

**Full Size or Largest Size**  
**(site plan, landscape, elevations)**

**PRELIMINARY WATER & SEWER PLAN  
FOR  
INSPIRE ON EARLL**

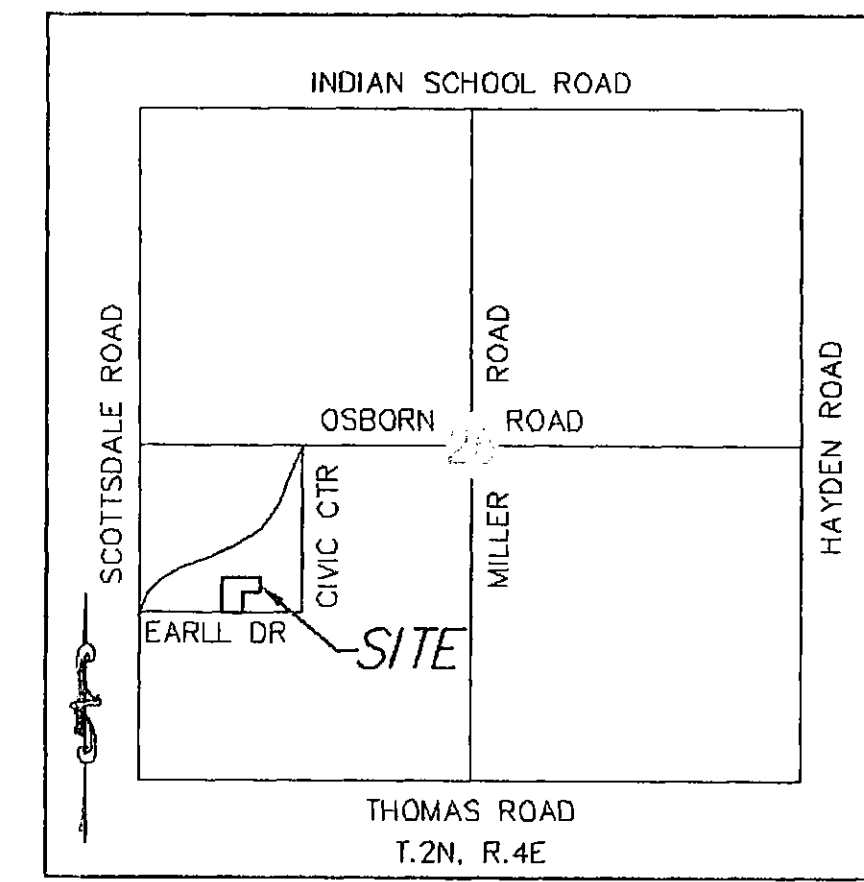
*A PORTION OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH,  
RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA.*

**ENGINEERS NOTES**

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING. PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION, SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2 FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.

**LEGEND**

<u>EXISTING</u>	<u>PROPOSED</u>
⊗ FOUND BRASS CAP IN HANDHOLE	⊗ BACKFLOW DEVICE
⊙ FOUND BRASS CAP FLUSH	□ WATER METER
⊙ SET PROPERTY CORNER RLS# 35833	⊕ BEND/JOINT
⊙ FOUND 1/2" REBAR UNLESS OTHERWISE NOTED	—○— SEWER CLEANOUT
⊙ FOUND PK NAIL	—○— SEWER MANHOLE
⊙ SCHEDULE B ITEM NUMBER	—○— WATER VALVE
⊙ STORM DRAIN MANHOLE	—○— WATER LINE
⊙ MONITORING WELL	FF=XX.XX FINISH FLOOR ELEVATION
⊙ SEWER MANHOLE	
⊙ UTILITY POLE & LIGHT	
⊙ FIRE DEPARTMENT CONNECTION	
⊙ AIR RELEASE VALVE	
⊙ WATER BLOW-OFF	
⊙ LIGHT POLE	
⊙ SIGN	
⊙ FIRE HYDRANT	
⊙ DOWN GUY	
⊙ ELECTRIC METER	
⊙ TREE	
⊙ PALM TREE	
⊙ DRY WELL	
⊙ PALO VERDE	
⊙ SIGN	
⊙ SANITARY SEWER MANHOLE	
⊙ WATER VALVE	
⊙ FIRE HYDRANT	
⊙ LIGHT POLE	
⊙ CLEAN OUT	
⊙ GAS METER	
⊙ CHECK VALVE	
⊙ WATER METER	
⊙ ELECTRIC CABINET	
⊙ BOLLARD	
⊙ UTILITY POLE	
⊙ ELECTRIC JUNCTION BOX	
⊙ HOSE BIB	
⊙ TELEPHONE RISER	
R.D. ROOF DRAIN	
C.B. CATCH BASIN	
E.C. ELECTRIC CABINET	
R/W RIGHT OF WAY	
BK./PG. BOOK & PAGE	
M.C.R. MARICOPA COUNTY RECORDS	
APN ASSESSOR PARCEL NUMBER	
R RECORD DATA PER LEGAL DESCRIPTION	
M MEASURED DATA	
C CALCULATED DATA	
----- BOUNDARY LINE	
----- ADJACENT BOUNDARY LINE	
----- CENTER LINE	
----- EASEMENT LINE	
----- CHAIN LINK FENCE	
----- TEMPORARY CONSTRUCTION FENCE	
----- UNDERGROUND ELECTRIC LINE	
----- OVERHEAD ELECTRIC LINE	
----- GAS LINE	
----- SEWER LINE	
----- WATER LINE	
----- TOP OF CURB/GUTTER ELEVATION	
----- GUTTER ELEVATION	
----- PAVEMENT ELEVATION	
----- MANHOLE RIM/INVERT	
----- CONCRETE ELEVATION	
----- TOP OF CURB/PAVEMENT ELEVATION	
----- NATURAL GROUND	
----- FINISHED FLOOR ELEVATION	
----- TOP ELEVATION	



**VICINITY MAP**  
N.T.S.

**AREA**

PARCEL 1 CONTAINS 36,881 SQUARE FEET OR 0.846 ACRES NET  
 PARCEL 2 CONTAINS 17,600 SQUARE FEET OR 0.404 ACRES NET  
 PARCEL 3 CONTAINS 34,400 SQUARE FEET OR 0.789 ACRES NET  
 PARCEL 4 CONTAINS 12,060 SQUARE FEET OR 0.276 ACRES NET  
 PARCEL 5 CONTAINS 5,375 SQUARE FEET OR 0.123 ACRES NET

TOTAL SITE CONTAINS 106,316 SQUARE FEET OR 2.438 ACRES NET

**BENCHMARK**

BRASS CAP IN A HANDHOLE (EAST OF TWO MONUMENTS) AT THE INTERSECTION OF OSBORN ROAD AND SCOTTSDALE ROAD.  
 ELEVATION=1246.815 (NAVD88, CITY OF SCOTTSDALE DATUM)

**BASIS OF BEARING**

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, SAID LINE BEARS NORTH 00 DEGREES 01 MINUTES 41 SECONDS WEST.

**LEGAL DESCRIPTION CONT...**

BEGIN A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26;

THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, A DISTANCE OF 930.48 FEET;

THENCE NORTH ALONG A LINE PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26 FOR A DISTANCE OF 255.00 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 255.00 FEET OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;

THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG SAID LINE, FOR A DISTANCE OF 25.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH, FOR A DISTANCE OF 40.00 FEET;

THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST, FOR A DISTANCE OF 132.97 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 25 SECONDS WEST ALONG A LINE PARALLEL WITH AND 225.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26, FOR A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 255.00 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;

THENCE SOUTH 89 DEGREES 50 MINUTES 45 SECONDS WEST ALONG SAID LINE, FOR A DISTANCE OF 132.95 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 5:

EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN GRANT OF EASEMENT AND AGREEMENT CREATED AND GRANTED IN DOCKET 14920, PAGE 10, DESCRIBED AS FOLLOWS:

BEING A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26;

THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26 FOR A DISTANCE OF 930.48 FEET;

THENCE NORTH PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26 FOR A DISTANCE OF 40.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH ALONG THE AFOREMENTIONED LINE FOR A DISTANCE OF 215.00 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 255.00 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26; THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG SAID LINE FOR A DISTANCE OF 25.00 FEET;

THENCE SOUTH FOR A DISTANCE OF 215.00 FEET;

THENCE SOUTH 89 DEGREES 50 MINUTES 45 SECONDS WEST ALONG A LINE WHICH IS PARALLEL WITH 40.00 FEET NORTHERLY OF THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER FOR A DISTANCE OF 25.00 FEET TO THE TRUE POINT OF BEGINNING.

**LEGAL DESCRIPTION**

PARCEL NO. 1:

THE NORTH 325 FEET OF THE SOUTH 365 FEET OF THE EAST 113.48 FEET OF THE WEST 770.48 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2:

THE NORTH 135 FEET OF THE NORTH 325 FEET OF THE SOUTH 365 FEET OF THE EAST 160 FEET OF THE WEST 930.48 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE SOUTH 25 FEET THEREOF.

PARCEL NO. 3:

THE SOUTH 215 FEET OF THE NORTH 325 FEET OF THE SOUTH 365 FEET OF THE EAST 160 FEET OF THE WEST 930.48 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL NO. 4:

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26;

THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26, A DISTANCE OF 930.48 FEET;

THENCE NORTH A DISTANCE OF 230.00 FEET, ON A LINE PARALLEL TO THE WEST LINE OF THE SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER TO THE TRUE POINT OF BEGINNING;

THENCE NORTH A DISTANCE OF 135.00 FEET TO THE NORTH LINE OF THE SOUTH 365.00 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26;

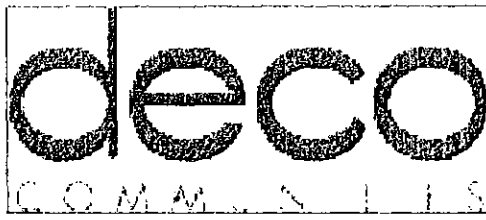
THENCE NORTH 89 DEGREES 50 MINUTES 45 SECONDS EAST ALONG THE AFOREMENTIONED LINE A DISTANCE OF 158.00 FEET;

THENCE SOUTH 00 DEGREES 01 MINUTES 25 SECONDS WEST A DISTANCE OF 135.00 FEET ON THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;

THENCE SOUTH 89 DEGREES 50 MINUTES 45 SECONDS WEST A DISTANCE OF 157.94 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THE SOUTH 25 FEET; AND

EXCEPT THE FOLLOWING DESCRIBED PROPERTY:



Owner Name

Inspire on Earll

ADDRESSES

4422 E Earll Drive  
Scottsdale, Arizona

Date Issue

**DEVELOPER**

DECO COMMUNITIES  
 8135 E INDIAN BEND RD., STE 101  
 SCOTTSDALE, ARIZONA 85250  
 PH: 480-850-2027  
 CONTACT: LARON TURLEY

**ARCHITECT**

HARLEY ELLIS DEVEREAUX  
 601 S FIGUEROA ST  
 LOS ANGELES CA, 90017  
 PH: 213-542-4500  
 FX: 213-542-4515  
 CONTACT: DAVID FREEMAN

**ENGINEER**

KLAND CIVIL ENGINEERS  
 7227 N. 16th St, Suite 217  
 PHOENIX, AZ 85020  
 PH: (480) 344-0480  
 FX: (480) 393-8825  
 CONTACT: LESLIE KLAND, P.E.

**FLOODZONE**

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2235 L, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (UNHATCHED).

**RETENTION**

SEE SHEET C-101 FOR RETENTION CALCULATIONS.

**KLAND  
CIVIL ENGINEERS**

CIVIL ENGINEERING  
 LAND DEVELOPMENT  
 SERVICES

LAND SURVEYING

7227 N. 16th St, Suite 217  
 Phoenix, Arizona 85020  
 PHONE: (480) 344-0480  
 FAX: (480) 393-8825  
 www.klandeng.com



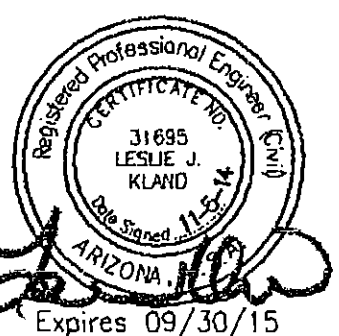
**HARLEY ELLIS  
DEVEREAUX**

601 South Figueroa Street  
 Suite 500  
 Los Angeles, California  
 90017, USA

(213) 542.4500 (tel)  
 (213) 542.4515 (fax)  
 harleyellisdevereaux.com

Planning  
 Architecture  
 Engineering  
 Interior Architecture  
 Landscape Architecture  
 Construction Services

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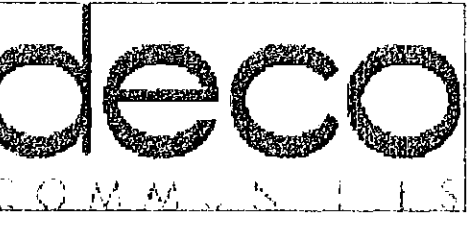


Project No. 2014-00018-000

Development Review Submittal  
 October 5, 2014

Title: COVER SHEET





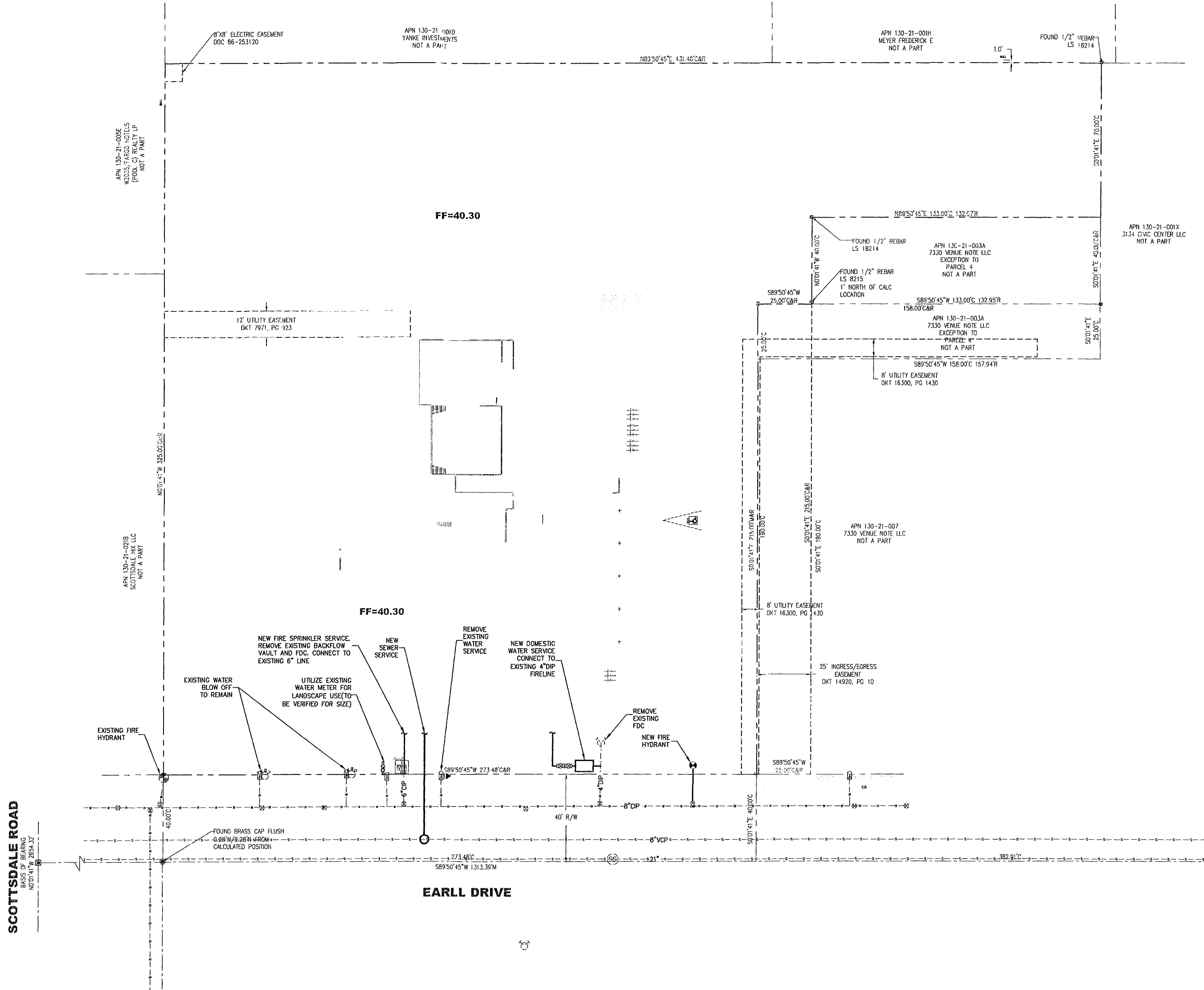
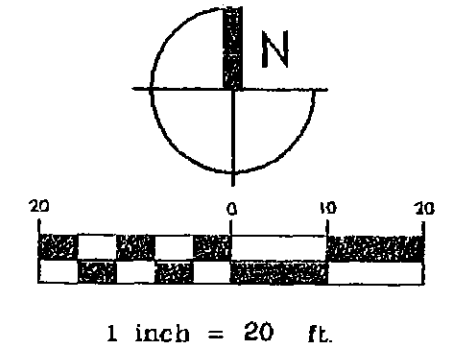
Owner Name

