



**Development Review (Minor)  
Staff Approval**

**317-SA-2016**

**DC Ranch Market Street Building F  
Suite 108 Exterior Improvements**

**APPLICATION INFORMATION**

LOCATION:	20715 N Pima Rd Ste 108	APPLICANT:	Lou Vergne
PARCEL:	217-68-687A	COMPANY:	Lava Architecture, Inc.
Q.S.:	41-49	ADDRESS:	3433 E Hatcher Rd Phoenix, AZ 85028
ZONING:	PNC PCD	PHONE:	602-354-8765

**Request:** Exterior improvements to Building F, Suite 108 for an office. Scope includes new skylights, new folding doors along the west side into an upgraded landscaped courtyard, and enclosing an existing patio for additional office space along the east side.

**STIPULATIONS**

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by LAVA Architecture, Inc., with a city staff approval date of September 2, 2016.
2. The location and configuration of all site improvements shall be consistent with the site plan and floor plan submitted by LAVA Architecture, Inc., with a city staff approval date of September 2, 2016.
3. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the landscape site plan submitted by LAVA Architecture, Inc., with a city staff approval date of September 2, 2016.
4. Exterior business identification signs shall comply with the DC Ranch Market Street Master Sign Program Amendment, Case# 6-MS-1999#3.
5. All signs shall require separate review and approvals.

**CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS**

Submit the following plans and documents to the One Stop Shop for plan review:

PERMIT APPLICATION	<input checked="" type="checkbox"/>	<b>Completed Permit Application</b> <a href="http://www.scottsdaleaz.gov/Assets/Public+Website/bldgresources/APP%20Permit%20Commercial.pdf">www.scottsdaleaz.gov/Assets/Public+Website/bldgresources/APP Permit Commercial.pdf</a> <i>Please complete the permit application prior to arriving at the City's One Stop Shop.</i>
ARCHITECTURAL	<input checked="" type="checkbox"/>	<b>4 sets of architectural plans</b>
STAFF APPROVAL LETTER	<input checked="" type="checkbox"/>	<b>4 copies of this Staff Approval Letter</b>

**Expiration of Development Review (Minor) Approval**

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature: \_\_\_\_\_

*Andrew Chi*

Andrew Chi, Planner

Date: \_\_\_\_\_

September 2, 2016

**Planning and Development Services**

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Web: [www.scottsdaleaz.gov](http://www.scottsdaleaz.gov)



## Request for Site Visits and/or Inspections Development Application (Case Submittals)

This request concerns all property identified in the development application.

Pre-application No: 6066 - PA - 2016

Project Name: DC RANCA MARKET STREET BUILDING F SUITE 100

Project Address: 20715 N. PIMA RD. SCOTTSDALE, AZ 85255

### STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the development application.

### STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the development application in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner/Property owners agent:

Louis Vergara

Print Name

[Signature]

Signature

### City Use Only:

Submittal Date: \_\_\_\_\_ Case number: \_\_\_\_\_

### Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088



01 August 2016

City of Scottsdale Planning

**Narrative: DC Ranch Market Street Building F Suite 103 T.I.  
20715 N. Pima Road, Scottsdale, AZ**

The scope of work for the pre-application request is to provide for the remodel of portions of the exterior façade to Building F at DC Ranch Market Street. The intent is provide a new entry for the new Suite 103 with an enhanced courtyard. The rear covered patio will be enclosed for expansion of interior space.

The remodel will consist of work on the western and eastern elevations of the building.

The western inset will have the two existing windows removed for a new wide, folding door entry. The existing courtyard will be modified for additional seating area with the fireplace modified for an exterior firebox. The hardscape will transition with a slope and material consistent with existing. Respective landscaping will be altered to accommodate the new courtyard hardscape.

The eastern covered patio will remain as is in appearance with the exception of installing new glass & aluminum storefront between the existing piers and posts. The existing metal railings will be shifted forward to be in front of the storefront to maintain the current appearance. Resawn wood will be installed as fillers in the voids above the storefront and inset from the face of the existing beams. The resawn wood will be stained to match existing. The intent is not to disturb the exterior appearance while enclosing the outdoor patio.

The proposed remodel is currently being reviewed by the DC Ranch Covenant Commission with approval pending.

Please review the attached Exhibit document for clarity of scope of work.

Please review for scheduling to discuss the process to enable the project to move forward.

Very truly yours,

Louis A. Vergne, R.A., A.I.A.  
President

**LAVA Architecture, Inc.**

3433 E. Hatcher Road, Phoenix, Arizona 85028 Phone 602.354.8765 lvergne@lavaarchitecture.com



**WHITESTONE REIT**  
Creating Communities in Our Properties™

August 2, 2016

Re: Owners Authorization for Submittal  
To: City of Scottsdale Building and Planning  
From: Whitestone REIT

To Whom It May Concern:

Please accept this letter as authorization for a member of LAVA Architecture (lou Vern) to submit the necessary plans and applications for building permit review and any staff approval that may be required for our projects on behalf of Whitestone REIT.

Feel free to contact me in our office should have any questions.

Thank you,

Mike Parrish  
Director of Construction



**WHITESTONE REIT**

20789 N. Pima Rd. Suite 210  
Scottsdale, AZ 85255-1305  
P 480-397-1908  
F 480 656 5965  
M 480 532 4240  
E [mparrish@whitestonereit.com](mailto:mparrish@whitestonereit.com)  
W <http://www.whitestonereit.com>



Covenant Commission

## MODIFICATION REQUEST

Date: 8/11/16 Parcel: \_\_\_\_\_ Lot: \_\_\_\_\_

Property Address: 20715 N. PIMA

Owner: Whitestone Market Street at DC Ranch A.C.C. Submitted by: Eric Blumquist

Address: 20789 N. PIMA, apt 210 Address: \_\_\_\_\_

Scottsdale, AZ 85255 Phone: \_\_\_\_\_

Phone: 480-397-1905 Phone: Same

Fax: 480-656-5905 Fax: \_\_\_\_\_

E-mail: e.blumquist@whitestonerealty.com E-mail: \_\_\_\_\_

SIGNATURE: [Signature]

Submittal Fee \$ 100 payable to DC Ranch Covenant Commission (Refer to Modification Fee Schedule)

Supporting Documents attached (check all that apply):

- ☒ Drawings (2 copies, 11"x17" max size) ☐ Product Samples with Specifications ☐ Photos of areas to be modified  
☐ Plans & Elevations ☐ Color Samples with Specifications

Livable or non-livable square feet added by this modification: 0

Please allow 30 days  
for review

Describe proposed modifications in detail:

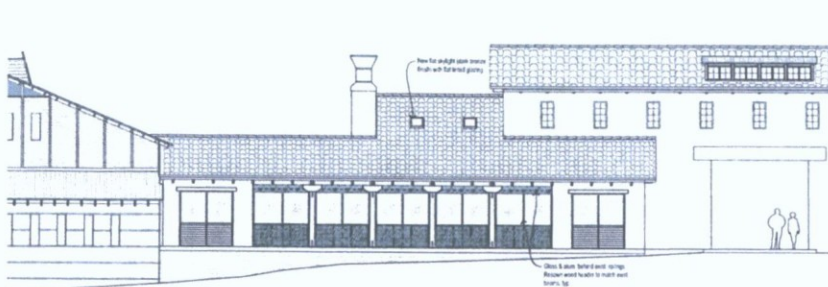
Building F has been vacant for years and we would like to split the building into individual suites. This modification is for the northwest and northeast facade of the building. We are installing glass doors and windows along the front and back to allow access and for lighting of the store. We also would like to add skylights that match the architectural of the building.



Prior sub-association approval is required if you live in Parcels 2.4, 2.7, 4.2, 4.11, 1.12, 1.15 and 1.16, 2.8, and T5. Improvements may require permits from the City of Scottsdale building and/or zoning departments, 480.994.2500.

20555 North Pima Road, Suite 140; Scottsdale, AZ 85255  
Telephone 480.563-3284

Revised 6-20-13



Exterior Elevation (east)

Scale: 1/8" = 1'-0"



Exterior Elevation (west)

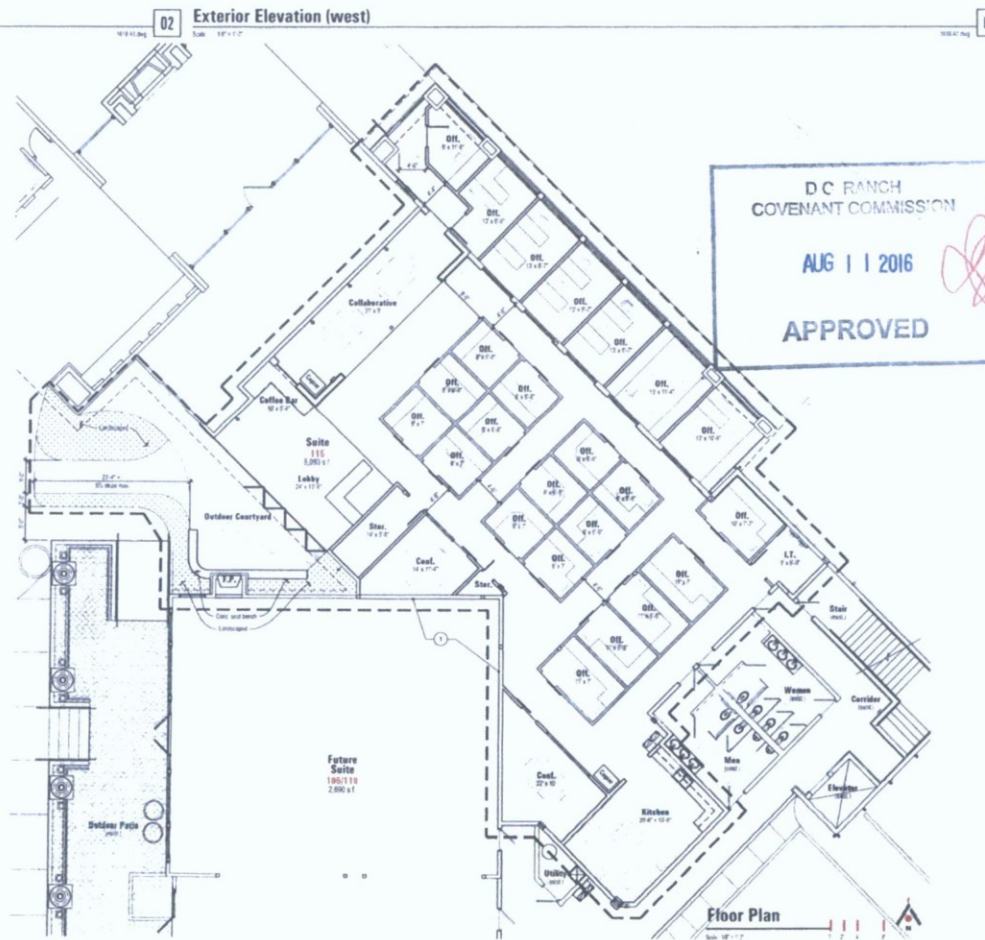
Scale: 1/8" = 1'-0"



