARDSCAPE PLAN: STREETSCAPE



E. EARLL DRIVE

DATE	DESCRIPTION

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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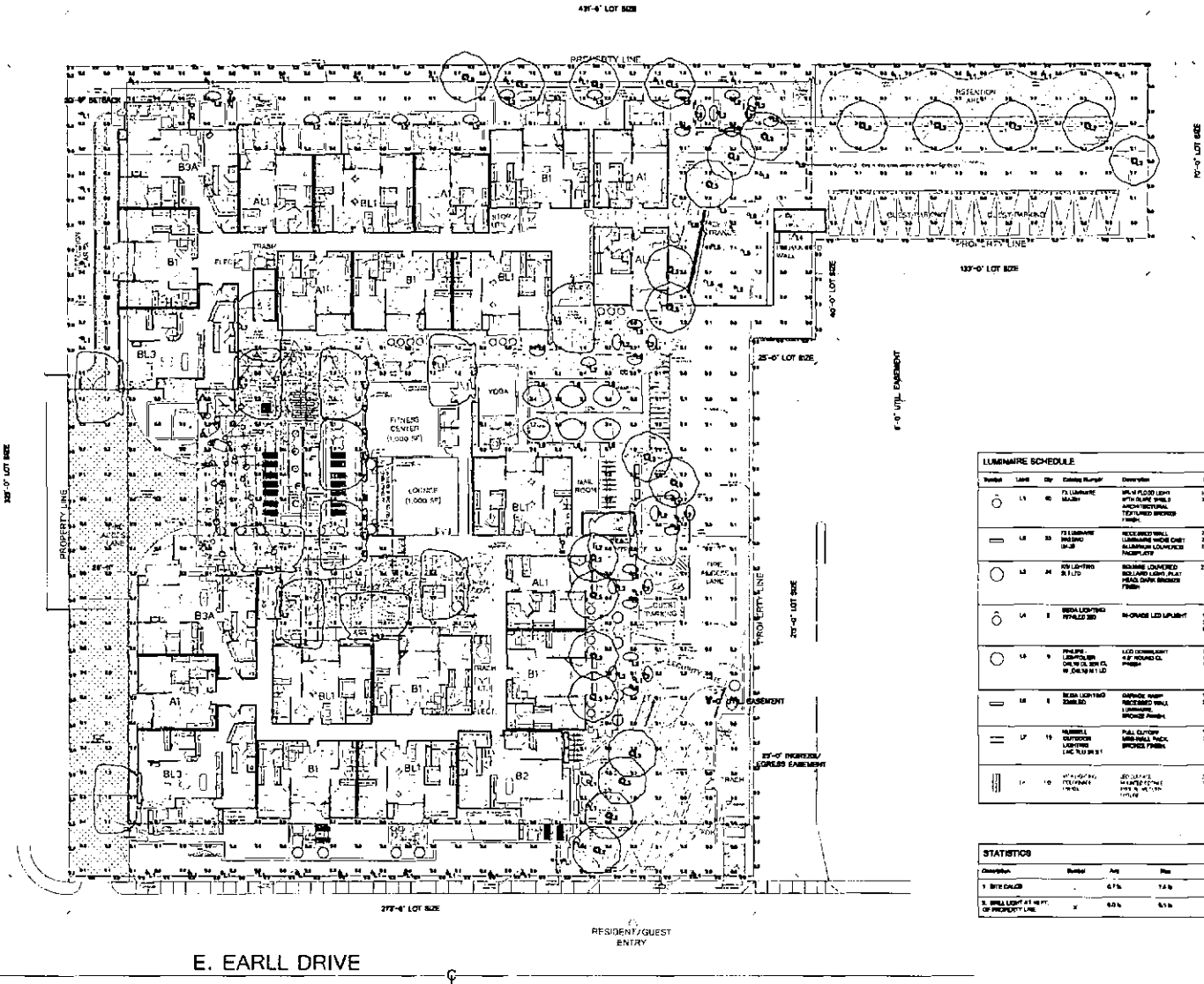
INSPIRE ON EARLL
 7800 E. EARLL DRIVE
 SCOTTSDALE, AZ 85251

These drawings are for preliminary construction only and not to be used for regulatory purposes or construction.