Inspire on Earll

ADDRESSES

4422 E Earll Drive  
Scottsdale, Arizona

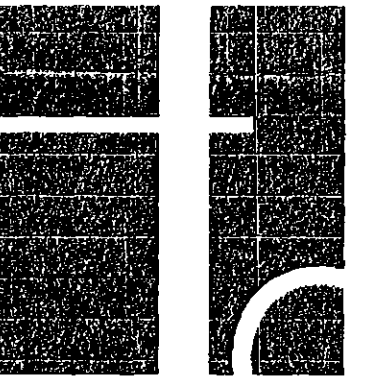
Date Issue



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**HARLEY ELLIS DEVEREAUX**

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harleyellisdevereaux.com

Planning  
Architecture  
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Interior Architecture  
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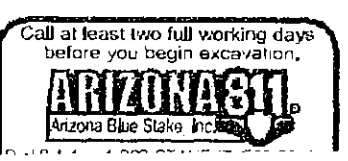
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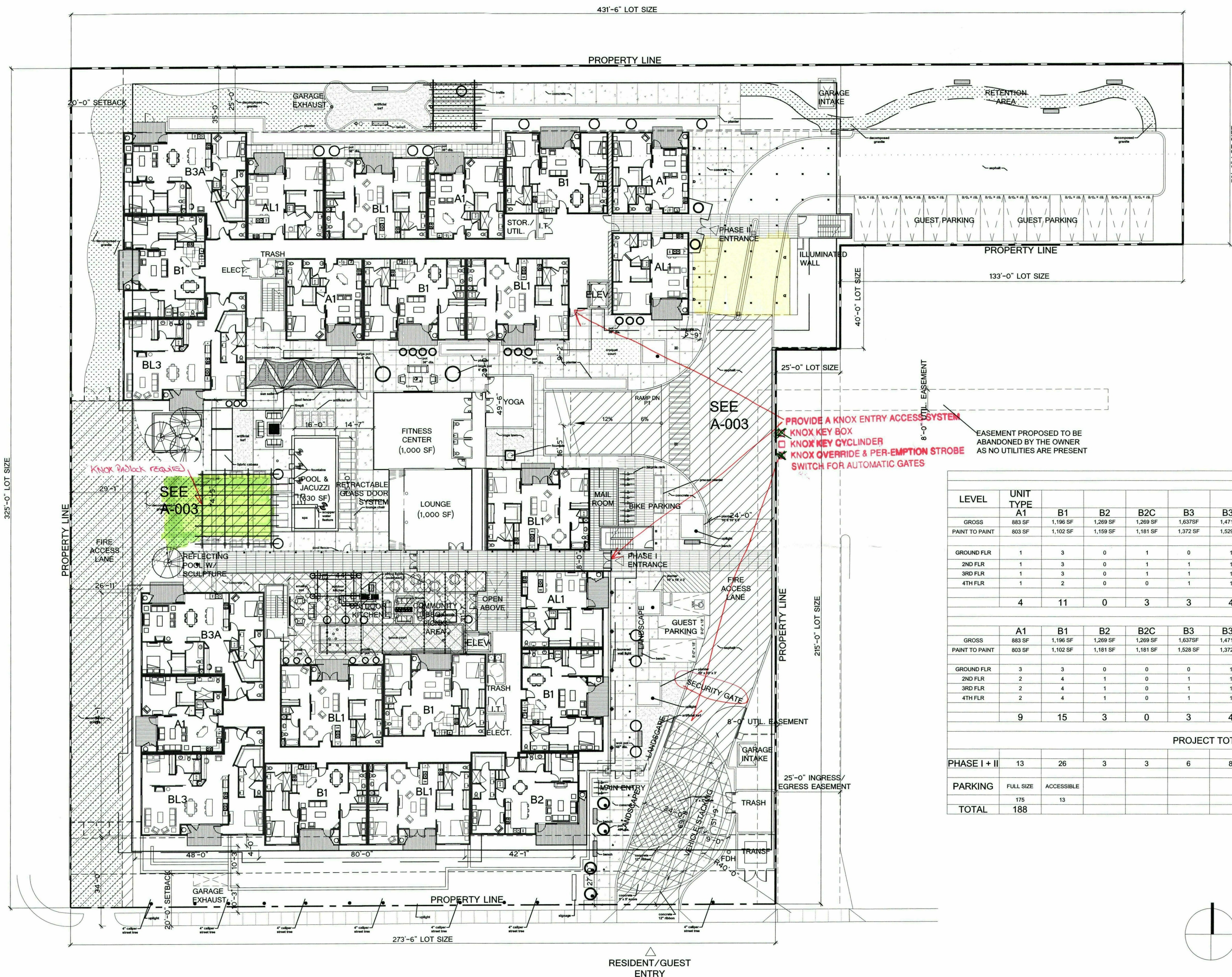
Project No. 2014-00018-000

Development Review Submittal  
October 5, 2014

Title: CONCEPTUAL WATER &  
SEWER LAYOUT EXHIBIT



<b>Owner</b>	DECO, 8135 East Indian Bend Road, Suite #101, Scottsdale, Arizona
<b>Contact</b>	Dan Richards (480)609-6779
<b>Project Address</b>	7300 Earll Street, Scottsdale, Arizona
<b>Previous Case Number</b>	33-DR-2007#3
<b>Current Case Number</b>	TBD
<b>Use</b>	Multi-Family Residential
<b>Zone</b>	Downtown/Office Residential Type 2 Downtown Overlay (D/OR-2 DO)
<b>Open space req'd</b>	None
<b>Existing Use</b>	Two vacant warehouse buildings
<b>Parcel size (GSF)</b>	2.438 acre (106,244 sf)
<b>Proposed Use</b>	Two 4 story condominium buildings
<b>Building Height Allowed</b>	50 feet (not more than five levels) for residential use
<b>Building Height Proposed</b>	50 feet (not including mechanical screen walls)
<b>Number of Units Allowed</b>	128
<b>Number of Units Proposed</b>	97
<b>Parking Required</b>	169
<b>Parking Proposed</b>	187
<b>Max. FAR Allowed</b>	1.5
<b>FAR Proposed</b>	1.47
<b>Gross Building Unit SF</b>	157,605
<b>Maximum FAR Square Footage</b>	159,474
<b>Building Envelope (included step back)</b>	Yards: Property in the Downtown Civic Center - Type 2 or Downtown Multiple Use - Type 2 Areas not described above: The setback plane shall incline at a ratio of 1:1, beginning thirty (30) feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to forty-five (45) feet; and beginning at forty-five (45) feet, incline at a ratio of 2:1.



LEVEL	UNIT TYPE	UNIT MATRIX PHASE I										TOTAL TRAD	TOTAL LOFT	TOTAL	
		A1	B1	B2	B2C	B3	B3A	AL1	BL1	BL2	BL3				
GROSS	883 SF	1,196 SF	1,269 SF	1,269 SF	1,637 SF	1,471 SF	883 SF	1,200 SF	1,314 SF	1,637 SF					
PAINT TO PAINT	803 SF	1,102 SF	1,159 SF	1,181 SF	1,372 SF	1,529 SF	803 SF	1,109 SF	1,225 SF	1,529 SF					
GROUND FLR	1	3	0	1	0	1	2	2	0	1	6	5	11		
2ND FLR	1	3	0	1	1	1	1	2	1	1	7	5	12		
3RD FLR	1	3	0	1	1	1	1	2	1	1	7	5	12		
4TH FLR	1	2	0	0	1	1	1	1	1	0	5	3	8		
	4	11	0	3	3	4	5	7	3	3	18	18	43		
		PHASE II													
GROSS	883 SF	1,196 SF	1,269 SF	1,269 SF	1,637 SF	1,471 SF	883 SF	1,200 SF	1,314 SF	1,637 SF					
PAINT TO PAINT	803 SF	1,102 SF	1,181 SF	1,181 SF	1,528 SF	1,372 SF	803 SF	1,109 SF	1,225 SF	1,529 SF					
GROUND FLR	3	3	0	0	0	1	1	3	0	1	7	5	12		
2ND FLR	2	4	1	0	1	1	2	2	0	1	9	5	14		
3RD FLR	2	4	1	0	1	1	2	2	0	1	9	5	14		
4TH FLR	2	4	1	0	1	1	2	2	0	1	9	5	14		
	9	15	3	0	3	4	7	9	0	4	34	20	54		
		PROJECT TOTAL													
PHASE I + II	13	26	3	3	6	8	12	16	3	7			97		
PARKING	FULL SIZE	ACCESSIBLE													
	175	13													
TOTAL	188														

PROVIDE A KNOX ENTRY ACCESS SYSTEM  
KNOX KEY BOX  
KNOX KEY CYLINDER  
KNOX OVERRIDE & PER-EMPTION STROBE SWITCH FOR AUTOMATIC GATES

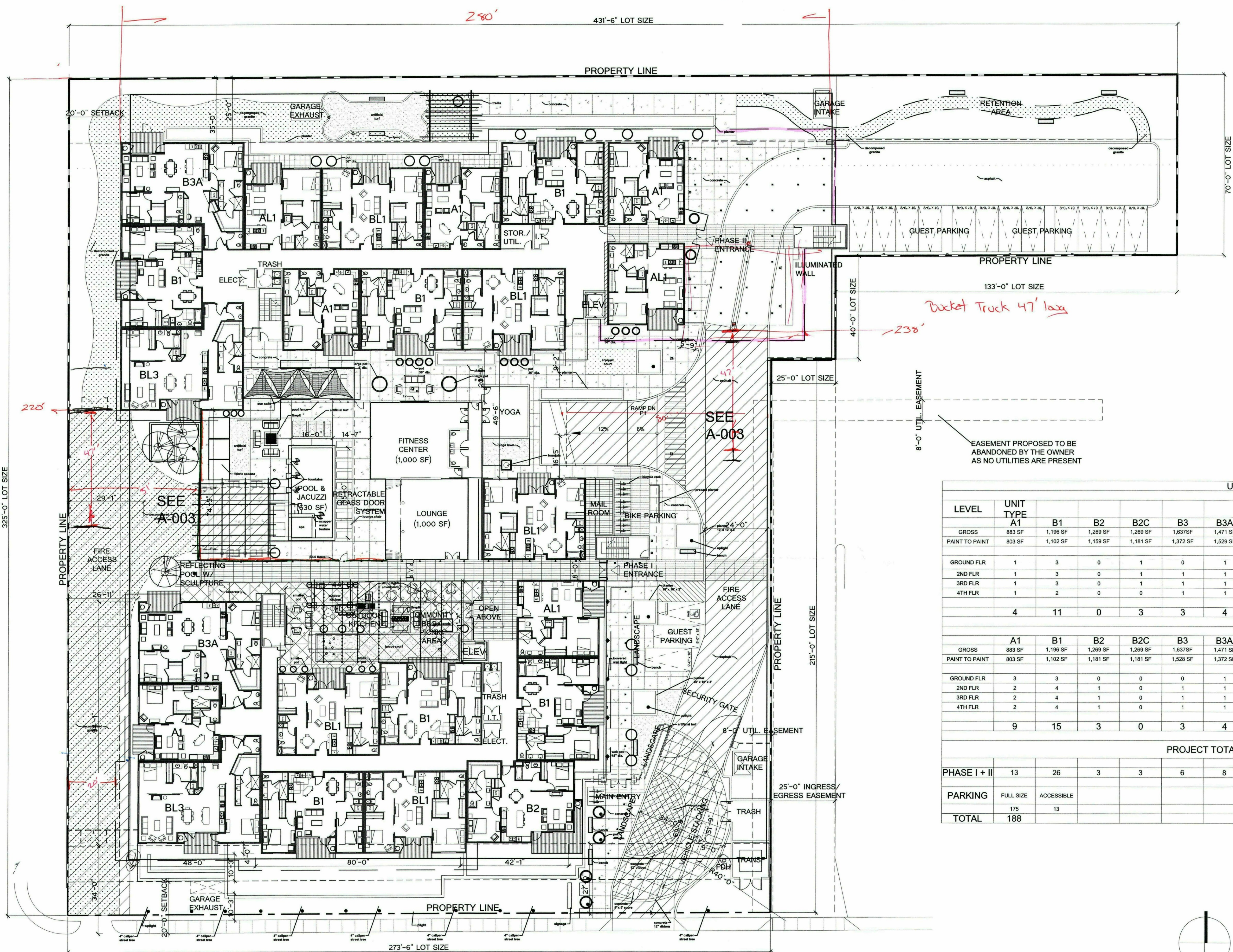
EASEMENT PROPOSED TO BE ABANDONED BY THE OWNER AS NO UTILITIES ARE PRESENT

Fire Plan Review By  
Rick King (480) 312-2372  
email: rking@scottsdaleaz.gov

- Provide the following:
- Demolition of bridge rail into banner heads with appropriate 47' long
  - State JFH 13 system required
  - Provide access in area marked in yellow (13'6")
  - State pool fence will have Knox lock allowing vehicle access (marked in green)
  - State entrance will have drive height of 13'6" min.
  - Demolish emergency access lane is 24' wide mid through
  - Location of fire room
  - Location of FDC

E. EARLL DRIVE

<b>Owner</b>	DECO, 8135 East Indian Bend Road, Suite #101, Scottsdale, Arizona
<b>Contact</b>	Dan Richards (480)609-6779
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<b>Parking Proposed</b>	187
<b>Max. FAR Allowed</b>	1.5
<b>FAR Proposed</b>	1.47
<b>Gross Building Unit SF</b>	157,605
<b>Maximum FAR Square Footage</b>	159,474
<b>Building Envelope (included step back)</b>	Yards: Property in the Downtown Civic Center - Type 2 or Downtown Multiple Use - Type 2 Areas not described above: The setback plane shall incline at a ratio of 1:1, beginning thirty (30) feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to forty-five (45) feet; and beginning at forty-five (45) feet, incline at a ratio of 2:1.



UNIT MATRIX PHASE I												TOTAL TRAD	TOTAL LOFT	TOTAL
LEVEL	UNIT TYPE	A1	B1	B2	B2C	B3	B3A	AL1	BL1	BL2	BL3			
GROSS		883 SF	1,196 SF	1,269 SF	1,269 SF	1,637 SF	1,471 SF	883 SF	1,200 SF	1,314 SF	1,637 SF			
PAINT TO PAINT		803 SF	1,102 SF	1,159 SF	1,181 SF	1,372 SF	1,529 SF	803 SF	1,109 SF	1,225 SF	1,529 SF			
GROUND FLR		1	3	0	1	0	1	2	2	0	1	6	5	11
2ND FLR		1	3	0	1	1	1	1	2	1	1	7	5	12
3RD FLR		1	3	0	1	1	1	1	2	1	1	7	5	12
4TH FLR		1	2	0	0	1	1	1	1	1	0	5	3	8
		4	11	0	3	3	4	5	7	3	3	18	18	43

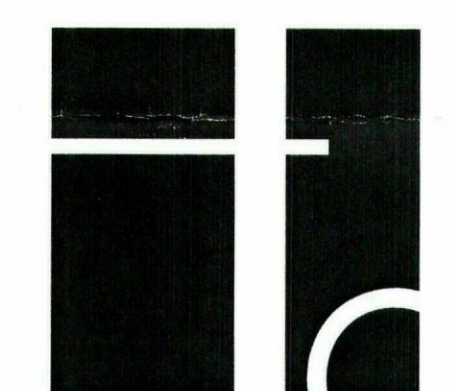
UNIT MATRIX PHASE II												TOTAL TRAD	TOTAL LOFT	TOTAL
LEVEL	UNIT TYPE	A1	B1	B2	B2C	B3	B3A	AL1	BL1	BL2	BL3			
GROSS		883 SF	1,196 SF	1,269 SF	1,269 SF	1,637 SF	1,471 SF	883 SF	1,200 SF	1,314 SF	1,637 SF			
PAINT TO PAINT		803 SF	1,102 SF	1,181 SF	1,181 SF	1,528 SF	1,372 SF	803 SF	1,109 SF	1,225 SF	1,529 SF			
GROUND FLR		3	3	0	0	0	1	1	3	0	1	7	5	12
2ND FLR		2	4	1	0	1	1	2	2	0	1	9	5	14
3RD FLR		2	4	1	0	1	1	2	2	0	1	9	5	14
4TH FLR		2	4	1	0	1	1	2	2	0	1	9	5	14
		9	15	3	0	3	4	7	9	0	4	34	20	54

PROJECT TOTAL												TOTAL TRAD	TOTAL LOFT	TOTAL
PHASE I + II		13	26	3	3	6	8	12	16	3	7			97
PARKING	FULL SIZE													175
	ACCESSIBLE													13
TOTAL														188