LMA Architecture, Inc.  
3433 E. Northern Road  
Phoenix, Arizona 85018  
602.364.4700



Preliminary	Red Package
City Submittal	Construction
Project Number	1518
Date	22 Aug 2016
Revision	



Suite 115 Tenant Improvements  
**DC Ranch Market Street**  
20715 N. Prima Road, Scottsdale, Arizona 85255



Floor Plan  
Exterior elevations  
Sheet Number

**Des.01**





# Pre-Application Request

## Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and City Staff to discuss a proposed Development Application, and the information and process that is necessary for City Staff to process the proposal.



In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with City Staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

## Submittal:

The completed Pre-Application request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road. All checks shall be payable to "City of Scottsdale."

## Scheduling

After the Pre-Application packet has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

<b>Project Name:</b> DC Ranch Market Street Building F Suite 115 Tenant Improvements			
<b>Property's Address:</b> 20715 N. Pima Road, Scottsdale, Arizona 85255		<b>APN:</b> 217-68-687	
<b>Property's Zoning District Designation:</b> PNC & C-O			
<b>Property Details:</b>			
<input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Multi-Family Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other			
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If yes, provide a copy with this submittal			
<b>Owner:</b> Mike Parrish		<b>Applicant:</b> Louis Vergne	
<b>Company:</b> Whitestone REIT		<b>Company:</b> LAVA Architecture, Inc.	
<b>Address:</b> 20789 N. Pima Rd., Suite 210, Scottsdale, AZ 85255		<b>Address:</b> 3433 E. Hatcher Road, Phoenix, AZ 85028	
<b>Phone:</b> 480.397.1908 <b>Fax:</b>		<b>Phone:</b> 602.354.8765 <b>Fax:</b>	
<b>E-mail:</b> mparrish@whitestonereit.com		<b>E-mail:</b> lvergne@lavaarchitecture.com	
 Owner Signature		 Applicant Signature	
<b>Official Use Only</b>	<b>Submittal Date:</b> 8-2-16	<b>Application No.:</b> 626	<b>-PA- 2016</b>
<b>Project Coordinator:</b>			

## Planning, Neighborhood & Transportation Division

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088



# Pre-Application Request

## Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input checked="" type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions (PP)	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Subdivision (Minor) (MD)	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions (PE)	<input type="checkbox"/> Single-Family Residential
<input type="checkbox"/> Minor Amendment (MA)		<input type="checkbox"/> Other

## Submittal Requirements: (fees subject to change every July)

☒ Pre-Application Fee: \$\_\_\_\_\_

(No fees are charged for Historic Preservation (HP) properties.)

☒ Records Packet Fee: \$\_\_\_\_\_

Processed by staff. The applicant need not visit the Records desk to obtain the packet.

(Only required for ZN, II, UP, DR, PP, AB applications, or otherwise required by Staff)

☒ Application Narrative:

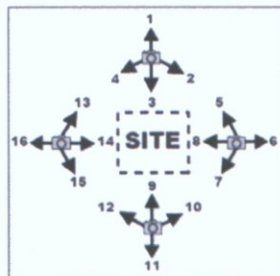
The narrative shall describe the purpose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.

☒ Property Owner Authorization Letter

(Required for the SA and MS Pre-Applications)

☐ Site / Context Photographs

- Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.
- Photos shall be taken looking in towards the project site and adjacent to the site.
- Photos should show adjacent improvements and existing on-site conditions.
- Each photograph shall include a number and direction.
- Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines.
- Photos shall be provided 8 1/2 x 11 paper, max. two per page.



- The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.

- Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.

## Additional Submittal Information

- ☐ Site Plan (two copies)
- ☐ Subdivision plan (two copies)
- ☐ Floor Plans (two copies)
- ☐ Elevations (two copies)
- ☐ Landscape plans (two copies)
- ☐ H.O.A. Approval letter
- ☐ Sign Criteria Regulations & Language (two copies)
- ☐ Material Samples – color chips, awning fabric, etc.
- ☐ Cross Sections – for all cuts and fills
- ☐ Conceptual Grading & Drainage Plan (three copies)
- ☐ Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- ☐ Boundary Survey (required for minor land divisions)
- ☐ Areal of property that includes property lines and highlighted area abandonment request.
- ☐ One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

## Planning and Development Services

7447 E Indian School Road Ste 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

**Chi, Andrew**

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**From:** Chi, Andrew  
**Sent:** Friday, August 12, 2016 3:48 PM  
**To:** 'lvergne@lavaarchitecture.com'  
**Subject:** DC Ranch Market Street Building F Suite 115 Improvements (Pre-App 626-PA-2016)

Hi Louis,  
Thanks for meeting with me today for Pre-App 626-PA-2016.

Can you please dropbox me the following plans and documents:

1. Request for Site Visits Form (PDF)
2. Site Plan (PDF) – show location of building and suite, indicate type of plants proposed, show the water feature, and the chimney.
3. Elevations (PDF) – show specific door and window details.
4. If you'd like to dropbox all other documents such as the narrative, DC Ranch approval, landlord approval, and photos, you may do so, but I already have paper copies of them here in the file.

**Please drop the files to my dropbox:**

**<https://securemail.scottsdaleaz.gov/dropbox/achi@scottsdaleaz.gov>**

I will reply back indicating that I received the files. I can then review the resubmittal within 14 calendar days, and issue a Staff Approval Letter at the end of the review so you can submit final construction plans.

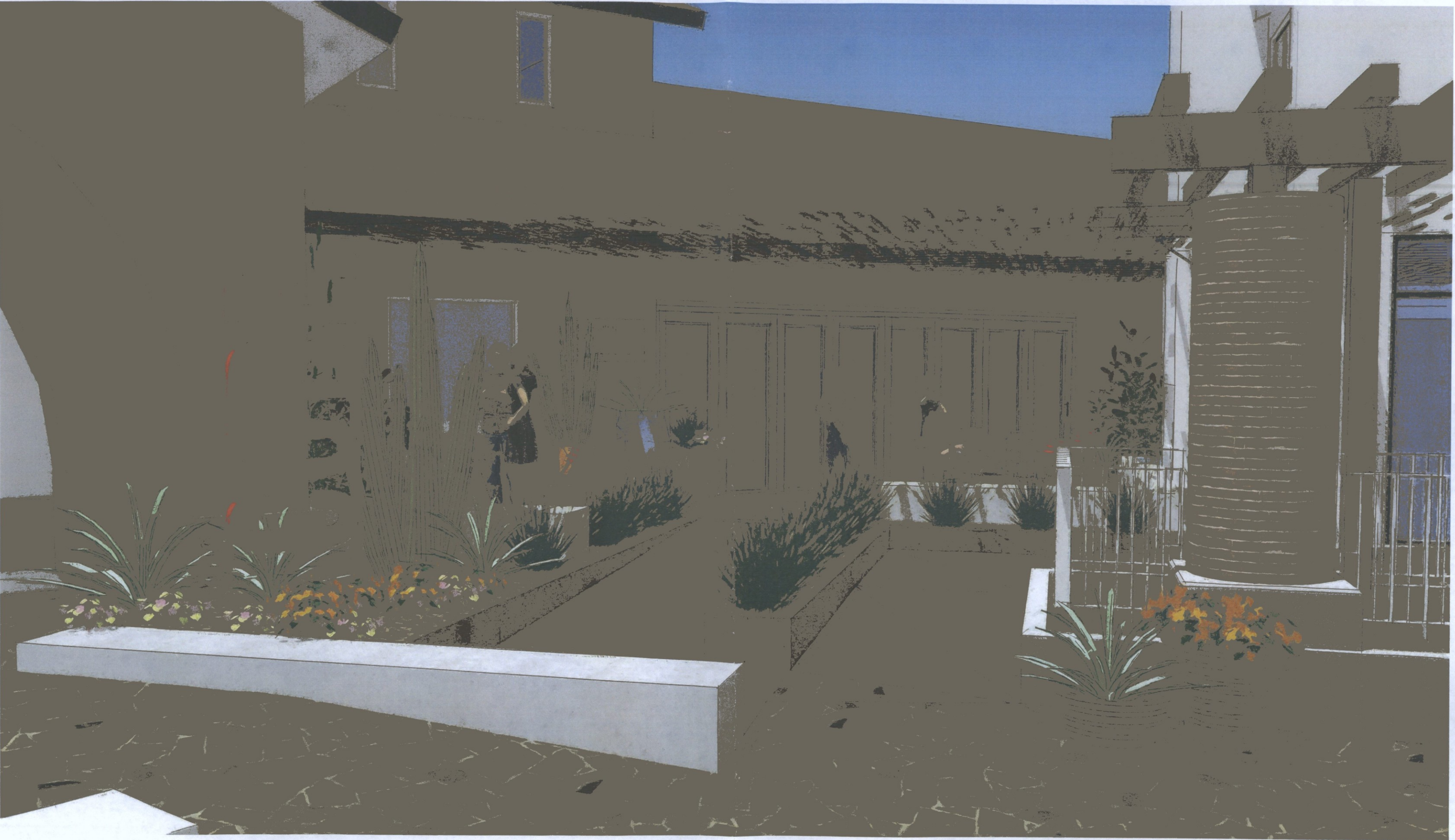
Thanks Louis and let me know if you have any questions. Have a great weekend.

