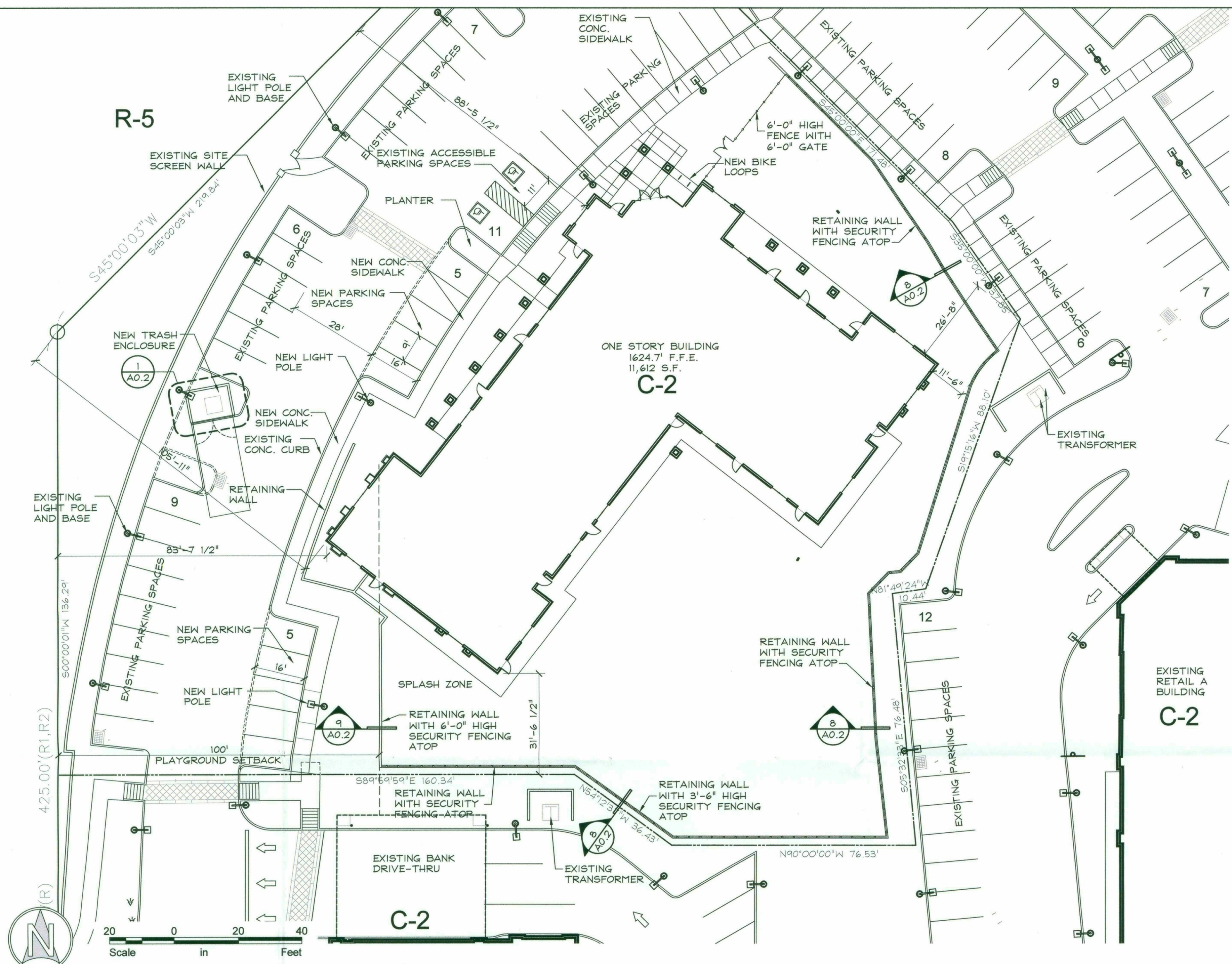


**Final Approved Stamped Plans**  
**Full Size**



**1 SITE PLAN**  
SCALE: 1" = 20'-0"



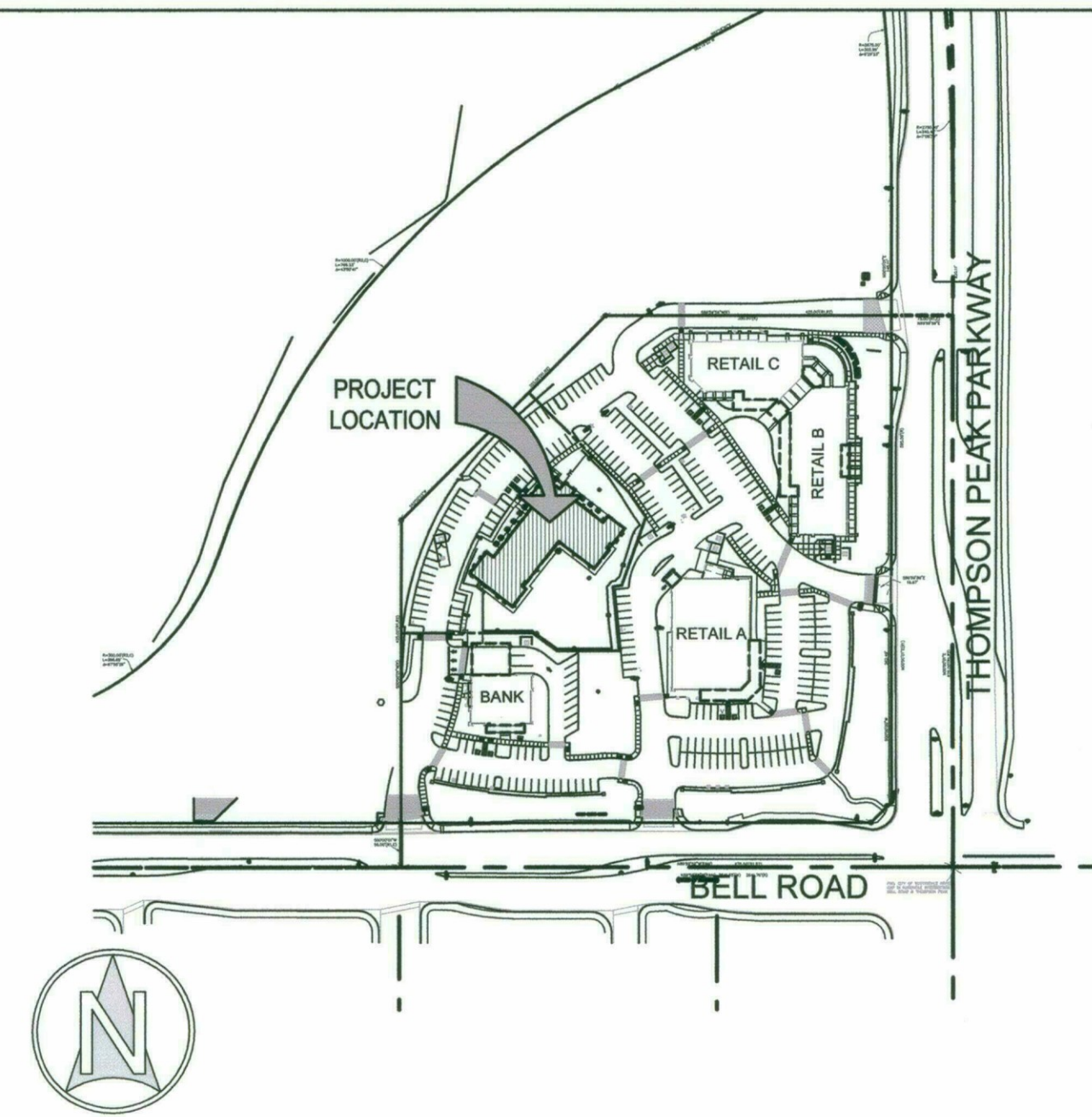
Scale in Feet  
0 20 40

**CONTACTS**

**OWNER:**  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL RD.  
GOODYEAR, ARIZONA 85395  
E-MAIL: mverlardi@e2cc.com

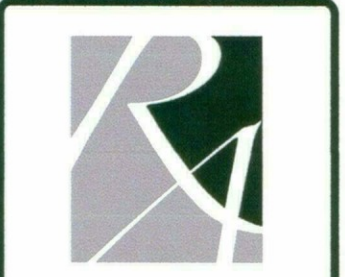
**ARCHITECT:**  
REIGLE & ASSOCIATES  
3509 EAST SHEA BOULEVARD  
SUITE 105  
PHOENIX, ARIZONA 85028  
PHONE: (602) 493-3001  
CONTACT: RICHARD REIGLE  
E-MAIL: rick@reiglearch.com

**VICINITY MAP**

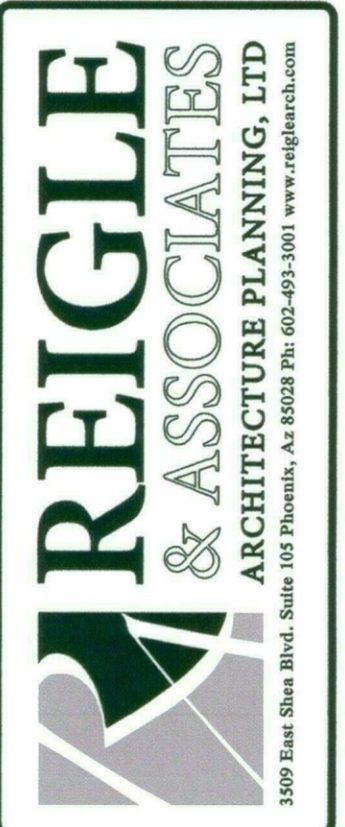


**PROJECT INFORMATION**

- PROPOSED SCOPE OF WORK:**  
THIS SITE PLAN SUBMITTAL PROPOSES SINGLE STORY 11,612 SQUARE FOOT CHILDCARE FACILITY ON AN EXISTING MULTI-BUILDING DEVELOPMENT.
- PROJECT LOCATION:** 17050 N. THOMPSON PEAK PARKWAY  
SCOTTSDALE, ARIZONA
- CONSTRUCTION CODES:**  
ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:  
2012 INTERNATIONAL BUILDING CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL FIRE CODE  
2012 INTERNATIONAL PLUMBING CODE  
2011 NATIONAL ELECTRICAL CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE  
2009 ICC A17.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES
- A.P.N.:** 217-11-026-A
- SECTION TOWNSHIP RANGE:** PARCEL 17 MAP BK.961, PG.21 M.C.R.
- ZONING:** C-2
- SITE AREA:** NET AREA: 340,436 S.F. (7.82 ACRES)
- BUILDING AREA:** NEW: 11,612 S.F.  
EXISTING: 38,138 S.F.  
TOTAL BUILDING AREA: 49,750 S.F.
- F.A.R.:** MAX. ALLOWED (NET LOT AREA X .25)  
340,436 S.F. X .25 = 85,109 S.F.  
PROVIDED: 49,750 S.F.
- VOLUME RATIO:** MAX. ALLOWED (NET LOT AREA X 5)  
340,436 S.F. X 5 = 1,702,180 C.F.  
EXISTING BUILDING VOLUME RATIO = 1,081,524 C.F.  
NEW BUILDING: 11,612 S.F. X 21' = 243,852 C.F.  
TOTAL = 1,325,376 C.F.
- BUILDING HEIGHT:** 21' WITH 25' EMBELLISHMENTS
- CONSTRUCTION TYPE:** V-B
- OCCUPANCY:** B
- LOT COVERAGE:** 49,750 S.F. / 340,436 S.F. = 14.6%
- PARKING REQUIREMENTS:**  
BANK: 4,455 S.F.  
DRUG STORE (RETAIL A): 14,101 S.F.  
RETAIL B: 11,282 S.F.  
RETAIL C: 8,300 S.F.  
SUBTOTAL: 38,138 S.F.  
PRIMROSE: 11,612 S.F.  
TOTAL: 49,750 S.F.  
BASED ON TABLE 9.103: 49,750 S.F./300S.F. = 165.83 SPACES  
TOTAL REQUIRED PARKING: 166 SPACES
- PARKING PROVIDED:** EXISTING = 263 SPACES  
NEW = 10 SPACES  
TOTAL PARKING PROVIDED: 263 SPACES
- ACCESSIBLE PARKING REQUIRED:** REQ'D. SPACES; 151 TO 200 SPACES = 6 ACCESSIBLE PARKING SPACES (5 STANDARD ACCESSIBLE AND 1 VAN ACCESSIBLE)
- ACCESSIBLE PARKING PROVIDED:** EXISTING = 10 VAN ACCESSIBLE SPACES
- PARKING SPACE DIMENSIONS PROVIDED:** STANDARD SPACES: 9' X 18' (1/2' 2'-0" OVERHANG)  
ACCESSIBLE SPACES: 11' X 18' PLUS 5' ACCESS AISLE
- BICYCLE PARKING SPACES REQUIRED:** EXISTING: 126 P.S./10 = 13 BICYCLE PARKING SPACES  
NEW: 38 P.S./10 = 4 BICYCLE PARKING SPACES  
TOTAL REQUIRED: 17 BICYCLE PARKING SPACES
- BICYCLE PARKING SPACES PROVIDED:** EXISTING: 24 BICYCLE PARKING SPACES  
NEW: 4 BICYCLE PARKING SPACES  
TOTAL PROVIDED: 28 BICYCLE PARKING SPACES



**REVISIONS**

**PROJECT NO.:** 1551  
**DRAWN BY:** pf  
**SCALE:** 1"=20'-0"  
**CAD SAVED NAME:**  
**DATE:** April 20, 2016

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

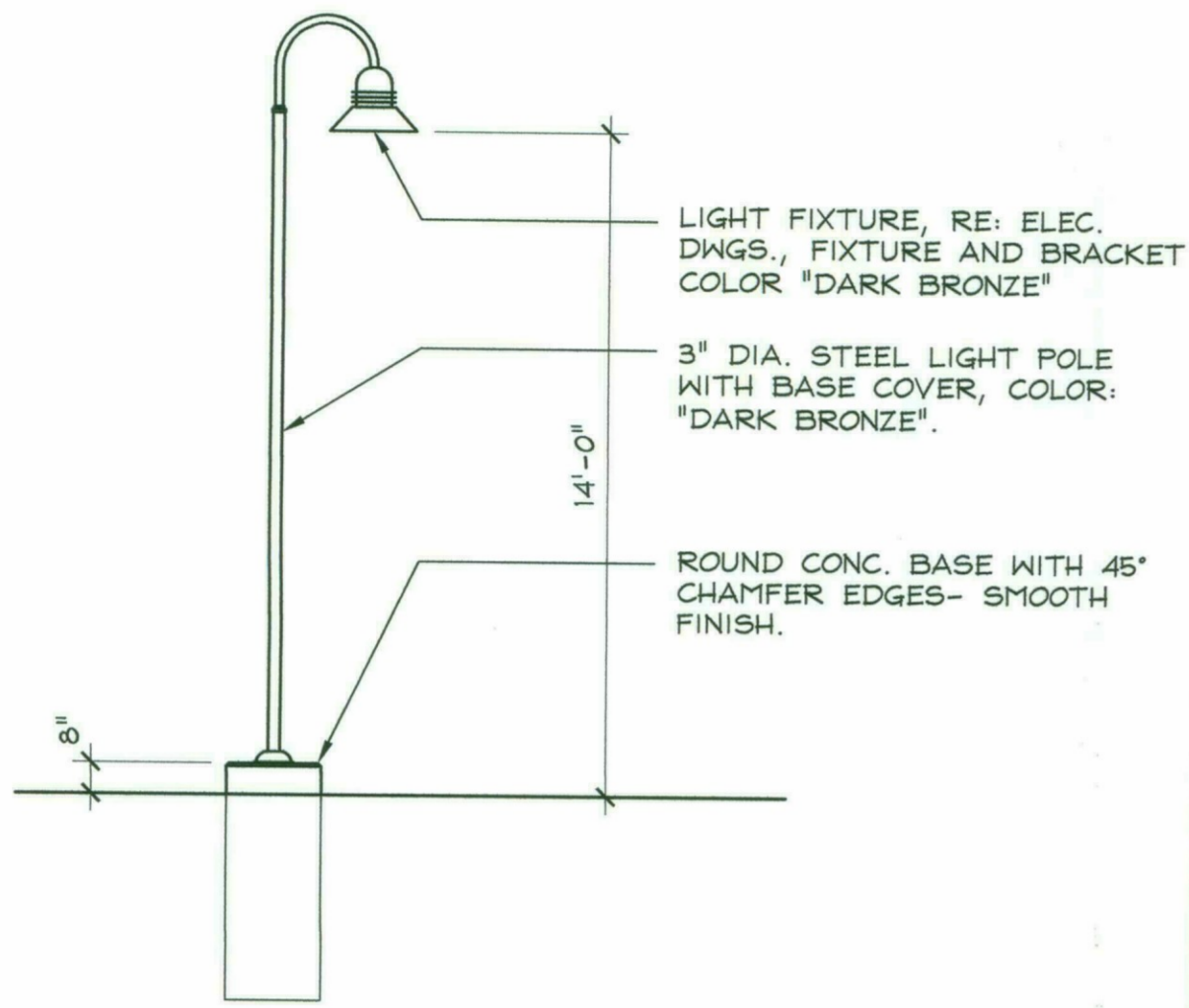
PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85396

**SHEET TITLE**  
SITE PLAN

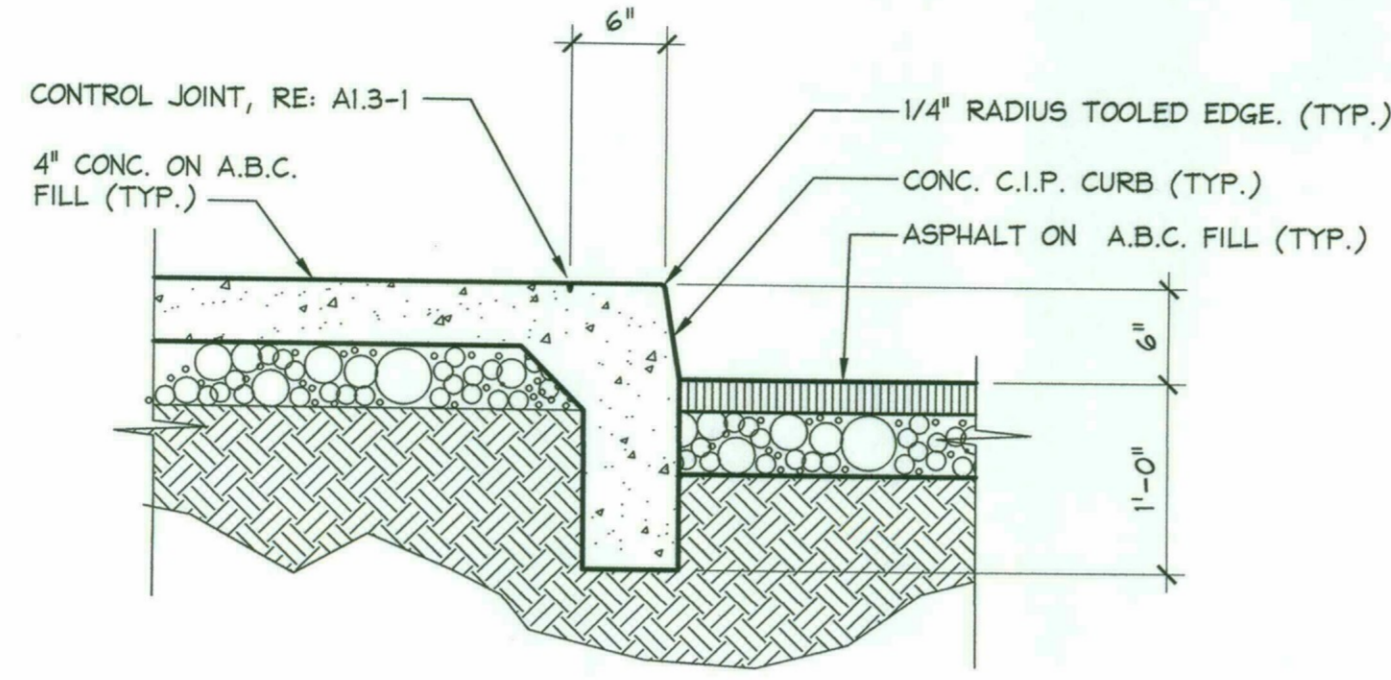
**SHEET NO.**

**A0.1**

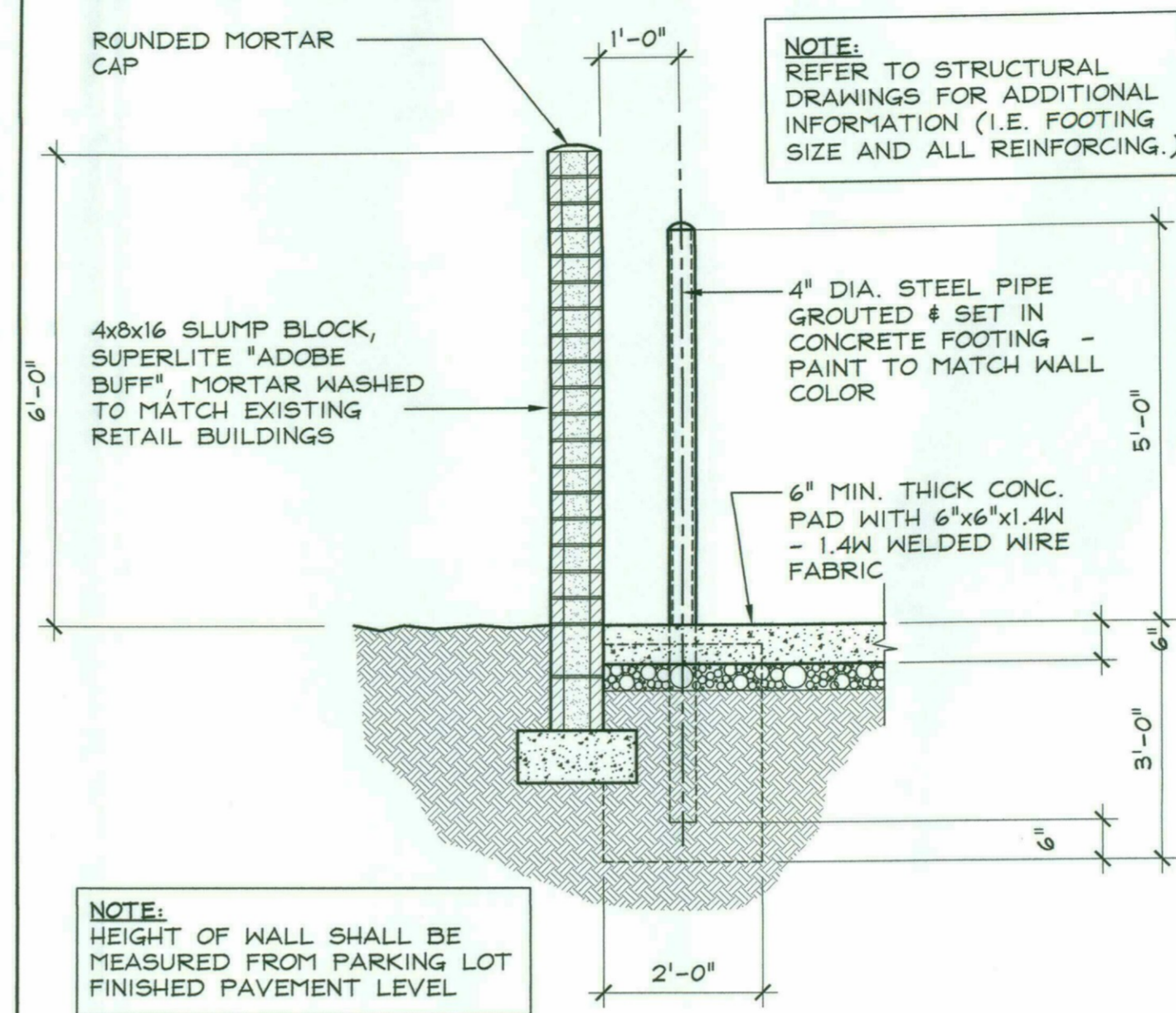
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE: 4/20/16  
INITIALS