E. EARLL DRIVE

1 SITE / GROUND FLOOR PLAN  
A-100 SCALE: 1" = 20'



**HARLEY ELLIS DEVEREAUX**  
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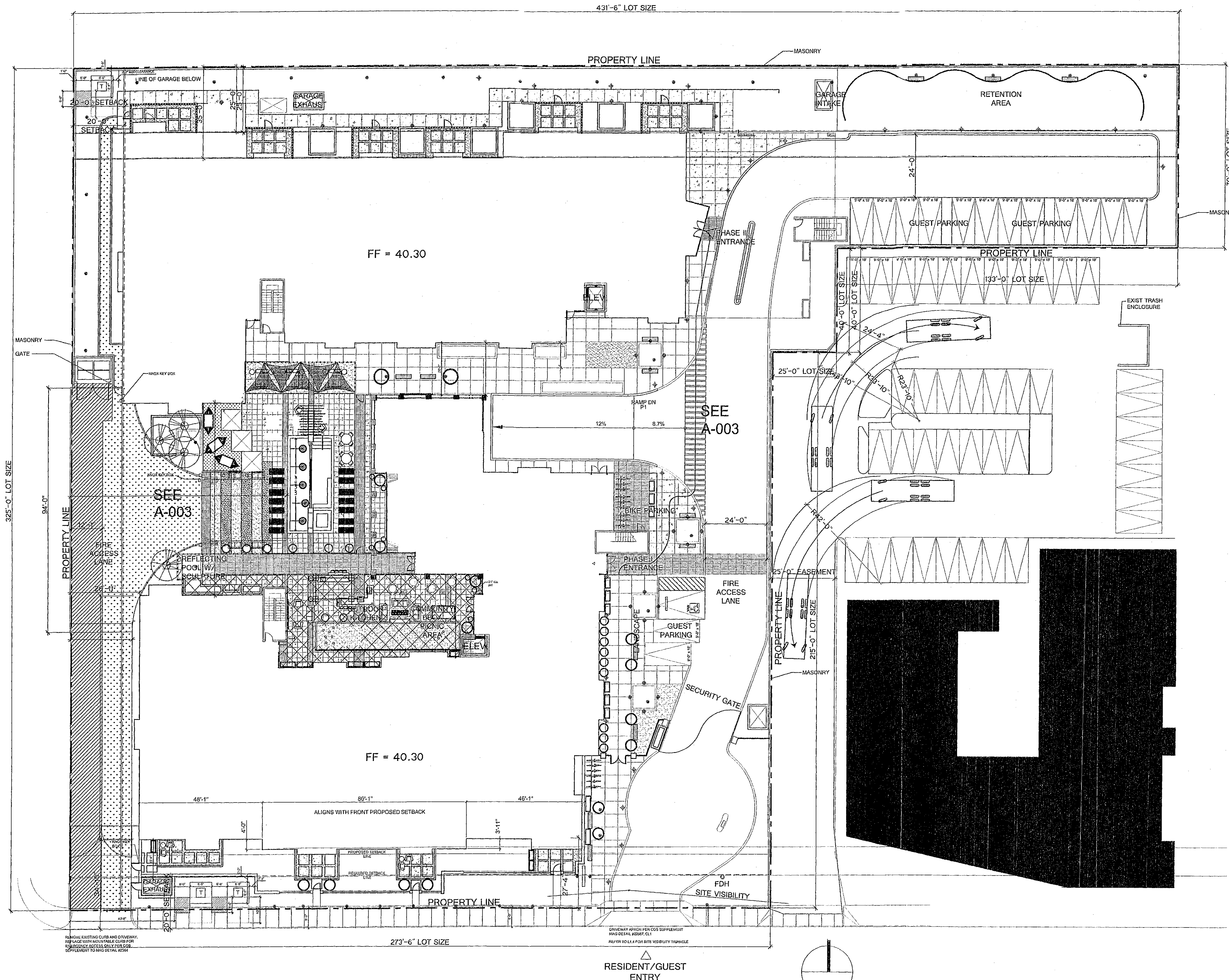


Project No. 2014-00018-000  
Development Review Resubmittal  
November 07, 2014

Title: SITE / GROUND FLOOR PLAN

Sheet No. A-100

51-DR-2014  
11/11/2014



E. EARLL DRIVE

RESIDENT/GUEST ENTRY

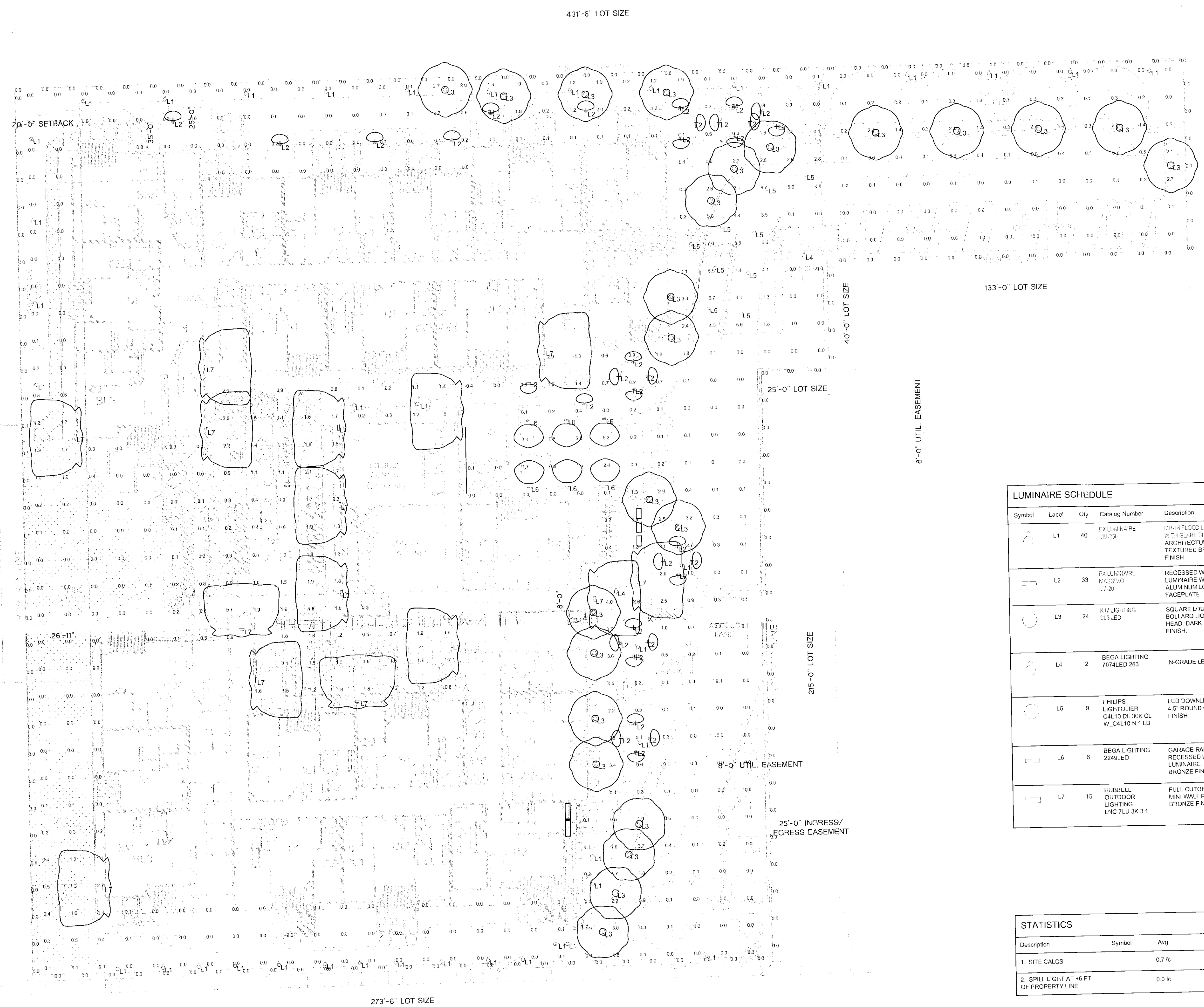


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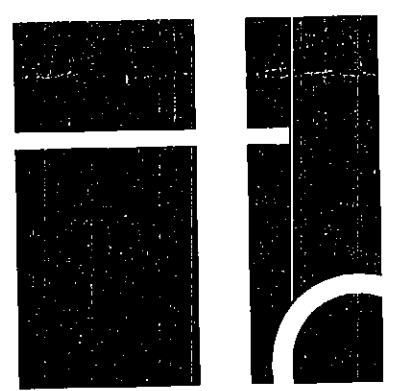
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Fire Plan Review By:  
Rick King (480) 942-2372  
rking@scottsdaleaz.gov



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF
	L1	40	FX LUMINAIRE M315H	18"-18" FLOOD LIGHT WITH GLARE SHIELD ARCHITECTURAL TEXTURED BRONZE FINISH	HALOGEN BR-16 35 W	SHOWN FOR LOCATION PURPOSE ONLY
	L2	33	FX LUMINAIRE M325H	RECESSED WALL LUMINAIRE WIDE CAST ALUMINUM LOUVERED FACEPLATE	2 LED EMITTERS 20 W HALOGEN 50 VOLT	2
	L3	24	K12 LIGHTS S33 LED	SQUARE LOUVERED BOLLARD LIGHT, FLAT HEAD, DARK BRONZE FINISH	23 LED EMITTERS	Absolute 1.00
	L4	2	BEGA LIGHTING 7074LED 263	IN-GRADE LED UPLIGHT	13.4W LED 3000K 544LMS	SHOWN FOR LOCATION PURPOSE ONLY
	L5	9	PHILIPS LIGHTOLIER CALTO DL 30K CL W/ CALTO N1 LD	LED DOWNLIGHT 4.5" ROUND CL FINISH	20W LED 3000K 1034 LMS	1034 1.00
	L6	6	BEGA LIGHTING 2249LED	GARAGE RAMP RECESSED WALL LUMINAIRE BRONZE FINISH	10.9W LED 3000K	Absolute 1.00
	L7	15	HUBHELL OUTDOOR LIGHTING LNC 7LU 3K 3 1	FULL CUTOFF MINI-WALL PACK BRONZE FINISH	17.4W LED 3000K	Absolute 1.00

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1. SITE CALCS		0.7 fc	7.4 fc	0.0 fc	N/A	N/A
2. SPILL LIGHT AT #6 FT. OF PROPERTY LINE		0.0 fc	0.1 fc	0.0 fc	N/A	N/A



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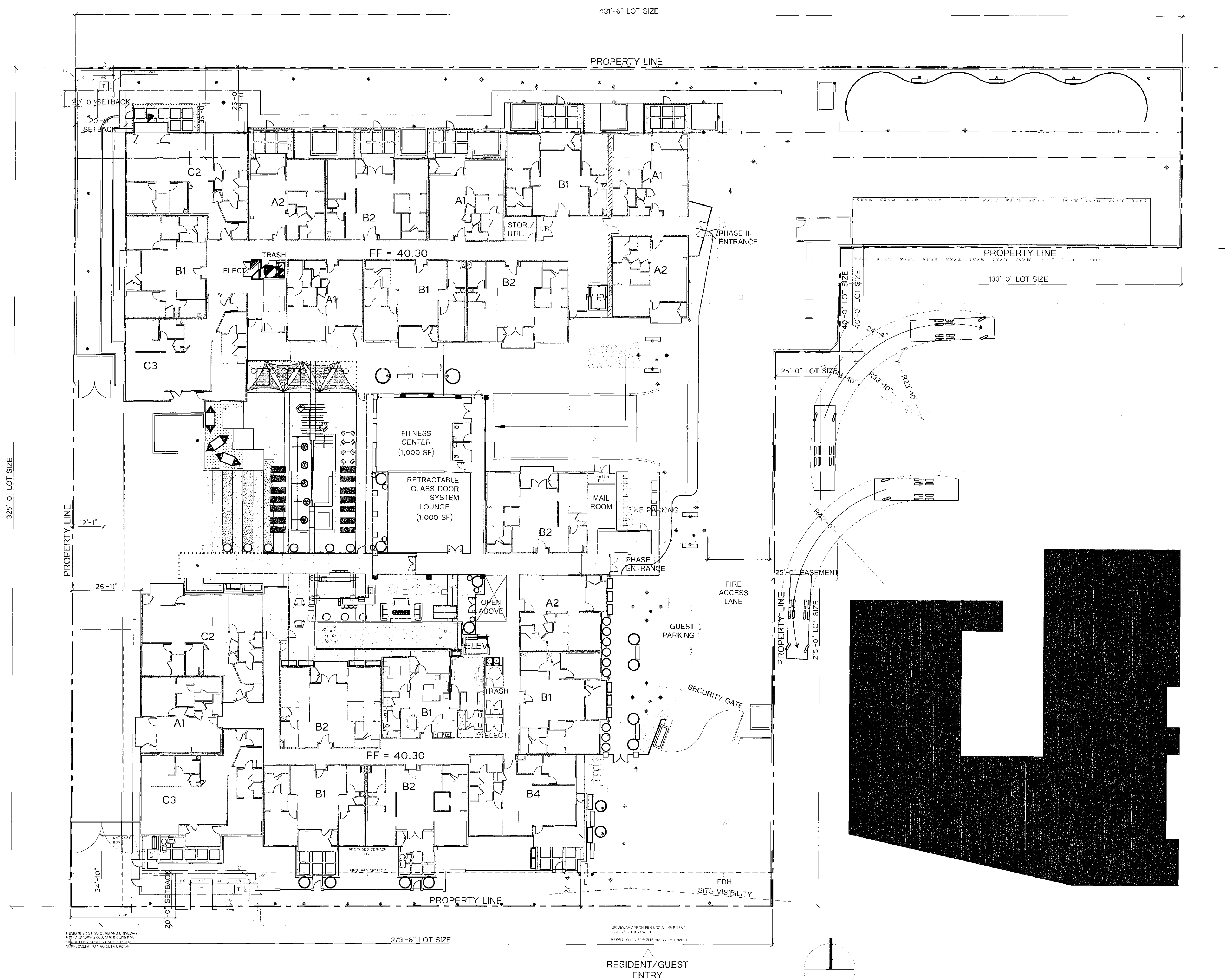
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Schematic Design Set

December 29, 2014

Title: PHOTOMETRICS

Sheet No. E-100

4-16-15



E. EARLL DRIVE

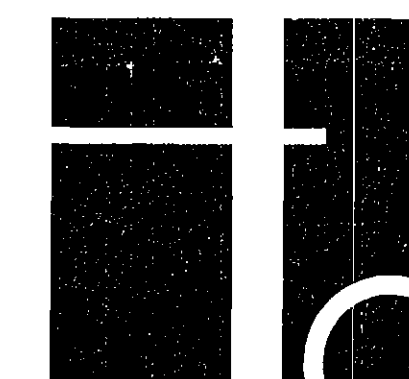


PEDESTRIAN AND VEHICULAR CIRCULATION PLAN

1

A-005

SCALE: 1" = 20'



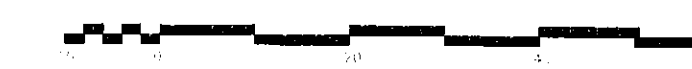
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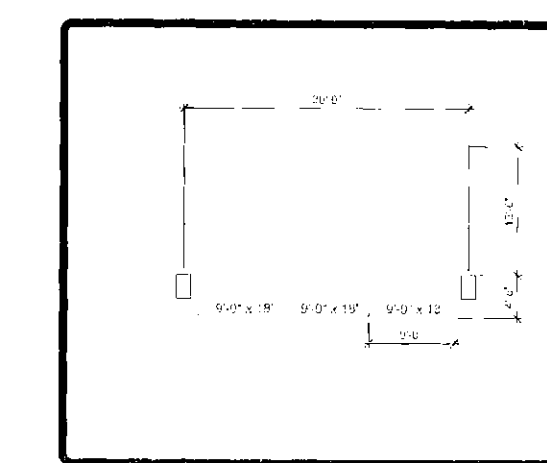
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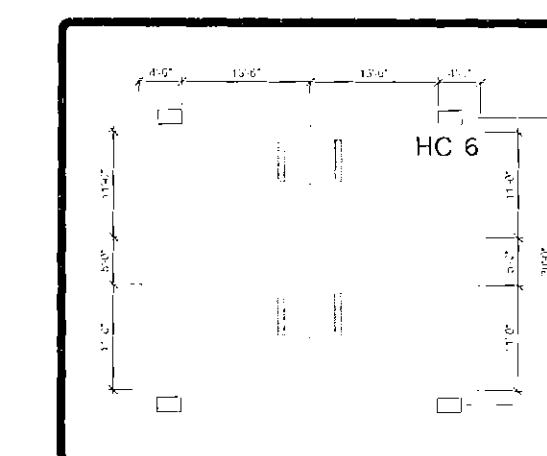
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4.1615 *[Handwritten signature]*