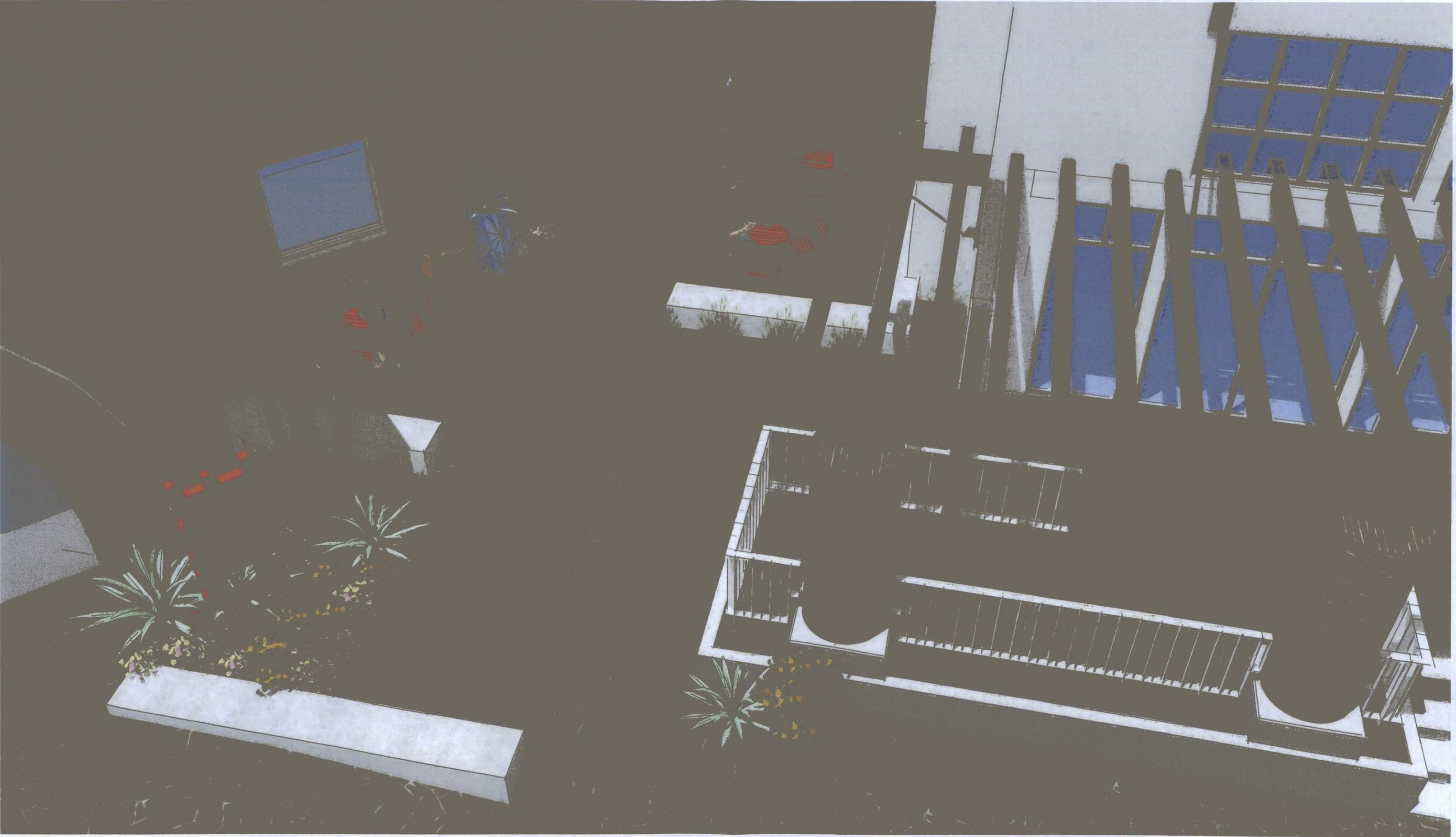
Regards,

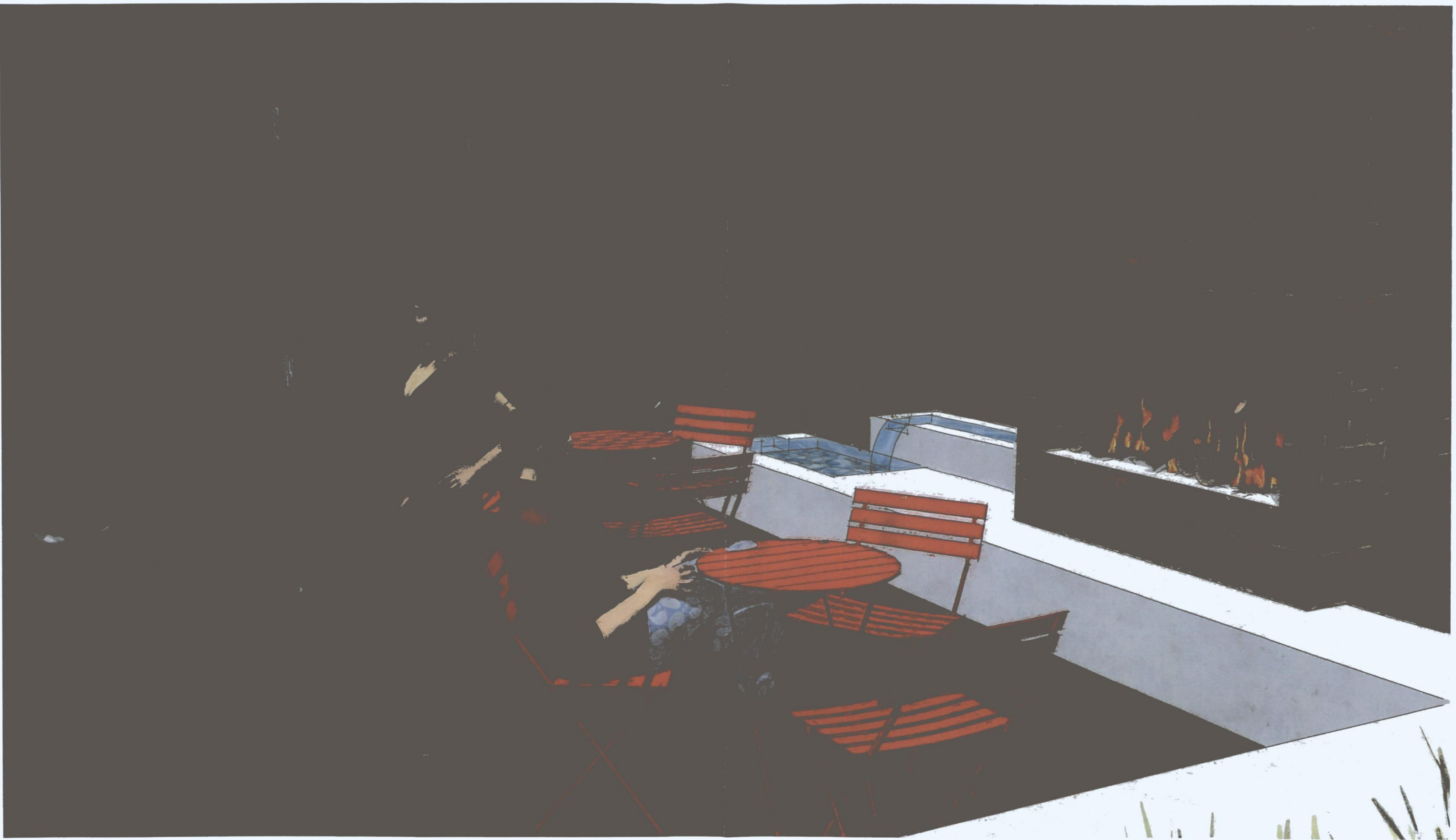
**Andrew Chi, Planner**

City of Scottsdale | Planning & Development Department  
7447 East Indian School Road, Suite 105 Scottsdale, Arizona 85251  
[Direct] 480.312.7828  
[Email] [achi@scottsdaleaz.gov](mailto:achi@scottsdaleaz.gov)  
[Web] [www.scottsdaleaz.gov/codes](http://www.scottsdaleaz.gov/codes)

- 
- Checkout Our **NEW** Online Services (Search Plans, Permits, Pre-Apps & Cases):  
<https://eservices.scottsdaleaz.gov/bldgresources>
  - Avoid long waits at the One Stop Shop service counters by checking live wait times:  
<https://eservices.scottsdaleaz.gov/bldgresources/WaitTimes>







# DC Ranch Market Street

## Building F

### Suite 108 Tenant Improvements

#### City of Scottsdale Tenant Improvement Notes:

1. All signs require separate permits and approvals.
2. No exterior vending or display shall be allowed.
3. There shall be no roof mounted or ground mounted mechanical, utility and communication equipment installed or permitted with this approval.
4. All equipment, utilities or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.

#### City of Scottsdale Fire Department Notes:

1. Submit shop drawings for any modification of existing fire sprinkler system and comply with NFPA 13 & local amendments. In light hazard occupancies, existing standard response sprinkler heads within tenant space shall be changed out to quick response when scope of work will add and/or relocate 50% or more sprinkler heads.
2. All fire protection systems shall remain operational and modified as necessary for code compliance.
3. Install fire extinguishers per IFC. Fire extinguisher quantity and location(s) shall be approved by fire inspector.
4. Exit and emergency lighting shall comply with city ordinance and IFC.
5. Numerical premises ID must be legible from street or drive. Minimum 12" numbers for building and 4" numbers for suite.
6. Submit shop drawings for any modification of fire alarm system (if existing) to comply with NFPA 72 & local codes.
7. New Type 1 hood systems require submittal of plan for automatic hood extinguishing systems in compliance with current U.L. 300 standards. Existing Type 1 hood systems shall be upgraded to comply with current U.L. 300 standards.
8. Warehouse racks for storage over 12' in height require separate submittal for approval prior to installation.
9. Separate submittal & approval is required for MAG locks.
10. Compressed gas storage (CO2) required separate fire department permit.