L4.4

HPA # 14458



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Coloring	Mounting	Description	Lumens	Footcandle	Notes
○	L1	40	FL	RECESSED	40" x 40" FLOOD LIGHTS WITH 4000K CRI 90+ ARCHITECTURAL TEXTURED BRONZE FINISH	140000 LM/W	10.0	SHOWING FOR LOCATION PLUMBING ONLY
—	L2	33	FL	RECESSED	RECESSED WALL LUMINAIRE WITH CRI 90+ FINISH	24000 LM/W	7	
○	L3	24	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	
○	L4	1	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	SHOWING FOR LOCATION PLUMBING ONLY
○	L5	9	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	
—	L6	1	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	
—	L7	19	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	
—	L8	10	MS	DOWN	30" SQUARE DOWN LIGHT WITH 4000K CRI 90+ FINISH	21000 LM/W	1.88	

STATISTICS

Description	Symbol	Qty	Power	Wattage	Watts	Watts	Watts
1. BYE CALCS			0.7%	7.9 W	8.8 W	N/A	N/A
2. WALL LIGHT AT 10 FT. OF PROPERTY LINE		2	0.2%	0.1 W	0.8 W	N/A	N/A

LNC SERIES	Cat.#		HUBBELL Outdoor Lighting
	Job	Type L7	

SPECIFICATIONS

Intended Use:

The compact LED LNC is designed for entry/perimeter illumination for safety, security and identity. Typical mounting height is up to 12 feet with 40ft fixture spacing (without acrylic diffuser) and 30ft spacing with acrylic diffuser installed. Photocontrol option is available to provide dusk-to-dawn control for additional energy savings.

Construction:

Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for long life – 60,000 hours minimum LED life at L96 rating per IESNA TM-21-11. Powder paint finishes provide lasting appearance in outdoor environments.

Optics/Electrical

LED:

Drivers are 120-277V, 50/60Hz 5000K/70 CRI Type III and Type IV lenses provide wide lateral spread. 0-10V dimming 120-277V only.

- LNC5L – 5 LEDs, 12.6w, .11 amp max, 967 lumens, Type III only
- LNC7L – 7 LEDs, 16.4w, .14 amp max, 1389 lumens, Type III or IV
- LNC9L – 9 LEDs, 20.6w, .18 amp max, 1745 lumens, Type III or IV
- Minimum operating temperature is -40°C/-40°F

Lenses:

Full cut-off distribution; Ambient diffuser included, use for applications near entrances or locations where reduced brightness is desired.

Installation:

Quick mount adapter provides quick installation, designed for both recessed box or surface conduit wiring. Fits 4" square junction box.

Listings:

Listed and labeled to UL 1598 for wet locations, 25° C ambient environments. Some models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>

- IES Progress Award Winner - 2012

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

PRODUCT IMAGE(S)



LNC-5L



LNC-7L

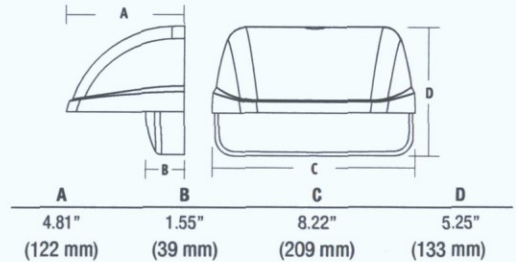


LNC-9L



With diffuser

DIMENSIONS



SHIPPING INFORMATION

Catalog Number	G.W(kg)/CTN	Carton Dimensions			Carton Qty. per Master Pack
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	
LNC-5LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2
LNC-7LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2
LNC-9LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2