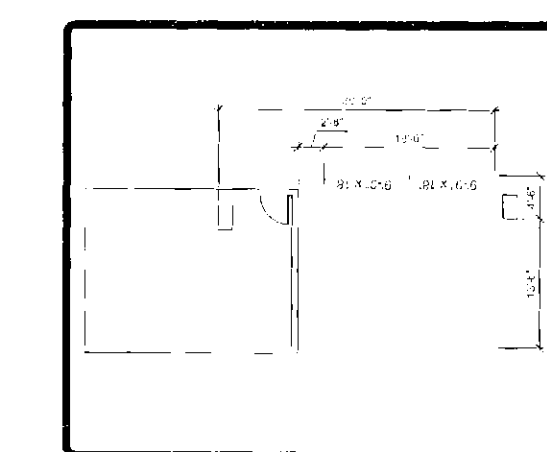




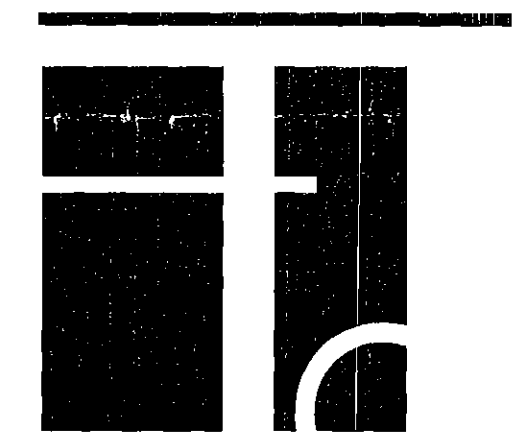
A



B



C



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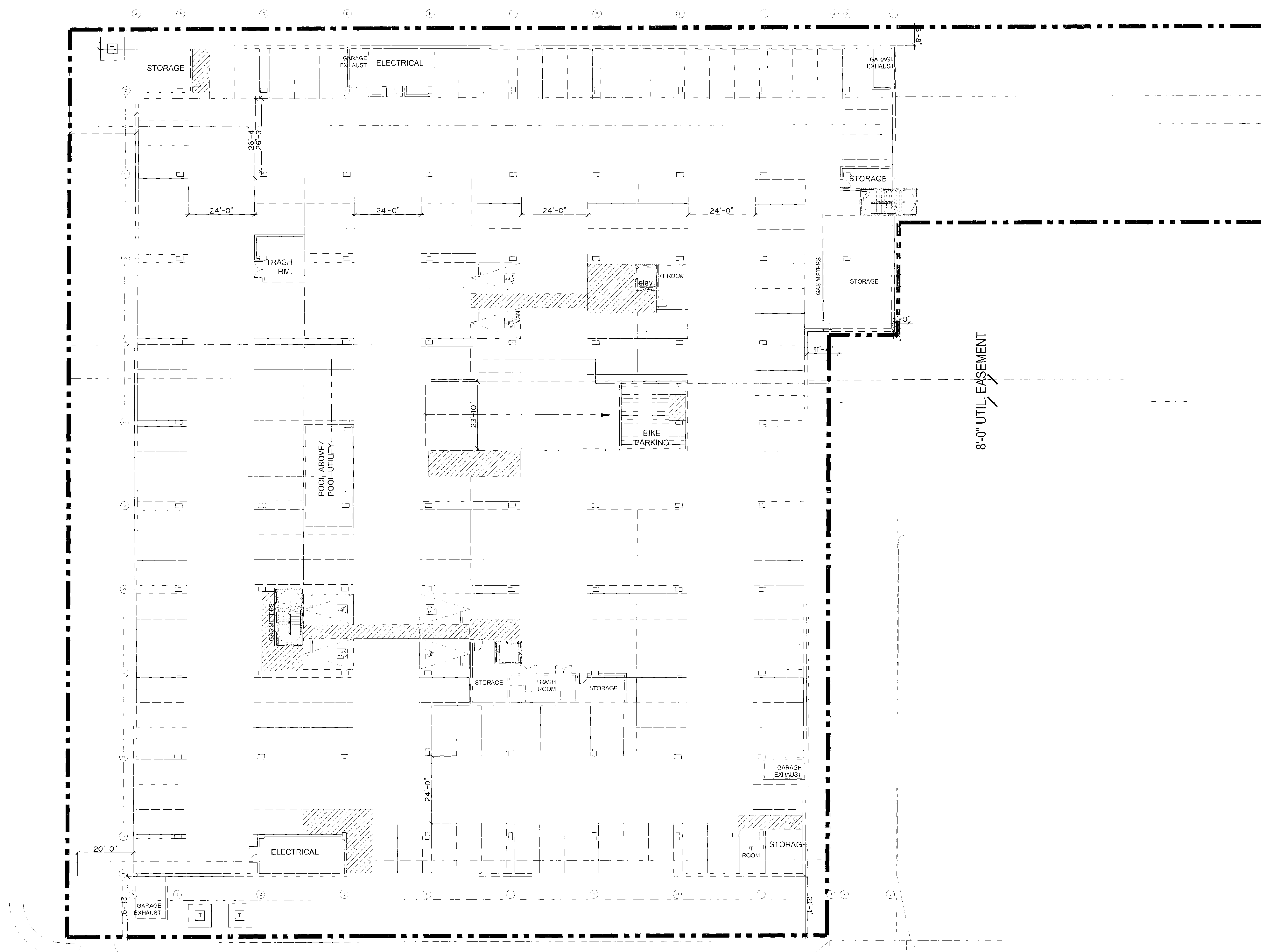
Project No. 2014-00018-000  
Schematic Design Set

February 24, 2015

Title: PARKING FLOOR  
PLAN

2/25/15

Sheet No. A-P01



8'-0" UTIL. EASEMENT

RESIDENT/GUEST  
ENTRY

1  
A-P01 P1 FLOOR PLAN  
SCALE: 1" = 20'

4-16-15





1 ENTRY VIEW  
A-006 SCALE:NTS



2 ENTRY VIEW  
A-006 SCALE:NTS



3 EARLL FRONTAGE VIEW  
A-006 SCALE:NTS



4 ENTRY VIEW - PEDESTRIAN ACCESS  
A-006 SCALE:NTS



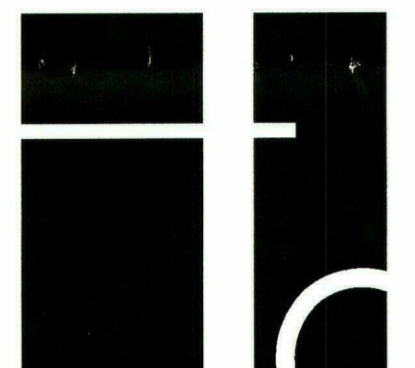
5 EAST EARLL DRIVE VIEW  
A-006 SCALE:NTS



6 VIEW FROM PHASE I ENTRY  
A-006 SCALE:NTS



STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
4-16-15  
DATE INITIALS



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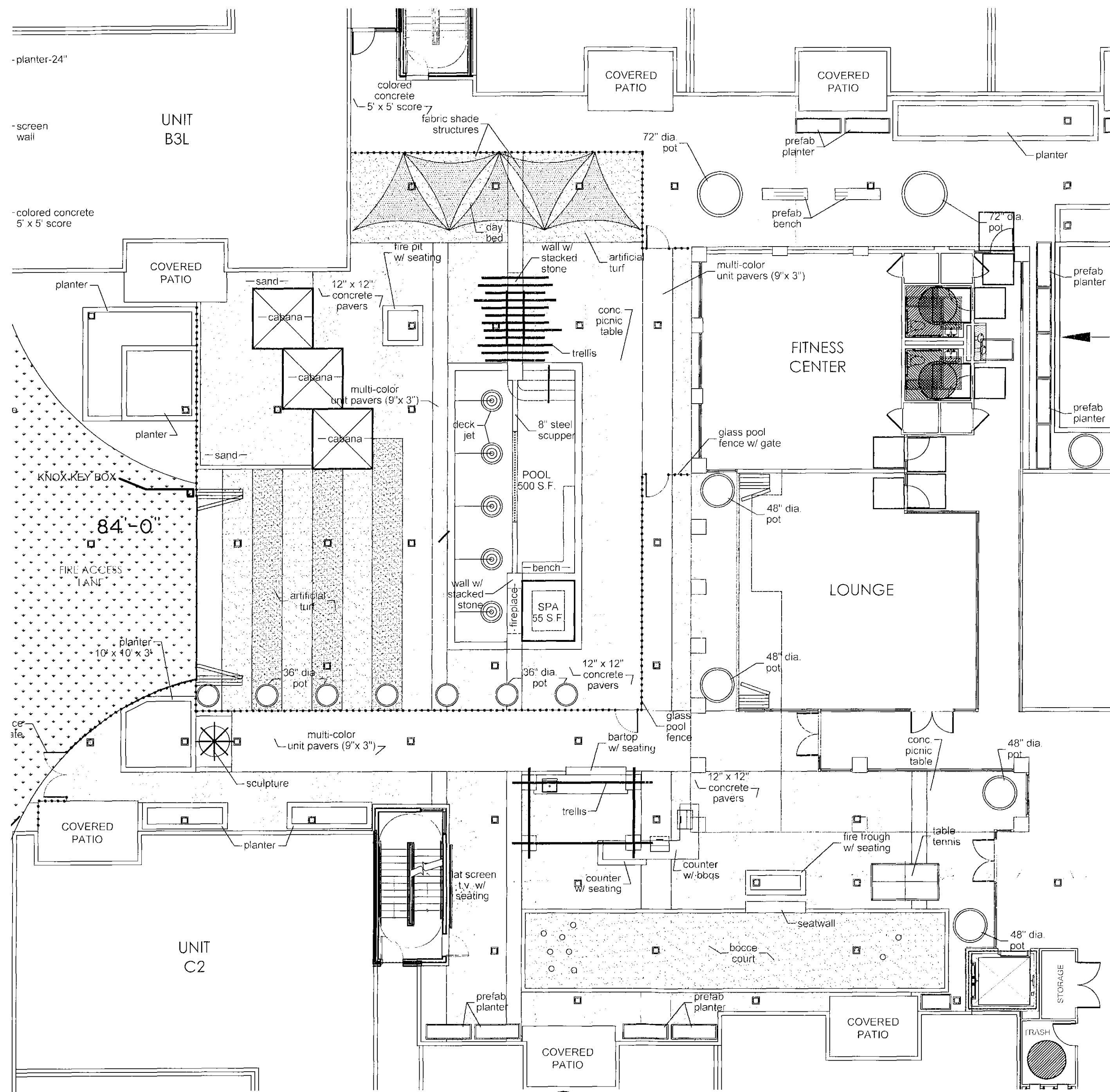
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4-16-15  
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Project No. 2014-00018-000  
Schematic Design Set  
February 24, 2015

Title: PROJECT  
PERSPECTIVES

Sheet No. A-501



**HARDSCAPE PLAN: COURTYARD**

0' 5' 10' 20'  
SCALE: 1" = 10'-0"

**HARDSCAPE LEGEND**

**SURFACE MATERIALS**

[Symbol]	1/2" SCREENED GRANITE (4" MIN. DEPTH) COLOR: TBD, (BY)	S.F.
[Symbol]	ARTIFICIAL TURF (SEE NUMBERED LEGEND ABOVE FOR SPECS)	S.F.
[Symbol]	MID-IRON SOD SPECS:	S.F.
[Symbol]	CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
[Symbol]	CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
[Symbol]	UNIT PAVER (REFER TO DETAIL 00/LX.X) COLOR: TBD, SIZE: 9" x 3" x" UNITS, (BY)	S.F.
[Symbol]	COLORED CONCRETE (REFER TO DETAIL 00/LX.X) SIZE: 5' x 5' SCORE, COLOR: TBD	S.F.
[Symbol]	COMPACTED 1/4" MINUS DECOMPOSED GRANITE (4" MIN. DEPTH), COLOR: TBD	S.F.
[Symbol]	UNIT PAVERS (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: TBD, PATTERN: HERRINGBONE	S.F.
[Symbol]	-- OPEN --	S.F.
[Symbol]	-- OPEN --	S.F.

**DRAINAGE**

[Symbol]	NYLOPLAST DOME DRAIN W/ DROP IN GRATE -LIGHT DUTY, 8" STANDARD	QTY
[Symbol]	NOTE: ALL DRAINS WITHIN BOUNDARIES OF UNDERGROUND PARKING GARAGE TO BE TIED INTO PROPOSED DRAINAGE SYSTEMS - SEE CIVIL PLANS	X

**LOW VOLTAGE LIGHTING LEGEND**

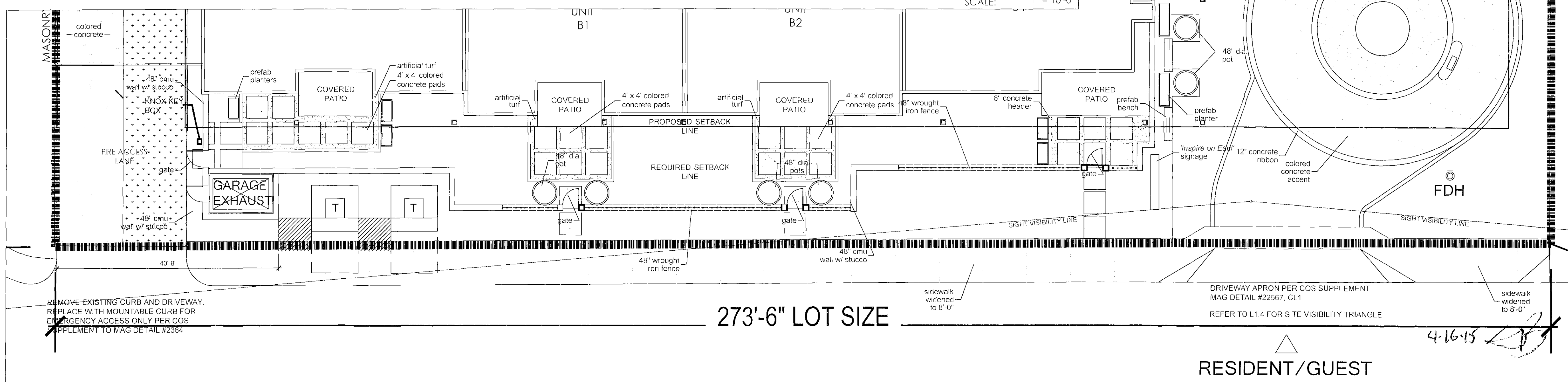
[Symbol]	1. UPLIGHT (TREES) MODEL: MU-35H (MACCHIAULTIMO), COLOR: BLACK	QTY
[Symbol]	2. WALL LIGHT MODEL: FX LOUVER MASSIMO, COLOR: BLACK	49
[Symbol]	3. WALL LIGHT MODEL: FX LOUVER MASSIMO, COLOR: BLACK	40
[Symbol]	LT LOW VOLTAGE TRANSFORMER (AS NEEDED) MODEL: FX POTENZA X-PX600/PX900	1

**SITE LIGHTING LEGEND**

[Symbol]	3. BOLLARD (BLACK) MODEL: SL3-UV LED (BY KIM LIGHTING)	QTY
[Symbol]		22

**HARDSCAPE PLAN: STREETSCAPE**

0' 5' 10' 20'  
SCALE: 1" = 10'-0"



**273'-6" LOT SIZE**

REMOVE EXISTING CURB AND DRIVEWAY.  
REPLACE WITH MOUNTABLE CURB FOR  
EMERGENCY ACCESS ONLY PER COS  
SUPPLEMENT TO MAG DETAIL #2364

DRIVEWAY APRON PER COS SUPPLEMENT  
MAG DETAIL #22567, CL1

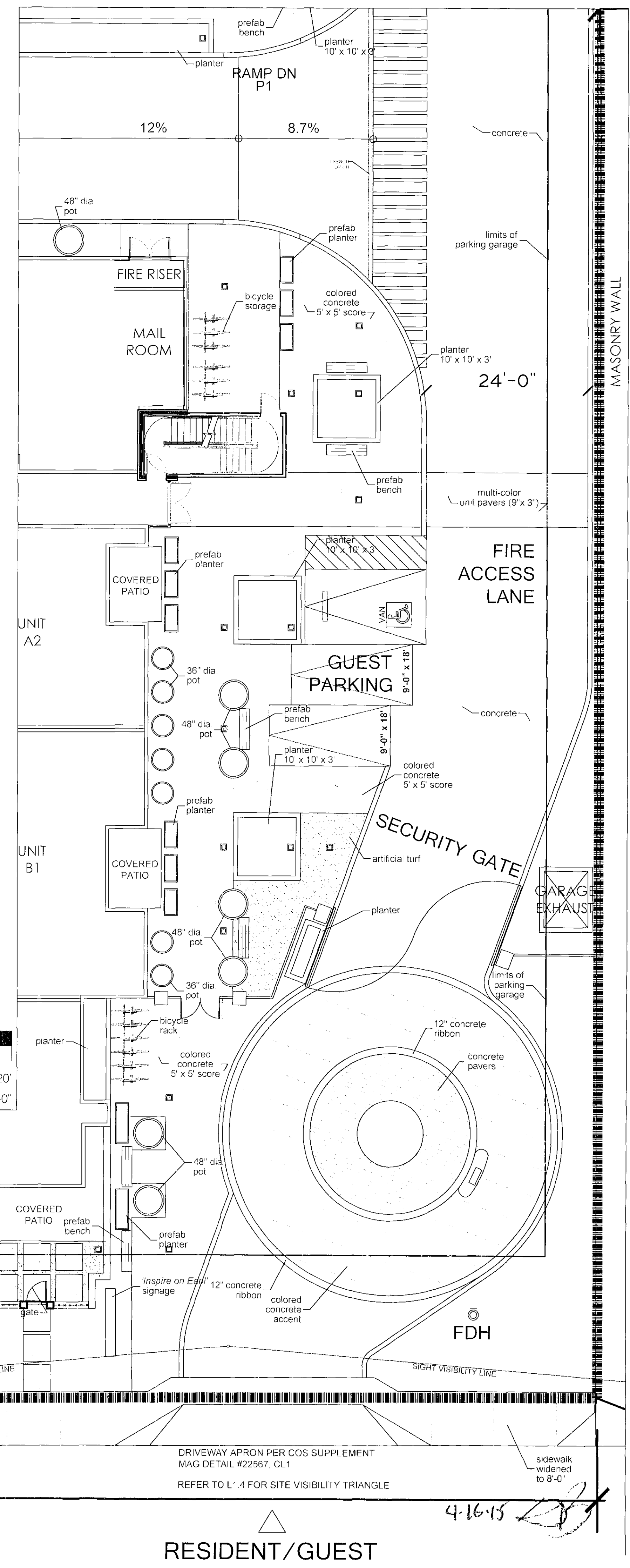
REFER TO L1.4 FOR SITE VISIBILITY TRIANGLE

sidewalk widened to 8'-0"

sidewalk widened to 8'-0"

RESIDENT/GUEST

4.16.15



Designed by: \_\_\_\_\_  
 Drawn by: DRE  
 Date Plotted: 05/25/2015  
 Title: Final Hardscape  
 Issue for: Final Approval  
 Scale: As Shown  
 Revision:  
 1 DATE COMMENTS  
 2 05/25/15 DRE CORRECTED  
 3 05/25/15 DRE CORRECTED

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**INSPIRE ON EARLL**  
 7300 E. EARLL DRIVE  
 SCOTTSDALE, AZ 85251

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

**HUMPHREYS & PARTNERS**  
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 GLENDALE, ARIZONA 85304  
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 HPA# 14458  
 LEAD OF FIRM: WALTER G. ANDERSON  
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SHEET CONTENTS  
 preliminary hardscape plan  
 SHEET NO.  
**L4.4**  
 HPA # 14458

431'-6" LOT SIZE

**HARDSCAPE LEGEND**

SURFACE MATERIALS		SI: QTY
	1/2" SCREENED GRANITE (4" MIN. DEPTH) COLOR: TBD, (BY)	S.F.
	ARTIFICIAL TURF (SEE NUMBERED LEGEND ABOVE FOR SPECS)	S.F.
	MID-IRON SOD SPECS:	S.F.
	CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
	CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
	UNIT PAVER (REFER TO DETAIL 00/LX.X) COLOR: TBD, SIZE: 9" x 3" x" UNITS, (BY)	S.F.
	COLORLED CONCRETE (REFER TO DETAIL 00/LX.X) SIZE: 5' x 5' SCORE, COLOR: TBD	S.F.
	COMPACTED 1/4" MINUS DECOMPOSED GRANITE (4" MIN. DEPTH), COLOR: TBD	S.F.
	UNIT PAVERS (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: TBD, PATTERN: HERRINGBONE	S.F.
	-- OPEN --	S.F.