Fire Department Permit is required for compressed gas CO2 tank install. All installed compressed gas CO2 tanks must conform to current International Fire Code (IFC) & NFPA 55. Inspection by Fire Department Personnel may take place before and/or during use period of this permit. Contact Fire Plan Review @ 480-312-2500.

#### Accessibility General Notes:

1. Accessible entrances to the buildings shall be identified by the international symbol of accessibility.
2. Exterior exits which are located adjacent to accessible areas & within 6' of adjacent ground level shall be accessible.
3. Accessible ramps req. by ANSI A117.1 shall not have slopes which exceed 1 ft. in 12 feet.
4. The surface of ramps & ground surfaces shall be roughened or shall be of slip resistant materials.
5. An accessible route of travel 3 ft. wide minimum must be provided to all portions of buildings & the public way. Accessible routes shall have a maximum slope of 1:20, and a maximum cross slope of 1:50.
6. Threshold must be maximum 1/2" in height or less and comply with Section 1006.1.7 of IBC.
7. The primary entrance to buildings must be accessible. All other required entrances must be accessible.
8. All accessible parking spaces shall have a slope not exceeding 1:50.
9. All accessible parking spaces shall be outlined, have a contrasting color and the international wheelchair symbol on the ground within the space.
10. All accessible parking spaces shall have a sign (minimum 3 ft. above finish grade in front of the space) which includes the international symbol of accessibility.
11. Signs designating permanent rooms and spaces shall meet accessibility requirements.
12. All electrical receptacles and controls shall be 18" minimum & 48" maximum above finish floor.
13. All alarms shall be audible & visual and meet accessibility requirements.
14. Accessible routes shall be without steps or changes in level greater than 1/2" without an approved ramp.
15. Accessible routes shall serve as exits or connect to areas of rescue assistance.

#### Sheet Index

CS	Cover Sheet
I-1.0	Planting & Layout Plans
A1.0	Demolition Plan
A1.1	Floor Plan
A1.2	Reflected Ceiling Plan & Details
A1.3	Flooring Plan & Exterior Elevations
A2.0	Details
A2.1	Details - Doors/Windows
A2.2	Details - Folding & Sliding Doors
A2.3	Details - Outdoor Courtyard
S1.1	General Structural Notes
S2.1	Foundation & Framing Plans
S3.1	Foundation & Framing Details
M0.1	Mechanical Legends, Symbols & Notes
M1.0	Mechanical Floor Plan
M1.1	Mechanical Roof Plan
M2.0	Mechanical Schedules
M2.1	Mechanical Schedules
M3.0	Mechanical Details
P0.1	Plumbing Cover Sheet
P1.0	Plumbing Demolition Plan
P1.1	Plumbing New Floor Plan
P2.1	Plumbing Details and Diagrams
E0.1	Electrical Cover Sheet
E0.2	Fixture Schedule
E1.1	New Electrical Lighting Plan
E2.1	New Electrical Power Plan
E3.1	New HVAC Power Plan
E4.1	One Line Diagram

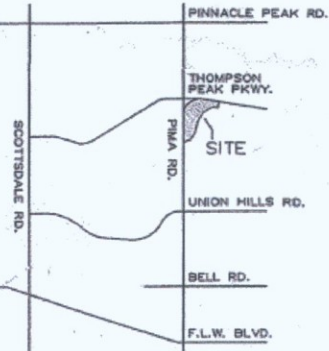
APPROVED  
CASE# 317-SA-2016  
STIPULATION SET  
RETAIN FOR RECORDS

09/02/16

DATE

APPROVED BY

*Andrew Chi*



Vicinity Map

Scale: N.T.S.

#### Project Data

Owner/Developer:  
**Whitestone REIT**  
20789 N. Pima Road  
Suite 210  
Scottsdale, Arizona 85255  
Contact: Mike Parrish  
480.397.1908  
mparrish@whitestonereit.com

Architect:  
**LAVA Architecture, Inc.**  
3433 E. Hatcher Road  
Phoenix, Arizona 85028  
Contact: Lou Vergne  
602.354.8765  
lvergne@lavaarchitecture.com

Structural Engineer:  
**Bakkum Noelle**  
2805 E. Camelback Road  
Suite 200  
Phoenix, AZ 85016  
Contact: Greg Bakkum  
602.955.9200  
gbakkum@bakkumnoelle.com

M. P. & E. Engineer:  
**Kraemer Consulting Engineers**  
2050 W. Whispering Wind Drive  
Suite 158  
Phoenix, AZ 85085-2884  
Contact: Troy Wurth  
602.285.1869  
troy@kraemereng.com

Codes:  
2012 International Building Code (IBC) Administrative Provisions  
2012 International Building Code (IBC)  
2012 International Energy Conservation Code (IECC)  
2012 International Existing Building Code (IEBC)  
2012 International Fuel Gas Code (IFGC)  
2012 International Green Construction Code (IGCC)  
2012 International Mechanical Code (IMC)  
2012 International Residential Code (IRC)  
2012 International Plumbing Code (IPC)  
2011 National Electrical Code (NEC)  
2012 International Fire Code (IFC)  
2010 Americans with Disabilities Act (ADAAG) and ICC/ANSI A117

Zoning: PNC & C-0  
Project site zoning: PNC

Net Site Area: PNC 964,471 s.f. (22.14 acres) +/-  
C-0 432,471 s.f. (9.93 acres) +/-

Total Building Area: 276,068 s.f.

Parking:	Overall: (existing - no changes)	Required:	Provided:
Parking stalls:	832		1,040
Accessible stalls:	33		47
Bicycle Racks:	83		100
Project: (existing - no changes)			
Parking stalls (1:325):	31		31+
Accessible stalls:	2		2
Bicycle Racks:	1		1

Occupancy: Business Group B (Section 309)

Construction Type: Type VB Sprinklered (602)

Building Area: 10,000 s.f.

Project Area: Suite 108 5,093 s.f.

Occupant Load (Section 1004 & Table 1004.1.2):  
Business / 100: Suite 108 51 O.L.

Required Exits (Section 1021 & 1015.1):  
Suite 108 Required: 2 Provided: 3

#### Project Description

The project consists of interior improvements to an existing vacant, gutted building to provide for new office suite.

Fire alarm and sprinkler design and drawings to be deferred to separate submittal for permit.

General Contractor shall be responsible for all Sub-Contractors reviewing full set of documents and specifications for complete scope of work described within.



LAVA Architecture, Inc.  
3433 E. Hatcher Road  
Phoenix, Arizona 85028  
602.354.8765



OFFICE OF INSTRUMENTS OF SERVICE  
Professional Engineer License No. 10,305, State of Arizona, dated 08/31/17  
This seal is the property of the State of Arizona. It shall not be used for any other purpose without the express written consent of the State of Arizona. It shall be used only for the purpose for which it was issued. It shall be used only for the purpose for which it was issued.

Preliminary Bid Package  
City Submittal Construction

Project Number: 1618

Date: 22 Aug 2016

Revisions:

Suite 108 Tenant Improvements  
**DC Ranch Market Street**  
20715 N. Pima Road, Scottsdale, Arizona 85255



Title: Cover Sheet  
Data, Sheet Index, Site Plan  
Sheet Number:

CS



**Toilet Room Fixture Count (Table 403.1):**

Suite Occupancy: B  
 Total Occupant Load: 51

Fixture	Req'd	Provided
WC @ 1/25 first 50	2	2 (existing common)
WC @ 1/25 remaining	1	2 (existing common)
Lavatory @ 1/40 first 80	1	6 (existing common)
Lavatory @ 1/80 remaining	-	6 (existing common)
Drinking fountain @ 1/100	1	-
Service sink	1	1 (existing common)

- Contractor to verify and/or coordinate with WSR Design Specialist prior to ordering for:
  - Finishes, colors and/or materials for floors, walls and ceilings, unless directly specified in documents.
  - Built-in and/or cabinetry millwork and furniture.
  - Models, finishes, colors and/or locations & heights of all electrical floor outlets, specialty wall outlets, television outlets, scone lighting and specialty lighting.
  - Plumbing fixtures, fittings and accessories.
  - Models and/or finishes for door hardware & frames.

**Floor Plan General Notes:**

1. All plan dimensions at CMU walls are to the end of wall, U.N.O.
2. All grid lines are to the center of wall.
3. All dimensions are in feet and inches.