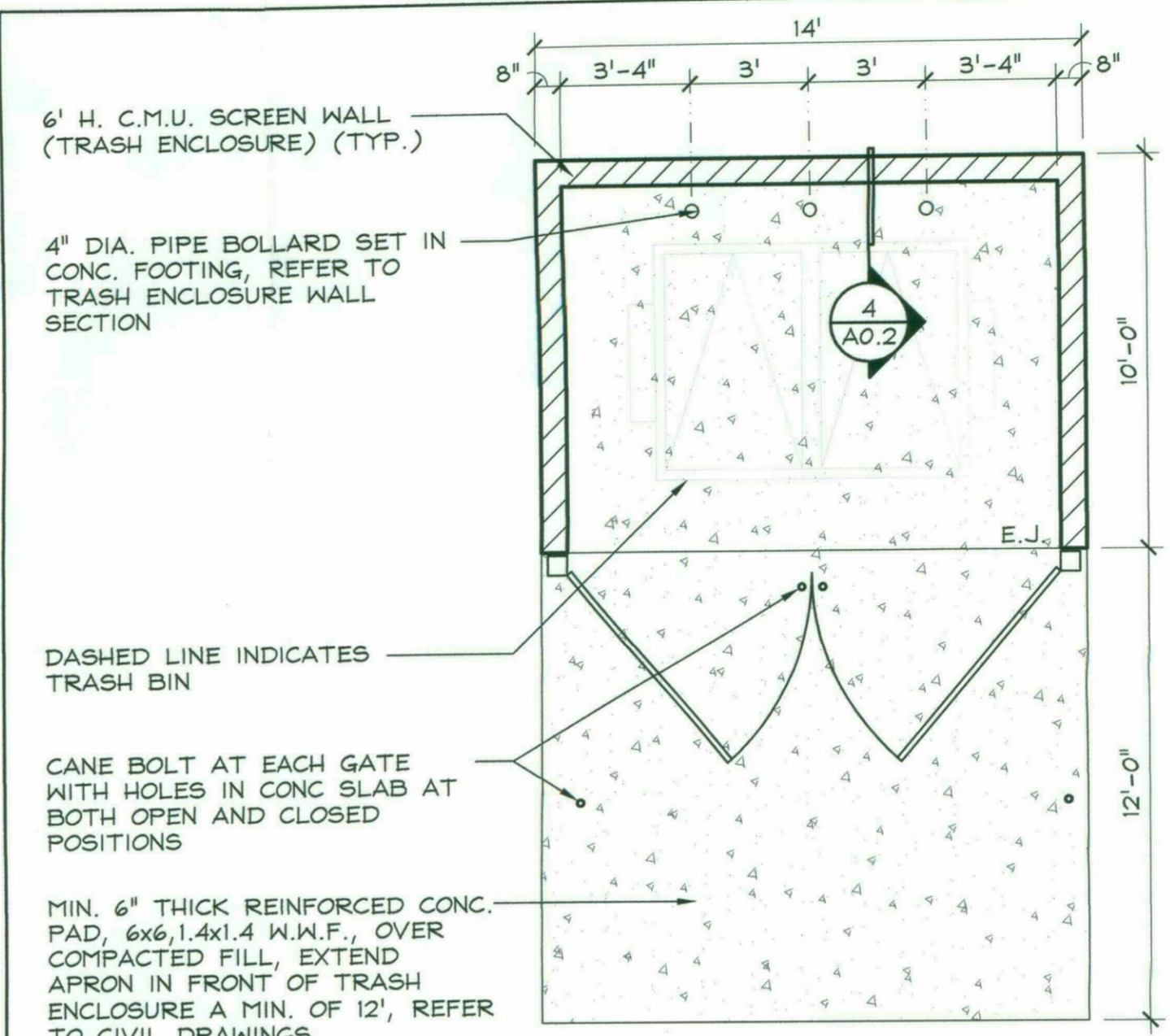
**10 STANDARD LIGHT POLE**  
SCALE: 1/4" = 1'-0"



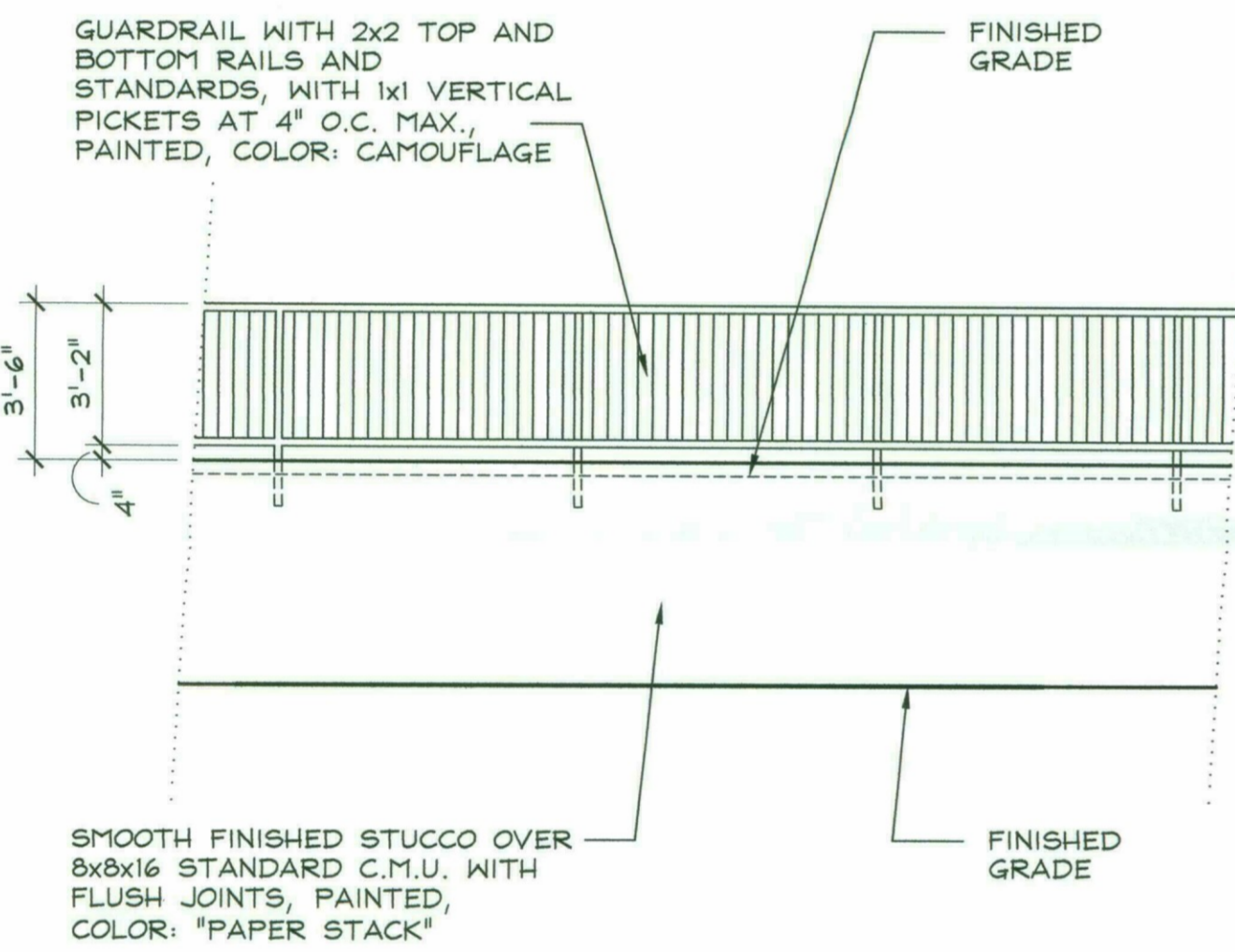
**3 WALK EDGE**  
SCALE: 1" = 1'-0"



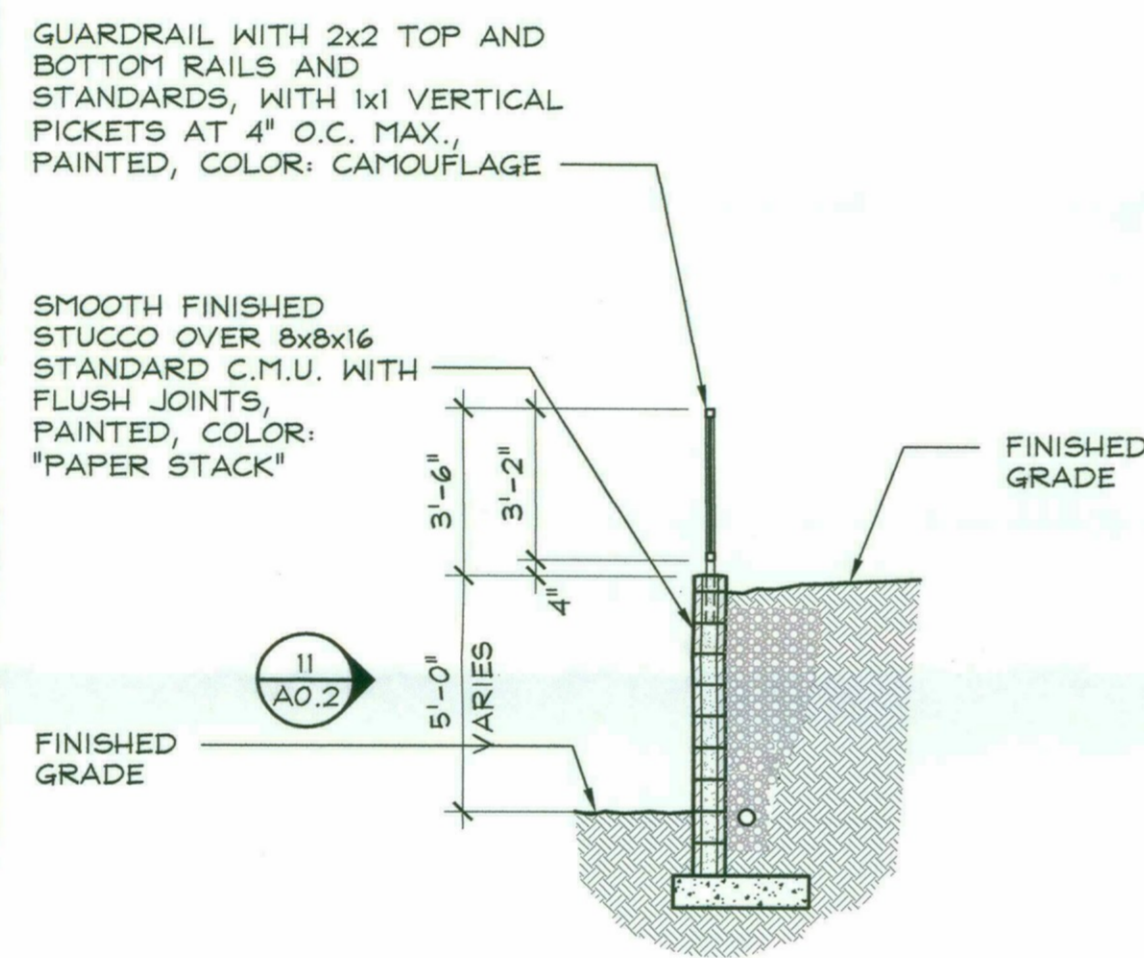
**4 WALL SECTION - TRASH ENCLOSURE**  
SCALE: 1/2" = 1'-0"



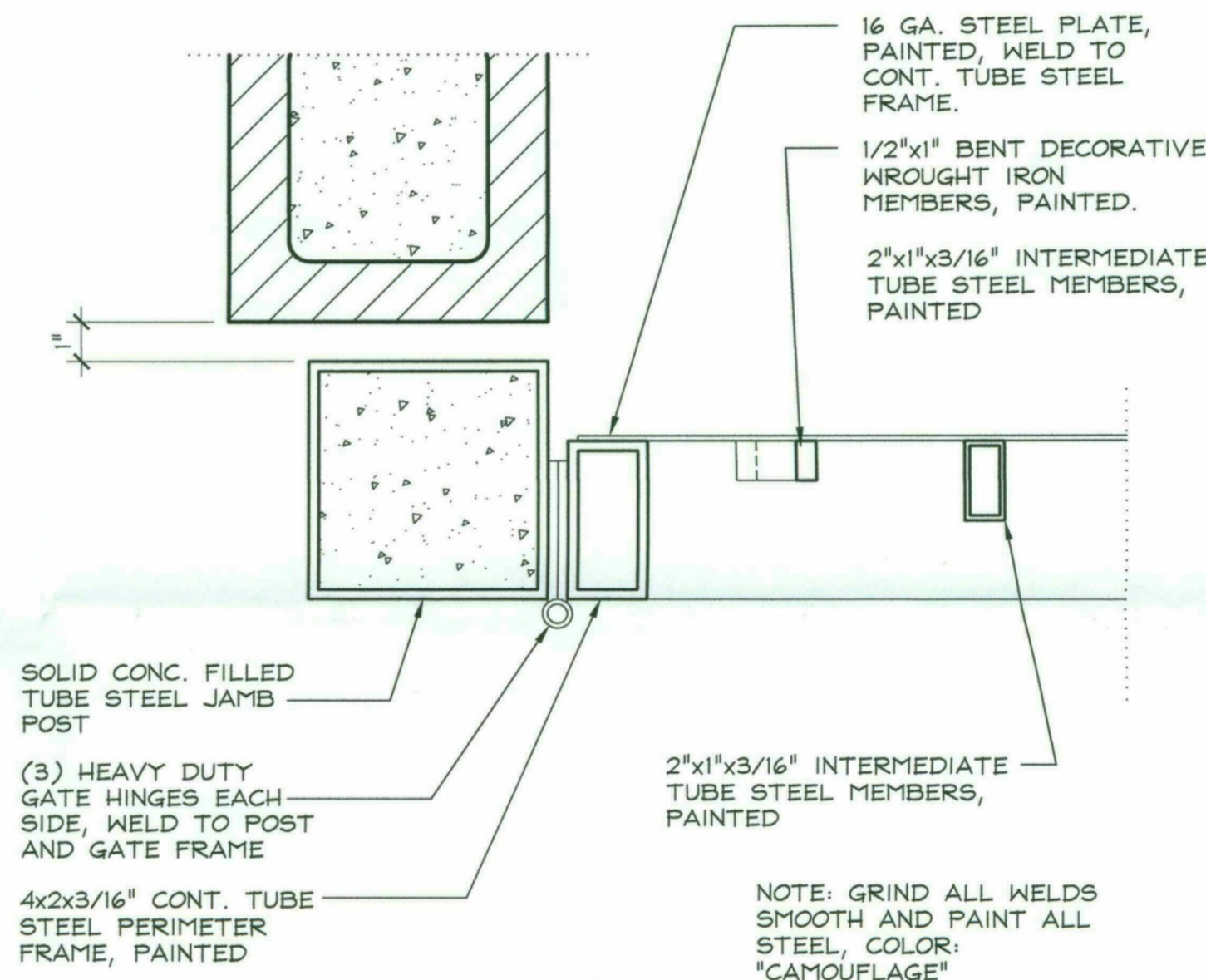
**1 PLAN - TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



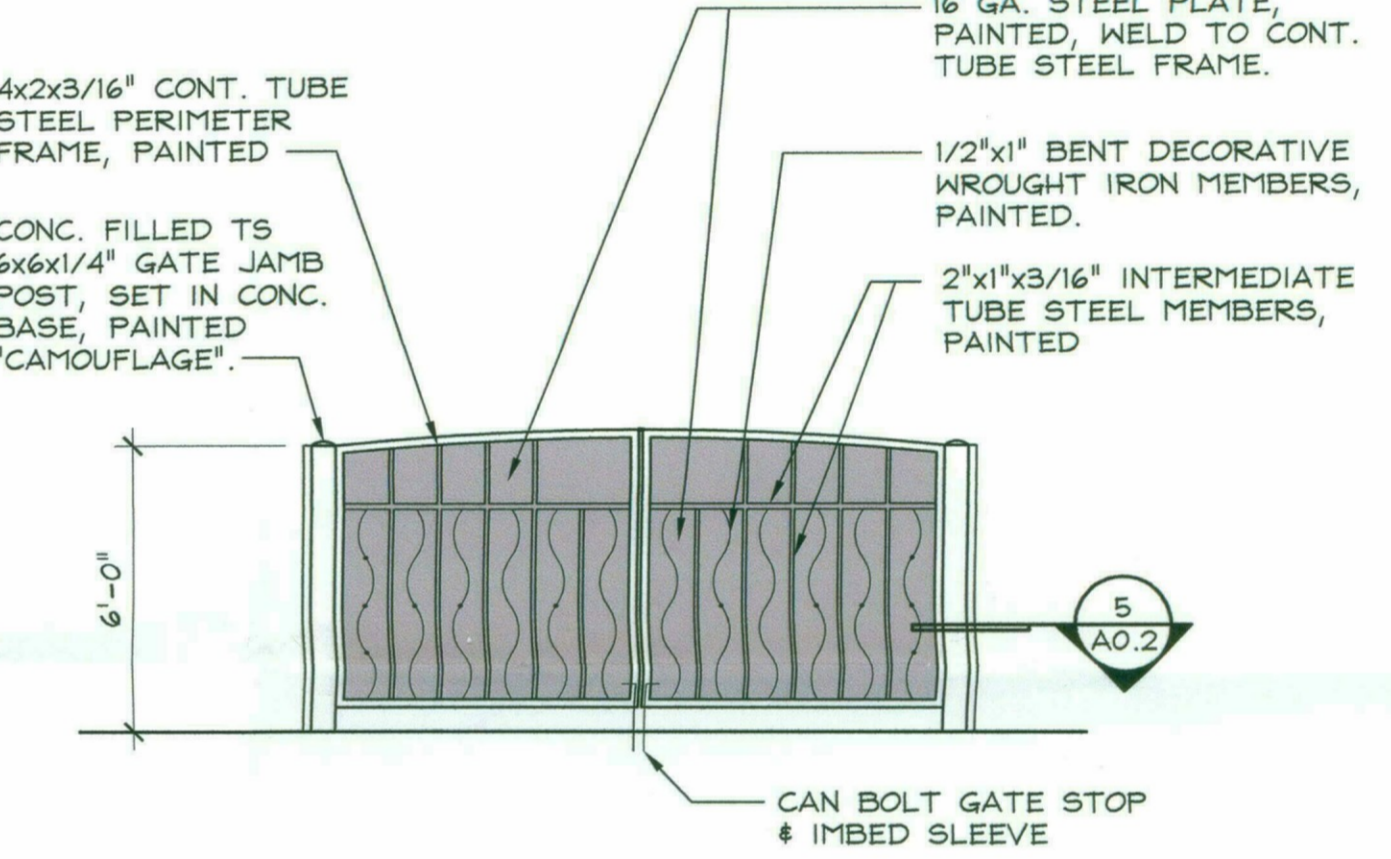
**11 RETAINING WALL / RAILING ELEVATION**  
SCALE: 1/4" = 1'-0"



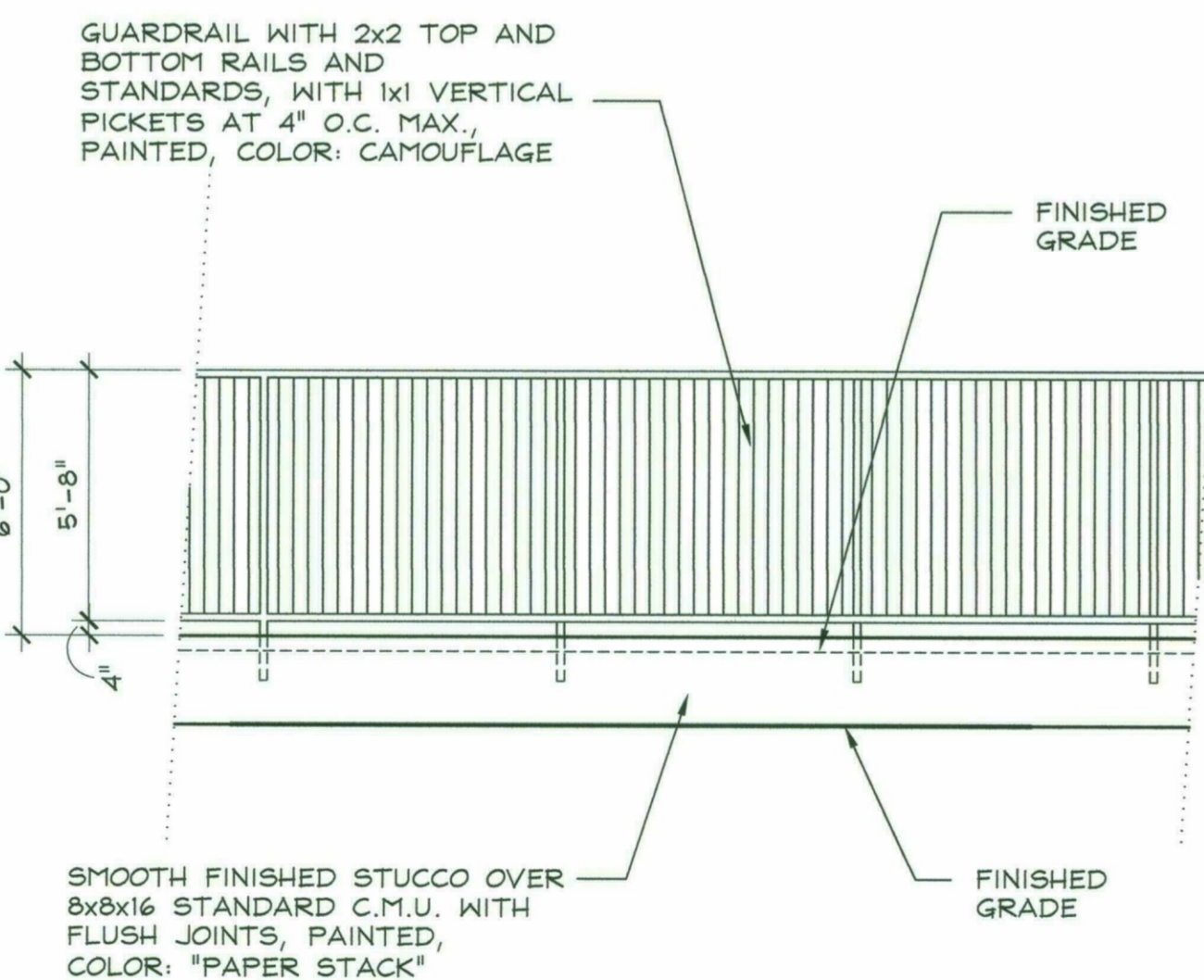
**8 RETAINING WALL / RAILING SECTION**  
SCALE: 1/4" = 1'-0"