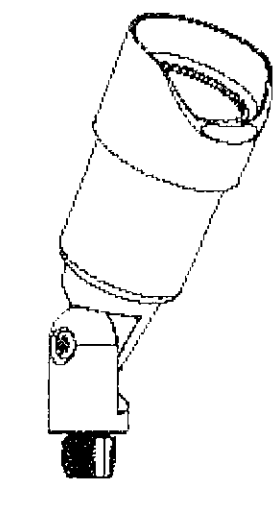
DRAINAGE		QTY
	NYLOPLAST DOME DRAIN W/ DROP IN GRATE -LIGHT DUTY, 8" STANDARD	X

NOTE: ALL DRAINS WITHIN BOUNDARIES OF UNDERGROUND PARKING GARAGE TO BE TIED INTO PROPOSED DRAINAGE SYSTEMS - SEE CIVIL PLANS

LOW VOLTAGE LIGHTING LEGEND		QTY
	1.UPLIGHT (TREES) MODEL: MU-35H (MACCHIAULTIMO), COLOR: BLACK	49
	2.WALL LIGHT MODEL: FX LOUVER MASSIMO, COLOR: BLACK	40
	LT LOW VOLTAGE TRANSFORMER (AS NEEDED) MODEL: FX POTENZA X-PX600/PX900	1

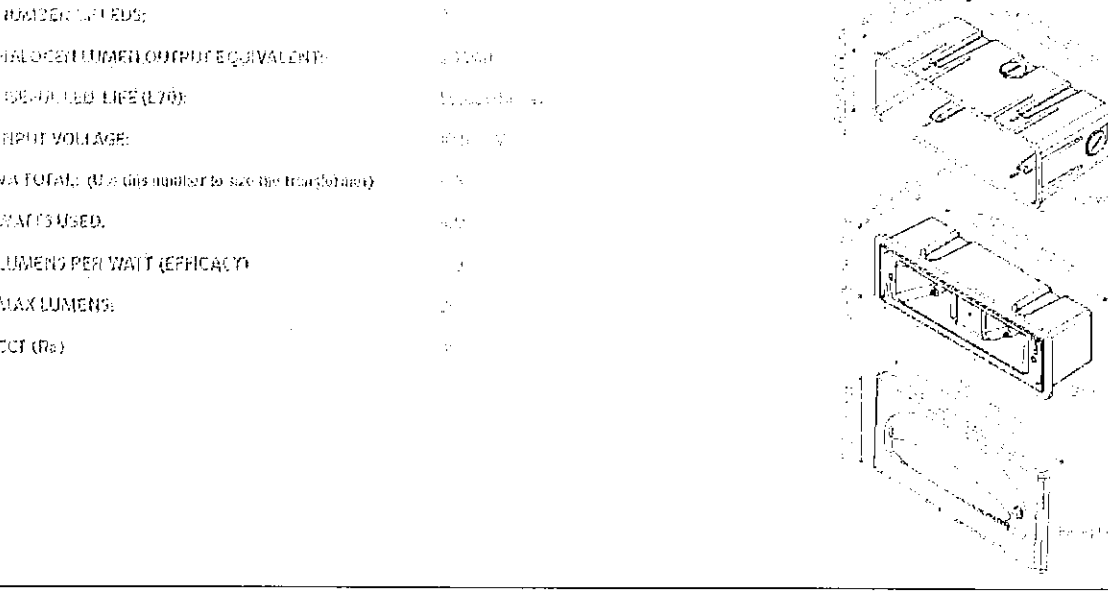
SITE LIGHTING LEGEND		QTY
	3.BOLLARD (BLACK) MODEL: SL3-UV LED (BY KIM LIGHTING)	22

**1.UPLIGHT**



20H	20 watt Halogen, wide, 36° beam, Avg. life 5000 hours, now available in 10000 hours (new)
20V-H	20 watt Halogen, very narrow, 10° beam, Avg. life 4000 hours
35H	35 watt Halogen, wide, 36° beam, Avg. life 5000 hours, now available in 10000 hours (new)
35V-H	35 watt Halogen, very narrow, 10° beam, Avg. life 5000 hours

**2.LOUVERED WALL LIGHT**



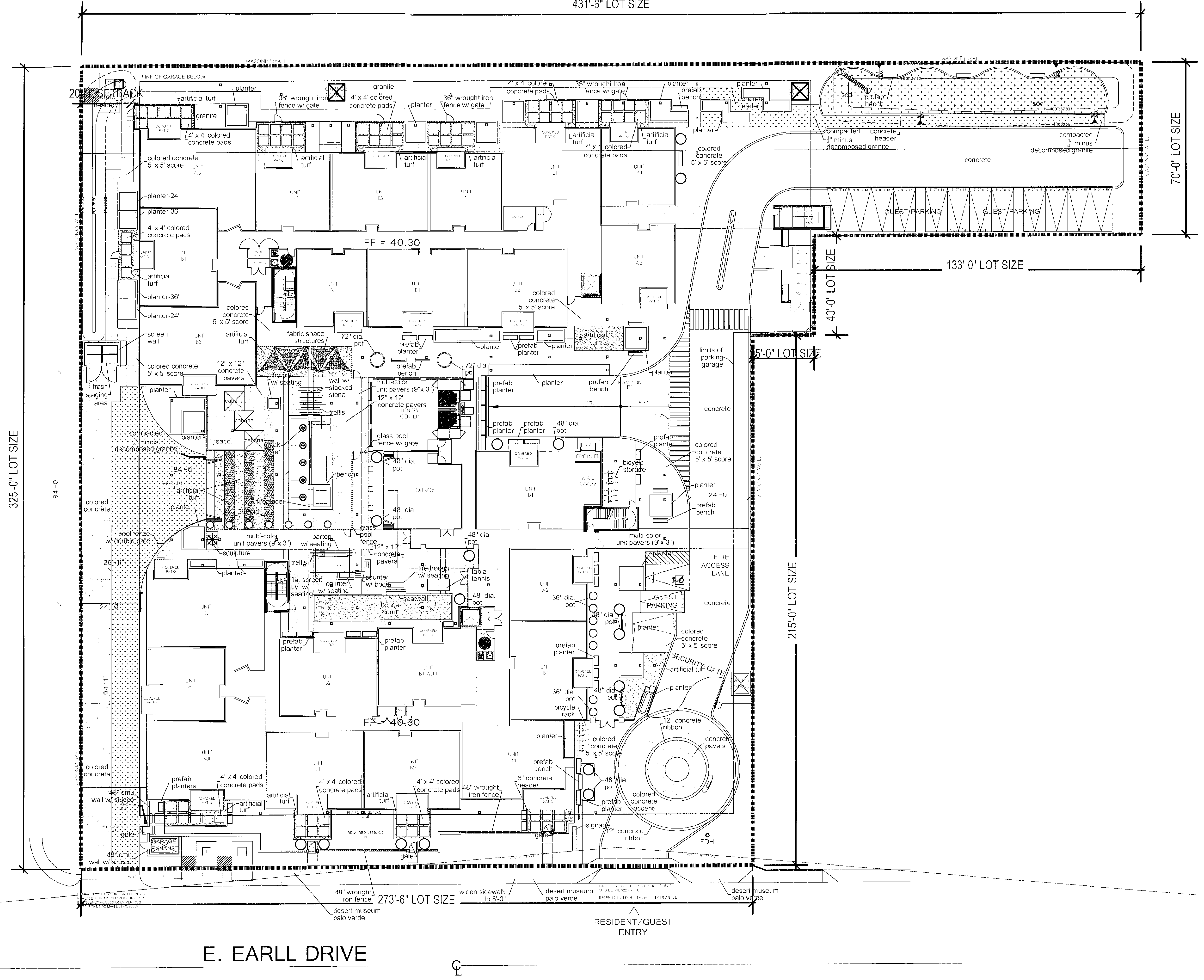
PRODUCT: LIT-1000  
 DIMENSIONS: 10" x 10" x 10"  
 WEIGHT: 1.5 lbs  
 MATERIAL: Aluminum  
 FINISH: Powder Coat  
 INSTALLATION: Surface Mount  
 ELECTRICAL: 120V AC, 15A  
 NOTES: See detail for mounting hardware.

**3.LED BOLLARD**

Cat. Nos. for LED Electrical Modules available:

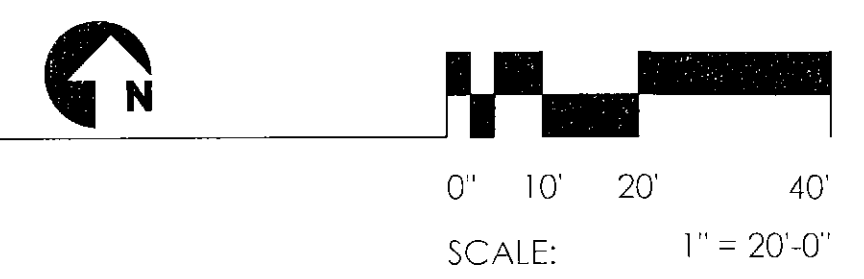
Source:	Color Temperature:	Voltage:
18L = 18 version	2K = 580nm - Amber	UV Universal Voltage shall range from 130V-277V
36L = 36 version	3K = 3000K	
	4K = 4200K	
	5K = 5100K	

UV 4-16-15



E. EARLL DRIVE

RESIDENT/GUEST ENTRY



**HARDSCAPE PLAN**

Designed by: **DRE**

Date: 12/25/15

Project: 150000000

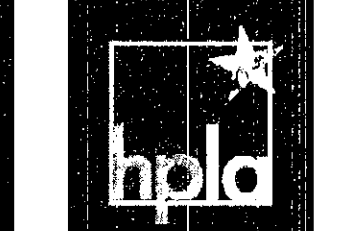
Sheet: L3.4

**INSPIRE ON EARLL**  
 7300 E. EARLL DRIVE  
 SCOTTSDALE, AZ 85251

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 7300 E. EARLL DRIVE, SUITE 100  
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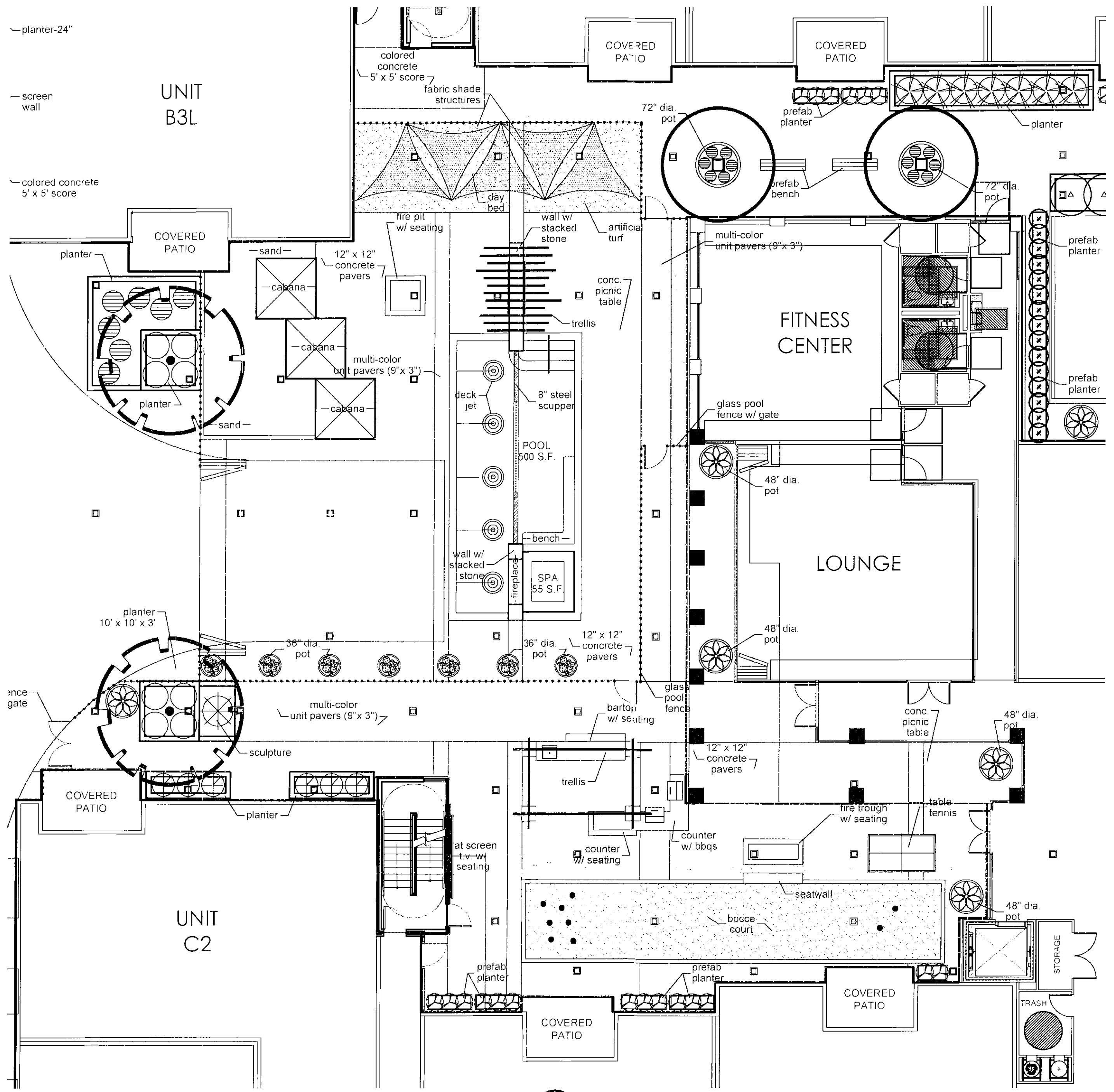


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 150000000  
 12/25/15

SHEET CONTENTS  
 preliminary hardscape plan

SHEET NO.  
**L3.4**

HPA # 14458



LANDSCAPE PLAN: COURTYARD

0' 5' 10' 20'  
SCALE: 1" = 10'-0"

### PLANT PALETTE

TREES	SIZE/QTY
WASHINGTONIA ROBUSTA	18'-20" HT.   03 SKINNED
MEXICAN FAN PALM	4" CAL.   05 MULTI-TRUNK
PARKINSONIA xDESERT MUSEUM	3" CAL.   04 SINGLE-TRUNK
DESERT MUSEUM PALO VERDE	3" CAL.   13 SINGLE-TRUNK
BAUHINIA LUNARIODES	3" CAL.   14 SINGLE-TRUNK
ANACACHO ORCHID	3" CAL.   11 SINGLE-TRUNK
PROSOPIS GLANDULOSA	3" CAL.   04 SINGLE-TRUNK
TEXAS HONEY MESQUITE	
DALBERGIA SISSOO	
SISSOO TREE	
ACACIA ANEURA	
MULGA ACACIA	
MYRTUS COMMUNIS 'BOETICA'	
TWISTED MYRTLE	