- ## Plan General Notes:
1. All plan dimensions at CMU walls are to the end / joint. Overall dimensions are to the inside face of walls. U.N.O.
  2. All grid lines are to center of column or exterior face of CMU walls U.N.O.
  3. All grid lines are to center of column or exterior face of CMU walls U.N.O.
  4. Building to be gyp. board partitions to face of CMU walls U.N.O.
  5. To be installed per N.F.P.A. information pamphlet no. 13, 231c, and I.S.O. standards by a certified and licensed contractor of the State of Arizona. Fire sprinkler systems must have this approval prior to installation and release to Owner.
  6. Fire extinguishers shall be installed per IBC and Municipal Fire Marshal as part of tenant improvement.
  7. Floor at doorways shall not be made more than 1/2" lower than the threshold.
  8. All exits to be operable from the inside without the use of a key or special knowledge. Manually operated edge or surface mounted flush bolts are prohibited on exit doors.
  9. All glass and glazing shall comply with IBC and Municipal Building Codes and applicable safety regulations.
  10. Exit signs are required at each exit and where necessary to the direction of exit. Install exit signs at locations noted per floor plans and provide the graphics required, IBC 1011.
  11. Exit ways (means of egress) shall be illuminated and the power supply shall be provided by two (2) sources, IBC 1006

**Floor Plan Keynotes:**  
Refer to full set of documents for address.

1. Furnish exit, exterior wall with 1/2" gyp. bd. over mtl. stud framing @ 16" o.c. full height. Align face of mtl. studs with face of exist. vertical wd. trim. Sheath exterior face of framing at wedge opening above with metal panel to match existing over 1/2" exterior grade sheathing. Provide flashing as required along existing adjacent roof.
2. Provide continuous sealant at perimeter of new exterior panel. Patch to match areas disturbed by new work.
3. Reinstall and/or report brick veneer as required for new condition. Patch to match areas disturbed by new work.
4. Rework wood stud framing for installation of new firebox VRE4036 by Superior Fireplaces. Connect flue to existing concentric flue as required and per manufacturer requirements. Connect existing gas service to unit as required and per manufacturer requirements. Install controls as required and per manufacturer requirements.
5. Owner for any fireplace accessories required. Patch to match areas disturbed by new work. Coordinate with Relocated hose bib. Patch to match areas disturbed by new work. Refer to plumbing drawings for additional information.
6. Install new sliding glass & alum. door system (with tempered safety glazing). Set new door at same setback from stucco as previous. Patch to match areas disturbed by new work. Refer to details for additional information.
7. Install new 4" conc. slab (texture and finish to match exist.) hardcape. Provide minimum 5" depth level landing along building face (maximum 2% cross slope allowed). Install maximum 1/2" below finish floor level for level entry. Provide turnaround edge along landscape, typ. Refer to details for additional information.
8. Concrete slab transition to walk to existing hardcape. Slope at maximum 5% (1:20). Transition with 1/2" expansion joint at existing hardcape. Provide turnaround edge at landscape. Refer to details for additional information. Patch to match areas disturbed by new work.
9. Poured concrete bench with 1/2" chamfered edges. Refer to details for additional information.
10. Reinstall metal railing to align front face with front face of exist. post for installation of new glass & alum. storefront (with tempered safety glazing as required). Patch to match areas disturbed. Refer to details for additional information.
11. Install new glass & alum. storefront with tempered, safety glazing between existing columns/piers. Provide min. details for additional information.
12. Provide mtl. framed studs/turning above for closure of opening to underside of existing roof deck. Refer to details for additional information.
13. 2" rigid insulation, min. R13 in framing. Install 1/2" gyp. bd. sheathing over framing. Exterior faces of openings to be clad with 2x resawn, wood (stained to match existing). Patch to match areas disturbed. Refer to details for additional information.
14. Install new glass & alum. door & frame (with tempered, safety glazing) with panic hardware. Refer to details for additional information.
15. Install new folding door system by LaCantine with flush sill. Model to be 7 panel overall (116R) Contemporary C142 "Medium Bronze". Individual panel sizes to correspond with existing rough opening. Single leaf panel to have panic hardware by manufacturer. Set exterior face of frame forward as required to allow full 180 degree swing of single panel exit door. Hardware finish to be bronze. Glazing to be tempered safety. LoE-340 (SHGC 0.25, U-Factor 0.28, TDWV 0.35, Light Trans 40%). Refer to details and structural drawings for additional information. Contractor to provide shop drawings for door assembly prior to ordering. Provide stopbumper at exterior wall to prevent damage to existing wall finish.
16. Existing stucco. Prep and paint. Coordinate with WSR Design Specialist for paint color.
17. Install new solid core wood door (stain grade) in metal frame by Timely (painted). Refer to details for additional information.
18. Install new mtl. stud partition with one layer 1/2" min. gyp. bd. full height. Install per details and manufacturer and/or code requirements. Provide continuous seal at underside of roof deck as required. Prep and paint (smooth texture). Refer to plans and/or details for additional information.
19. Install new mtl. stud partition with one layer 1/2" min. gyp. bd. to 6'-0" a.f.f. Install per details and manufacturer and/or code requirements. Prep and paint (smooth texture) gyp. bd. sheathing as required. Coordinate with Landlord for colors. Refer to plans and/or details for additional information.
20. Install new 1 1/2" mtl. stud @ 24" o.c. with 1/2" min. gyp. bd. turned wall against existing masonry wall. Install full height. Prep and paint (smooth texture) gyp. bd. sheathing as required. Coordinate with Landlord for colors. Refer to details for additional information.
21. Landlord for colors. Refer to details for additional information.
22. Install new counter back wall with 4" mtl. studs @ 16" o.c. Install new counter (cabinet & counter design, details, material and style to be selected by WSR Design Specialist and provided by Landlord under separate submittal) over top of wall. Provide plumbing and electrical service in partition as required. Refer to details, plumbing and electrical drawings for additional information.
23. Landlord for colors. Refer to details for additional information.
24. Install 1/2" gyp. bd. sheathing around existing column/post. Prep and paint, smooth texture. Install full height.
25. Align interior face of framing to align with face of existing header above to allow sheathing to continue to structure above. Provide continuous mtl. edge bead along existing stucco wall. Patch to match areas disturbed by new work.
26. Provide continuous mtl. edge bead along existing header above to allow sheathing to continue to structure above. Provide continuous mtl. edge bead along existing stucco wall. Patch to match areas disturbed by new work.
27. Align face of finishes.
28. 30mm Varia Ecoresin "Woods Barque" 48" x 120" wall panel (1/2" thick with eased edges) with Suspend, side fastening 1 (Smooth Collection) fastening system to floor and soffit above. Install per manufacturer requirements.
29. Provide semi-recessed fire extinguisher cabinet with fire extinguisher.
30. Install new flooring over existing slab and/or sub-floor. Prep slab and/or sub-floor as required for installation of new flooring as required. Install new flooring per manufacturer requirements. Refer to Flooring Plan and details for additional information. Coordinate with WSR Design Specialist for flooring style, color and finish.
31. Line of flooring transition strip. Provide maximum 1/2" vertical transition.
32. New interior Barn door. Refer to details for additional information.
33. New interior, glass window, floor to 8'-0" a.f.f., with tempered safety glazing, in custom metal frame by Timely. Coordinate with WSR Design Specialist for custom design requirements. Refer to details for additional information.
34. New electrical. Refer to electrical drawings for additional information.
35. Thermostat location. Refer to mechanical drawings for additional information.
36. New drinking fountain. Refer to details, plumbing and electrical drawings for additional information.
37. TMB location. Refer to details, plumbing and electrical drawings for additional information.
38. Install new steel column and tube steel beam above for new rough opening for folding door system. Install exterior face of steel flush with exterior face of existing framing to keep the integrity of the exterior sheathing and siding intact. Patch to match areas disturbed. Refer to structural drawings for additional information.
39. Provide electrical j-box for future signage at base of wall. Refer to electrical drawings for additional information.
40. Line of new skylight to be installed at exist. roof above. Install per manufacturer requirements and flash as required for weather tight seal. Patch to match existing roof tile at perimeter of new skylight. Provide 12" deep gyp. bd. shaft below roof deck for insulation termination for light passage. Prep and paint. Color to be selected by WSR Design Specialist.
41. Provide EXIT sign adjacent to door per IBC 1011.4. Sign shall have raised characters and Braille complying with ICC A117.1.
42. Line of minimum 4'-0" width x 4'-0" depth clear floor area at exit door.
43. Signage above door to read "This door to remain unlocked while building is open".
44. Furr out exist. framed wall with 1/2" gyp. bd. over 1" x 4" studs.
45. Furr out exist. framed wall with 1/2" gyp. bd. over 1" x 4" studs.
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100. Furr out exist. framed wall with 1/2" gyp. bd. over 1" x 4" studs.
101. Furr out exist. framed wall with 1/2

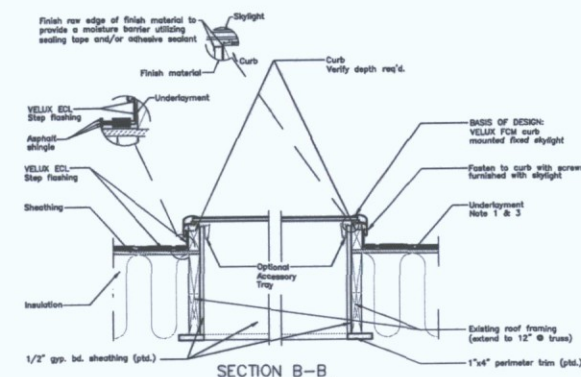
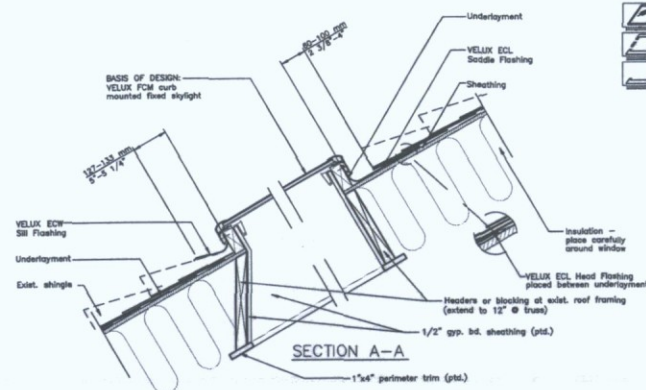
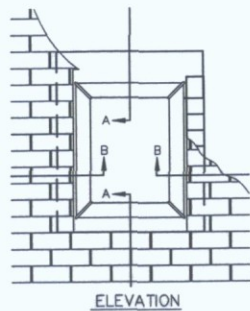


**Preliminary**  
**City Submittal**  
**Bid Package**  
**Construction**  
Project Number: 1618  
Date: 22 Aug 2016  
Revisions:

**Suite 108 Tenant Improvements**  
**DC Ranch Market Street**  
20715 N. Pima Road, Scottsdale, Arizona 85255



20715 N. Pima Road, Scottsdale, Arizona 85255



### Skylight Detail

Scale: 1" = 1'-0"

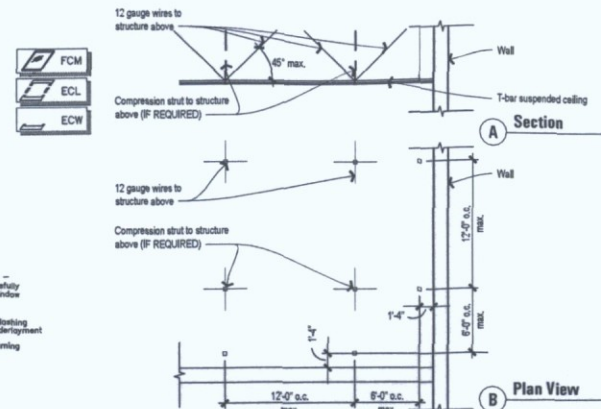
Contractor to provide dark tinting for glazing.