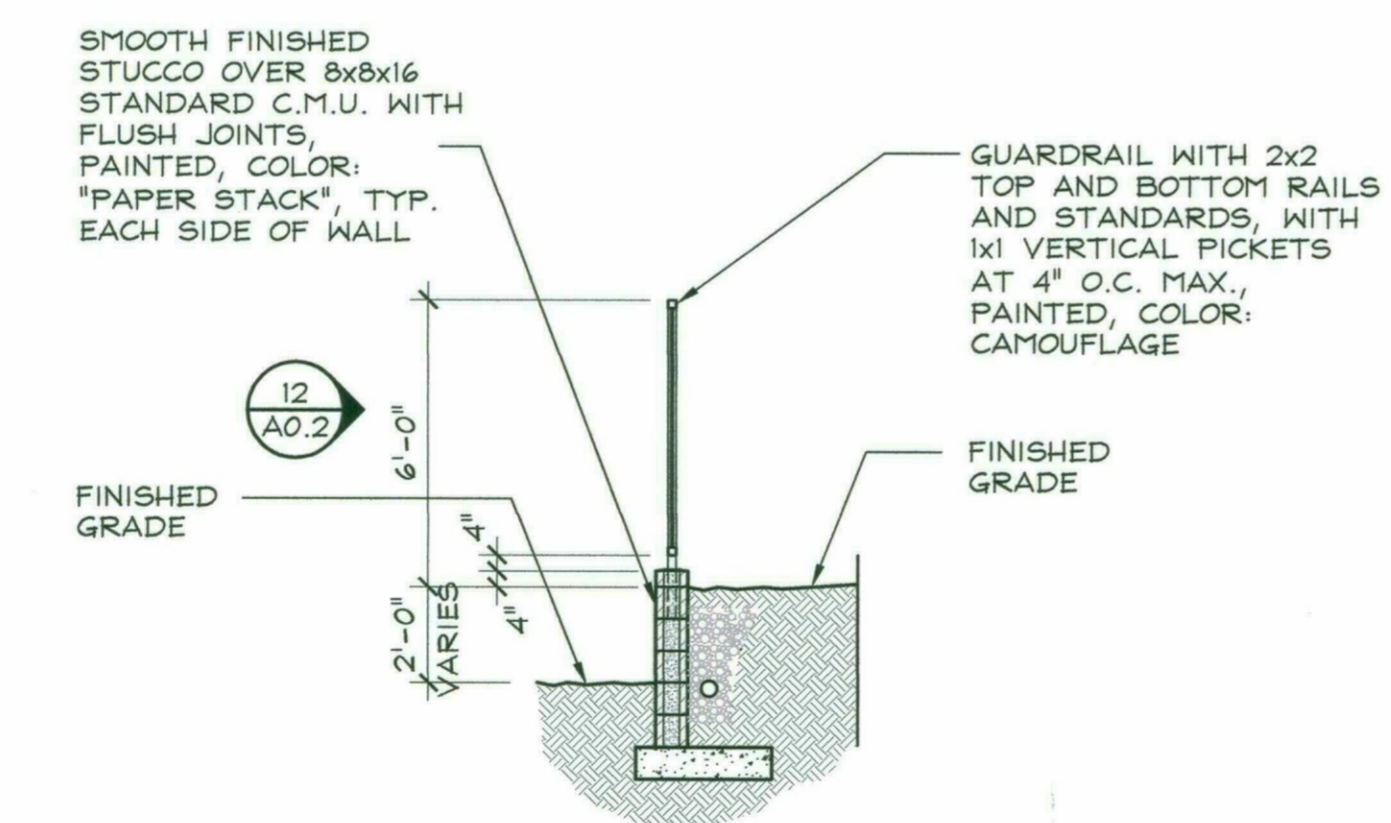
**5 JAMB AT TRASH ENCLOSURE GATE**  
SCALE: 3/8" = 1'-0"



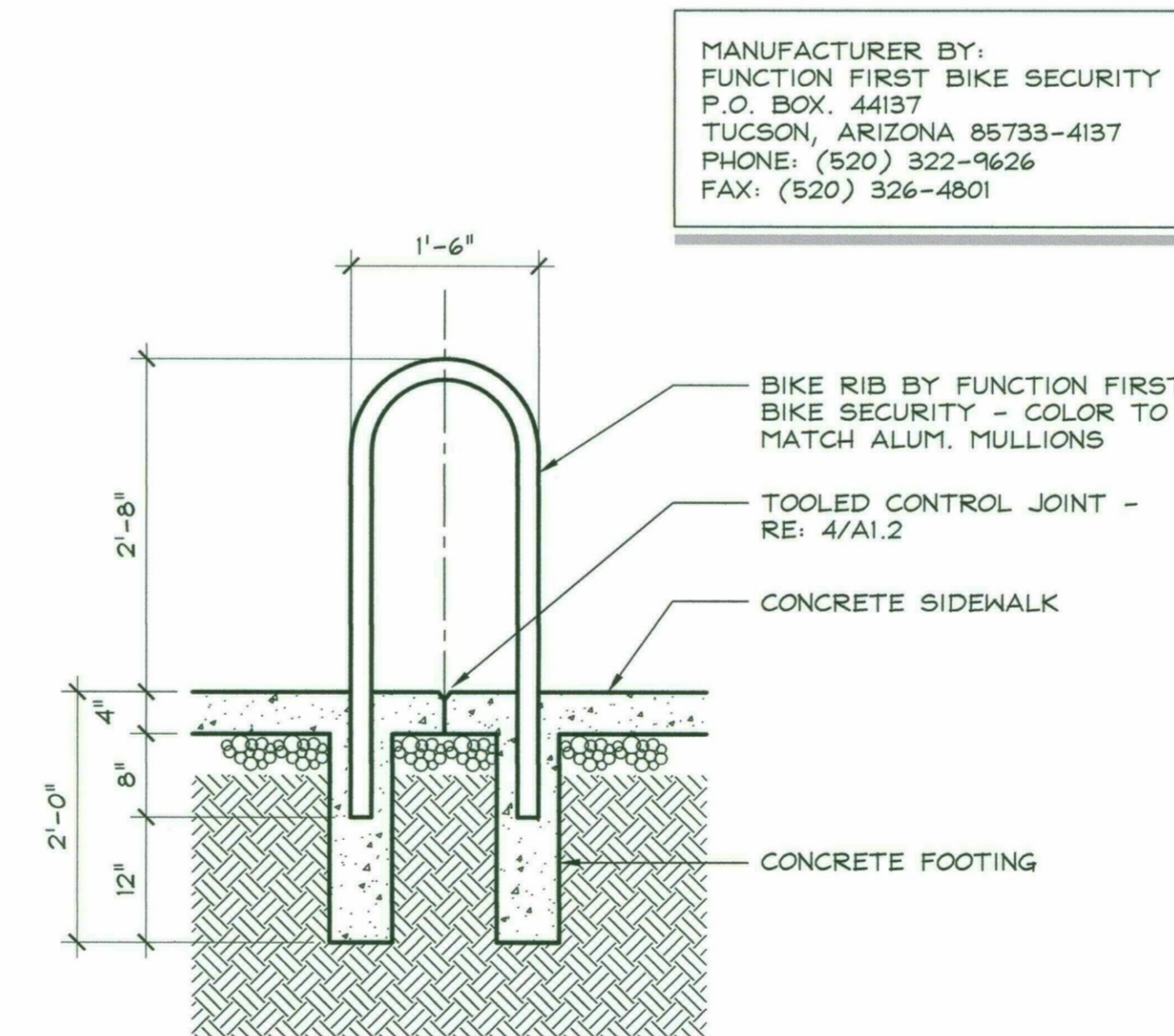
**2 ELEVATION - TRASH ENCLOSURE GATE**  
SCALE: 1/4" = 1'-0"



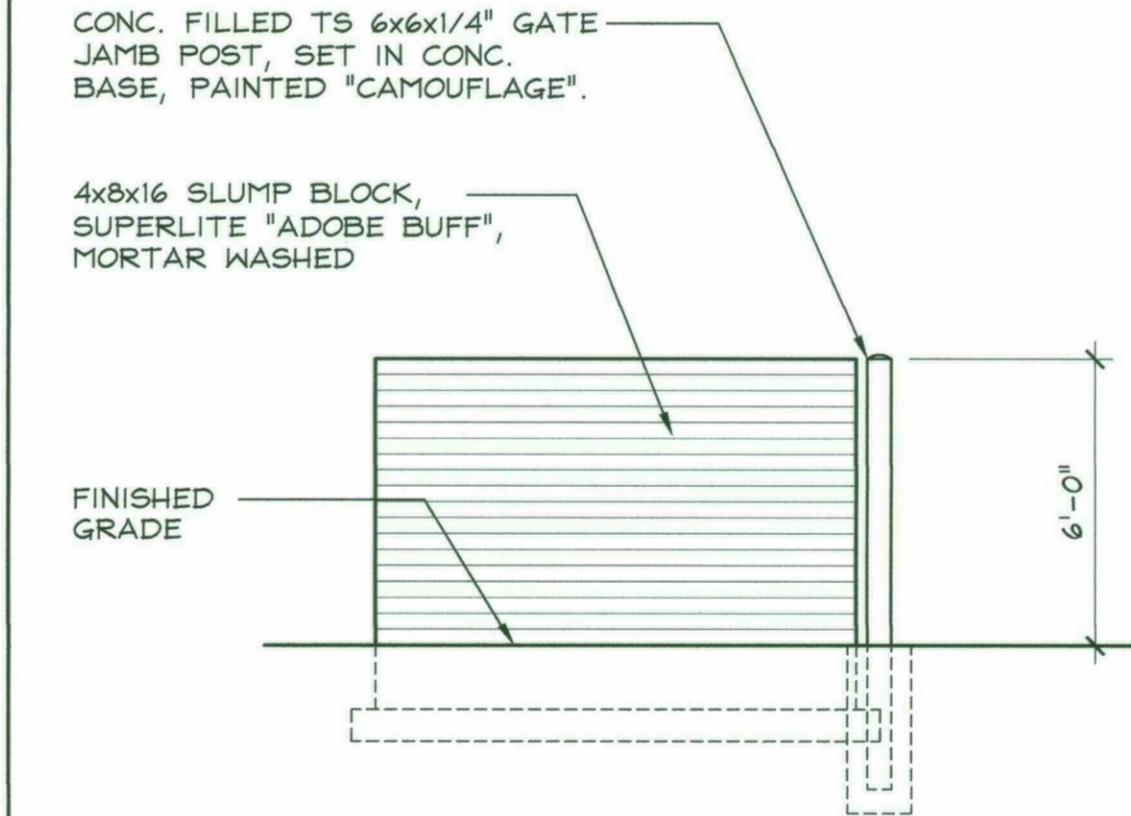
**12 RETAINING WALL / FENCE ELEVATION**  
SCALE: 1/4" = 1'-0"



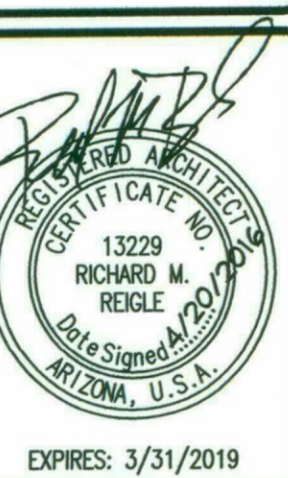
**9 RETAINING WALL / FENCE SECTION**  
SCALE: 1/4" = 1'-0"



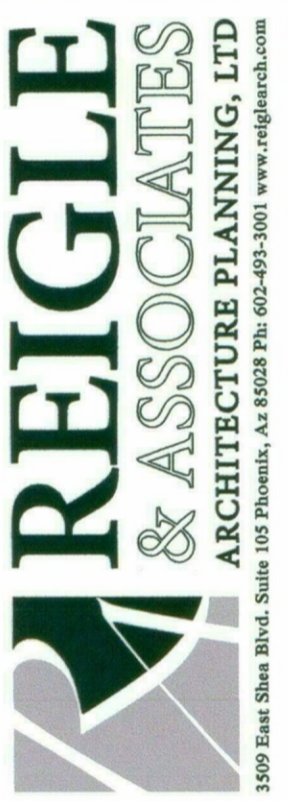
**6 BIKE LOOP**  
SCALE: 3/4" = 1'-0"



**3 ELEVATION - TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



REVISIONS



PROJECT NO. 1551  
DRAWN BY: A.R.  
SCALE: AS NOTED  
CAD SAVED NAME:  
DATE: April 20, 2016

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14250 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85395

SHEET TITLE  
**SITE DETAILS**  
SHEET NO.  
**A0.2**

STIPULATION SET  
RETAIN FOR RECORD  
APPROVED  
DATE

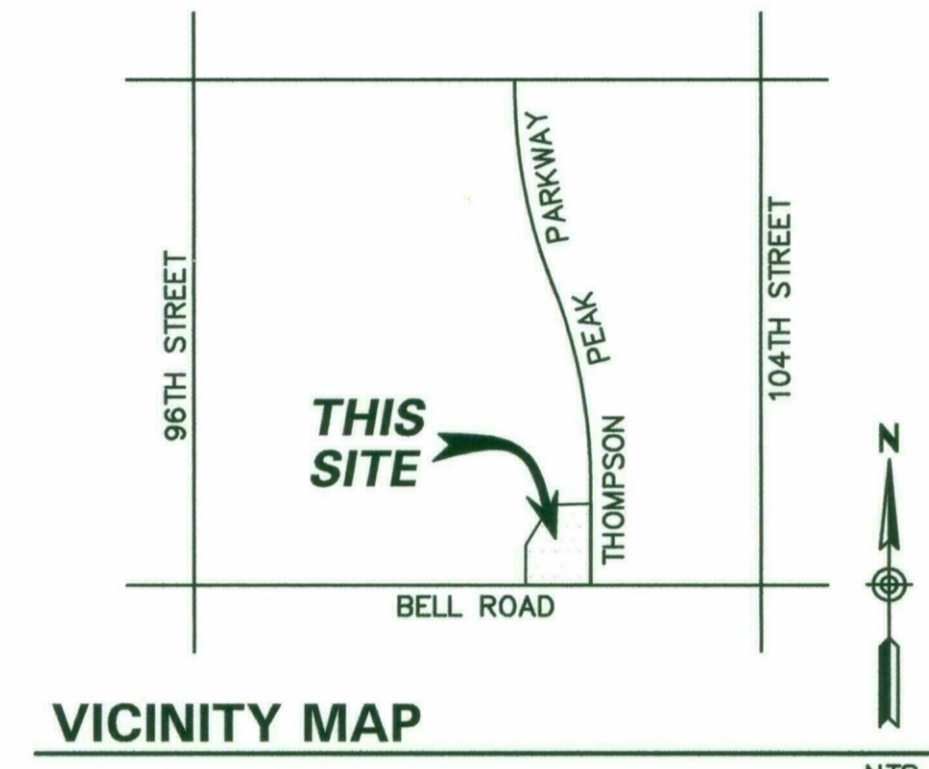
Site Details

# CONCEPTUAL GRADING & DRAINAGE

## PLAN FOR PRIMEROSE SCHOOL NWC BELL ROAD & THOMPSON PEAK PARKWAY SCOTTSDALE, ARIZONA 85255

TRACT 17, AS SHOWN ON STATE PLAT NO. 29, ACCORDING TO BOOK 368 OF MAPS, PAGE 17, AS RECORDED IN THE MARICOPA COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, SITUATED IN SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXISTING BUILDING**  
FF = 34.00



### ARCHITECT

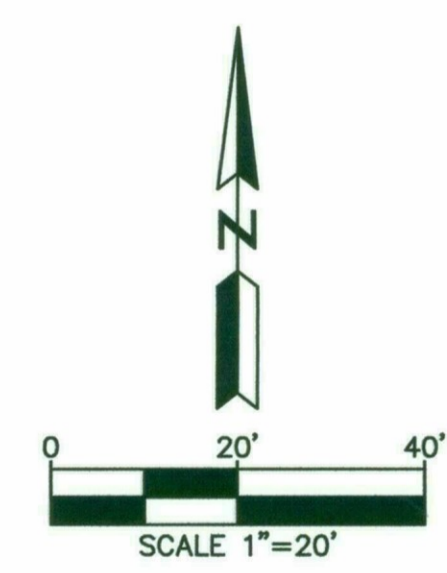
**REIGLE & ASSOCIATES**  
3509 E. SHEA BOULEVARD SUITE 105  
PHOENIX, ARIZONA 85028  
PHONE: (602) 493-3001  
CELL: (602) 558-6262  
CONTACT: RICHARD REIGLE

### CIVIL ENGINEER

**HUNTER ENGINEERING, INC.**  
10450 N. 74TH STREET, SUITE #200  
SCOTTSDALE, ARIZONA 85258  
PHONE: (480) 991-3985  
FAX: (480) 991-3986  
CONTACT: JOE BURKE

### LEGEND

	CENTERLINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	CONTOUR
	STORM DRAIN LINE
	GRADE BREAK
	FLOW LINE
	DIRECTION OF SLOPE
	SPOT ELEVATION
	TOP OF RETAINING WALL
	FINISH GRADE
	FINISH CONCRETE
	FINISH PAVEMENT
	GRATE ELEVATION
	PROP ASPHALT PAVEMENT



NO.	DATE	REVISION	BY

DESIGN BY: JPB  
DRAWN BY: JPB  
CHECKED BY: JPB

**HUNTER ENGINEERING**  
CIVIL AND SURVEY  
10450 NORTH 74TH STREET, SUITE 200  
SCOTTSDALE, AZ 85258  
PHONE: (480) 991-3985  
F: 480 991 3986

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

CONCEPTUAL GRADING & DRAINAGE PLAN  
PRIMEROSE AT WINGATE  
17050 N. THOMPSON PEAK PKWY  
SCOTTSDALE, ARIZONA

CALL TWO WORKING DAYS BEFORE YOU DIG  
(602) 263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

THE JOB NO.: PRMR001

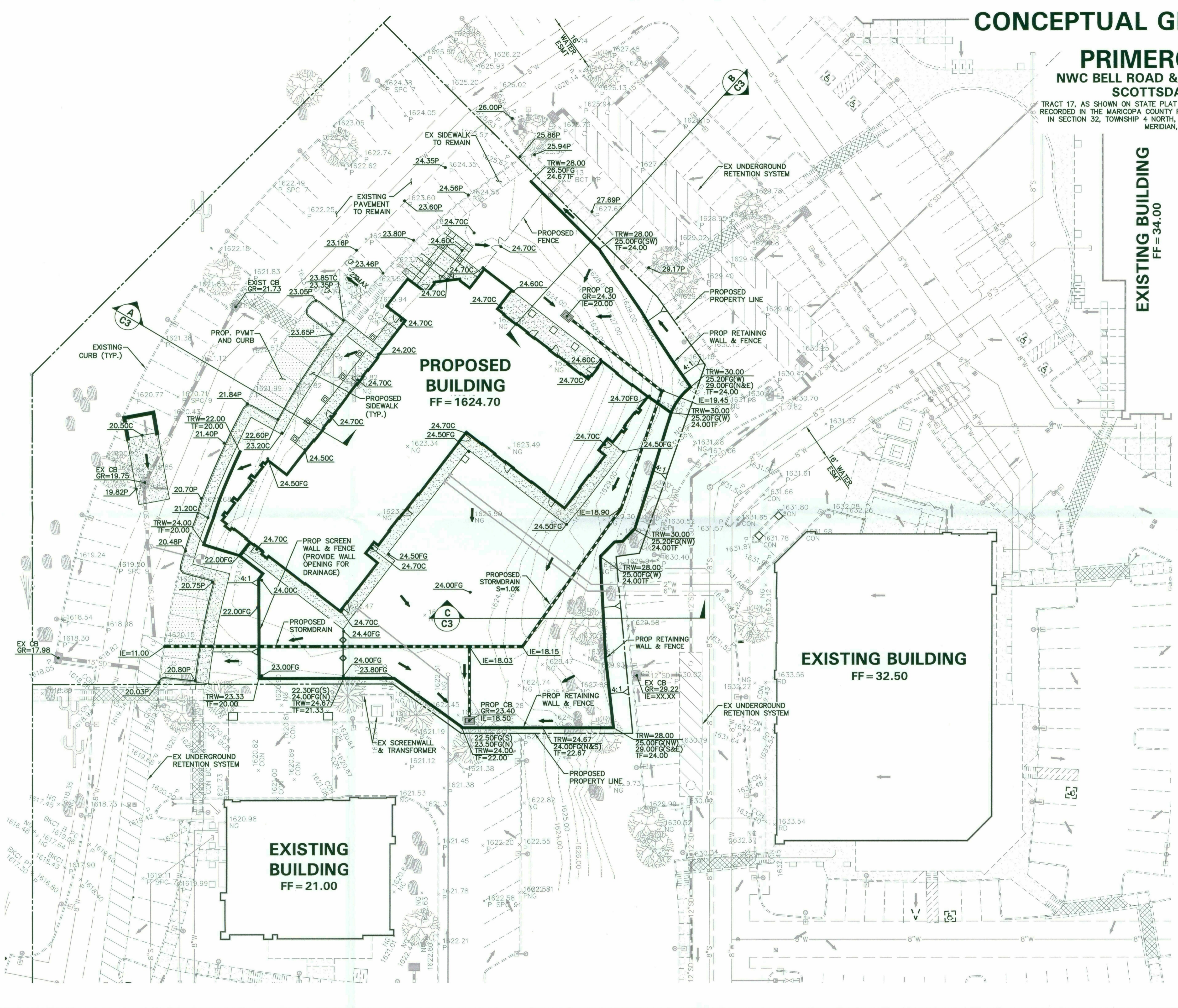
SCALE 1"=20'

SHEET **C1**

STIPULATION SET  
RETAIN FOR RECORD  
APPROVED  
DATE: 06/07/16

25-DR-2016  
06/07/16

*Grading Drainage*



**LANDSCAPE LEGEND**

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

All trees to be a 2" min caliper size

Trees	Size	Qty.
Chilopsis linearis Desert Willow ✓	2" cal. stand.	5
Fouquieria splendens Ocotillo ✓	8' Tall min. 10 cane min.	10
existing to remain and be protected see Plant Inventory	varies	11
Salvage material see Plant Inventory	varies	7
Shrubs / Accents	Size	Qty.
Calliandra eriophylla Pink Fairy Duster	5 gallon	43
Larrea tridentata Creosote Bush ✓	5 gallon	7
Encelia farinosa Brittlebush	5 gallon	35
Encelia frutescens Green Brittlebush	5 gallon	27
Sphaeralcea ambigua Globe Mallow	5 gallon	38
Dasyliiron longissimum Toothless Desert Spoon	5 gallon u.o.n.	11
Aristida purpurea Purple threeawn	5 gallon	38
Ambrosia deltoidea Bursage ✓	5 gallon	40
GROUNDCOVERS	Size	Qty.
Psilostrophe cooperi Paperflower	5 gallon	27
Gutierrezia sarothrae Snakeweed ✓	5 gallon	13
Abronia villosa Sand Verbena	1 gallon	89
Penstemon parryi Parry's Penstemon	1 gallon	61
Site Salvage Surface Select	3'x3'x3' 2700lbs. min	3
Granite Boulders	4'x4'x4' 4800lbs. min	3
(bury 1/3 min. see detail)		
Decomposed Granite 3" minus "Express Native Rose", 2" min thickness in all on-site landscape areas (match existing)		
Submit samples to Landscape Architect		

**Existing Area Hatch**

Hatched area is existing landscaped area to remain and to be protected, any landscape or irrigation damaged or disturbed to be replaced with like size and type.

**Preliminary Landscape Plan General Notes:**

The entire site will be maintained in accordance with City of Scottsdale Standards.

All trees will be 24" Box or larger.

An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.

Decomposed granite, 2" minimum thickness (submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape

All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.