CERTIFICATIONS/LISTINGS

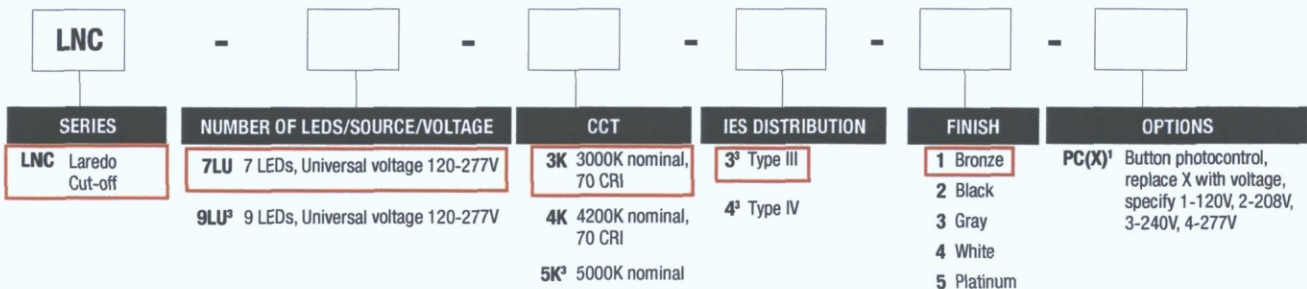


ORDERING INFORMATION LNC-5L and LNC-7L/9L (Order tree below)

CATALOG NUMBER	WATTAGE	NUMBER OF LEDS	VOLTAGE	LUMENS ¹	LIFE ²	CCT	WEIGHT LBS. (KG)
LNC-5LU-5K	12.6w	5	120-277V	967	60,000hrs	5000k	4.0 (1.8)
LNC-5LU-5K-PC	12.6w	5	120V	967	60,000hrs	5000k	4.0 (1.8)

1 Acrylic diffuser accessory lumen output is 650 with increased uniformity in the Type III distribution
 2 Projected per IESNA TM-21-11

ORDERING EXAMPLE: LNC-9LU-5K-3-1-PC1



1 When PC is ordered, input must match PC voltage
 2 Amber LEDs only available on 7LU and 9LU configurations, 350 mA only
 3 DesignLights Consortium (DLC) qualified 5/7/9 models 5K only

LIGHTING FACTS

Hubbell Outdoor Lighting

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	820
Watts	12.7
Lumens per Watt (Efficacy)	64

Color Accuracy
Color Rendering Index (CRI) 77

Light Color
Correlated Color Temperature (CCT) 5353 (Daylight)

Warm White 2700K Bright White 3000K 4500K Daylight 6500K

All results are according to IESNA LM-79-09: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A29K-LA632B (12/28/2011)
Model Number: LNC-9LU-9K
Type: Outdoor wall pack

Hubbell Outdoor Lighting

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	1147
Watts	16.4
Lumens per Watt (Efficacy)	69

Color Accuracy
Color Rendering Index (CRI) 73

Light Color
Correlated Color Temperature (CCT) 5052 (Daylight)

Warm White 2700K Bright White 3000K 4500K Daylight 6500K

All results are according to IESNA LM-79-09: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A29K-WRVPLM (3/7/2012)
Model Number: LNC-7LU-9K-3
Type: Outdoor wall pack

Hubbell Outdoor Lighting

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	1460
Watts	20.6
Lumens per Watt (Efficacy)	70

Color Accuracy
Color Rendering Index (CRI) 73

Light Color
Correlated Color Temperature (CCT) 5050 (Daylight)

Warm White 2700K Bright White 3000K 4500K Daylight 6500K

All results are according to IESNA LM-79-09: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: A29K-8675TZ (3/7/2012)
Model Number: LNC-9LU-9K-3
Type: Outdoor wall pack