### GENERAL NOTES

- Underlayment to be folded up against all sides of curb.
- Vapor barrier should be used to avoid moisture.
- Wrap curb in underlayment. VELUX recommends use of VELUX type 202 218 adhesive underlayment.

Model: FCM 2246

**VELUX**  
1418 Snow Pond Road  
Greenville, SC 29615  
800-955-VELUX  
www.veluxusa.com  
By-Product Management  
FCM-Residential/Commercial



### T-Bar Suspended Ceiling

Scale: 1/8" = 1'-0"

1618A1.dwg

### Light Fixture Connection

Scale: N.T.S.

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### Connection of "T" Runner

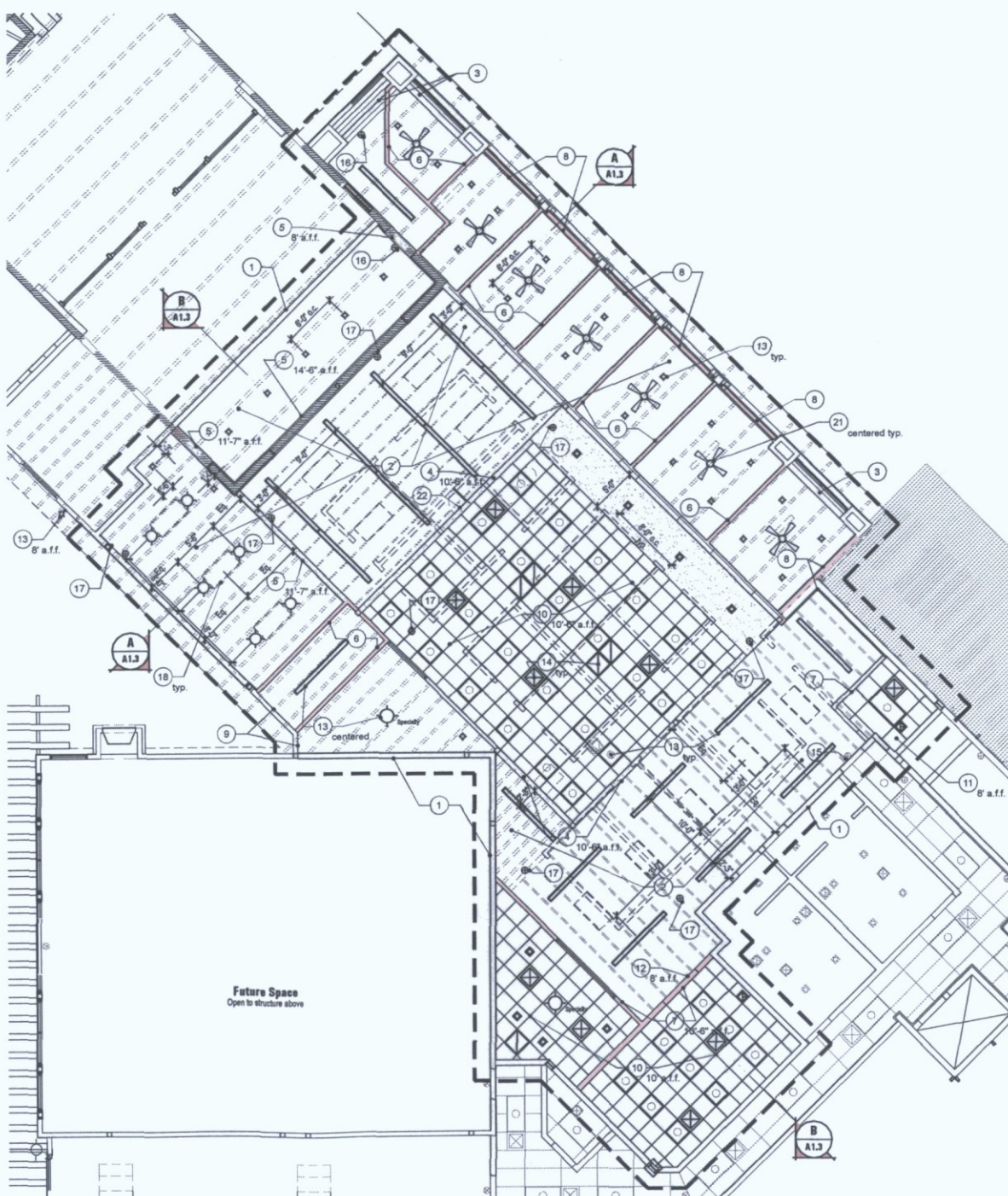
Scale: N.T.S.

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### Reflected Ceiling Plan Keynotes:

Refer to full set of documents for additional & supporting information

- Existing demising wall. Prep and paint. Refer to details for additional information.
- Existing open to structure above. Remove all extraneous elements to provide for only required elements to remain. Install 12" batt, faced insulation (R-30 min.) at underside of exist. roof deck. Provide scrim sheet. Prep and paint. Color(s) to be selected by WSR Design Specialist.
- Refinish exist. wd. header for new paint at interior of space. Prep and paint. Color(s) to be selected by WSR Design Specialist.
- New extended soffit at underside of existing roof structure. Extend bottom of structure with mt. studs w/1/2" gyp. bd. sheathing. Exterior face of structure to be sheathed full height to underside of roof deck above. Interior (suspended ceiling side) to be sheathed to min. 6" above suspended ceiling grid. Prep and paint. Color(s) to be selected by WSR Design Specialist. Refer to details for additional information.
- Install 1/2" gyp. bd. at underside of existing opening.
- New interior partition full height to underside of roof deck and/or structure above. Prep and paint. Refer to details for additional information.
- New interior partition. Top of partition to be min. 6" above ceiling. Provide continuous perimeter edge for suspended ceiling. Prep and paint. Refer to details for additional information.
- New turned wall at existing wall full height. Provide continuous perimeter edge for suspended ceiling where applicable. Prep and paint. Refer to details for additional information.
- New 1/2" gyp. bd. sheathing over existing shell framing. Install full height to underside of structure above where exposed. Prep and paint. Refer to details for additional information.
- New 2' x 2' suspended ceiling system. Provide grid & acoustical. Armstrong Cirrus High-NRC with tegular edge acoustical tile and 1/4" grid. Install per manufacturer specifications. Coordinate with Owner for color and finish of ceiling system. Refer to details and mechanical & electrical drawings for additional information.
- New 2' x 4' suspended ceiling system. Provide grid & acoustical tile. Install per manufacturer specifications. Coordinate with Owner for color and finish of ceiling system. Refer to details and mechanical & electrical drawings for additional information.
- Bottom of new opening.
- Light fixture. Refer to electrical drawings for additional information. Verify with WSR Design Specialist for fixture model/style.
- Mechanical grille. Refer to mechanical drawings for additional information.
- Existing emergency exit light/sign to be remain. Refer to electrical drawings for additional information.
- Relocated emergency exit light/sign. Refer to electrical drawings for additional information.
- New emergency exit light/sign. Refer to electrical drawings for additional information.
- Line of new skylight to be installed at exist. roof above. Install per manufacturer requirements and flash as required for weather tight seal. Patch to match existing roof tile at perimeter of new skylight. Provide 12" deep gyp. bd. shaft below roof deck for insulation termination for light passage. Prep and paint. Color to be selected by WSR Design Specialist.
- New mt. stud framed soffit at underside of exist. structure above. Provide 1/2" gyp. bd. sheathing. Prep and paint. Return vertical gyp. bd. min. 6" above adjacent suspended clg. Refer to details for additional information.
- Line of new RTU above. Rework, repair and reapply roofing accordingly for new units. Patch to match areas disturbed by new construction. Install per manufacturer requirements. Refer to details, structural, plumbing and mechanical drawings for additional information.
- New ceiling fan. Refer to electrical drawings for additional information. Install per manufacturer requirements. Coordinate with WSR Design Specialist for model, style and color.
- Install 1/2" gyp. bd. sheathing at existing framed wall to underside of roof deck above. Install new flush 24" x 24" access panel door at existing roof access opening. Prep and paint. Color to be selected by WSR Design Specialist. Refer to details for additional information.



### Reflected Ceiling Plan

Scale: 1/4" = 1'-0"



**LAVA Architecture, Inc.**  
3433 E. Hatcher Road  
Phoenix, Arizona 85028  
602.354.8795



MEMBER OF INSTITUTE OF SERVICE  
DESIGNERS (I.S.D.)  
36300  
I.O. JES A. VERGNE  
ARCHITECT  
ARIZONA, U.S.A.  
Expires 03/31/17

Preliminary Bid Package

City Submittal Construction

Project Number: 1618

Date: 22 Aug 2016

Revisions:

Suite 108 Tenant Improvements  
**DC Ranch Market Street**

20715 N. Pima Road, Scottsdale, Arizona 85255



Title: Reflected Ceiling Plan Details

Sheet Number:

**A1.2**



07

04

### Transom Header

## Header

### Doube-Acting Hinge

**Jamb w/ Glazing**

06

03

### Flush Sill w/ Glazing

### Jamb - Hinge

### Jamb - Strike

05

02

## Door Types & Hardware

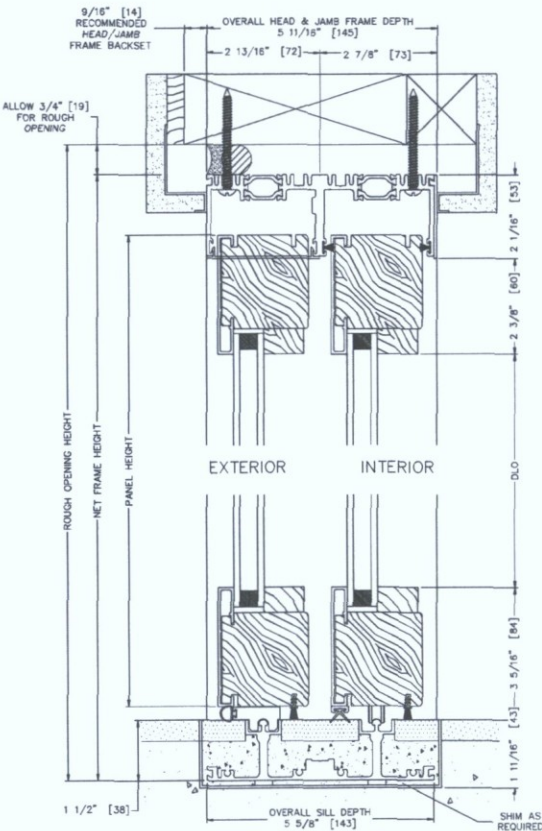
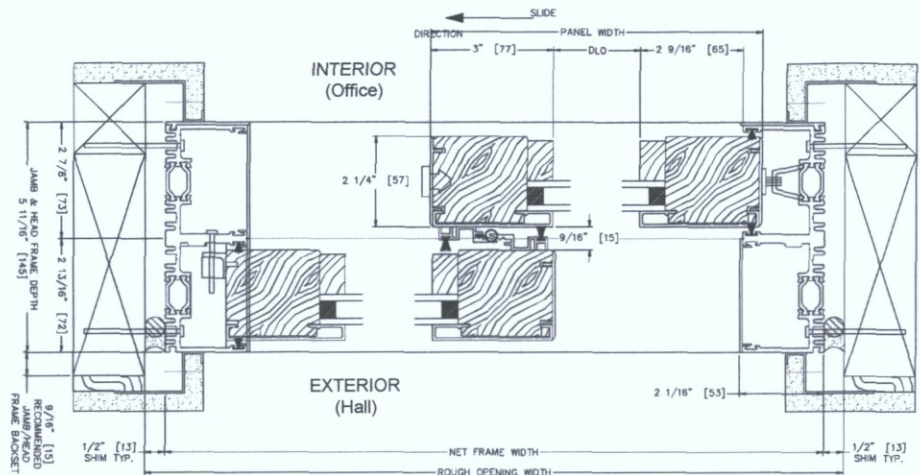
Frame & hardware by LaCantina  
Slider Contemporary Clad "Medium Bronze"  
Flush Sill  
Interior finish to be Mahogany wood to be painted  
Hardware to be Bronze.

1.5 pr. Hinges 4181 3.5 x 3.5  
1 ea. Privacy AL5302 380 DN x 37  
1 ea. Stop WC8XT

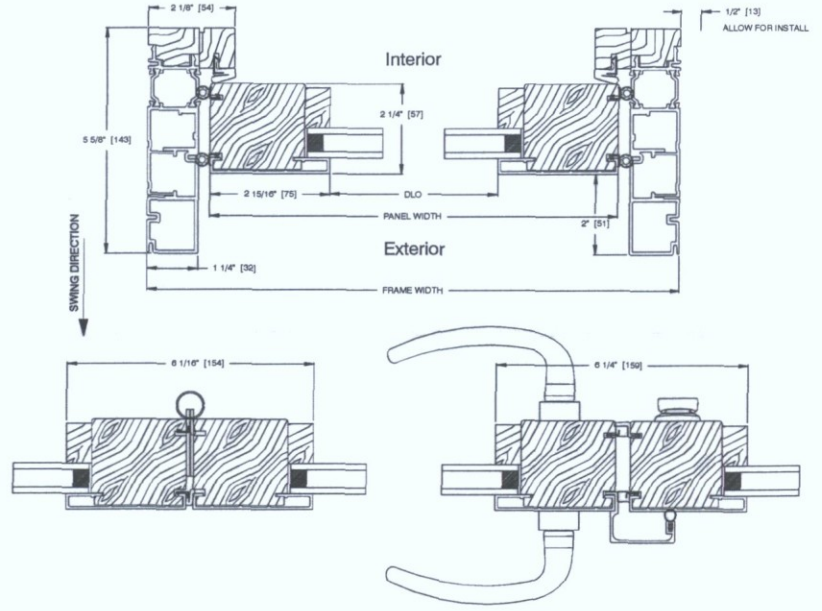
Hardware by Ingersoll-Rand group of companies:  
Schlage, LCN, Von Duprin, Ives

1. Locks, latches, levers and mounting heights of all door hardware shall comply with IBC Section 1008.1.8.3 and ADA/ADAG for graspability requirements.
2. Provide cylindrical lever lock sets equal to Schlage AL series commercial standard duty lock sets with Jupiter style lever handles, satin nickel finish for interior doors.
3. At exiting main entrance, provide sign that reads: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" or provide panic hardware.
4. Door handles, pulls, latches, locks and other operable parts shall be mounted 34" minimum and 48" maximum above finished floor.
5. Closers shall be adjusted so that from open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.
6. Opening or closing a door shall not require a force greater than 5 pounds.
7. Operable parts shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist.

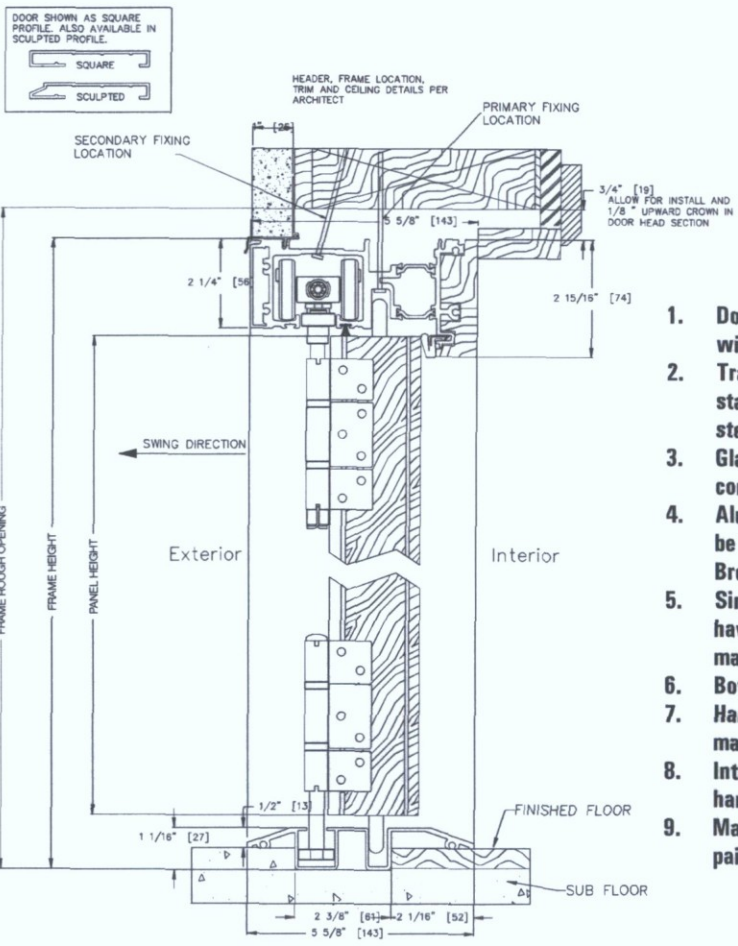
- Contractor to verify and/or coordinate with WSR Design Specialist prior to ordering for:
- Finishes, colors and/or materials for floors, walls and ceilings, unless directly specified in documents.
  - Models, finishes, colors and/or locations & heights of all electrical floor outlets, specialty wall outlets, television outlets, sconce lighting and specialty lighting.
  - Plumbing fixtures, fittings and toilet room accessories.
  - Models and/or finishes for door hardware & frames.



1. Door system to be La Cantina Contemporary Clad Slider 2 panel OX with flush sill. Contractor to provide alternate pricing for Aluminum system.
2. Track guide hardware to be stainless steel.
3. Glazing to be tempered glass.
4. Aluminum panel clad color to be optional color "Medium Bronze".
5. Hardware to be Locking Bronze by manufacturer.
6. Mahogany wood interior to be painted.