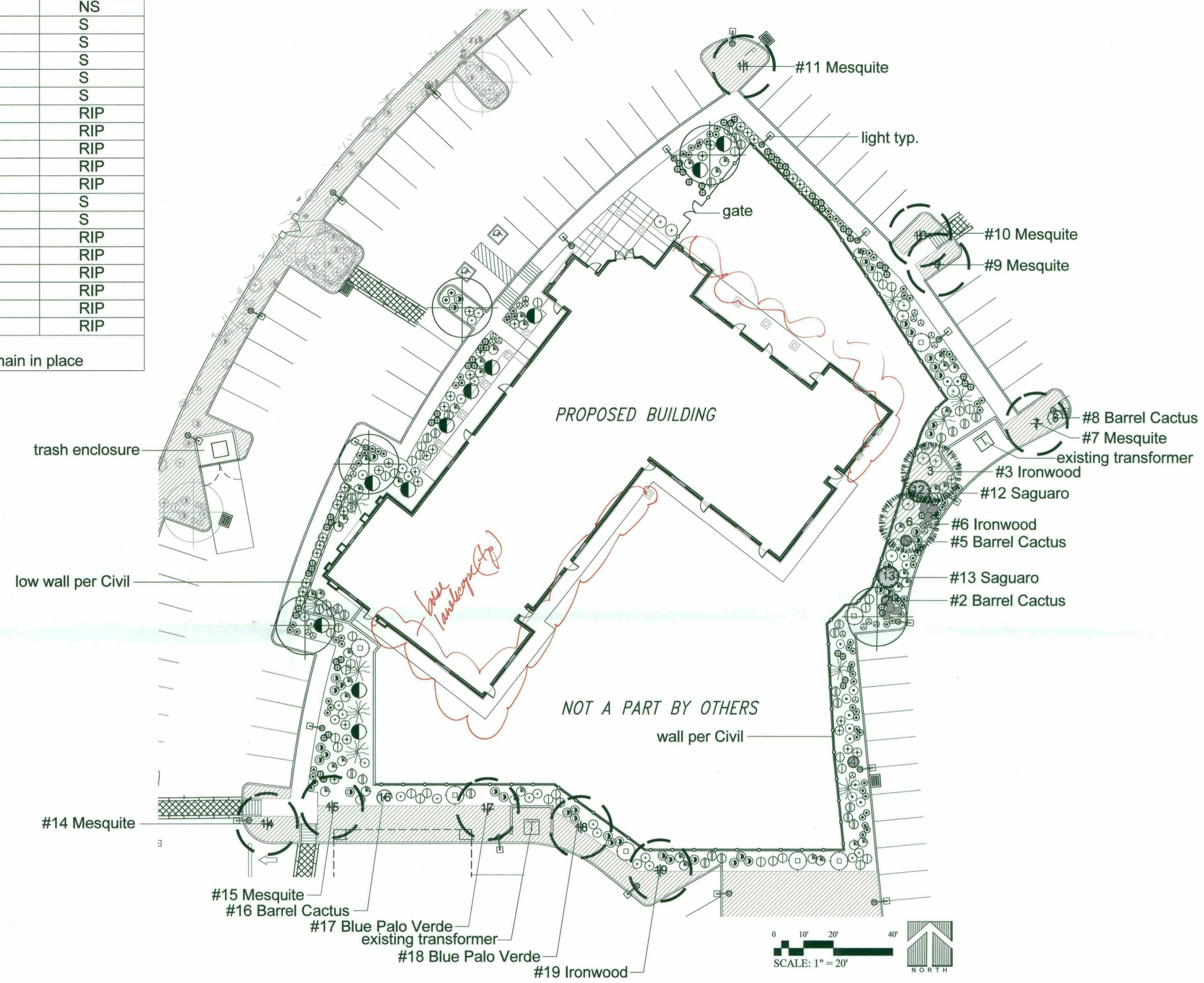
Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.

All final landscape plans to meet or exceed City of Scottsdale minimum standards for quantity and type.

**SALVAGE LEGEND (see Native Plant Inventory)**

#	Common Name	Cal. / Hght	Status
1	Saguaro	33	NS
2	Barrel	5	S
3	Ironwood	10	S
4	Barrel	4	S
5	Barrel	4	S
6	Ironwood	10	S
7	Mesquite	12	RIP
8	Barrel	3	RIP
9	Ironwood	6	RIP
10	Ironwood	8	RIP
11	Ironwood	12	RIP
12	Saguaro	54	S
13	Saguaro	89	S
14	Mesquite	10	RIP
15	Mesquite	16	RIP
16	Barrel	4	RIP
17	Blue Palo Verde	15	RIP
18	Blue Palo Verde	8	RIP
19	Ironwood	10	RIP

S=Salvageable  
NS=Non-Salvageable RIP=Remain in place



**CONTACTS**

**LANDSCAPE ARCHITECT:**

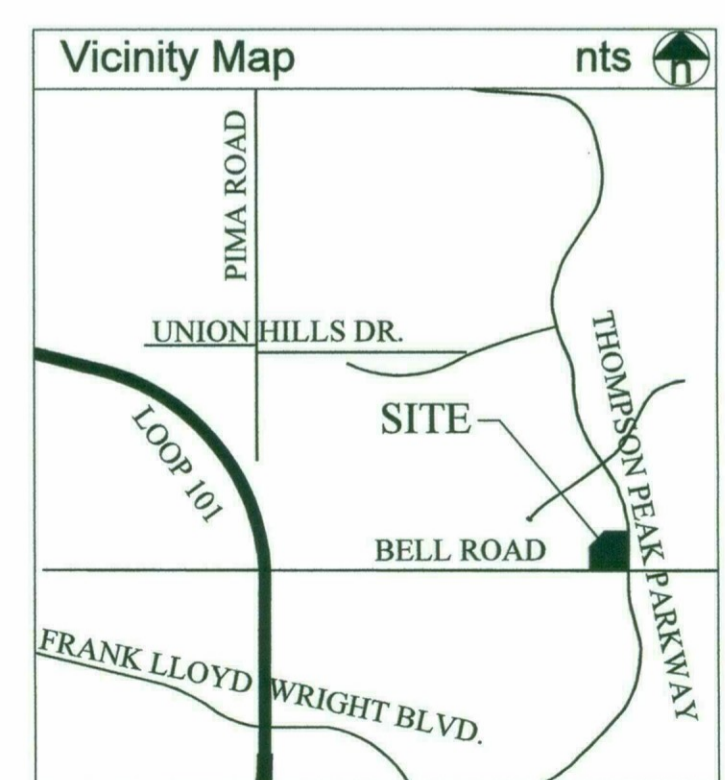
LASKIN & ASSOCIATES INC.  
67 EAST WELDON AVE.  
SUITE 230  
PHOENIX, ARIZONA 85012  
PHONE: (602) 840-7771  
CONTACT: MATT AYLSWORTH  
E-MAIL: matt@laskindesign.com

**ARCHITECT:**

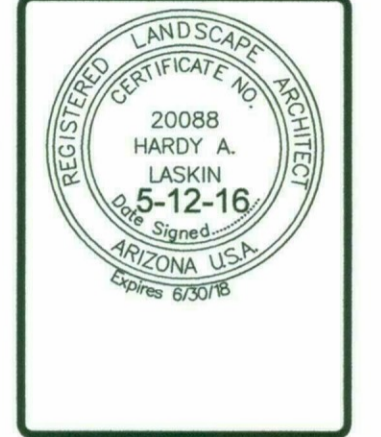
REIGLE & ASSOCIATES  
3509 EAST SHEA BOULEVARD  
SUITE 105  
PHOENIX, ARIZONA 85028  
PHONE: (602) 493-3001  
CONTACT: RICHARD REIGLE  
E-MAIL: rickr@reiglearch.com

**OWNER:**

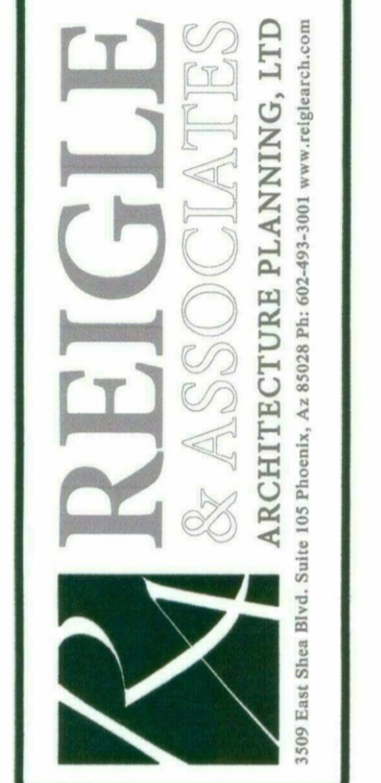
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL RD.  
GOODYEAR, ARIZONA 85395  
E-MAIL: mverlardi@e2cc.com



**LASKIN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
67 E. Weldon Ave.  
Suite 230  
Phoenix, Arizona 85012  
p (602) 840-7771  
f (602) 840-8021  
www.laskindesign.com



**REVISIONS**

PROJECT NO. 1551  
DRAWN BY:  
SCALE:  
CAD SAVED NAME:  
DATE: April 20, 2016

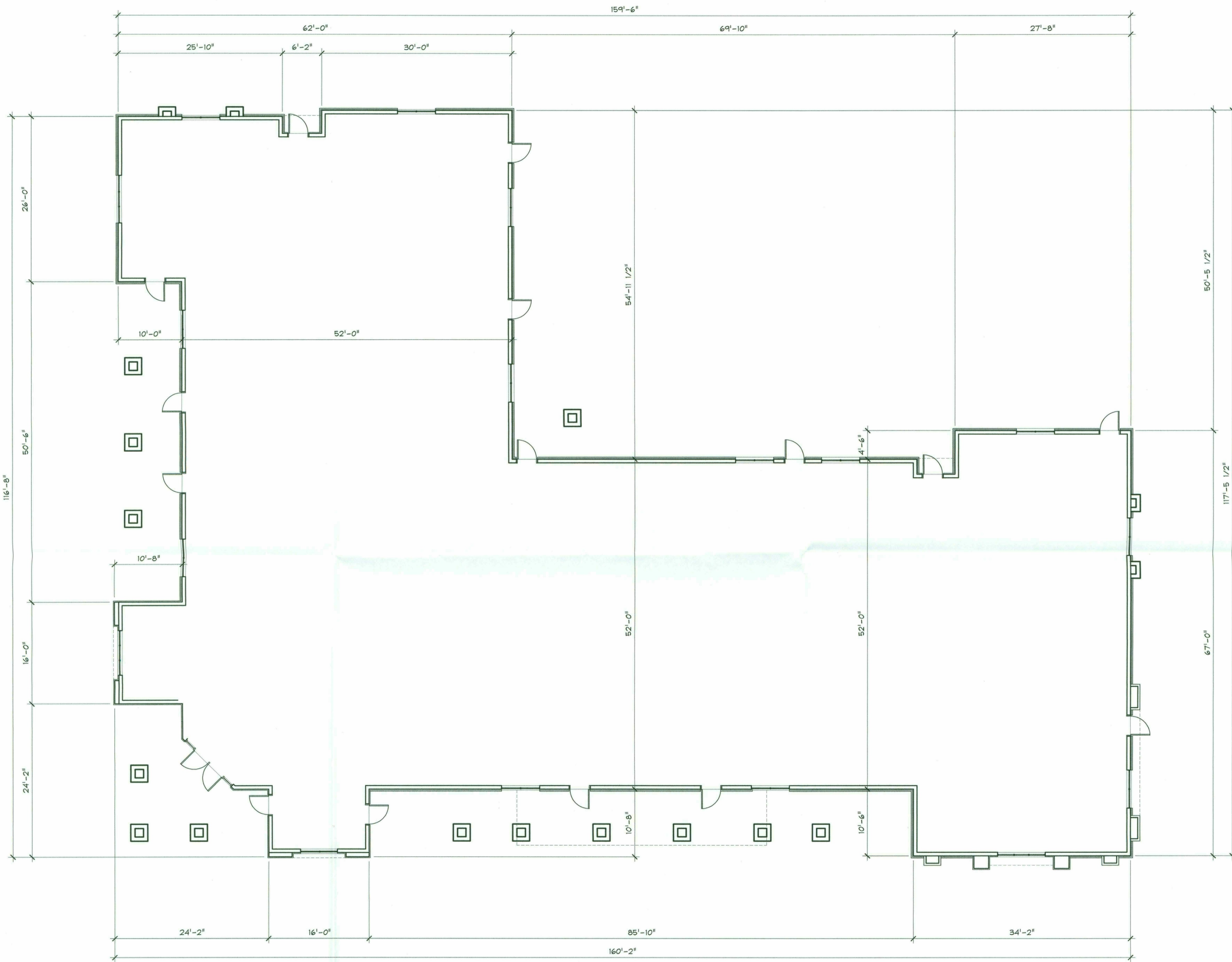
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PROPOSED EXTERIOR ELEVATIONS FOR:  
**PRIMROSE at WINDGATE**  
N.W.C. BELL ROAD & THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ

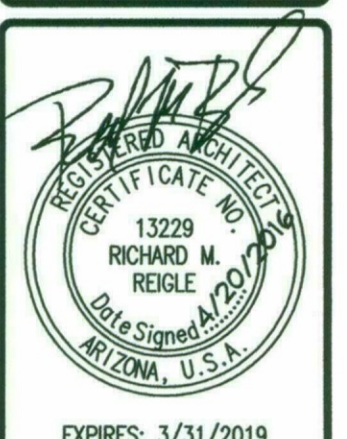
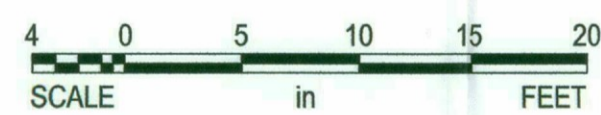
STAMP: RETAIN TITLE APPROVED [Signature]

DATE: SHEET NO. DR-01

landscape



**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



REVISIONS

**REIGLE & ASSOCIATES**  
ARCHITECTURE PLANNING, LTD.  
1509 East Shea Blvd., Suite 100 Phoenix, AZ 85028 Ph: 602-491-1001 www.reiglearb.com

PROJECT NO. 1551  
DRAWN BY: A.R.  
SCALE: 1/8" = 1'-0"  
CAD SAVED NAME:  
DATE: April 20, 2016

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85395

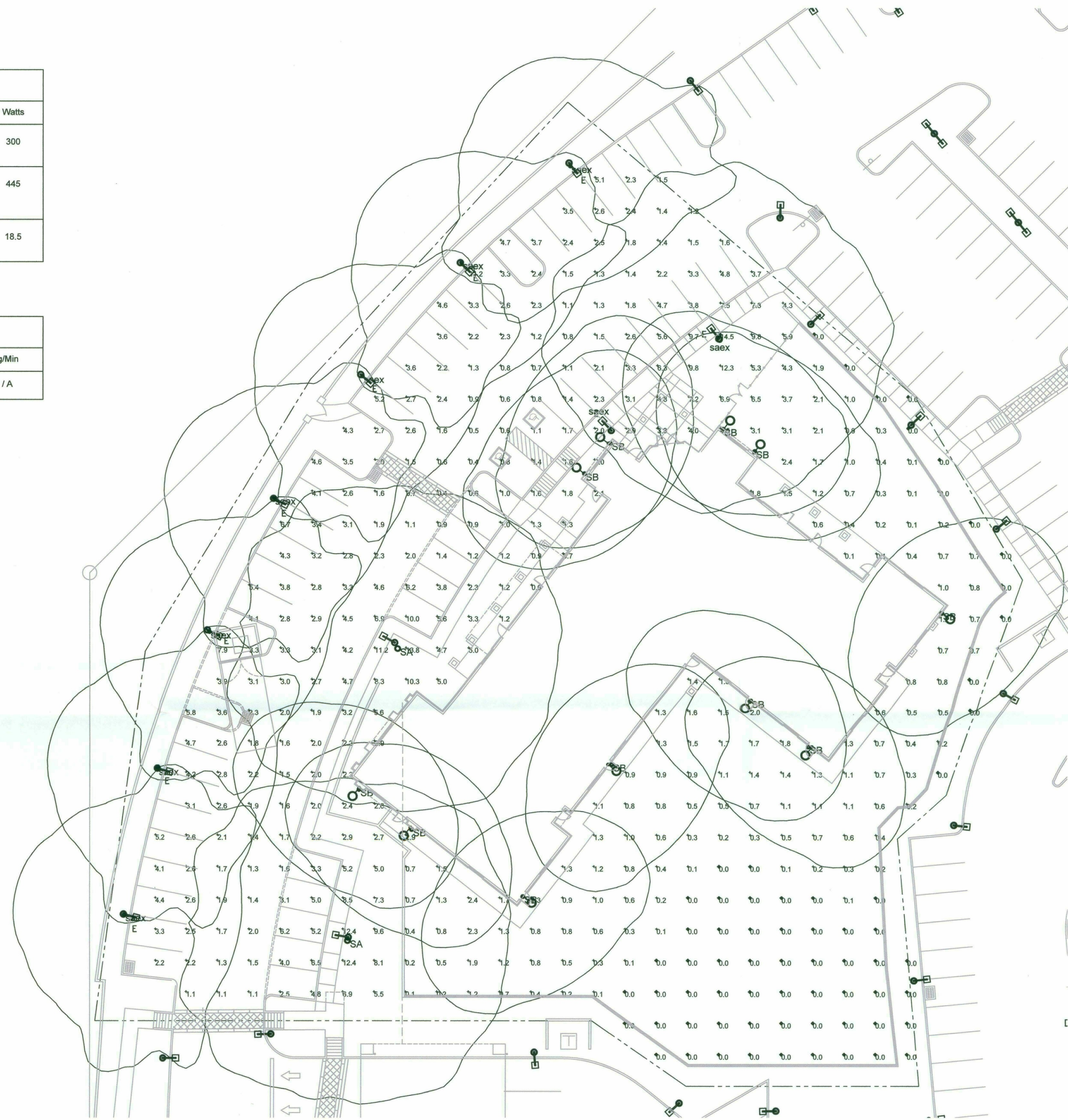
SHEET TITLE  
PRELIM.  
FLOOR PLAN

SHEET NO.  
**FP.1**  
Version 1

*Flow Plan*

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	saex	9	existing pole mounted full cutoff fixtures		(1) 250W Metal Halide Medium ED17	s0205301.ies	20500	0.81	300
○	SA	2	ASL EH22RT 250M MOG GCF SR5S ANDB RSS14SHARM	FULL CUTOFF MATCHING EXISTING WITH 14 FT MOUNTING HEIGHT	ONE 250-WATT CLEAR ED28 METAL HALIDE, HORIZONTAL POS.	EH22_400M_MOG_GCF_SR5.ies	32000	0.81	445
○	SB	11	LUMINIS SR820-L1W30-BZT-W	WALL MOUNT AS DIRECTED BY ARCHITECT	LED	SR135-L1W18r1-R3.ies	Absolute	0.90	18.5

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
fc values at grade	+	2.1 fc	14.5 fc	0.0 fc	N/A	N/A



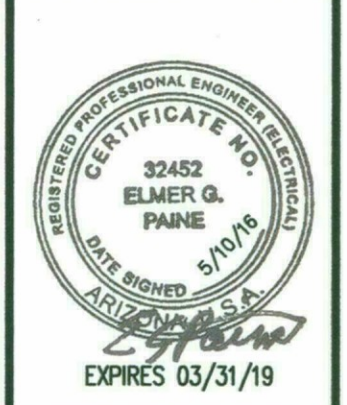
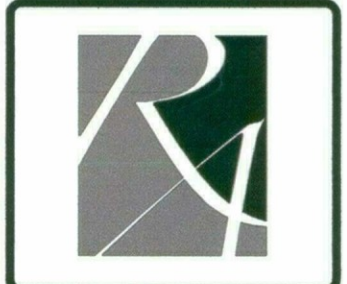
**ELECTRICAL SITE PLAN**  
1"=20'-0"

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE: 06/19/2016 INITIALS: [Signature]

**PETERSON ASSOCIATES**  
CONSULTING ENGINEERS INC.

7201 N. Drennon Drive  
Suite 200  
Phoenix, Arizona 85020  
(602) 943-6116  
Facsimile (602) 943-2507  
www.peterson.com  
Job No. 16057

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REVISIONS

**REIGLE & ASSOCIATES**  
ARCHITECTURE PLANNING, LTD.

1509 East Shea Blvd., Suite 103 Phoenix, AZ 85028 Ph: 602-993-2001 www.reigle.com

PROJECT NO. 1551  
DRAWN BY: CDS  
SCALE: 1"=20'-0"  
CAD SAVED NAME:  
DATE: April 20, 2016

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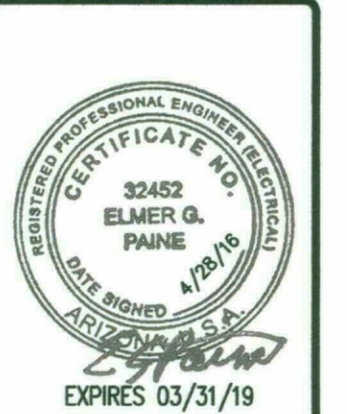
PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ

MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODPASTER, ARIZONA 85395

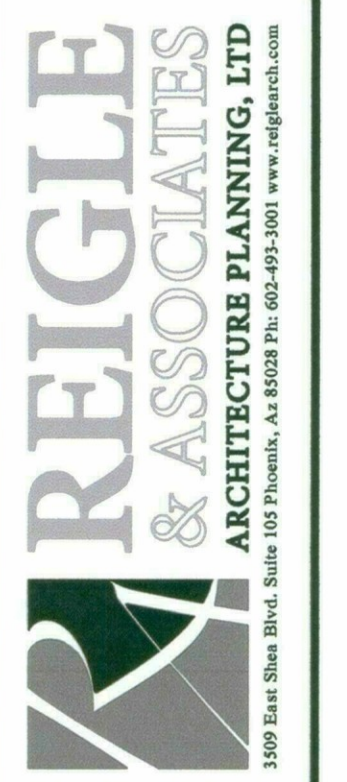
SHEET TITLE  
PHOTO-METRICS

SHEET NO.  
**PH1.0**

*Photometric*



REVISIONS	



PROJECT NO. 1551  
 DRAWN BY: CDS  
 SCALE: 1"=20'-0"  
 CAD SAVED NAME:  
 DATE: April 20, 2016

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
 17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
 MICHAEL VERLARDI  
 14260 WEST INDIAN SCHOOL ROAD  
 GOODYEAR, ARIZONA 85395

SHEET TITLE PHOTO-METRICS

SHEET NO. PH2.0

25-DR-2016 06/07/16

*Cutsheets*

### HANOVER SERIES Large Luminaires



**EH22RT GCSG**

**SPECIFICATIONS**

**DESCRIPTION**  
 The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe. Optional decoration shall be a shield at the bottom of the skirt.

**DIMENSIONS**  
 Dimensions shall be as detailed on the back page.

**MATERIALS**  
 The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. The optional shield shall be spun aluminum. All hardware shall be stainless steel.

**INSTALLATION**  
 The luminaire shall have 1/2" female, NPT at top for mounting to the Eurotique™ 5" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

**FINISH**  
 For finish specifications and color options, see "Finish" section in catalog.

**LIGHT SOURCE**  
 Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, mogul base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

**CERTIFICATION**  
 Upon request, manufacturer shall supply UL file and listing information.

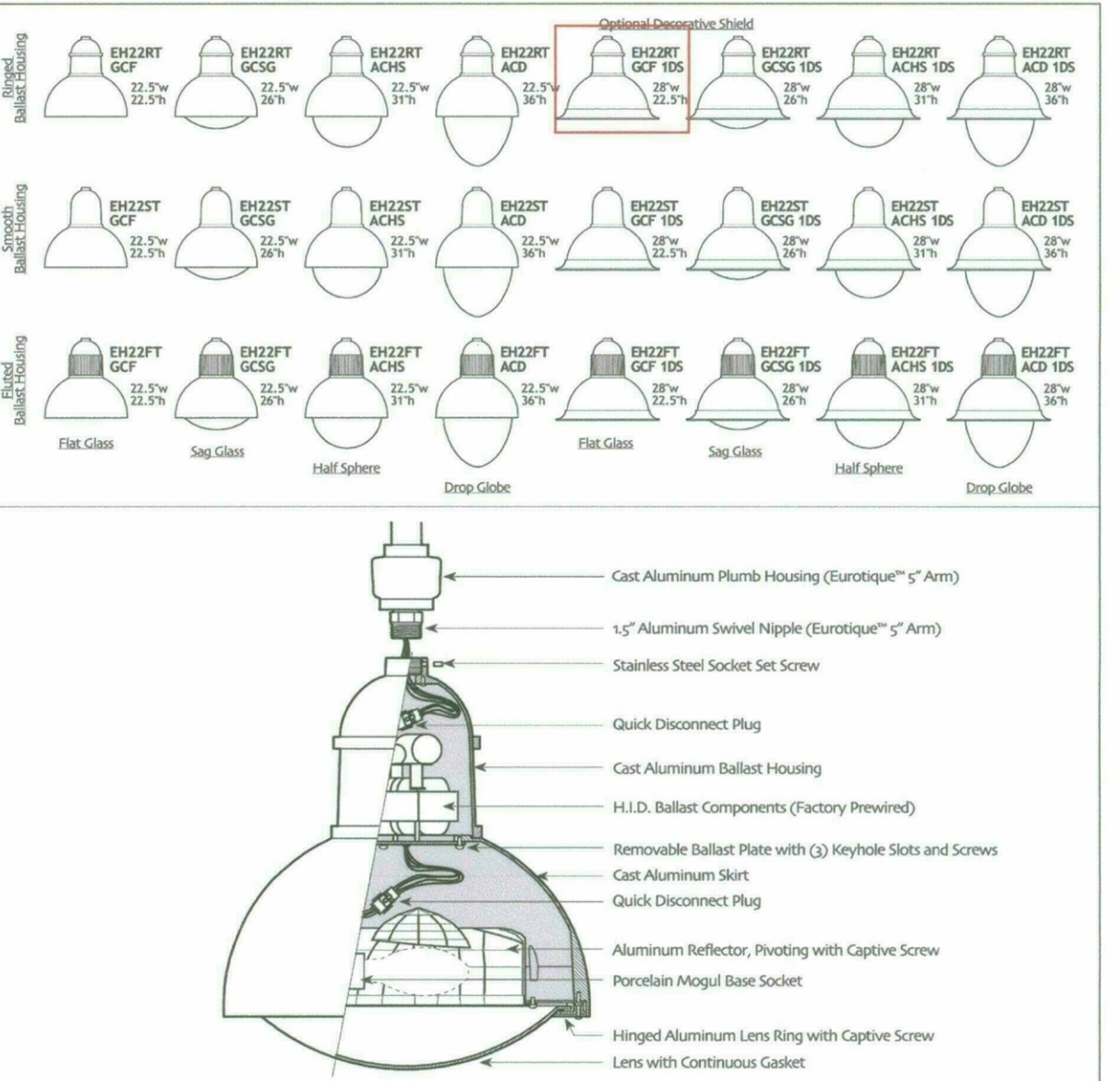
**PHOTOMETRY**  
 See "Eurotique™ PHOTOMETRICS" tab in catalog.