Example from Google Images

Plā™ Performance

Imagine the Possibilities

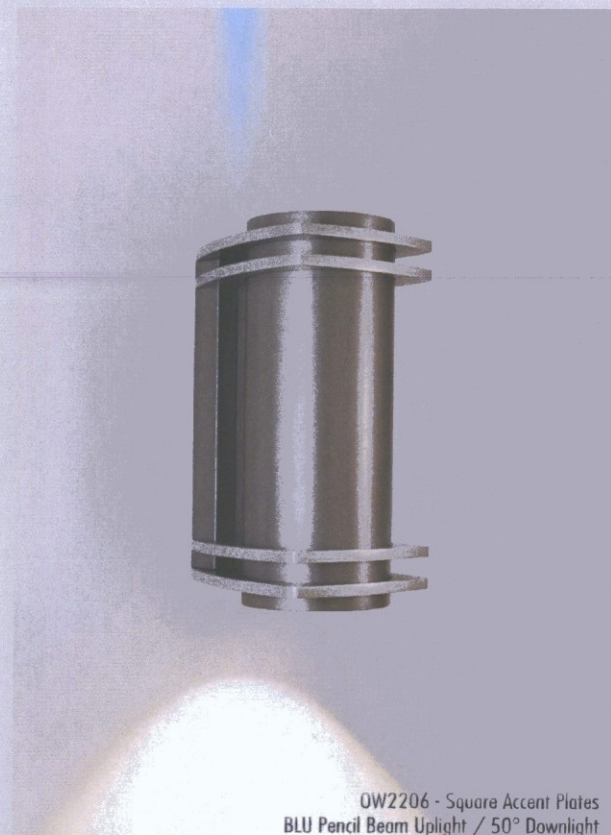
- Facade
- Entryway
- Path of Egress

Features

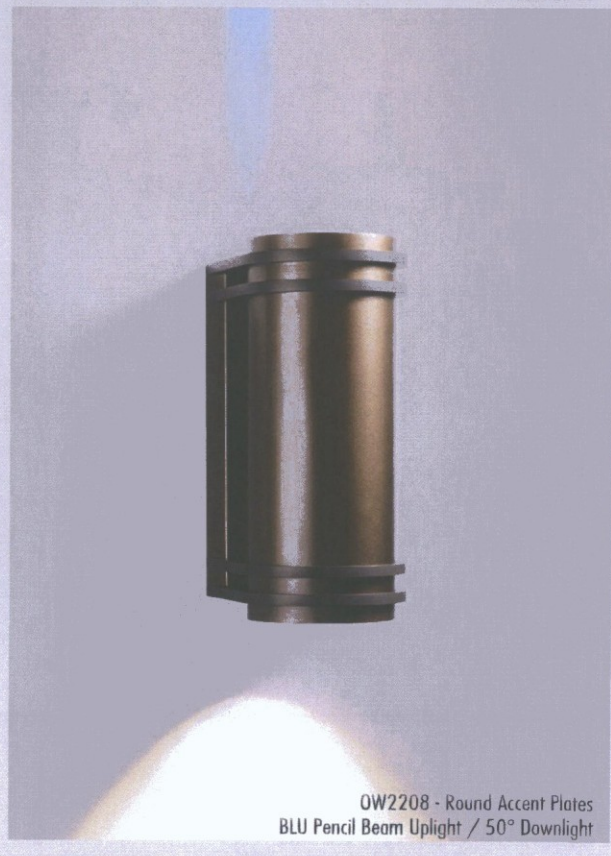
- 5 year product warranty
- Light engine is IP65 rated for dust and water resistance
- Low energy, long life LED source
- Oven cured no VOC acrylic powder coat painted finish
- Bracket mounting system facilitates installation and maintenance
- Meets seismic guidelines for weight
- Tamper resistant fasteners
- Modular design allows for easy field exchange or replacement of reflector optics to facilitate modification of beam spreads
- Integral high power factor electronic power supply with MVOLT operation in canopy
- ETL listed to UL standards (US and Canada) for wet location mounting 4' above grade

LED Features

- Static color (amber, blue, green, red, cool white, neutral white or warm white)
- Modular design allowing replacement of the LED source and power supply
- Constant current LED technology to protect LEDs from experiencing "over current" conditions that can cause overheating and premature failure
- Thermally managed within manufacturer specifications to promote long LED life
- No ultraviolet or infrared, alleviating potential damage to art, fabric and materials
- Mercury free LED source reduces impact to waste stream



OW2206 - Square Accent Plates
BLU Pencil Beam Uplight / 50° Downlight



OW2208 - Round Accent Plates
BLU Pencil Beam Uplight / 50° Downlight

OUTDOOR

WALL

ADA

XPS

LED

NEW

Path of Egress