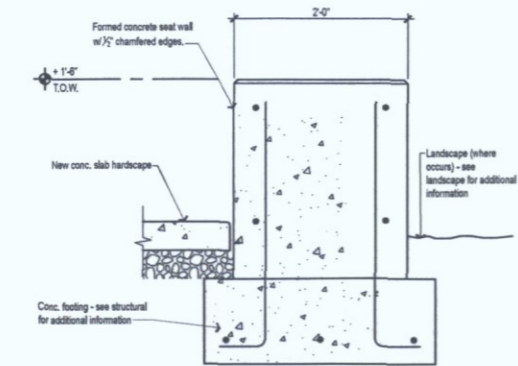


FOLDING OUTSWING CONTEMPORARY CLAD JAMB - SQUARE PROFILE

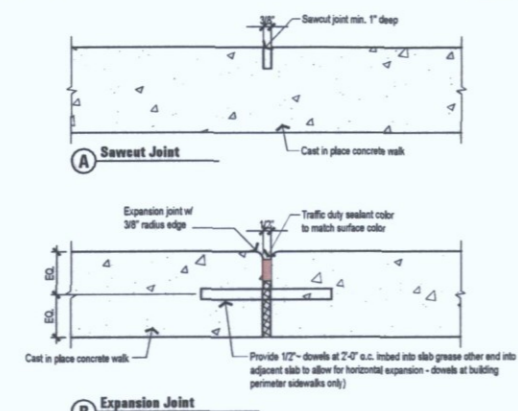


FOLDING OUTSWING RAMP SILL CONTEMPORARY CLAD

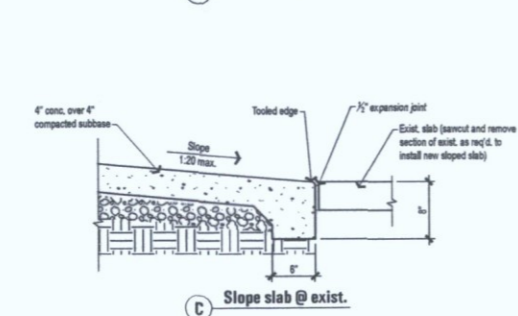
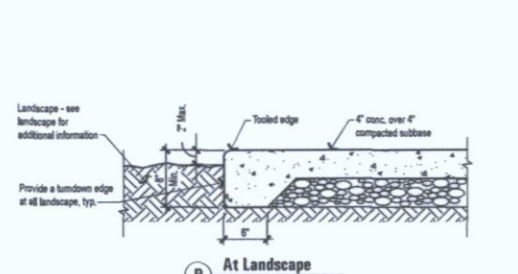
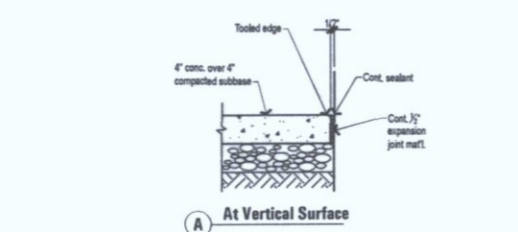
1. Door system to be 8 panel with ramp sill.
2. Track guide hardware to be stainless steel with stainless steel ball bearings.
3. Glazing to be LoE-340, solar control tinted, tempered glass.
4. Aluminum panel clad color to be optional color "Medium Bronze".
5. Single panel "man door" to have panic hardware by manufacturer.
6. Bottom rail to be 10" ADA.
7. Hardware to be Bronze by manufacturer.
8. Interior Folder Door lever hardware.
9. Mahogany wood interior to be painted.



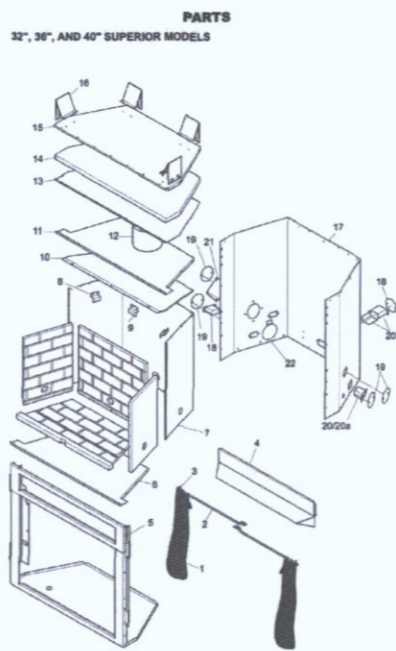
**Seat Wall**  
Scale: 1" = 1'-0"  
1618 A2.dwg



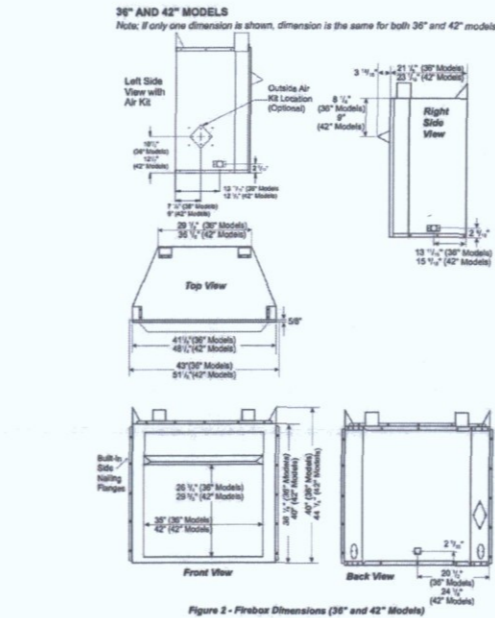
**Joints in Hardscape**  
Scale: 3\"/>



**Sidewalk Edge Details**  
Scale: 1" = 1'-0"  
1618 A2.dwg




**Figure 6 - Minimum Mantel Clearances for Built-In Installation**



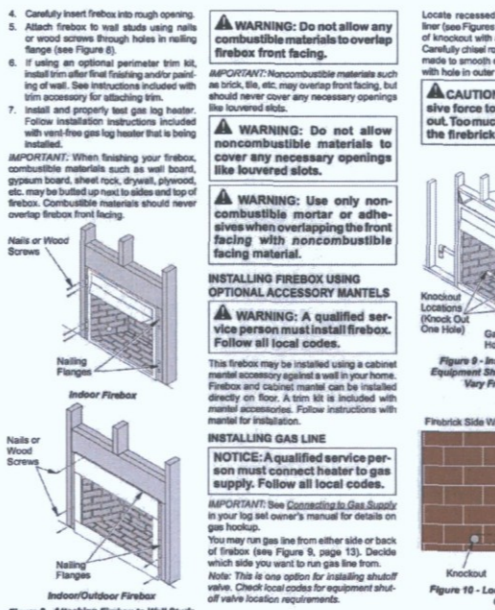
**Figure 2 - Firebox Dimensions (36\"/>**

KEY NO.	PART NO.	DESCRIPTION	36" 36" 36" 36"	QTY.
1	116207-01	Screen 36"	*	2
	116207-02	Screen 32"	*	2
	116207-03	Screen 42"	*	2
	116207-04	Screen 36" Stainless	*	2
	116207-05	Screen 32" Stainless	*	2
	116207-06	Screen 42" Stainless	*	2
2	108700-01	Screen Rod 32"	*	2
	108891-01	Screen Rod 36"	*	2
	107830-01	Screen Rod 42"	*	2
	117568-04	Screen Rod 32" Stainless	*	2
	117568-05	Screen Rod 36" Stainless	*	2
	117568-06	Screen Rod 42" Stainless	*	2
3	11418	Push-On Nut	*	1
4	116301-01	Hood Assembly Panel	*	1
	116301-02	Hood Assembly Panel	*	1
	116301-03	Hood Assembly Panel	*	1
	106414-05	Stainless Hood 36"	*	1
	107844-05	Stainless Hood 36"	*	1
	107879-05	Stainless Hood 42"	*	1
5	--	Face Weldment	*	1
6	--	Firebox Bottom	*	1
7	--	Firebox Surround	*	1
8	116301-01	Refractory Retainer	*	2
9	116302-01	Rear Refractory Retainer	*	1
10	106413-01	Firebox Top Shield	*	1
11	--	Firebox Top	*	1
12	--	Starter Pipe Collar	*	1
13	--	Insulation Pin	*	3
14	--	Fireplace Top Insulation	*	1
15	--	Fireplace Top	*	1
16	20280	Top Spacer	*	4
17	--	Fireplace Surround	*	1
18	108654-01	Gas Conduit Left and Right Assembly	*	2
19	21171	Gas Knock-Out Cover	*	3-5
20	107128-01	Gas Conduit	*	2
21	21379	Gas Conduit	*	2
22a	21380	Gas Conduit	*	2
23	20542	Cover Plate	*	1
24	--	Side Damper Weldment	*	1

32", 36", and 40" SUPER



\*\* Not a field replaceable part.

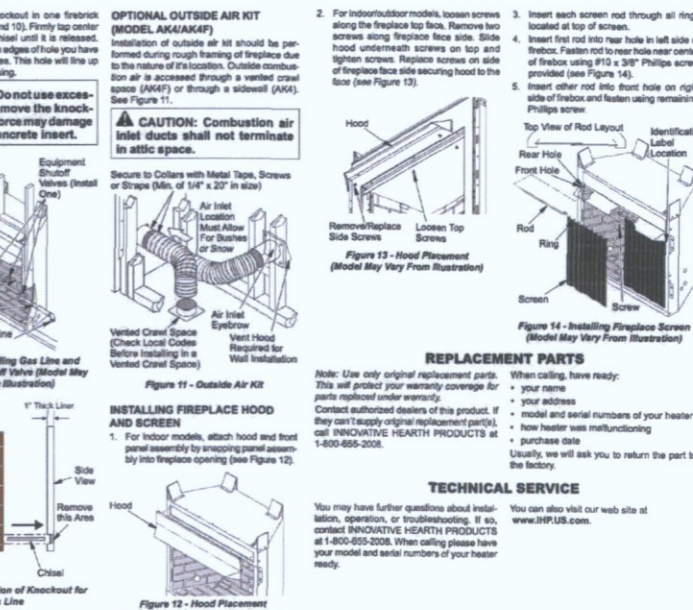
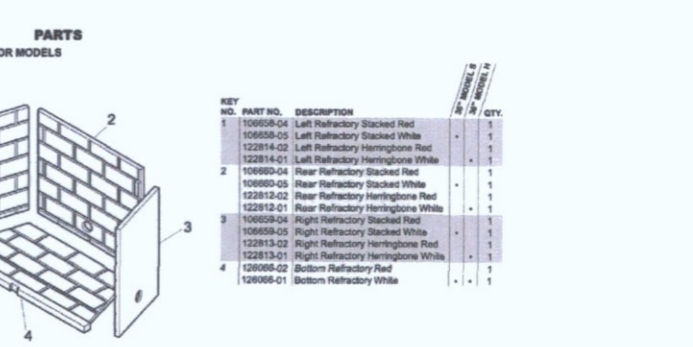


**Figure 3 - Firebox Dimensions (36\"/>**



**Figure 4 - Firebox Dimensions (36\"/>**

FEATURES	
^	Available in 32", 36" and 42" models
^	Flush herring floor design (earth spacer not required for combustible floor installation)
^	Refractory panels available in a variety of colors and patterns
^	Stainless steel construction for long lasting outdoor use
^	Stainless steel mesh fire screens
^	20 year limited warranty



**Figure 5 - Firebox Dimensions (36\"/>**

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VERGNE  
LOUIS A.  
VERGNE  
No. 38000  
State of Arizona  
Expires 09.30.11

**WHITESTONE REIT**

Suite 108 Tenant Improvements  
**DC Ranch Market Street**  
20715 N. Pima Road, Scottsdale, Arizona 85255

Details  
Outdoor Courtyard

Sheet Number: **A2.3**