**EUROTIQUE™ Architectural Lighting**

ANTIQUE Street Lamps  
 2818 E. Broadway in Phoenix, AZ 85028  
 Ph: (520) 977-6444 Fax: (520) 977-6622  
 www.antslamps.com

### HANOVER SERIES Large Luminaires

### EUROTIQUE™ Architectural Lighting



**ORDERING INFORMATION**  
 Choose the ballast catalog nomenclature that best suits your needs and write it on the appropriate line. Example: EH22RT 150S MOG ACHS SR2 120 ANBK DF

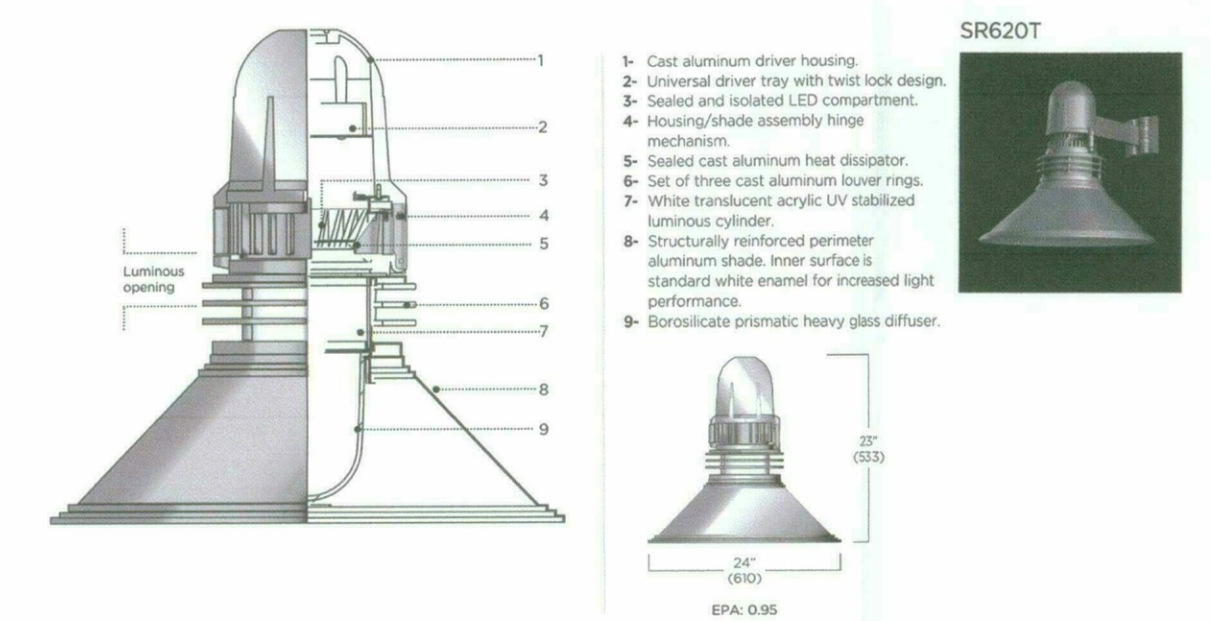
Series	Wattage/Lamp	Distribution	Voltage	Finish	Options
EH22RT	250W MOG	SR2	120	ANBK	HS House Side Bracket
EH22RT	400W MOG	SR3	208	ANBK	SB Single Bracket
EH22RT	150W MOG	SR4	240	ANBK	DF Double Flange
EH22RT	250W MOG	SR5	277	ANBK	SC Single Socket
EH22RT	400W MOG	SR5S	347	ANBK	DS Double Socket
			480	ANBK	CS Custom Socket

**Lens Material**  
 GCF Glass, Clear Flat  
 GCSG Glass, Clear Sag  
 ACHS Acrylic, Clear Half Sphere  
 ACD Acrylic, Clear Drop Globe

**Notes:**  
 1. Multi-tap ballast (250, 300, 270, 270, 270, 240) is compatible for wattage under 300 or 300 watt ballast.  
 2. For finish and color options, see finish section in catalog.  
 3. See Photometrics tab for distribution and ballast nomenclature for each line type and reflector construction.  
 ANTIQUE Street Lamps 2818 E. Broadway in Phoenix, AZ 85028  
 Ph: (520) 977-6444 Fax: (520) 977-6622  
 www.antslamps.com

### LUMINIS. SR620 SERIES SCIROCCO - LED

TYPE: QUANTITY: PROJECT: CATALOG NUMBER: FEATURE WATTAGE VOLTAGE FINISH OPTION OPTION OPTION OPTION



**SR620T**

- Cast aluminum driver housing.
- Universal driver tray with test lock design.
- Sealed and isolated LED compartment.
- Housing/shade assembly hinge mechanism.
- Sealed cast aluminum heat dissipator.
- Set of three cast aluminum lower rings.
- White translucent acrylic UV stabilized luminaire cylinder.
- Structurally reinforced perimeter aluminum shade. Inner surface is standard white enamel for increased light performance.
- Reconfigurable prismatic glass diffuser.

**MOUNTING**  
 Maximum weight: 22 lbs (10.2kg)  
 Scirocco is designed as a modular luminaire concept offering a selection of mounting arrangements for various architectural requirements. Pole, wall or suspended attachments are provided with high quality components to meet multiple installation conditions. (Refer to reverse page)

**CERTIFICATION**  
 Listed to UL1084 and CSA 22.2 #25 ETL listed wet location. Photometry tested per IES LM-79-09 / IES LM80 test report at 25°C rated IP65.

**ELECTRICAL**  
**DRIVER** Standard driver is 0-10V dimming-ready (dms to 10%) with 100-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C (-22°F) to 60°C (140°F), output over voltage protection, output over current protection and output short circuit protection with auto-recovery.  
**LED** Standard 4000K LED platform included. Optional 3000K and 3500K. Removable modular LED platform.

**LIFE** 50,000hrs L<sub>B50</sub> (based on IESNA TM-21 Test Method and LM-80 data), 68,000hrs L<sub>B50</sub> (calculated projection from LM-80 data).

**FINISH** Flat-plate preparation process including preheating of cast aluminum parts for air pocket extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

**LUMINIS.™** Toll free: 866.586.4647 Fax: 514.683.8872 260 Labrador, Pointe-Claire (QC) Canada H9R 5L5 Luminaires may be altered for design improvement or discontinued without prior notice.

### SR620 SERIES SCIROCCO - LED

**TYPICAL PHOTOMETRY SUMMARY**

Descriptive Information  
 Total Lm: 2097 Lumens  
 Total Input Watts: 53 W  
 Source: LED  
 Total efficiency: 39.4%  
 BUG Rating: BI-US-G1  
 Distribution: Type V  
 CCT: 4000K

Outdoor report Polar graph  
 Maximum Candela = 762

Please visit our web site www.luminis.com for complete I.E.S. formatted download data.

**LUMINAIRE SELECTION**

MODEL#	LED LIGHT SELECTION	WATTAGE	DELIVERED LUMENS	CRI	CCT °K	VOLTAGE	FINISH	STANDARD COLORS
SR620	<input type="checkbox"/> LW30 <input type="checkbox"/> LW56	28W 53W	150 2097	80	4000K	<input type="checkbox"/> 120V <input type="checkbox"/> 277V Optional <input type="checkbox"/> 347V	<input type="checkbox"/> WH White <input type="checkbox"/> BK Black <input type="checkbox"/> BR Bronze <input type="checkbox"/> MS Matt Silver <input type="checkbox"/> GR Titanium gray <input type="checkbox"/> DM Gun metal <input type="checkbox"/> CH Champagne	<input type="checkbox"/> CS Custom color <input type="checkbox"/> RAL RAL color (Refer to color chart)

**ACCESSORIES**  
 SPB Silver braided power cord with adjustable suspension cable, 36" in length (other lengths on request). Safety cable extends 30" over mounting plate with stem mounting only.  
 SC Stabilizer cables  
 HS House shield installed within the glass diffuser.

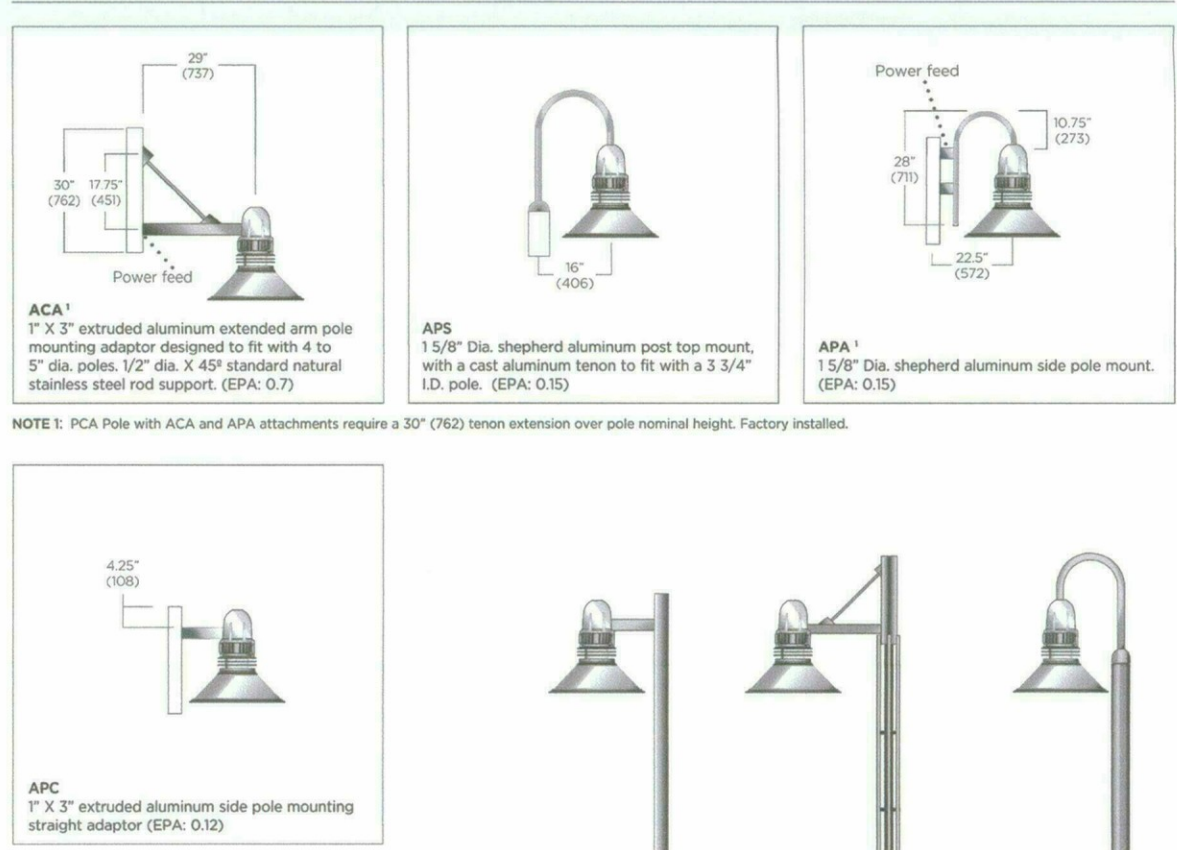
**OPTIONAL COLORS**  
 CS Custom color  
 RAL RAL color  
 (Refer to color chart)

**NOTES**  
 1. Luminaires are factory pre-wired for 120V (if no voltage is specified). For other voltages, please specify with catalog number, or consult factory.  
 2. Fuse and photo-cell sensors are normally installed with poles when specified with Luminis luminaires. (Except for other types of mounting.)

**LUMINIS.™** Toll free: 866.586.4647 Fax: 514.683.8872 260 Labrador, Pointe-Claire (QC) Canada H9R 5L5 Luminaires may be altered for design improvement or discontinued without prior notice.

### SR620 SERIES SCIROCCO - LED

**POLE MOUNT**



**ACA** 1" x 3" extruded aluminum extended arm pole mounting adaptor designed to fit with a 1/2" dia. pole, 1/2" dia. x 4" standard natural stainless steel rod support. (EPA: 0.7)

**APS** 1.5" Dia. shpherd aluminum post top mount, with a cast aluminum tenon to fit with a 3/4" dia. pole. (EPA: 0.15)

**APA** 1.5" Dia. shpherd aluminum side pole mount. (EPA: 0.15)

**APC** 1" x 3" extruded aluminum side pole mounting straight adaptor (EPA: 0.12)

**ARC** 1" x 3" extruded aluminum side pole mounting straight adaptor (EPA: 0.12)

**MATCHING POLE SELECTION**

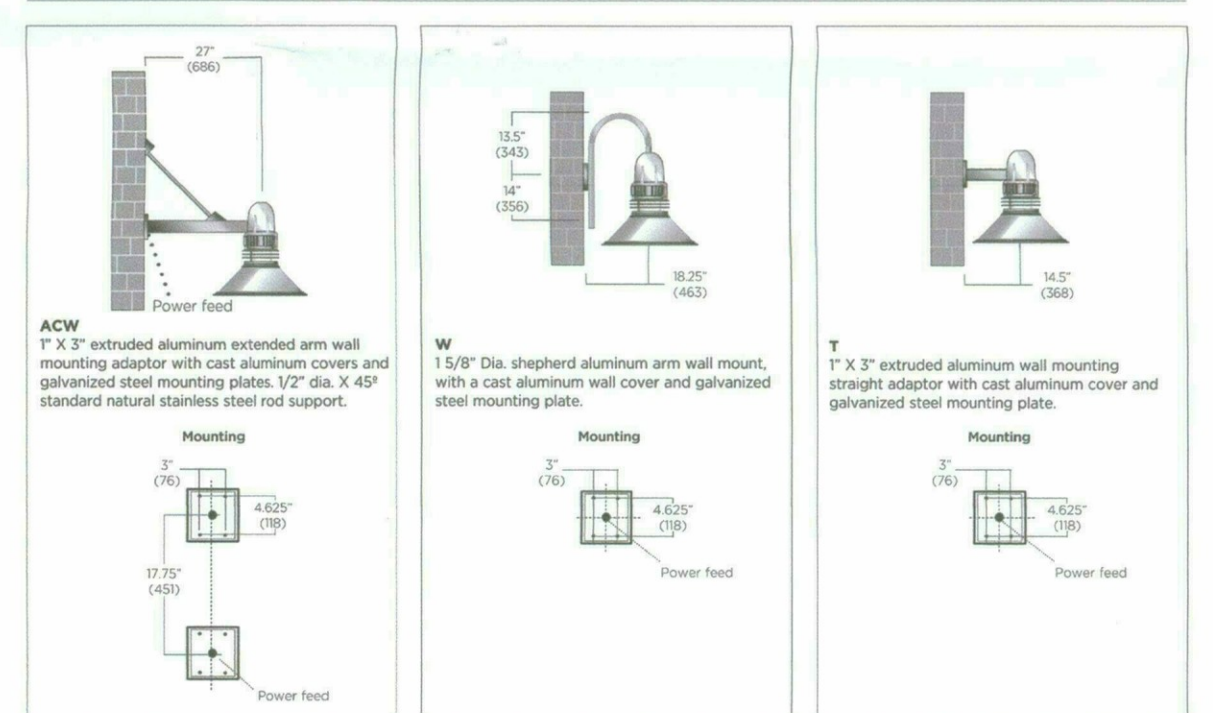
Ø 4"	Ø 5"	Ø 4"	Tapered Pole	Height
AAA40	PAAS10	PS10	PSB10	10 FL (3.0 M)
AAA44	PAAS12	PS12	PSB12	12 FL (3.6 M)
AAA44	PAAS14	PS14	PSB14	14 FL (4.2 M)
AAA46	PAAS16	PS16	PSB16	16 FL (4.8 M)
AAA48	PAAS18	PS18	PSB18	18 FL (5.5 M)
AAA40	PAAS20	PS20	PSB20	20 FL (6.0 M)
AAA40	PAAS25	PS25	PSB25	25 FL (7.6 M)

For additional pole details, please refer to separate pole specification sheet.  
 Ø 4" x 100mm, Ø5" x 127mm

**LUMINIS.™** Toll free: 866.586.4647 Fax: 514.683.8872 260 Labrador, Pointe-Claire (QC) Canada H9R 5L5 Luminaires may be altered for design improvement or discontinued without prior notice.

### SR620 SERIES SCIROCCO - LED

**WALL MOUNT**

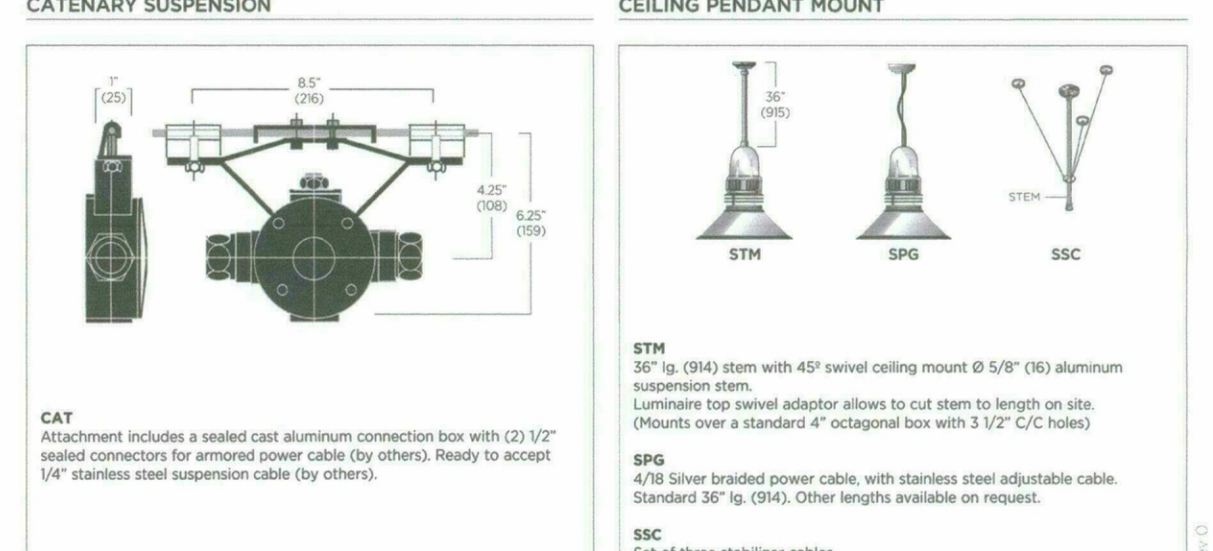


**ACW** 1" x 3" extruded aluminum extended arm wall mounting adaptor with cast aluminum covers and galvanized steel mounting plates, 1/2" dia. x 4" standard natural stainless steel rod support.

**W** 1.5" Dia. shpherd aluminum arm wall mount, with a cast aluminum wall cover and galvanized steel mounting plate.


**T** 1" x 3" extruded aluminum wall mounting straight adaptor with cast aluminum cover and galvanized steel mounting plate.

**CATENARY SUSPENSION**



**CAT** Attachment includes a sealed cast aluminum connection box with (2) 1/2" sealed connectors for armored power cable (by others). Ready to accept 1/4" stainless steel suspension cable (by others).

**CEILING PENDANT MOUNT**



**STM** 3/8" x (9/16) stem with 45° swivel ceiling mount @ 5/8" (16) aluminum suspension stem. Luminaire top swivel adaptor allows to cut stem to length on site. (Mounts on a standard 4" octagonal box with 3 1/2" C/C holes)

**SPG** 4/8 Silver braided power cable, with stainless steel adjustable cable. Standard 36" lg. (914). Other lengths available on request.

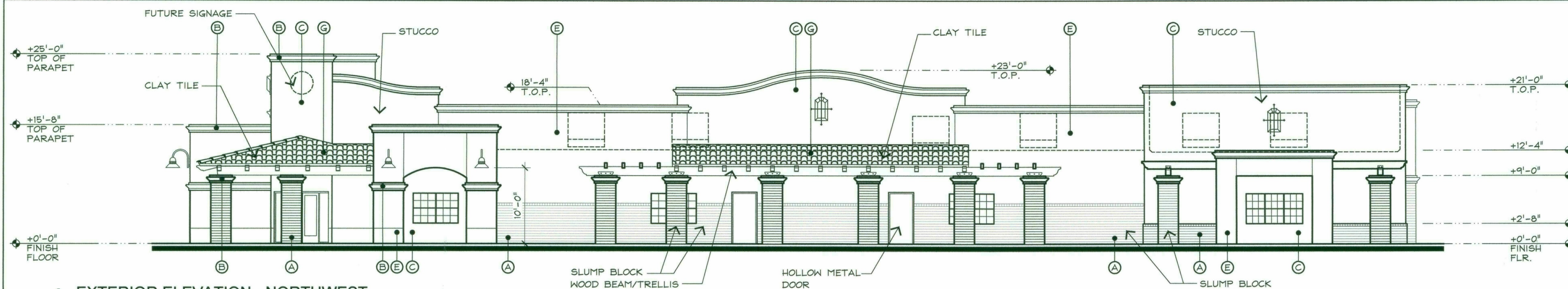
**SSC** Set of three stabilizer cables.

**LUMINIS.™** Toll free: 866.586.4647 Fax: 514.683.8872 260 Labrador, Pointe-Claire (QC) Canada H9R 5L5 Luminaires may be altered for design improvement or discontinued without prior notice.