SHRUBS	SIZE/QTY
CAESALPINIA MEXICANA	5 GAL.   05
RED BIRD OF PARADISE	5 GAL.   18
CALLIANDRA ERIOPHYLLA	5 GAL.   07
PINK FAIRY DUSTER	5 GAL.   14
RUPELLIA PENINSULARIS	5 GAL.   14
BAJA RUPELLIA	5 GAL.   08
EREMOPHILA MACULATA 'VALENTINE'	5 GAL.   25
VALENTINE EMU BUSH	5 GAL.   25
CALLIANDRA ERIOPHYLLA	5 GAL.   25
BAJA FAIRY DUSTER	5 GAL.   25
YAUQUELINIA CALIFORNICA	5 GAL.   24
ARIZONA ROSEWOOD	5 GAL.   60
TECOMA STANS 'ORANGE JUBILEE'	15 GAL.   12
ARIZONA ORANGE BELLS	5 GAL.   50
MUHLENBERGIA RIGENS	
DEER GRASS	
SALVIA GREGGII	
AUTUMN SAGE	
TECOMA STANS	
ARIZONA YELLOW BELLS	
DERMATOPHYLLUM SECUNDIFLORA	
TEXAS MOUNTAIN LAUREL	
DODONAEA VISCOSA	
HOPSEED BUSH	

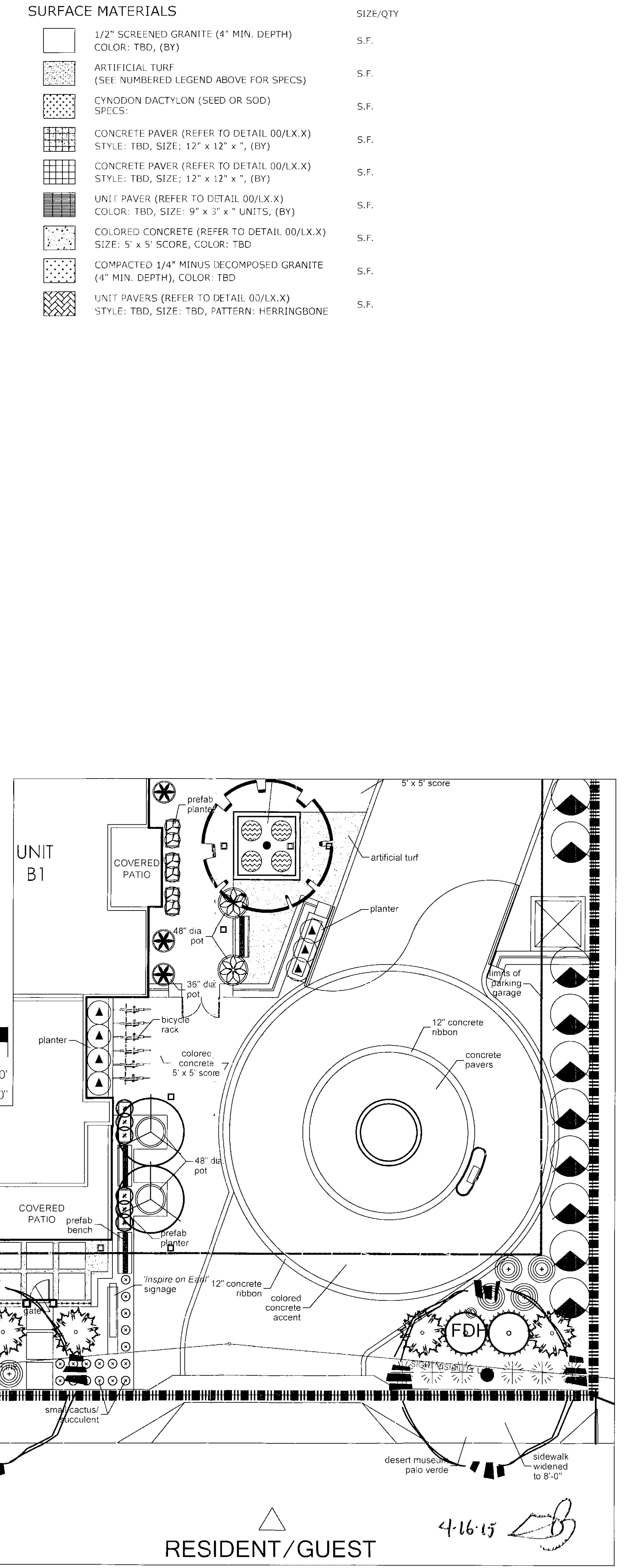
GROUNDCOVERS   VINES	SIZE/QTY
LANTANA MONTEVIDENSIS	1 GAL.   64
PURPLE TRAILING LANTANA	1 GAL.   49
LANTANA CAMARA 'NEW GOLD'	5 GAL.   11
NEW GOLD LANTANA	
BOUGAINVILLEA xBARBARA KARST	
BARBARA KARST BOUGAINVILLEA	

CACTI   SUCCULENTS	SIZE/QTY
AGAVE WEPERI	15 GAL.   12
WEBER'S AGAVE	5 GAL.   07
DASYLIRON WHEELERI	15 GAL.   07
DESERT SPOON	5 GAL.   06
LOPHOCEREUS SCHOTTII	5 GAL.   31
TOTEM POLE CACTUS	5 GAL.   17
HESPERALOE PARVIFLORA	
RED YUCCA	
EUPHORBIA LOMELII	
LADY SLIPPER	
ECHINOCACTUS HORIZONTALONIS	
BLUE BARREL CACTUS	

LANDSCAPE PLAN: STREETScape

0' 5' 10' 20'  
SCALE: 1" = 10'-0"



These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

**HUMPHREYS & PARTNERS ARCHITECTS L.P.**  
 2025 ALPHABET DRIVE SUITE 300  
 PHOENIX, AZ 85024  
 TEL: 602.955.1234 FAX: 602.955.1235  
 WWW.HUMPHREYS-PA.COM

**hpl**  
 humphreys and partners  
 landscape architecture, llc  
 1000 W. WASHINGTON AVENUE SUITE 100  
 PHOENIX, AZ 85001  
 TEL: 602.251.1111 FAX: 602.251.1112  
 WWW.HUMPHREYS-PA.COM

SHEET CONTENTS:  
 preliminary landscape plan

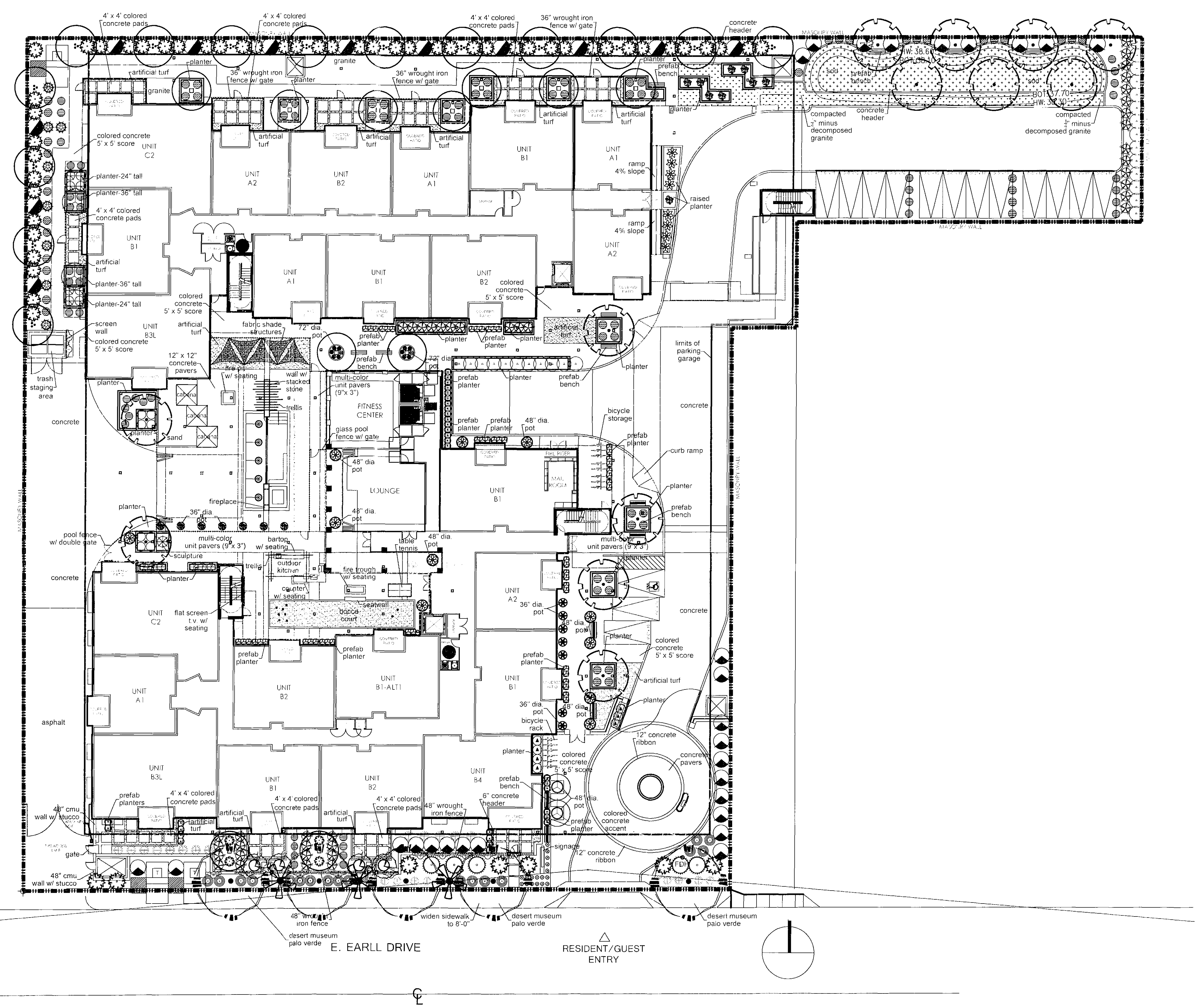
SHEET NO.  
**L2.4**

HPA # 14458

E. EARLL DRIVE

RESIDENT/GUEST

4-16-15



### PLANT PALETTE

TREES	SIZE/QT'
WASHINGTONIA ROBUSTA	18'-20' T   03
MEXICAN FAN PALM	SKINNE'
PARKINSONIA XDESERT MUSEUM	4" CAL   05
DESERT MUSEUM PALO VERDE	MULTI-TRUNK
BAUHINIA LUNAROIDES	3" CAL   04
ANACACHO ORCHID	SINGLE TRUNK
PROSOPIS GLANDULOSA	3"-4" CAL   13
TEXAS HONEY MESQUITE	SINGLE TRUNK
DALBERGIA SISSOO	3"-4" CAL   14
SISSOO TREE	SINGLE TRUNK
ACACIA ANEURA	3" CAL   11
MULGA ACACIA	SINGLE TRUNK
MYRTUS COMMUNIS 'BOETICA'	3" CAL   04
TWISTED MYRTLE	SINGLE TRUNK

SHRUBS	SIZE/QT'
CAESALPINIA MEXICANA	5 GAL   05
RED BIRD OF PARADISE	
CALLIANDRA ERIOPHYLLA	5 GAL   18
PINK FAIRY DUSTER	
RUELLIA PENINSULARIS	5 GAL   07
BAJA RUELLIA	
EREMOPHILA MACULATA 'VALENTINE'	5 GAL   14
VALENTINE EMU BUSH	
CALLIANDRA ERIOPHYLLA	5 GAL   08
BAJA FAIRY DUSTER	
VAUQUELINIA CALIFORNICA	5 GAL   25
ARIZONA ROSEWOOD	
TECOMA STANS 'ORANGE JUBILEE'	5 GAL   25
ARIZONA ORANGE BELLS	
MUHLENBERGIA RIGENS	5 GAL   41
DEER GRASS	
SALVIA GREGGII	5 GAL   24
AUTUMN SAGE	
TECOMA STANS	5 GAL   60
ARIZONA YELLOW BELLS	
DERMATOPHYLLUM SECUNDIFLORA	15 GAL   12
TEXAS MOUNTAIN LAUREL	
DODONAEA VISCOSA	5 GAL   50
HOPSEED BUSH	

GROUNDCOVERS   VINES	SIZE/QT'
LANTANA MONTEVIDENSIS	1 GAL   64
PURPLE TRAILING LANTANA	
LANTANA CAMARA 'NEW GOLD'	1 GAL   49
NEW GOLD LANTANA	
BOUGAINVILLEA xBARBARA KARST	5 GAL   11
BARBARA KARST BOUGAINVILLEA	

CACTI   SUCCULENTS	SIZE/QT'
AGAVE WEBERI	15 GAL   12
WEBER'S AGAVE	
DASYLIRION WHEELERI	5 GAL   07
DESERT SPOON	
LOPHOCEREUS SCHOTTII	15 GAL   07
TOTEM POLE CACTUS	
HESPERALOE PARVIFLORA	5 GAL   06
RED YUCCA	
EUPHORBIA LOMELII	5 GAL   31
LADY SLIPPER	
ECHINOCACTUS HORIZONTHALONIUS	5 GAL   17
BLUE BARREL CACTUS	

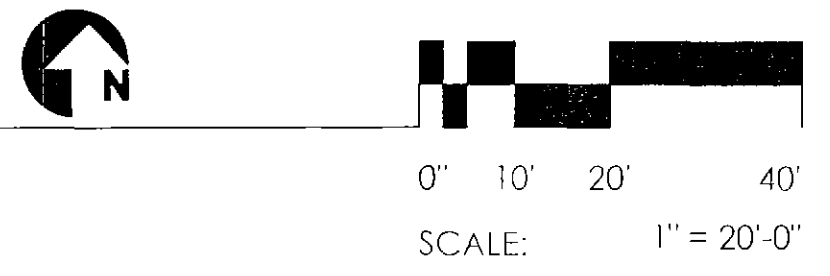
  

SURFACE MATERIALS	SIZE/QT'
1/2" SCREENED GRANITE (4" MIN. DEPTH) COLOR: TBD, (BY)	S.F.
ARTIFICIAL TURF (SEE NUMBERED LEGEND ABOVE FOR SPECS)	S.F.
CYNODON DACTYLON (SEED OR SOD) SPECS:	S.F.
CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
CONCRETE PAVER (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: 12" x 12" x", (BY)	S.F.
UNIT PAVER (REFER TO DETAIL 00/LX.X) COLOR: TBD, SIZE: 9" x 3" x" UNITS, (BY)	S.F.
COLORLED CONCRETE (REFER TO DETAIL 00/LX.X) SIZE: 5' x 5' SCORE, COLOR: TBD	S.F.
COMPACTED 1/4" MINUS DECOMPOSED GRANITE (4" MIN. DEPTH), COLOR: TBD	S.F.
UNIT PAVERS (REFER TO DETAIL 00/LX.X) STYLE: TBD, SIZE: TBD, PATTERN: HERRINGBONE	S.F.

Project No.	DR
Client	DR
Scale	1" = 20'-0"
Date	4-16-15
Sheet No.	L1.4

INSPIRE ON EARLL  
7300 E. EARLL DRIVE  
SCOTTSDALE, AZ 85251

## LANDSCAPE PLAN



### GENERAL LANDSCAPE CALCULATIONS

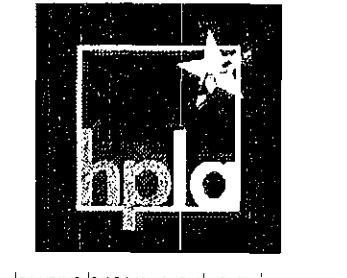
TOTAL LOT AREA	100,980 S.F.
TOTAL LANDSCAPE AREA PROVIDED	13,400 S.F.
TOTAL RIGHT OF WAY	600 S.F.
TOTAL PARKING LOT LANDSCAPE AREA	715 S.F.

### WATER INTENSIVE LANDSCAPE CALCS

TOTAL LOT AREA	100,980 S.F.
10% OF FIRST 9,000 S.F.	900 S.F.
5% OF REMAINING LOT AREA UP TO 217,800 S.F.	5,004 S.F.
TOTAL ALLOWABLE	5,004 S.F.
TOTAL TURF AREA PROVIDED	1,870 S.F.
TOTAL PLANT MATERIAL AREA	10,630 S.F.
TOTAL LANDSCAPE AREA PROVIDED	12,500 S.F.