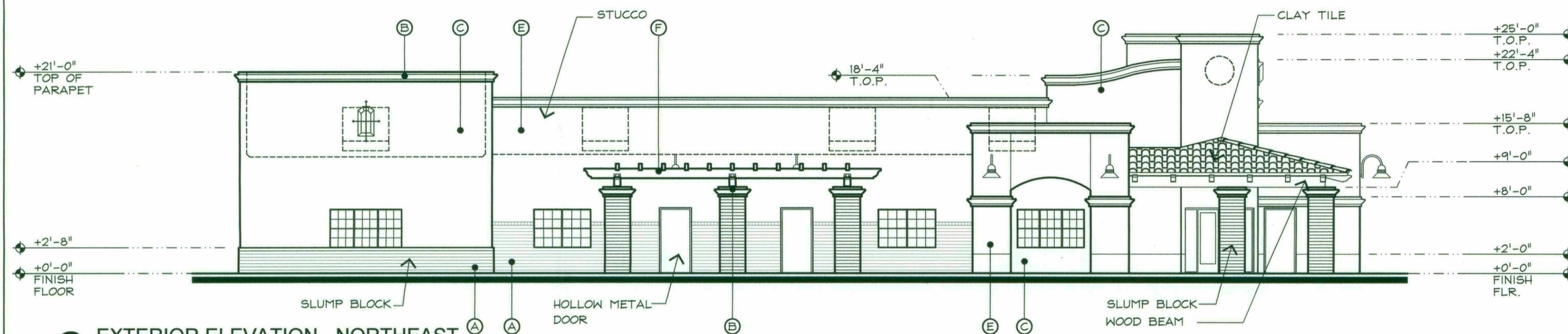
7201 N. Dreamy Drive Suite 200  
 Phoenix, Arizona 85020  
 (602) 943.6116  
 Focalside (602) 943.2507  
 www.mpeconline.com  
 Job No. 16057

**PETERSON ASSOCIATES**  
 CONSULTING ENGINEERS INC.

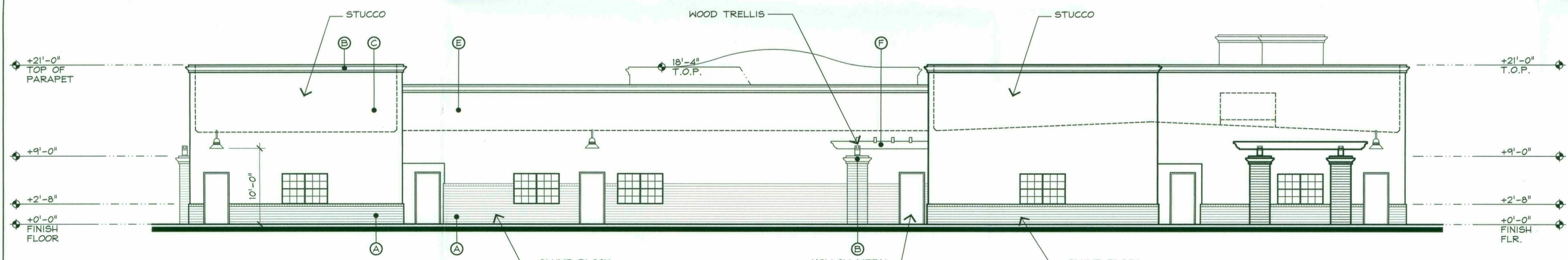
ALL CONCEPTS, DESIGNS, AND DATA INDICATED ON THESE DOCUMENTS ARE THE SOLE PROPERTY OF THE PETERSON ASSOC. ENGINEERS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.



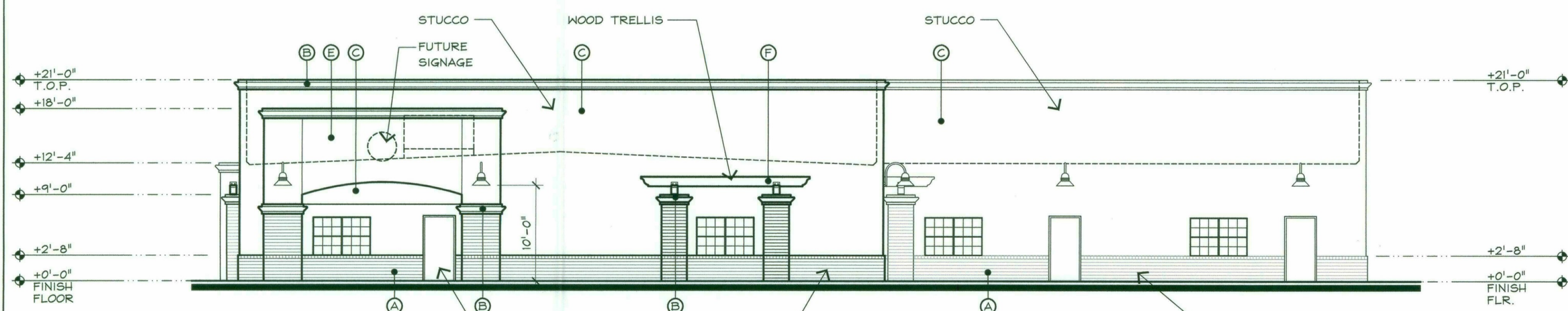
**1 EXTERIOR ELEVATION - NORTHWEST**  
SCALE: 1/8" = 1'-0"



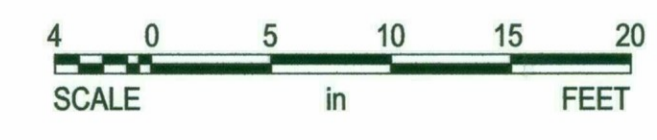
**2 EXTERIOR ELEVATION - NORTHEAST**  
SCALE: 1/8" = 1'-0"



**3 EXTERIOR ELEVATION - SOUTHEAST**  
SCALE: 1/8" = 1'-0"



**4 EXTERIOR ELEVATION - SOUTHWEST**  
SCALE: 1/8" = 1'-0"



**COLOR / FINISHES**

- A. SUPERLITE - "ADOBE BUFF" MORTAR WASHED SLUMP BLOCK
- B. DUNN EDWARDS - DEA 172 "CAMOFLAGE"
- C. DUNN EDWARDS - DE 6174 "RIDGECREST"
- D. NOT APPLICABLE
- E. DUNN EDWARDS - DE 6173 "PAPER SACK"
- F. OKON - OK624 "CHARCOAL"
- G. REDLAND CLAY TILE - OLD SEDONA BLEND



EXPIRES: 3/31/2019

REVISIONS


**REIGLE & ASSOCIATES**  
ARCHITECTURE PLANNING, LTD.  
1509 East Shea Blvd., Suite 105 Phoenix, AZ 85028 Ph: 602-493-3001 www.rapllc.com

PROJECT NO. 1551  
DRAWN BY: A.R.  
SCALE: 1/8" = 1'-0"  
CAD SAVED NAME:  
DATE: April 20, 2016

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PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17060 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85395

SHEET TITLE  
PRELIM.  
EXT. ELEVS.  
SHEET NO. 01/18/2016  
DATE  
**EL.1**  
Version 1

# NAOS PLAN FOR PRIMROSE SCHOOL

NWC BELL ROAD & THOMPSON PEAK PARKWAY  
SCOTTSDALE, ARIZONA 85255

### LEGEND

- DESIGNATES NATURAL NAOS AREA FOR LOT 16
- DESIGNATES REVEGETATED NAOS FOR LOT 16
- DESIGNATES EXISTING NAOS AREA FOR LOT 17 TO BE REPLACED ONTO LOT 16.
- DESIGNATES EXISTING REVEGETATED NAOS LOT 17
- DESIGNATES EXISTING NATURAL NAOS LOT 17
- LIMIT OF 0.85 ACRE DEDICATION AREA

### NOTES

1. NAOS DISTURBANCE WITHIN LOT 16 IS PART OF THE APPROVED MASTER NAOS PLAN FOR THE WINDGATE CROSSING PROJECT.

TOTAL NAOS REQUIRED ON LOT 16 & LOT 17 PER ZONING STIPULATION 4, CASE NO. 3-ZN-2-12/3-GP-2012 = 4.26 AC

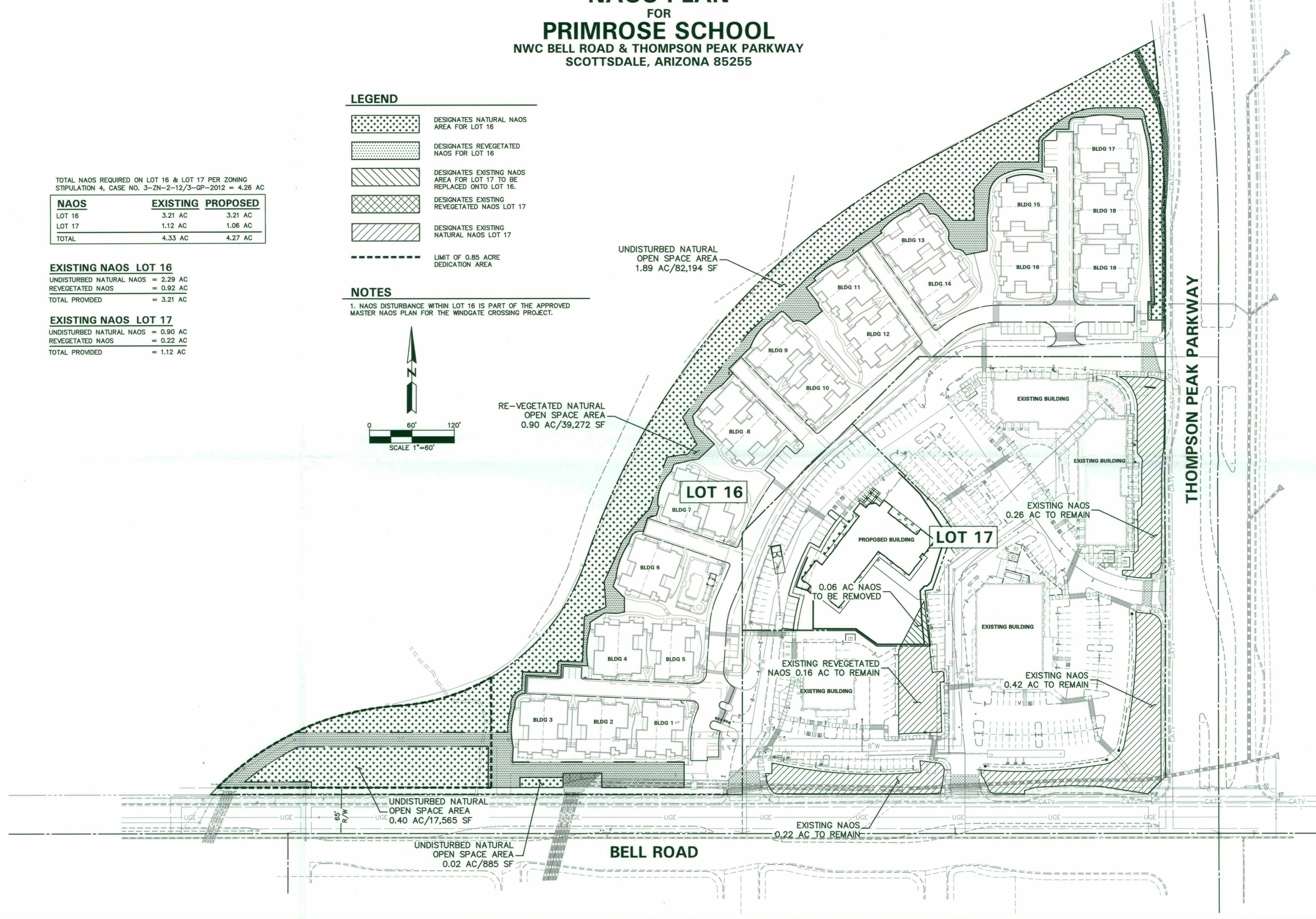
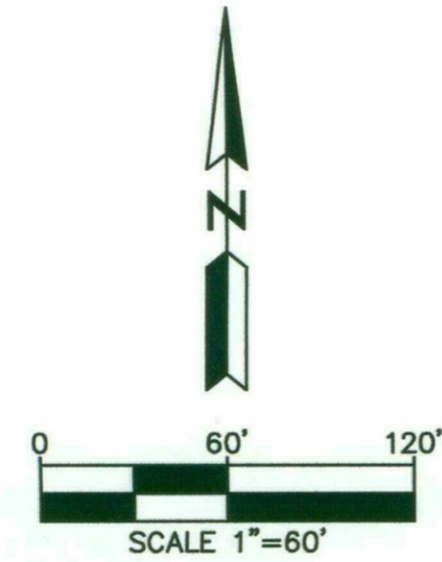
NAOS	EXISTING	PROPOSED
LOT 16	3.21 AC	3.21 AC
LOT 17	1.12 AC	1.06 AC
TOTAL	4.33 AC	4.27 AC

#### EXISTING NAOS LOT 16

UNDISTURBED NATURAL NAOS = 2.29 AC  
REVEGETATED NAOS = 0.92 AC  
TOTAL PROVIDED = 3.21 AC

#### EXISTING NAOS LOT 17

UNDISTURBED NATURAL NAOS = 0.90 AC  
REVEGETATED NAOS = 0.22 AC  
TOTAL PROVIDED = 1.12 AC



NO.	DATE	REVISION	BY

DESIGN BY: JPB  
DRAWN BY: MM  
CHECKED BY: JPB

**HUNTER**  
ENGINEERING  
CIVIL AND SURVEY  
10450 NORTH 74TH STREET, SUITE 200  
SCOTTSDALE, AZ 85256  
T 480 991 3885  
F 480 991 3886

PRELIMINARY  
PLANS  
NOT FOR  
CONSTRUCTION

**PRELIMINARY NAOS PLAN  
FOR  
PRIMROSE AT WINGATE  
17050 N. THOMPSON PEAK PKWY  
SCOTTSDALE, ARIZONA**

STIPULATION MET  
RETAIN FOR RECORDS  
APPROVED

DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_  
CALL TWO WORKING DAYS BEFORE YOU DIG (602)263-1100  
1-800-STAKE-IT (OUTSIDE MARICOPA COUNTY)

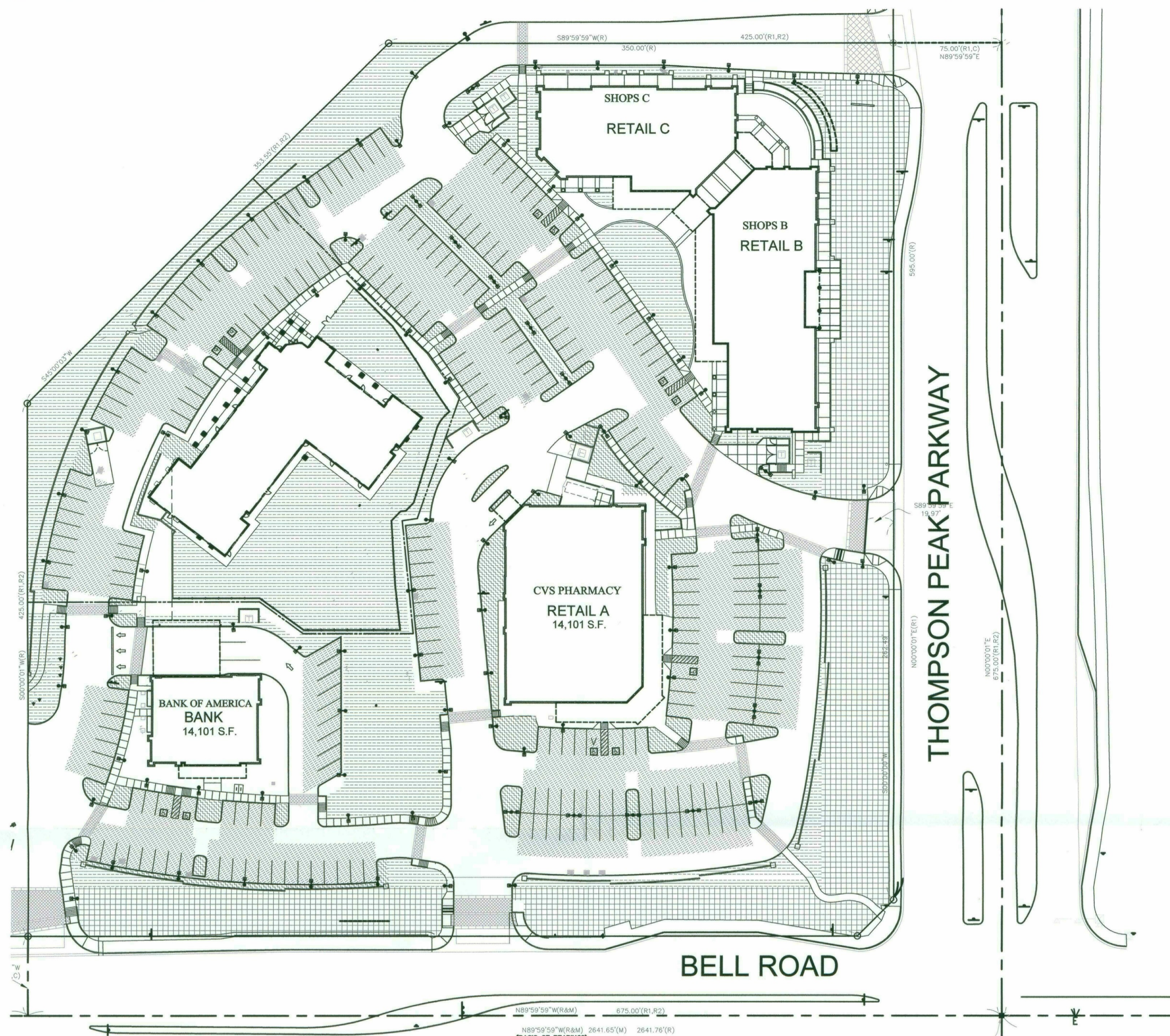
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: PRMR001

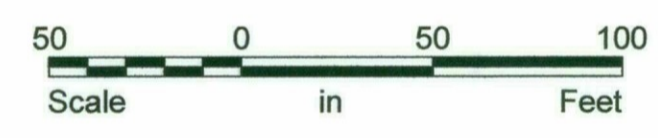
SCALE 1"=60'

SHEET  
**EXA**

NAOS



1 SITE PLAN / OPEN SPACE PLAN  
SCALE: 1" = 50'-0"



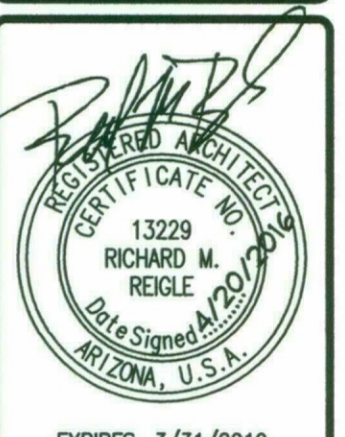
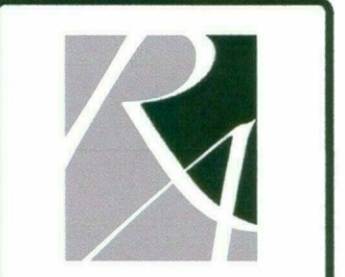
OPEN SPACE WORKSHEET

OPEN SPACE  
REQUIRED (NET LOT AREA X .21)  
340,436 S.F. X 0.21 = 71,492 S.F.

FRONT OPEN SPACE  
REQUIRED (ONE HALF REQ'D OPEN SPACE)  
71,492 S.F. X 0.5 = 35,746 S.F.

PARKING LANDSCAPE AREA  
REQUIRED (PARKING AREA X .15)  
73,180 S.F. X 0.15 = 11,977 S.F.

	OPEN SPACE: REQUIRED PROVIDED	71,492 S.F. 83,165 S.F.
	FRONT OPEN SPACE: REQUIRED PROVIDED	35,746 S.F. 38,317 S.F.
	PARKING AREA: PROVIDED	73,180 S.F.
	PARKING LANDSCAPE AREA: REQUIRED PROVIDED	11,977 S.F. 14,213 S.F.



EXPIRES: 3/31/2019

REVISIONS


**REIGLE & ASSOCIATES**  
ARCHITECTURE PLANNING, LTD  
1509 East Shea Blvd., Suite 105 Phoenix, AZ 85028 Ph: 602-491-3001 www.reigle.com

PROJECT NO.  
1551

DRAWN BY:  
pf

SCALE:  
1"=50'-0"

CAD SAVED NAME:

DATE:  
April 20, 2016

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DATE: 04/20/2016

PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85395

SHEET TITLE  
OPEN SPACE PLAN

SHEET NO.  
**OS.1**

*Site Plan Worksheet*

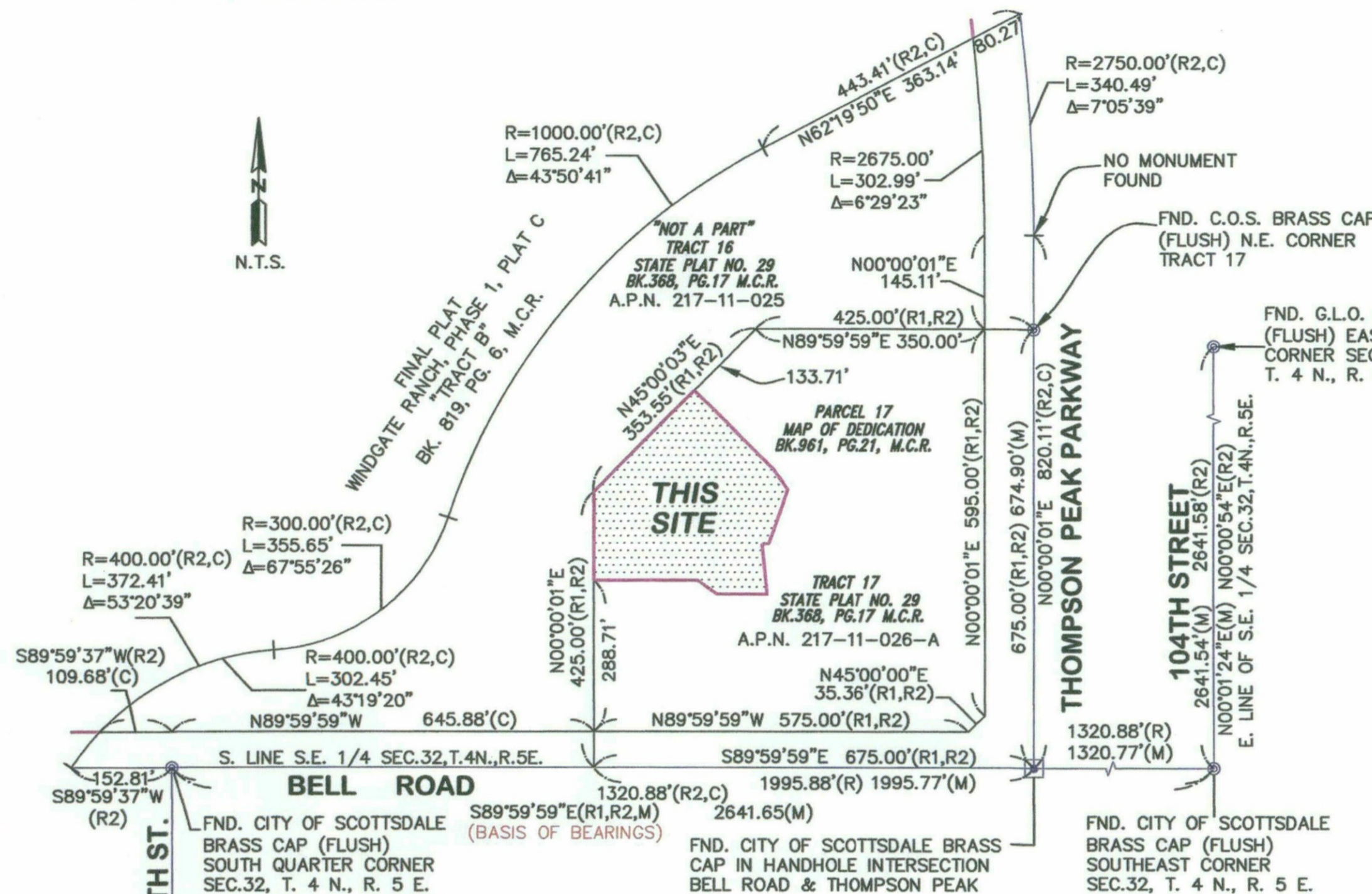
# ALTAINSPS LAND TITLE SURVEY

A PORTION OF TRACT 17, STATE PLAT NO. 29 RECORDED IN BOOK 368 OF MAPS, PAGE 17 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

## SCHEDULE "B" ITEMS:

- 1 RESERVATIONS OR EXCEPTIONS IN OR ACTS AUTHORIZING THE ISSUANCE THEREOF. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 2 WATER RIGHTS, CLAIMS OR TITLE TO WATER, AND AGREEMENTS, COVENANTS, CONDITIONS OR RIGHTS INCIDENT THERETO, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS EXCEPTION IS NOT LIMITED BY REASON OF THE DISCLOSURE OF ANY MATTER RELATING TO WATER RIGHTS AS MAY BE SET FORTH ELSEWHERE IN SCHEDULE B. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 3 TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE FOLLOWING YEAR: 2016 (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 4 EASEMENTS FOR RIGHT OF WAY AS SHOWN ON THE PLAT RECORDED IN BOOK 368 OF MAPS, PAGE 17. (AS SHOWN ON THE SURVEY, LABELLED (R2) PER BK. 368, PG. 17)
- 5 ALL MATTERS SET FORTH IN RIGHT-OF-WAY NO. 09-002955 GRANTED BY THE STATE LAND DEPARTMENT, STATE OF ARIZONA, TO MARICOPA COUNTY BOARD OF SUPERVISORS FOR LOCATION, CONSTRUCTION, OPERATION AND MAINTENANCE OF A HIGHWAY AND HAVING A TERM THAT IS PERPETUAL. A CHANGE OF GRANTEE NAME TO CITY OF SCOTTSDALE WAS FILED ON JULY 16, 2002; AND THEREAFTER SAID RIGHT-OF-WAY WAS RECORDED MARCH 12, 1962 IN DOCKET 4060, PAGE 541. (DOES NOT AFFECT THE PARCELS, AS SHOWN ON THE SURVEY)
- 6 ALL MATTERS SET FORTH IN 50 YEAR RIGHT-OF-WAY NO. 14-53637 COMMENCING FEBRUARY 10, 1994, GRANTED BY THE STATE LAND DEPARTMENT, STATE OF ARIZONA, TO CITY OF SCOTTSDALE FOR AN UNDERGROUND WATER PIPELINE HAVING A TERM EXPIRING 50 YEARS AFTER COMMENCEMENT DATE. (DOES NOT AFFECT THE PARCELS, AS SHOWN ON THE SURVEY)
- 7 ALL MATTERS SET FORTH IN RIGHT-OF-WAY NO. 16-53638, GRANTED BY THE STATE LAND DEPARTMENT, STATE OF ARIZONA, TO CITY OF SCOTTSDALE, FOR PUBLIC ROAD, WATER AND SEWER, DRAINAGE AND SLOPE EASEMENTS HAVING A TERM THAT IS PERPETUAL AND AMENDMENT TO RIGHT-OF-WAY DATED OCTOBER 3, 1995 AND RECORDED SEPTEMBER 19, 1997 AS DOCUMENT NO. 97-0652885. (DOES NOT AFFECT THE PARCELS, AS SHOWN ON THE SURVEY)
- 8 TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER MATTERS, SET FORTH IN DEVELOPMENT AGREEMENT 2004-026-COS RECORDED APRIL 6, 2004 AS DOCUMENT NO. 2004-358702; AND AMENDMENT NO. 1 TO DEVELOPMENT AGREEMENT 2004-026-COS RECORDED MAY 26, 2004 AS DOCUMENT NO. 2004-592199; COST PARTICIPATION AGREEMENT RECORDED JANUARY 9, 2006 AS DOCUMENT NO. 2006-0033633; AND THEREAFTER THE EFFECTS OF SATISFACTION AND RELEASE RECORDED AUGUST 8, 2011 AS DOCUMENT NO. 2011-658653 AND RECORDED MARCH 6, 2012 AS DOCUMENT NO. 2012-085404. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 9 THE TERMS, CONDITIONS, LIABILITIES AND OBLIGATIONS CONTAINED IN THE DOCUMENT ENTITLED INFRASTRUCTURE PAYBACK AND REPAYMENT AGREEMENT RECORDED APRIL 19, 2007 AS DOCUMENT NO. 2007-458911. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 10 TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER MATTERS, AS SET FORTH IN DEVELOPMENT AGREEMENT (HAPPY VALLEY ROAD CONSTRUCTION EAST OF PIMA ROAD) RECORDED JUNE 26, 2007 AS DOCUMENT NO. 2007-731419. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 11 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2007-927874 PURPOSE GAS PIPELINE OR PIPELINES (DOES NOT AFFECT THE PARCELS, AS SHOWN ON THE SURVEY)
- 12 EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SETBACK LINES AS SHOWN ON THE PLAT RECORDED IN BOOK 961 OF MAPS, PAGE 21 AND PARTIAL RELINQUISHMENT OF EASEMENTS AS SET FORTH IN DOCUMENT RECORDED DECEMBER 5, 2008 AS DOCUMENT NO. 2008-1037003 AND RELEASE OF EASEMENT (INDIVIDUAL) RECORDED MAY 22, 2014 AS DOCUMENT NO. 2014-334232, OMITTING, IF ANY, FROM THE ABOVE, ANY RESTRICTIONS BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN. (AS SHOWN ON THE SURVEY)
- 13 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2008-1037043 PURPOSE NATURAL AREA OPEN SPACE INCLUDING RESTORED DESERT (DOES NOT AFFECT THE PARCELS, AS SHOWN ON THE SURVEY)
- 14 THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED WAIVER OF RIGHT TO MAKE A CLAIM UNDER PROPOSITION 207, RECORDED JUNE 30, 2011 AS DOCUMENT NO. 2011-545529 AND IN DOCUMENT RECORDED AUGUST 27, 2013 AS DOCUMENT NO. 2013-776793. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 15 THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED AGREEMENT REGARDING EASEMENTS AND COVENANTS AFFECTING LAND RECORDED MARCH 1, 2013 AS DOCUMENT NO. 2013-196595 AND NOTICE STATEMENT RECORDED MAY 30, 2013 AS DOCUMENT NO. 2013-496036; AND ASSIGNMENT AND ASSUMPTION OF AGREEMENT REGARDING EASEMENTS AND COVENANTS AFFECTING LAND RECORDED FEBRUARY 5, 2016 AS DOCUMENT NO. 2016-76268. (AS SHOWN ON THE SURVEY)
- 16 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2014-348628 PURPOSE EMERGENCY AND SERVICE VEHICLE ACCESS (AS SHOWN ON THE SURVEY)
- 17 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2014-348629 PURPOSE PUBLIC UTILITIES (AS SHOWN ON THE SURVEY)
- 18 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2014-348632 PURPOSE WATER LINE (AS SHOWN ON THE SURVEY)
- 19 THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED CITY OF SCOTTSDALE DRAINAGE AND FLOOD CONTROL EASEMENT AND PROVISIONS FOR MAINTENANCE RECORDED MAY 30, 2014 AS DOCUMENT NO. 2014-351599. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 20 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2016-147921 PURPOSE USING, MAINTAINING, REPAIRING AND REPLACING FROM TIME TO TIME THE SIGN LOCATED ON THE BURDENED PROPERTY (AS SHOWN ON THE SURVEY)
- 21 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2015-039833 PURPOSE NATURAL GAS PIPELINE OR PIPELINES (EASEMENT NOT PLOTTABLE, AFFECTS PARCEL 17)
- 22 EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN DOCUMENT NO. 2015-564969 PURPOSE PUBLIC UTILITIES (AS SHOWN ON THE SURVEY)
- 23 ANY FAILURE TO COMPLY WITH THE TERMS, COVENANTS AND CONDITIONS OF THE CERTIFICATE OF PURCHASE NO. 53-114459 AS SET FORTH IN SCHEDULE (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 24 UNRECORDED LEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY LESSOR STATE OF ARIZONA (ACTING BY AND THROUGH THE ARIZONA STATE LAND DEPARTMENT) LESSEE WINDGATE CROSSING, LLC, AN ARIZONA LIMITED LIABILITY COMPANY DATED JUNE 23, 2003 TERM 65 YEARS AS DISCLOSED BY MEMORANDUM OF LEASE RECORDED DECEMBER 20, 2006 DOCUMENT NO. 2006-1861657 AND RE-RECORDED JUNE 15, 2007 DOCUMENT NO. 2007-692422 AND THEREAFTER RECOGNITION, NONDISTURBANCE AND ATTORNEY AGREEMENT RECORDED JUNE 15, 2007 AS DOCUMENT NO. 2007-692424; THE LESSEE'S INTEREST IN THE LEASE HAS BEEN ASSIGNED TO MCDOWELL WINDGATE HOLDINGS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY AS DISCLOSED BY ASSIGNMENT OF LONG TERM COMMERCIAL GROUND LEASE NO. 03-104798-99 RECORDED AUGUST 10, 2011 AS DOCUMENT NO. 2011-667128. (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 25 UNRECORDED SUBLEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY LESSOR WINDGATE CROSSING, LLC, AN ARIZONA LIMITED LIABILITY COMPANY LESSEE GERMAN DOBSON CVS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY DATED JANUARY 12, 2006 TERM 25 YEARS AS DISCLOSED BY MEMORANDUM OF LEASE RECORDED JANUARY 19, 2006 DOCUMENT NO. 2006-081503 AND THEREAFTER AMENDED BY FIRST AMENDMENT TO MEMORANDUM OF LEASE DATED JUNE 13, 2007 AND RECORDED JUNE 15, 2007 IN DOCUMENT NO. 2007-692423; AND THEREAFTER RECOGNITION, NONDISTURBANCE AND ATTORNEY AGREEMENT RECORDED JUNE 15, 2007 AS DOCUMENT NO. 2007-692424. (AFFECTS THE PARCELS BUT NOT THE SURVEY)

## OVERALL BOUNDARY ANALYSIS & VICINITY MAP:



## SCHEDULE "B" ITEMS:

- 26 UNRECORDED LEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY: LESSOR WINDGATE CROSSING, LLC LESSEE ONE PINT LLC AS DISCLOSED BY UCC FINANCING STATEMENT RECORDED FEBRUARY 06, 2008 DOCUMENT NO. 2008-106476 AND AMENDED BY UCC FINANCING STATEMENT AMENDMENT RECORDED JULY 12, 2010 DOCUMENT NO. 2010-586846 (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 27 UNRECORDED LEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY: LESSOR WINDGATE CROSSING, LLC LESSEE MODA FORTE BOUTIQUEST & SALON AS DISCLOSED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT RECORDED OCTOBER 30, 2014 DOCUMENT NO. 2014-721485 (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 28 UNRECORDED LEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY: LESSOR WINDGATE CROSSING, LLC LESSEE BANK OF AMERICA, NATIONAL ASSOCIATION AS DISCLOSED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT RECORDED JANUARY 26, 2015 DOCUMENT NO. 2015-050200 (AFFECTS THE PARCELS BUT NOT THE SURVEY)
- 29 UNRECORDED LEASE UNDER THE TERMS AND CONDITIONS CONTAINED THEREIN MADE BY: LESSOR WINDGATE CROSSING, LLC LESSEE JDA FITNESS LLC, AN ARIZONA LIMITED LIABILITY COMPANY AS DISCLOSED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT RECORDED MARCH 31, 2015 DOCUMENT NO. 2015-217020 (AFFECTS THE PARCELS BUT NOT THE SURVEY)

## NOTES:

1. ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, A NEBRASKA CORPORATION, ORDER NO.: 08063198-857-JXC, EFFECTIVE DATE: MAY 6, 2016, AMENDMENT DATE: MAY 11, 2016, AMENDMENT NO.: 1
2. THE UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON RECORDS PROVIDED BY THE RESPECTIVE UTILITY COMPANIES WITHOUT VERIFICATION BY THE SURVEYOR; THEREFORE, NO GUARANTEE CAN BE MADE AS TO THE EXTENT OF THE UTILITIES AVAILABLE, EITHER IN SERVICE, ABANDONED, NOR GUARANTEE TO THEIR EXACT LOCATION. PLEASE CALL "BLUE-STAKE" AT 602-263-1100, PRIOR TO ANY EXCAVATION OR TO DETERMINE WHAT UTILITIES FOR THE OPERATION OF THE PROPERTY ARE AVAILABLE AT THE LOT LINES, EITHER FROM CONTIGUOUS PROPERTY OR ADJOINING STREETS.
3. THE BASIS OF BEARING FOR THIS SURVEY IS A BEARING OF NORTH 89°59'59" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO THE PLAT OF "STATE PLAT NO. 29", AS RECORDED IN BOOK 368 OF MAPS, PAGE 17 (NOTED AS (R2) AND MAP OF DEDICATION AS RECORDED IN BOOK 961 OF MAPS, PAGE 21 (NOTED AS (R1))), RECORDS OF MARICOPA COUNTY, ARIZONA.
4. THE SURVEYOR HAS MADE NO ATTEMPT AND HAS NOT OBTAINED ANY INFORMATION RELATING TO, AND HAS NO KNOWLEDGE OF ANY PROPOSED RIGHT-OF-WAYS, EASEMENTS, OR DEDICATIONS THAT ANY MUNICIPALITY, INDIVIDUAL OR GOVERNMENTAL AGENCY MAY HAVE MADE OR MAY REQUIRE.
5. USE OF THE INFORMATION, CONTAINED IN THIS A.L.T.A./A.C.S.M. LAND TITLE SURVEY, FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED ("TITLE INSURANCE MATTERS"), IS FORBIDDEN, UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY HUNTER ENGINEERING, INC. AND THEREFORE SHALL HAVE NO LIABILITY FOR ANY SUCH UNAUTHORIZED USE.
6. THERE ARE NO BUILDINGS ON THE SUBJECT PARCEL.
7. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
8. THERE IS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
9. THERE IS NO EVIDENCE TO SUGGEST THAT THERE IS A CEMETERY OR BURIAL GROUNDS ON THESE PREMISES

**PARKING SPACES:**  
STANDARD PARKING SPACES = 38 SPACES  
HANDICAPPED PARKING SPACES = 2 SPACES

## LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
  
PARCEL NO. 1:  
A PORTION OF TRACT 17, AS SHOWN ON STATE PLAT NO. 29, ACCORDING TO BOOK 368 OF MAPS, PAGE 17, RECORDS OF MARICOPA COUNTY ARIZONA, SITUATED IN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
COMMENCING AT A CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE MARKING THE INTERSECTION OF BELL ROAD AND THOMPSON PEAK PARKWAY, FROM WHICH A CITY OF SCOTTSDALE BRASS CAP SET FLUSH, MARKING THE SOUTHEAST CORNER OF SAID SECTION 32 BEARS SOUTH 89 DEGREES 59 MINUTES 59 SECONDS EAST, A DISTANCE OF 1320.77 FEET AND FROM WHICH A CITY OF SCOTTSDALE BRASS CAP SET FLUSH MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 32 BEARS NORTH 89 DEGREES 59 MINUTES 59 SECONDS WEST, A DISTANCE OF 1320.88 FEET;  
THENCE NORTH 89 DEGREES 59 MINUTES 59 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 32, A DISTANCE OF 675.00 FEET TO THE SOUTHWEST CORNER OF SAID TRACT 17;  
THENCE NORTH 00 DEGREES 00 MINUTES 01 SECONDS EAST, ALONG THE WEST LINE OF SAID TRACT 17, A DISTANCE OF 288.71 FEET TO THE NORTHWEST CORNER OF LEASE PARCEL AS DESCRIBED IN DOCUMENT NO. 2006-1666208 RECORDS OF MARICOPA COUNTY, ARIZONA,  
SAID POINT ALSO BEING THE POINT OF BEGINNING:  
THENCE CONTINUING NORTH 00 DEGREES 00 MINUTES 01 SECONDS EAST, A DISTANCE OF 136.29 FEET;  
THENCE NORTH 45 DEGREES 00 MINUTES 03 SECONDS EAST, A DISTANCE OF 219.84 FEET;  
THENCE SOUTH 45 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 171.48 FEET;  
THENCE SOUTH 35 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 37.85 FEET;  
THENCE SOUTH 19 DEGREES 15 MINUTES 16 SECONDS WEST, A DISTANCE OF 88.10 FEET;  
THENCE SOUTH 81 DEGREES 49 MINUTES 24 SECONDS WEST, A DISTANCE OF 10.44 FEET;  
THENCE SOUTH 05 DEGREES 32 MINUTES 33 SECONDS EAST, A DISTANCE OF 78.48 FEET TO A POINT ON THE NORTH LINE OF LEASE PARCEL AS DESCRIBED IN DOCUMENT NO. 2006-1666208, RECORDS OF MARICOPA COUNTY, ARIZONA;  
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, ALONG SAID NORTH LINE, A DISTANCE OF 76.53 FEET;  
THENCE NORTH 54 DEGREES 12 MINUTES 37 SECONDS WEST, A DISTANCE OF 36.43 FEET;  
THENCE NORTH 89 DEGREES 59 MINUTES 59 SECONDS WEST, A DISTANCE OF 160.34 FEET TO THE POINT OF BEGINNING.

## FEMA NOTES:

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 1340L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X.  
  
ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

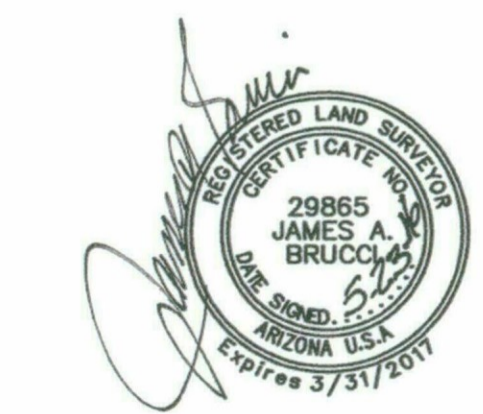
## SURVEYOR'S CERTIFICATION:

- TO:  
1) FIRST AMERICAN TITLE INSURANCE COMPANY, A NEBRASKA CORPORATION;  
2) BIGSISTER, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY;  
3) MCDOWELL WINDGATE HOLDINGS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS IN 2016, AND INCLUDES ITEMS 2.3, 4.8, 9.11 & 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA/NSPS, AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

FIELD WORK COMPLETED ON: 5/18/16

MAP COMPLETED ON: 5/23/16



NO.	DATE	REVISION	BY

DRAWN BY: PJE  
CHECKED BY: JDH

HUNTER ENGINEERING  
10450 N. 74TH ST., SUITE 200  
SCOTTSDALE, AZ 85258  
480.991.3865  
F 480.991.3866

ALTAINSPS LAND TITLE SURVEY

A PORTION OF TRACT 17, STATE PLAT NO. 29 RECORDED IN BOOK 368 OF MAPS, PAGE 17 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 32  
TOWNSHIP: 4 N.  
RANGE: 5 E.

JOB NO.:  
PRM001-SA

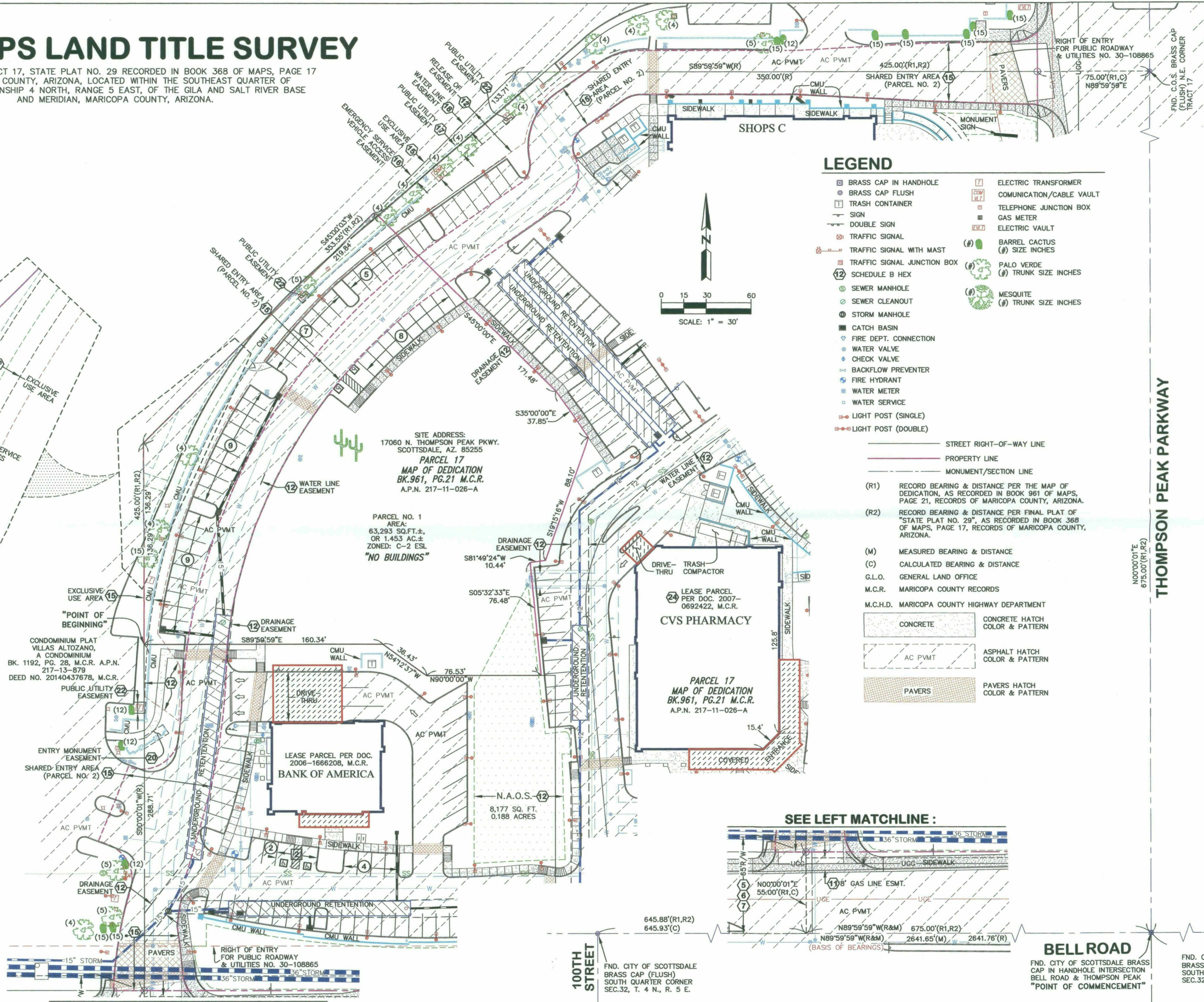
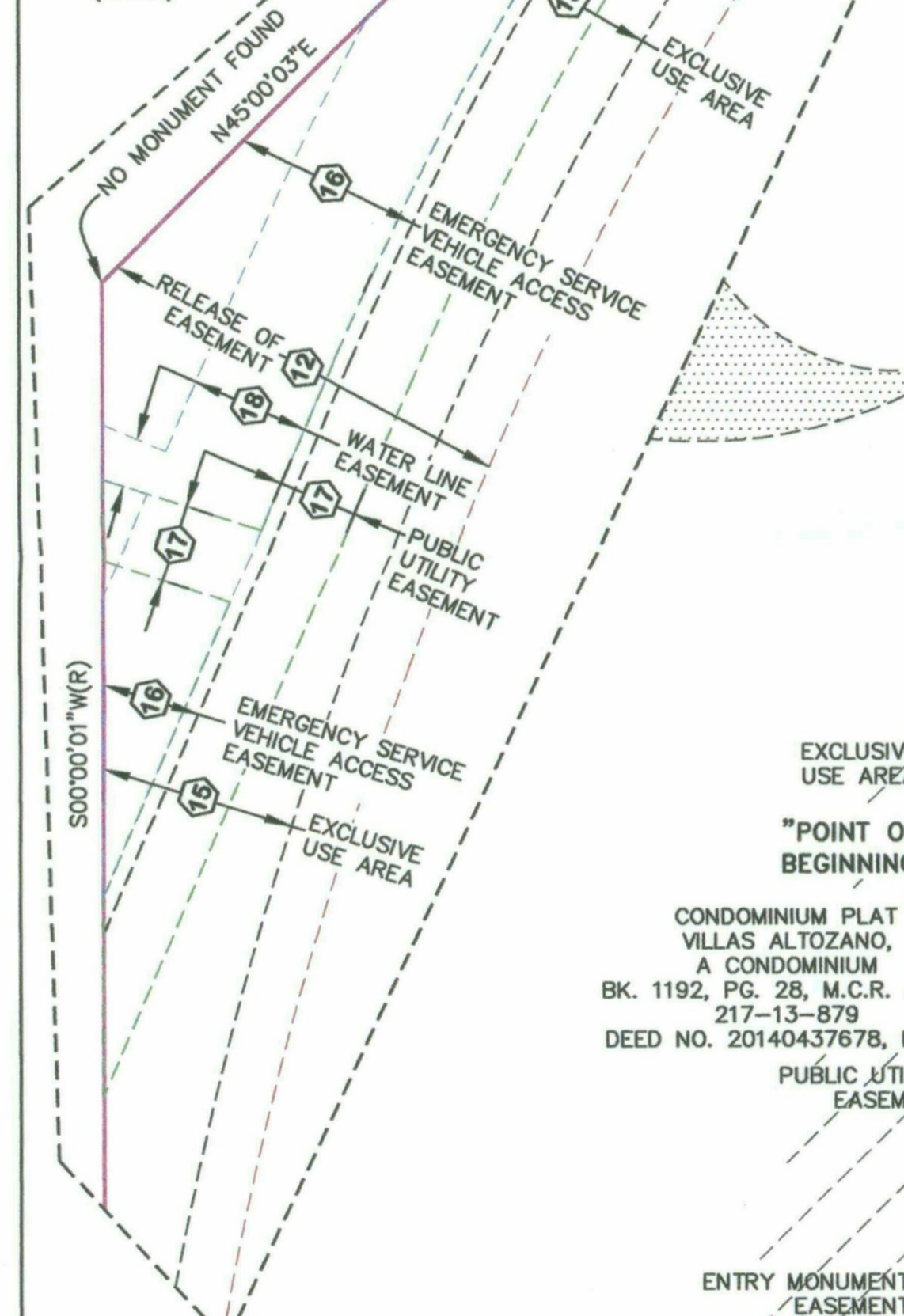
SCALE  
N.T.S.