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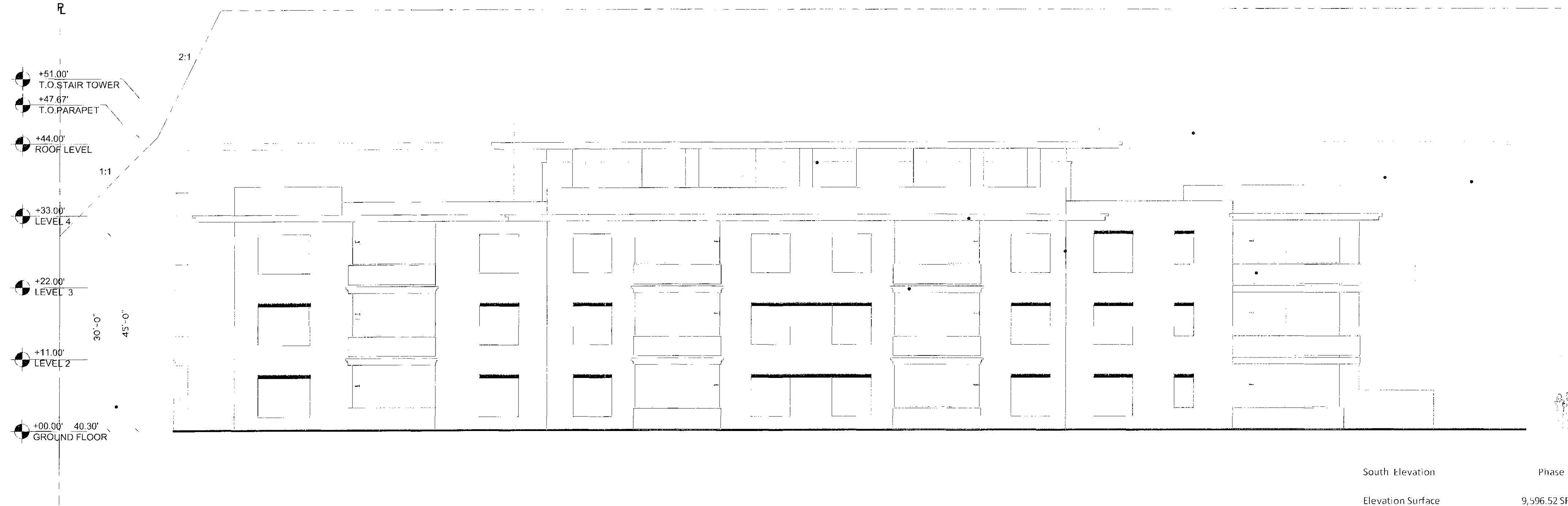


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DALLAS, TEXAS 75202  
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SHEET CONTENTS:  
preliminary  
landscape plan

SHEET NO.  
**L1.4**

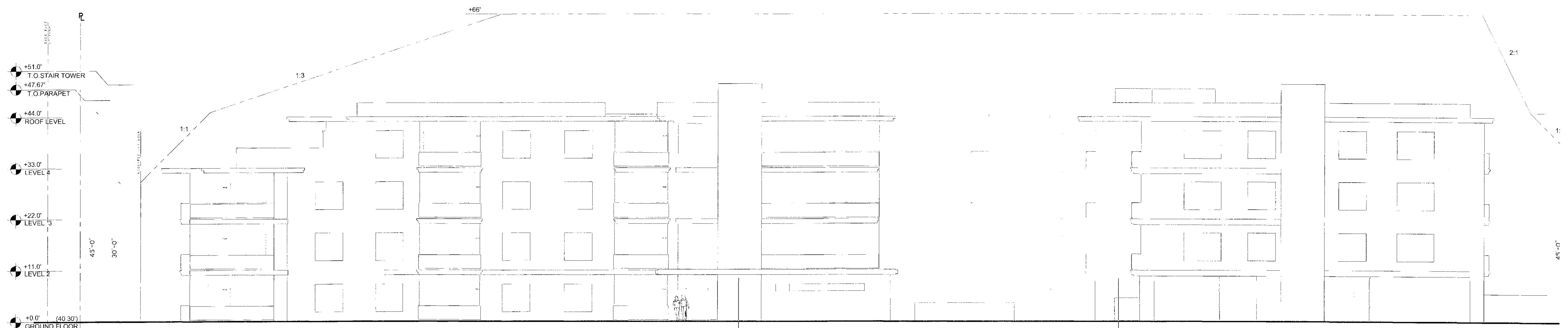
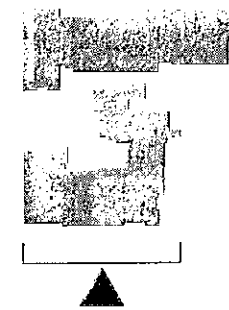
HPA # 14458



South Elevation	Phase I
Elevation Surface	9,596.52 SF
Projected Surface	393.88 SF
Percentage of Projected Surface	4%

2 PHASE I - SOUTH ELEVATION

A-207 SCALE: 3/32" = 1'-0"

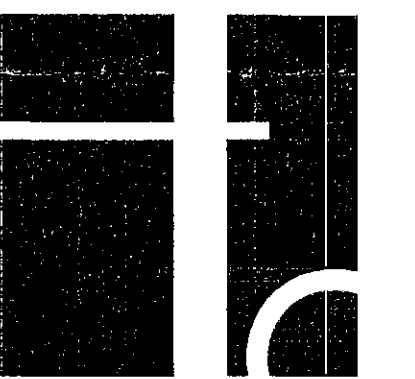


East Elevation	Phase I
Elevation Surface	6,581.44 SF
Projected Surface	367.60 SF
Percentage of Projected Surface	6%

East Elevation	Phase II
Elevation Surface	3,952.20 SF
Projected Surface	0.00 SF
Percentage of Projected Surface	0%

1 EAST ELEVATION

A-207 SCALE: 3/32" = 1'-0"



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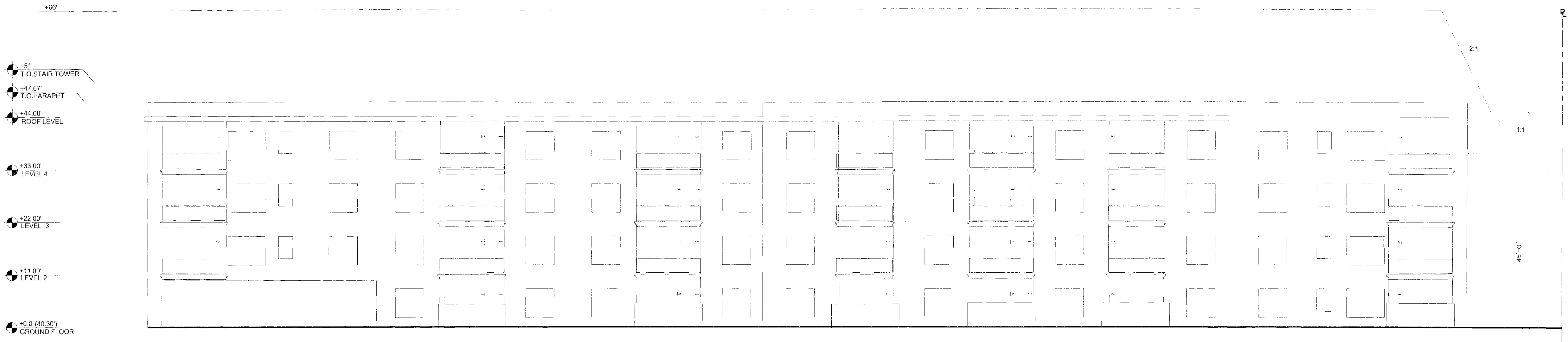
Project No. 2014-00018-000  
Schematic Design Set

February 24, 2015

Title: ELEVATIONS WORKSHEET  
PHASE I

Sheet No. A-207

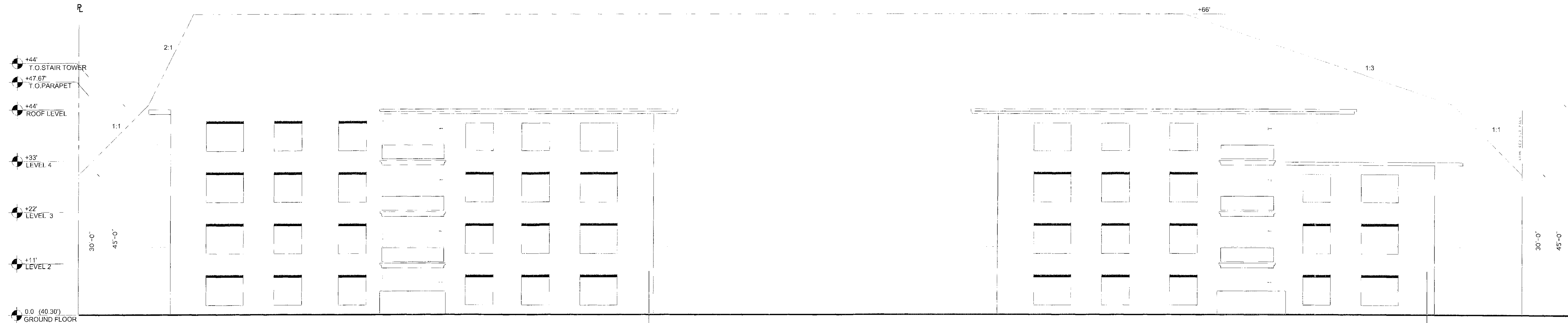
4-16-15



North Elevation	Phase II
Elevation Surface	12,972.00 SF
Projected Surface	930.30 SF
Percentage of Projected Surface	7%

2 NORTH ELEVATION

A-208 SCALE: 3/32" = 1'-0"

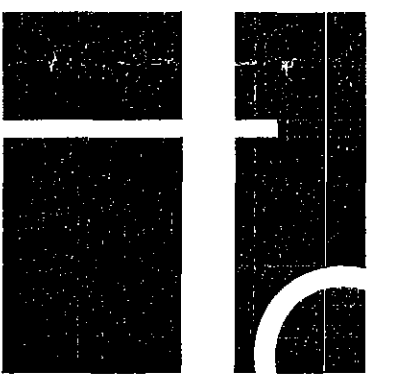


West Elevation	Phase I
Elevation Surface	4,547.97 SF
Projected Surface	132.90 SF
Percentage of Projected Surface	3%

West Elevation	Phase II
Elevation Surface	4,547.97 SF
Projected Surface	132.90 SF
Percentage of Projected Surface	3%

1 WEST ELEVATION

A-208 SCALE: 3/32" = 1'-0"



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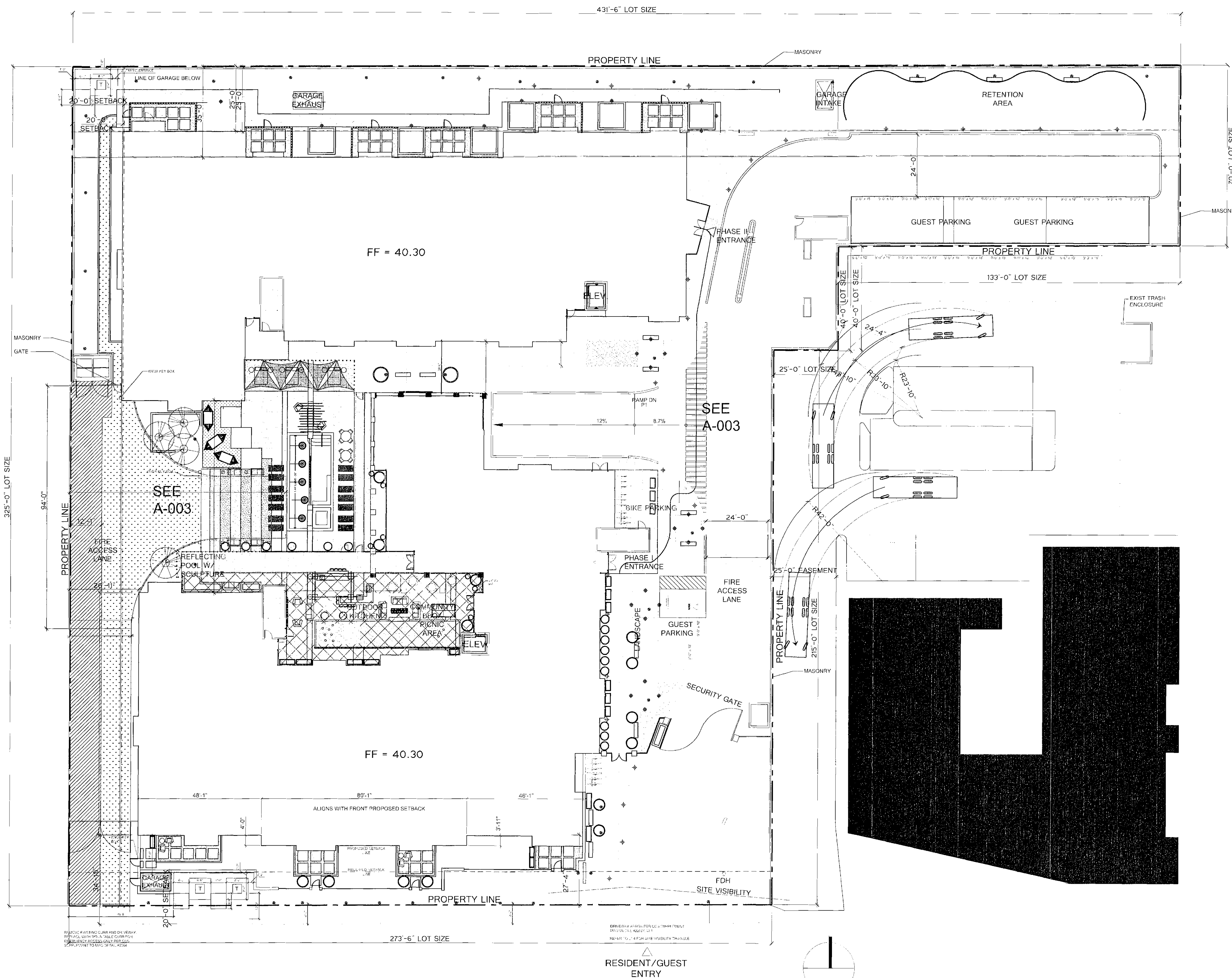
Project No. 2014 00018 000  
Schematic Design Set

February 24, 2015

Title: ELEVATIONS WORKSHEET  
PHASE II

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.

Sheet No. A-208



E. EARLL DRIVE



4-16-15

Owner	DECO, 8135 East Indian Bend Road, Suite #101, Scottsdale, Arizona
Contact	Dan Richards (480)609-6779
Project Address	7300 Earll Street, Scottsdale, Arizona
Previous Case Number	33-DR-2007#3
Current Case Number	TBD
Use	Multi-Family Residential
Zone	Downtown/Office Residential Type 2 Downtown Overlay (D/OR-2 DO)
Open space req'd	None
Existing Use	Two vacant warehouse buildings
Net Site Area	2.317 acre (100,941 sf)
Gross Site Area	2.568 acre (111,880 sf)
Proposed Use	Two 4-story condominium buildings
Building Height Allowed	50 feet (not more than five levels) for residential use
Building Height Proposed	50 feet (not including mechanical screen walls)
Number of Units Allowed	128
Number of Units Proposed	97 (subject to revision as Schematic Design progresses)
Parking Required	169
Parking Proposed	187 (subject to revision as Schematic Design progresses)
Max. FAR Allowed	1.5
FAR Proposed	1.47 (subject to revision as Schematic Design progresses)
Gross Building Unit SF	157,605
Maximum FAR Square Footage	159,474
Building Envelope (included step back)	Yards: Property in the Downtown Civic Center - Type 2 or Downtown Multiple Use - Type 2 Areas not described above: The stepback plane shall incline at a ratio of 1:1, beginning thirty (30) feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to forty-five (45) feet; and beginning at forty-five (45) feet, incline at a ratio of 2:1.

LEVEL	UNIT TYPE	UNIT MATRIX PHASE I									TOTAL TRAD	TOTAL LOFT	TOTAL
		A1 1 BEDROOM	A2 1 BEDROOM	B1 2 BEDROOM	B2 2 BEDROOM	B3 2 1/2 BEDROOM	B4 2 BEDROOM	B5 2 BEDROOM	C1 2 BEDROOM	C2 2 BEDROOM			
LEASABLE AREA	822 SF	894 SF	1,118 SF	1,110 SF	1,174 SF	1,188 SF	1,236 SF	1,370 SF	1,530 SF	1,530 SF			
GROUND FLR	1	2	3	2	0	1	0	0	1	1	10	1	11
2ND FLR	1	1	3	2	0	1	1	1	1	1	11	1	12
3RD FLR	1	1	3	2	0	1	1	1	1	1	11	1	12
4TH FLR	1	1	2	1	0	0	1	1	1	0	8	0	8
	4	5	11	7	0	3	3	3	4	3	40	3	43
PARKING REQUIRED	4	5	22	14	0	6	6	6	8	6			77
PARKING PROVIDED	4	5	22	14	0	6	6	6	8	6			77

LEVEL	UNIT TYPE	UNIT MATRIX PHASE II									TOTAL TRAD	TOTAL LOFT	TOTAL
		A1 1 BEDROOM	A2 1 BEDROOM	B1 2 BEDROOM	B2 2 BEDROOM	B3 2 BEDROOM	B4 2 BEDROOM	B5 2 BEDROOM	C1 2 BEDROOM	C2 2 BEDROOM			
LEASABLE AREA	893 SF	893 SF	1,102 SF	1,109 SF	1,171 SF	1,182 SF	1,225 SF	1,372 SF	1,520 SF	1,520 SF			
GROUND FLR	3	1	3	3	0	0	0	0	1	1	11	1	12
2ND FLR	2	2	4	2	1	0	0	1	1	1	13	1	14
3RD FLR	2	2	4	2	1	0	0	1	1	1	13	1	14
4TH FLR	2	2	4	2	1	0	0	1	1	1	13	1	14
	9	7	15	9	3	0	0	3	4	4	50	4	54
PARKING REQUIRED	9	7	30	18	6	0	0	6	8	8			92
PARKING PROVIDED	9	7	30	18	6	0	0	6	8	8			92

PROJECT TOTAL													
PHASE I + II	13		26		3	3		6	8	7			66
PARKING	GARAGE STANDARD		GARAGE ACCESSIBLE		SURFACE VISITOR PARKING		SURFACE VISITOR ACCESSIBLE						
TOTAL	174		7		14		1						196

BICYCLE PARKING		NOTES
REQUIRED	20	1. REFER TO LANDSCAPE PLAN FOR PAVEMENT TYPES, MATERIALS, COLOR AND LOCATIONS
PROVIDED	35	2. SOLID WASTE SEQUENCE OF OPERATION: a. EACH FLOOR OF BOTH BUILDINGS WILL BE EQUIPPED WITH DUAL TRASH CHUTES, ONE FOR SOLID WASTE AND ONE FOR RECYCLING, IN EACH TRASH ROOM. THE SOLID WASTE WILL BE COMPACTED IN A HORIZONTAL COMPACTOR. RECYCLING MATERIALS WILL BE RETAINED IN A 3 CUBIC YARD CONTAINER. b. A SPARE CONTAINER WILL BE MAINTAINED IN EACH TRASH ROOM LOCATED IN THE GARAGE. c. AT THE TIME OF PICKUP, EACH CONTAINER WILL BE MECHANICALLY PULLED OUT OF THE GARAGE AND TRANSPORTED TO AN ENCLOSED PICK-UP POINT IN THE NORTHWEST SIDE OF THE SITE, IMMEDIATELY NORTH OF THE FIRE DEPARTMENT HAMMER HEAD. d. FOLLOWING PICK-UP, THE EMPTY CONTAINER WILL BE RETURNED TO ITS RESPECTIVE TRASH ROOM.



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Schematic Design Set

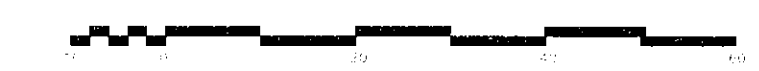
February 24, 2015

Title: SITE

2/25/15

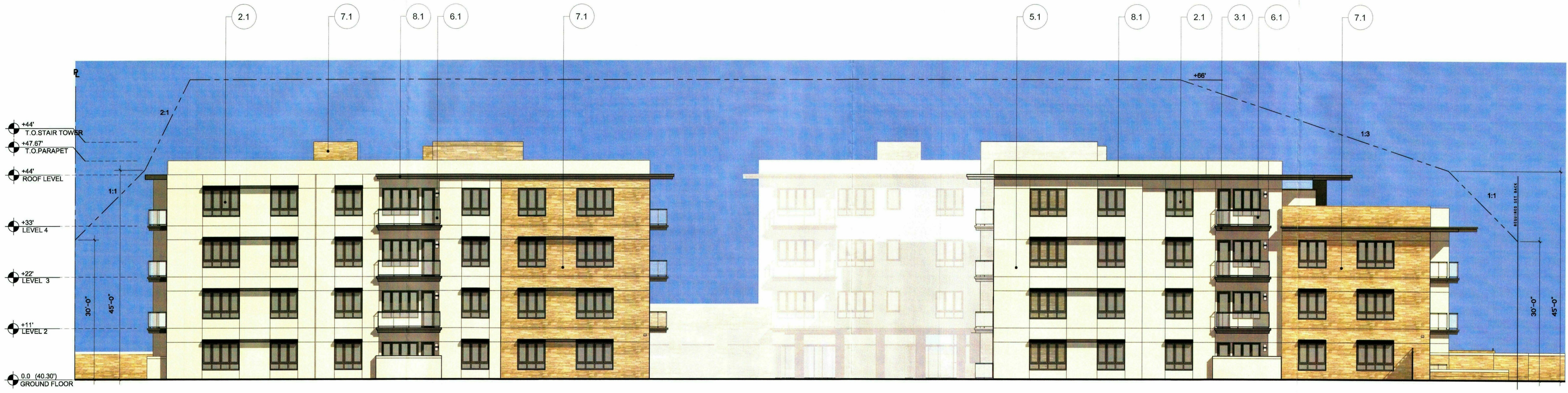
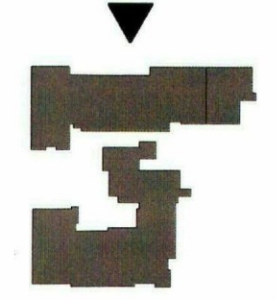
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4-16-15

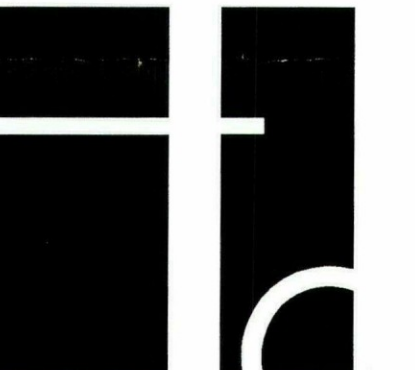
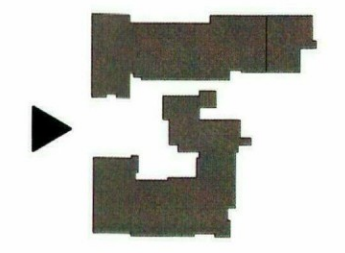




**2** NORTH ELEVATION  
A-202 SCALE: 3/32" = 1'-0"



**1** WEST ELEVATION  
A-202 SCALE: 3/32" = 1'-0"



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December 29, 2014

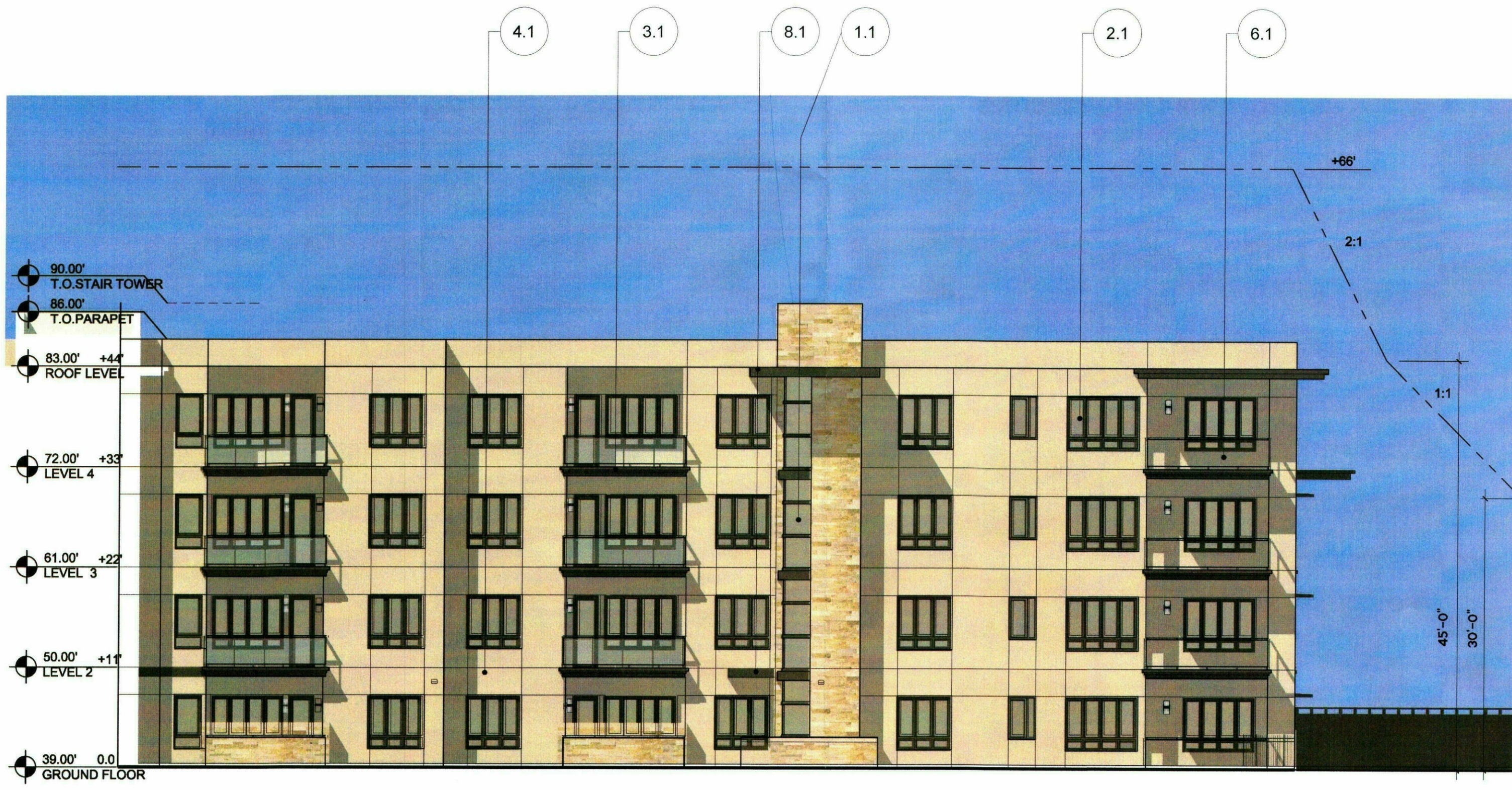
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NORTH &  
WEST

51-DR-2014  
12/30/2014

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.

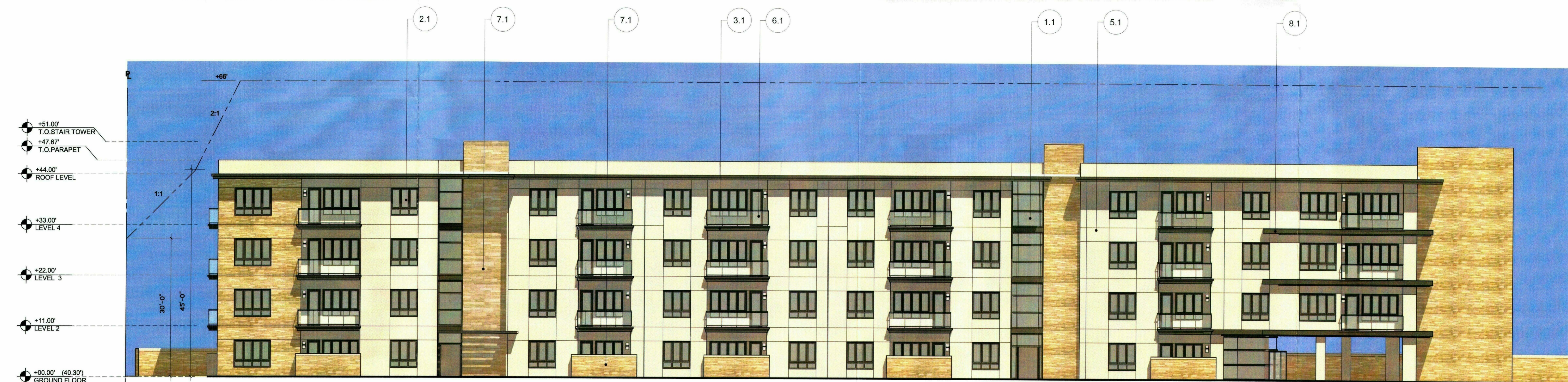


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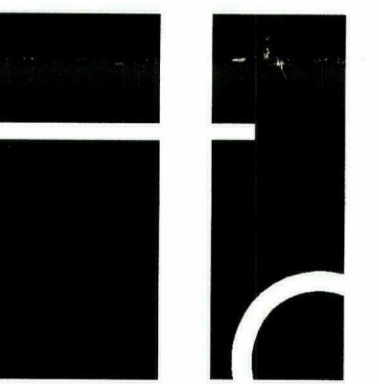


2 COURTYARD - NORTH ELEVATION (PHASE I)  
A-203 SCALE: 3/32" = 1'-0"

3 COURTYARD - WEST ELEVATION  
A-203 SCALE: 3/32" = 1'-0"



1 COURTYARD - SOUTH ELEVATION (PHASE II)  
A-203 SCALE: 3/32" = 1'-0"



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Project 2014-00018-000  
Schematic Design Set

December 29, 2014

Title: COURTYARD  
ELEVATIONS  
NORTH, SOUTH & WEST

51-DR-2014  
12/30/2014

NOTE: FOR MATERIAL TYPES PLEASE CONSULT SHEET A-201.

Sheet  
No. **A-203**



OSBORN ROAD  
1309.53'M

N89°56'51"E 2627.96'M  
4.45' 1313.98'M

FOUND BRASS CAP  
IN HANDHOLE  
(E. OF 2 MONUMENTS)  
W 1/4 CORNER  
SEC 26, T2N, R4E

8'X8' ELECTRIC EASEMENT  
DOC 86-253120

APN 130-21-001D  
YANKE INVESTMENTS  
NOT A PART

APN 130-21-001H  
MEYER FREDERICK  
NOT A PART

FOUND 1/2" REBAR  
LS 18214

FOUND BRASS CAP  
IN HANDHOLE  
NE CORNER OF THE  
NW1/4 OF THE SW1/4  
SEC 26, T2N, R4E

FOUND BRASS CAP  
IN HANDHOLE  
CENTER OF SECTION  
SEC 26, T2N, R4E

APN 130-21-005E  
W2005/FARGO HOTELS  
(POOL C) REALTY LP  
NOT A PART

0.4'  
E WALL FACE

5' UTILITY EASEMENT  
DKT 7971, PG 923

FOUND 1/2" REBAR  
LS 18214

FOUND 1/2" REBAR  
LS 8215  
1' NORTH OF CALC  
LOCATION

APN 130-21-003A  
7330 VENUE NOTE LLC  
EXCEPTION TO  
PARCEL 4  
NOT A PART

APN 130-21-003A  
7330 VENUE NOTE LLC  
EXCEPTION TO  
PARCEL 4  
NOT A PART

8' UTILITY EASEMENT  
DKT 16500, PG 1430

APN 130-21-021B  
SCOTTSDALE P&A, LLC  
NOT A PART

8' UTILITY EASEMENT  
DKT 16300, PG 1430

APN 130-21-007  
7330 VENUE NOTE LLC  
NOT A PART

25' INGRESS/EGRESS  
EASEMENT  
DKT 14920, PG 10

DRINKWATER BLVD

CIVIC CENTER

SCOTTSDALE ROAD  
1327.18'M

73RD ST

EARLL DRIVE  
40' R/W

FOUND BRASS CAP  
IN HANDHOLE  
SW CORNER OF THE  
NW1/4 OF THE SW1/4  
SEC 26, T2N, R4E

FOUND BRASS CAP  
IN HANDHOLE  
0.28'W/0.28'N FROM  
CALCULATED POSITION

FOUND BRASS CAP  
IN HANDHOLE  
SE CORNER OF THE  
NW1/4 OF THE SW1/4  
SEC 26, T2N, R4E

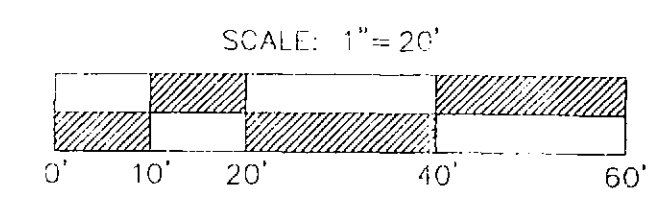
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PARCEL 4  
130-21-004A

PARCEL 1  
130-21-001A

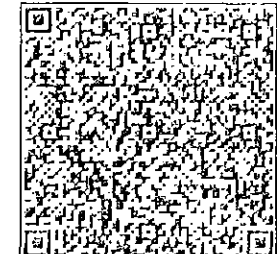
PARCEL 3  
130-21-017A

PARCEL 5



SCALE: 1"=20'

7301 EAST EVANS ROAD  
SCOTTSDALE, AZ 85260  
PHONE (480) 922-0780  
FAX (480) 922-0781  
WWW.SIGSURVEYAZ.COM



SIG  
SURVEY INNOVATION  
GROUP, INC  
Land Surveying Services

ALTA/ACSM LAND TITLE SURVEY  
7300 E. EARLL DRIVE  
SCOTTSDALE, ARIZONA



REVISIONS:  
△  
△  
△

DRAWING NAME:  
14-079 ALIA  
JOB NO. 2014-079  
DRAWN: JAS  
CHECKED: RMH  
DATE: 5-21-14  
SCALE: 1"=20'  
SHEET: 2 OF 2

MATERIAL LEGEND		
1.1	WINDOW WALL TYPE I	UNIT GLAZING SYSTEM W/ LOW-E GLAZING, PPG SOLARBAN 60 24.7mm IGU, 11% EXT. REFLECTIVITY
2.1	WINDOW TYPE I	ALUMINUM WINDOW, PPG SOLARBAN 60 (DARK BRONZE FRAME)
3.1	BALCONY TYPE I	METAL CLADDING O/ WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEALSKIN SATIN FINISH
4.1	PAINTED WOOD	SHERWIN WILLIAMS (SW7675) - SEALSKIN SATIN FINISH
5.1	STUCCO, INTEGRAL COLOR	LA HABRA - X-55 FRENCH VANILLA, INTEGRAL COLOR STUCCO SYSTEM
6.1	GUARDRAIL TYPE I	UNIT BALCONY SYSTEM, GLASS GUARDRAIL, PAINTED METAL RAILINGS, S.W. - URBANE BRONZE
7.1	CULTURED STONE TYPE I	STONE-LIKE TILE, INTEGRAL COLOR, SAND COLOR
8.1	BROW TYPE I	METAL CLADDING O/ WOOD FRAMING, SHERWIN WILLIAMS (SW7675) - SEALSKIN SATIN FINISH
9.1	PAINTED METAL	SHERWIN WILLIAMS (SW7675) - SEALSKIN SATIN FINISH



**2 PHASE I - SOUTH ELEVATION**  
A-201 SCALE: 3/32" = 1'-0"



**1 EAST ELEVATION**  
A-201 SCALE: 3/32" = 1'-0"