SHEET  
1 OF 2

# ALTANSPS LAND TITLE SURVEY

A PORTION OF TRACT 17, STATE PLAT NO. 29 RECORDED IN BOOK 368 OF MAPS, PAGE 17 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

## DETAIL (N.T.S.)



SITE ADDRESS:  
17060 N. THOMPSON PEAK PKWY.  
SCOTTSDALE, AZ. 85255  
**PARCEL 17**  
MAP OF DEDICATION  
BK.961, PG.21 M.C.R.  
A.P.N. 217-11-026-A

PARCEL NO. 1  
AREA:  
63,293 SQ.FT.±,  
OR 1.453 AC.±  
ZONED: C-2 ESL  
"NO BUILDINGS"

CONDOMINIUM PLAT  
VILLAS ALTOZANO,  
A CONDOMINIUM  
BK. 1192, PG. 28, M.C.R. A.P.N.  
217-13-879  
DEED NO. 20140437678, M.C.R.

LEASE PARCEL PER DOC.  
2006-1666208, M.C.R.  
**BANK OF AMERICA**

LEASE PARCEL  
PER DOC. 2007-  
0692422, M.C.R.  
**CVS PHARMACY**

PARCEL 17  
MAP OF DEDICATION  
BK.961, PG.21 M.C.R.  
A.P.N. 217-11-026-A

## LEGEND

- ⊗ BRASS CAP IN HANDHOLE
- ⊙ BRASS CAP FLUSH
- TRASH CONTAINER
- SIGN
- DOUBLE SIGN
- ⊠ TRAFFIC SIGNAL
- ⊠ TRAFFIC SIGNAL WITH MAST
- ⬡ SCHEDULE B HEX
- ⊙ SEWER MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ FIRE DEPT. CONNECTION
- ⊙ WATER VALVE
- ⊙ CHECK VALVE
- ⊙ BACKFLOW PREVENTER
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ WATER SERVICE
- ⊙ LIGHT POST (SINGLE)
- ⊙ LIGHT POST (DOUBLE)
- ⊙ ELECTRIC TRANSFORMER
- ⊙ COMMUNICATION/CABLE VAULT
- ⊙ TELEPHONE JUNCTION BOX
- ⊙ GAS METER
- ⊙ ELECTRIC VAULT
- ⊙ BARREL CACTUS (#) SIZE INCHES
- ⊙ PALO VERDE (#) TRUNK SIZE INCHES
- ⊙ MESQUITE (#) TRUNK SIZE INCHES

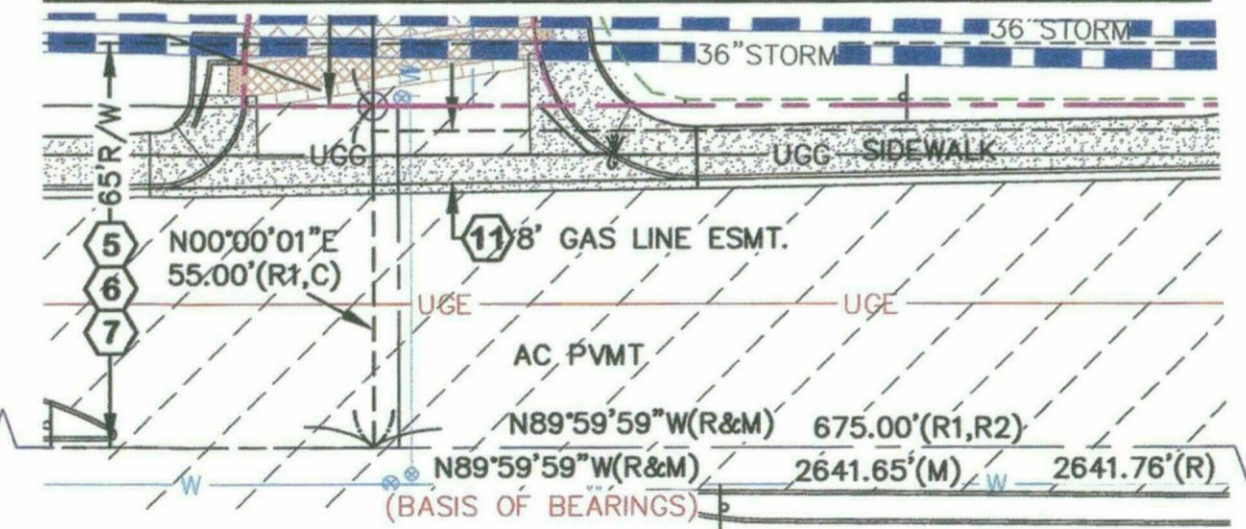
— STREET RIGHT-OF-WAY LINE  
— PROPERTY LINE  
— MONUMENT/SECTION LINE

(R1) RECORD BEARING & DISTANCE PER THE MAP OF DEDICATION, AS RECORDED IN BOOK 961 OF MAPS, PAGE 21, RECORDS OF MARICOPA COUNTY, ARIZONA.  
(R2) RECORD BEARING & DISTANCE PER FINAL PLAT OF "STATE PLAT NO. 29", AS RECORDED IN BOOK 368 OF MAPS, PAGE 17, RECORDS OF MARICOPA COUNTY, ARIZONA.

(M) MEASURED BEARING & DISTANCE  
(C) CALCULATED BEARING & DISTANCE  
G.L.O. GENERAL LAND OFFICE  
M.C.R. MARICOPA COUNTY RECORDS  
M.C.H.D. MARICOPA COUNTY HIGHWAY DEPARTMENT

CONCRETE CONCRETE HATCH COLOR & PATTERN  
AC PVMT ASPHALT HATCH COLOR & PATTERN  
PAVERS PAVERS HATCH COLOR & PATTERN

### SEE LEFT MATCHLINE:

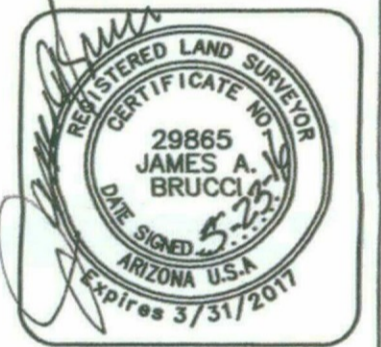


### SEE RIGHT MATCHLINE:

NO.	DATE	REVISION	BY

DRAWN BY: PJE  
CHECKED BY: JDH

**HUNTER ENGINEERING**  
CIVIL AND SURVEY  
10450 N. 74TH ST., SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986



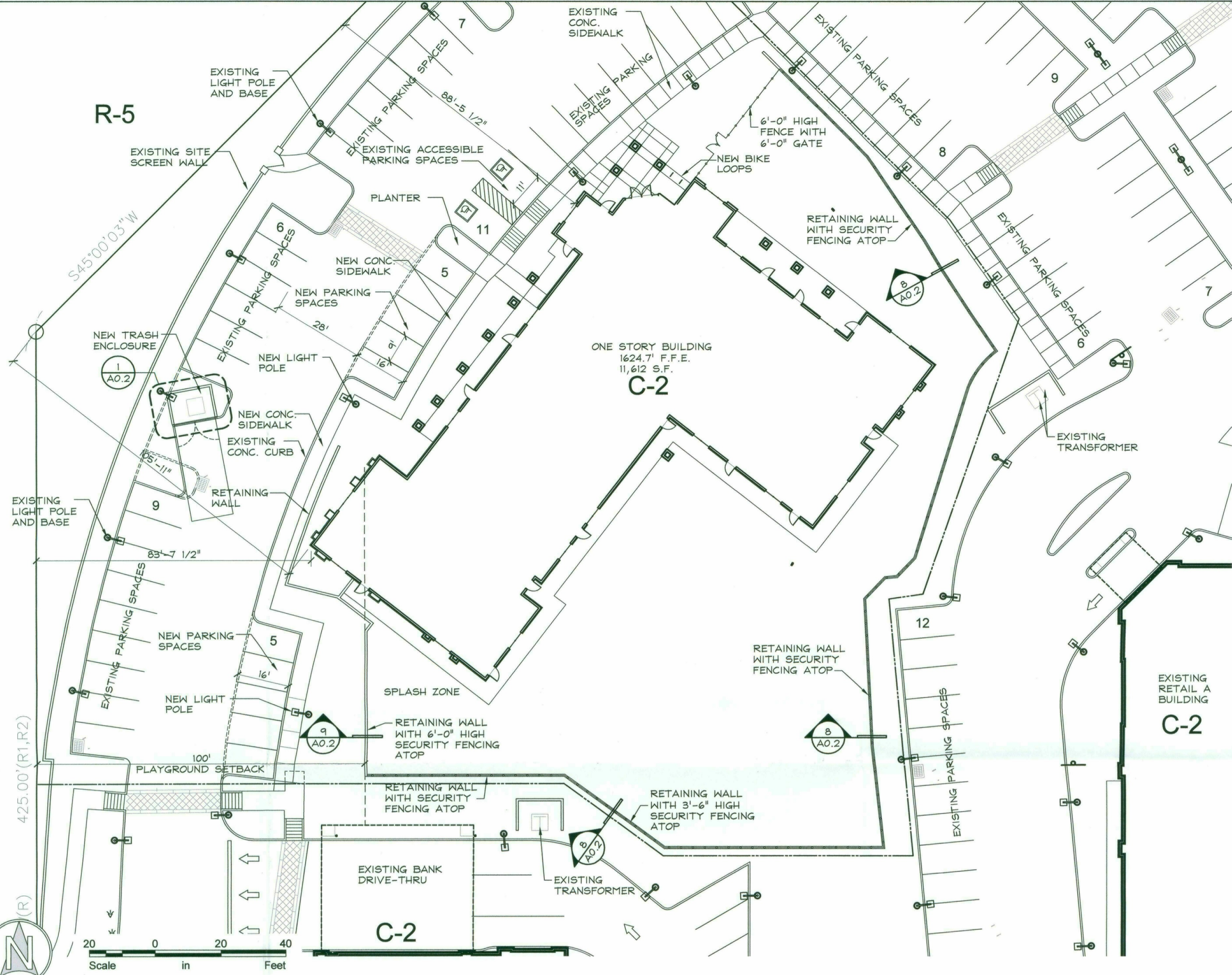
**ALTANSPS LAND TITLE SURVEY**  
A PORTION OF TRACT 17, STATE PLAT NO. 29 RECORDED IN BOOK 368 OF MAPS, PAGE 17 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 32  
TWN: 4 N.  
RANGE: 5 E.

JOB NO.:  
PRMR001-SA

SCALE  
1" = 30'

SHEET  
**2 OF 2**



**1 SITE PLAN**  
SCALE: 1" = 20'-0"

**PROJECT INFORMATION**

- PROPOSED SCOPE OF WORK:**  
THIS SITE PLAN SUBMITTAL PROPOSES SINGLE STORY 11,612 SQUARE FOOT CHILDCARE FACILITY ON AN EXISTING MULTI-BUILDING DEVELOPMENT.
- PROJECT LOCATION:** 17050 N. THOMPSON PEAK PARKWAY  
SCOTTSDALE, ARIZONA
- CONSTRUCTION CODES:**  
ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:  
2012 INTERNATIONAL BUILDING CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL FIRE CODE  
2012 INTERNATIONAL PLUMBING CODE  
2011 NATIONAL ELECTRICAL CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE  
2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES
- A.P.N.:** 217-II-026-A
- SECTION TOWNSHIP RANGE:** PARCEL 17 MAP BK.961, PG.21 M.C.R.
- ZONING:** C-2
- SITE AREA:** NET AREA: 340,436 S.F. (7.82 ACRES)
- BUILDING AREA:** NEW: 11,612 S.F.  
EXISTING: 38,138 S.F.  
TOTAL BUILDING AREA: 49,750 S.F.
- F.A.R.:** MAX. ALLOWED (NET LOT AREA X .25)  
340,436 S.F. X .25 = 85,109 S.F.  
PROVIDED: 49,750 S.F.
- VOLUME RATIO:** MAX. ALLOWED (NET LOT AREA X 5)  
340,436 S.F. X 5 = 1,702,180 C.F.  
EXISTING BUILDING VOLUME RATIO = 1,081,524 C.F.  
NEW BUILDING: 11,612 S.F. X 21' = 243,852 C.F.  
TOTAL = 1,325,376 C.F.
- BUILDING HEIGHT:** 21' WITH 25' EMBELLISHMENTS
- CONSTRUCTION TYPE:** V-B
- OCCUPANCY:** B
- LOT COVERAGE:** 49,750 S.F. / 340,436 S.F. = 14.6%
- PARKING REQUIREMENTS:**

BANK:	4,455 S.F.
DRUG STORE (RETAIL A):	14,101 S.F.
RETAIL B:	11,282 S.F.
RETAIL C:	8,300 S.F.
SUBTOTAL:	38,138 S.F.
PRIMROSE:	11,612 S.F.
TOTAL:	49,750 S.F.

BASED ON TABLE 9.103: 49,750 S.F./3005.F. = 165.83 SPACES  
TOTAL REQUIRED PARKING: 166 SPACES
- PARKING PROVIDED:** EXISTING = 253 SPACES  
NEW = 10 SPACES  
TOTAL PARKING PROVIDED: 263 SPACES
- ACCESSIBLE PARKING REQUIRED:** REQ'D. SPACES; 151 TO 200 SPACES = 6 ACCESSIBLE PARKING SPACES  
(5 STANDARD ACCESSIBLE AND 1 VAN ACCESSIBLE)
- ACCESSIBLE PARKING PROVIDED:** EXISTING = 10 VAN ACCESSIBLE SPACES
- PARKING SPACE DIMENSIONS PROVIDED:** STANDARD SPACES: 9' X 18' (W/ 2'-0" OVERHANG)  
ACCESSIBLE SPACES: 11' X 18' PLUS 5' ACCESS AISLE
- BICYCLE PARKING SPACES REQUIRED:** EXISTING: 128 P.S./10 = 13 BICYCLE PARKING SPACES  
NEW: 38 P.S./10 = 4 BICYCLE PARKING SPACES  
TOTAL REQUIRED: 17 BICYCLE PARKING SPACES
- BICYCLE PARKING SPACES PROVIDED:** EXISTING: 24 BICYCLE PARKING SPACES  
NEW: 4 BICYCLE PARKING SPACES  
TOTAL PROVIDED: 28 BICYCLE PARKING SPACES

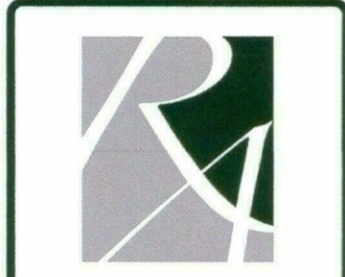
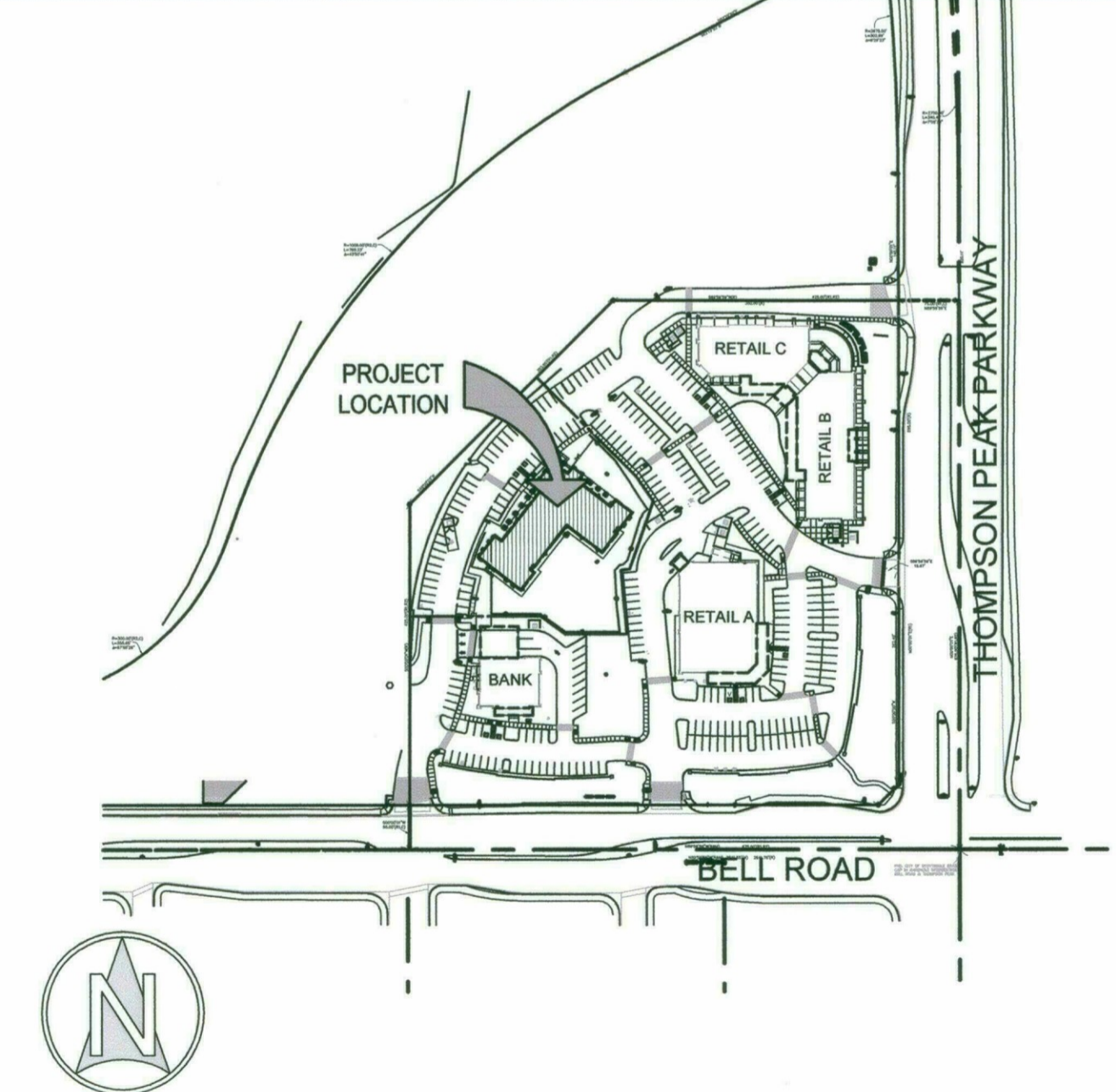
**CONTACTS**

**OWNER:**  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL RD.  
GOODYEAR, ARIZONA 85395  
E-MAIL: mverlardi@e2cc.com

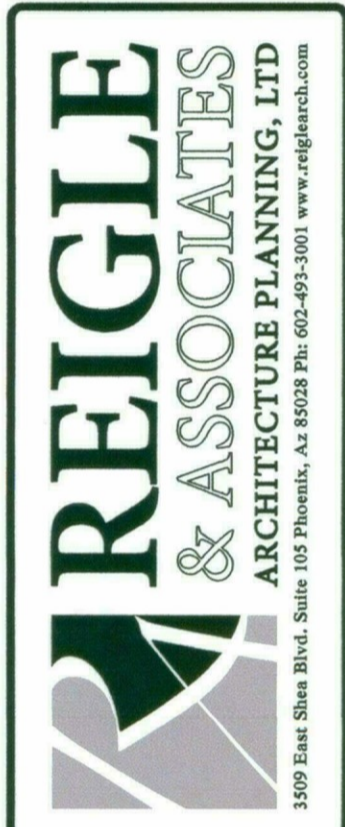
**ARCHITECT:**  
REIGLE & ASSOCIATES  
3509 EAST SHEA BOULEVARD  
SUITE 105  
PHOENIX, ARIZONA 85028  
PHONE: (602) 493-3001  
CONTACT: RICHARD REIGLE  
E-MAIL: rick@reiglearch.com

*Demonstrate:*  
 a Riser room located.  
 a FDC located.  
 c Existing & proposed hydrants in immediate area.

**VICINITY MAP**



**REVISIONS**

**PROJECT NO.:** 1551  
**DRAWN BY:** pf  
**SCALE:** 1"=20'-0"  
**CAD SAVED NAME:**  
**DATE:** April 20, 2016

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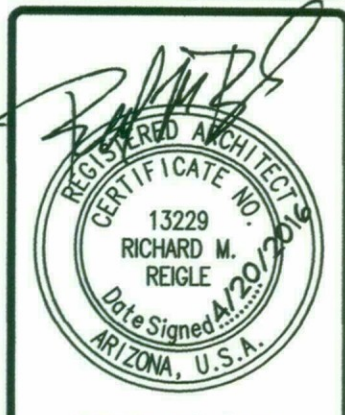
PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
MICHAEL VERLARDI  
14260 WEST INDIAN SCHOOL ROAD  
GOODYEAR, ARIZONA 85395

**SHEET TITLE**  
SITE PLAN

**SHEET NO.**  
A0.1

Fire Plan Review By:  
Rick King (480) 312-2372  
email: rking@scottsdaleaz.gov

25-DR-2016  
06/07/16



EXPIRES: 3/31/2019

REVISIONS

**REIGLE & ASSOCIATES**  
 ARCHITECTURE PLANNING, LTD.  
 1509 East Shea Street, Suite 103 Phoenix, AZ 85028 Ph: 602-493-3001 www.reigleandco.com

PROJECT NO. 1551  
 DRAWN BY: A.R.  
 SCALE: 1" = 60'-0"  
 CAD SAVED NAME:  
 DATE: April 20, 2016

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PROPOSED NEW BUILDING FOR:  
**PRIMROSE at WINDGATE**  
 17050 NORTH THOMPSON PEAK PARKWAY - SCOTTSDALE, AZ  
 MICHAEL VERLARDI  
 14260 WEST INDIAN SCHOOL ROAD  
 GOODYEAR, ARIZONA 85395

SHEET TITLE  
**AERIAL SITE PLAN**

SHEET NO.  
**ASP.1**  
 Version 1

**1** AERIAL SITE PLAN  
 SCALE: 1" = 60'-0"

