
Simulations
Photos
All Graphics (no plans)





Scottsdale Automotive

Scottsdale, Arizona
2015 . 09 . 29

LGE | DESIGNGROUP

RENDERING VIEW - OPTION A

This artist rendering is for conceptual design only and should not be referred to as a construction document.

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LGE
DESIGN BUILD



14950 N 83rd Place Scottsdale, Arizona

2016 . 08 . 10

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 **CAWLEY**
ARCHITECTS

27-DR-2016

8/11/2016

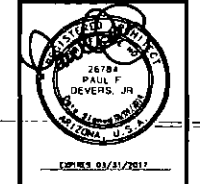
A REMODEL PROJECT:
14950 N. 83rd Place



730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.993.5060

CawleyArchitects.com

PROJECT: 14950 N. 83rd Place
 ADDRESS: 14950 N. 83rd Place
 Scottsdale, Arizona
 R. Randy Stolworthy 480-305-1960
 DEVELOPER: Pathfinder TRF Four LLC
 21 E Sixth St. #706, Tempe AZ. 85282
 SCOPE: A LIMITED REMODEL PROJECT
 LEGAL DESCRIPTION: lot 27, Scottspark Business Center Unit 2
 ASSESSOR PARCEL #: 215-55-046
 ZONING: C-4
 SITE AREA: +/- 52,689 S.F. (+/- 1.209 ACRES)
 BUILDING AREA: +/- 19,889 S.F. GROSS (EXIST'G)
 STORIES: SINGLE STORY
 LOT COVERAGE: 38.7%
 LANDSCAPE AREA: 10,170 SF (EXIST'G)
 LANDSCAPE COVERAGE: 19.3%
 OCCUPANCY: B/S-1 (NO CHANGE IN OCCUPANCY)
 CONSTRUCTION TYPE: V-B W/ A.F.E.S.
 ALLOWABLE AREA: 36,000 S.F. (SINGLE STORY)
 CLEAR HEIGHT: 19'-4" to 20'-4" +/-
 BUILDING HEIGHT: +/- 24'-4" (27'-0" NEW)



AREA CALC.	1ST FLOOR	TOTALS
OFFICE	4000 SF	4000 SF
WAREHOUSE	15,889 SF	15,889 SF
STORAGE	-	-
PRODUCTION	-	-
TOTAL:	19,889	19,889

REQUIRED PARKING CALCS	OCCUPANCY	S.F.	FACTOR	TOTAL
OFFICE	4000 SF	1/300	14	
WAREHOUSE	15,889	1/800	20	
STORAGE	-	-	-	
PRODUCTION	-	-	-	
TOTAL:			34	
TOTAL EXISTING PARKING			50	
TOTAL REGULAR SPACES (EXISTING)			47	
TOTAL ACCESSIBLE SPACES (NEW)			2	

BICYCLE PARKING CALCS	RATIO	REQUIRED	PROVIDED
1 PER 10/PARKING STALLS	5	5	5

LEGEND

- PROPERTY LINE
- EASEMENT/SETBACK LINE
- CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN.
- 6" EXTRUDED CURB
- 6" CAST IN PLACE CURB
- SITE WALL
- SALT FINISH CONC. SIDEWALK
- FAINT STRIPING ON PAVING
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE DEPT. CONNECTION
- ACCESSIBLE ROUTE/PATH OF TRAVEL
- FIRE RISER

14950 N 83RD PLACE

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 SCOTTSDALE ARIZONA

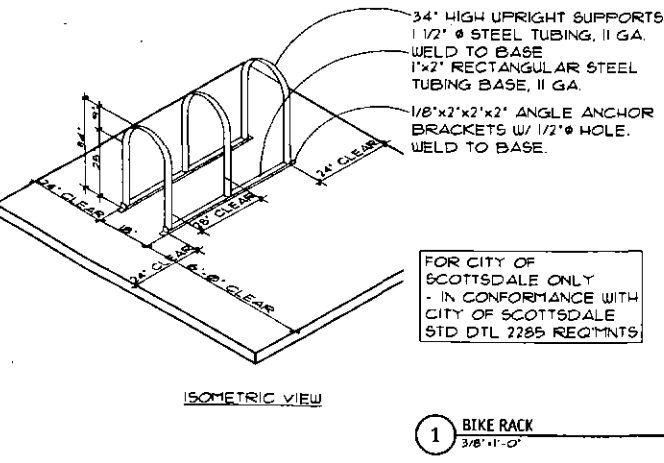
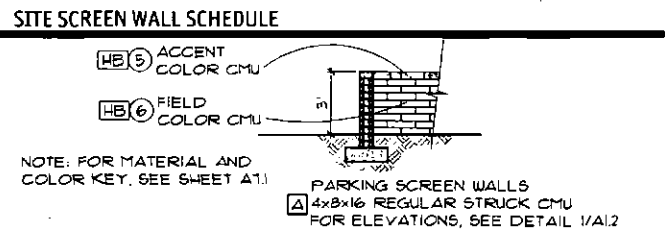
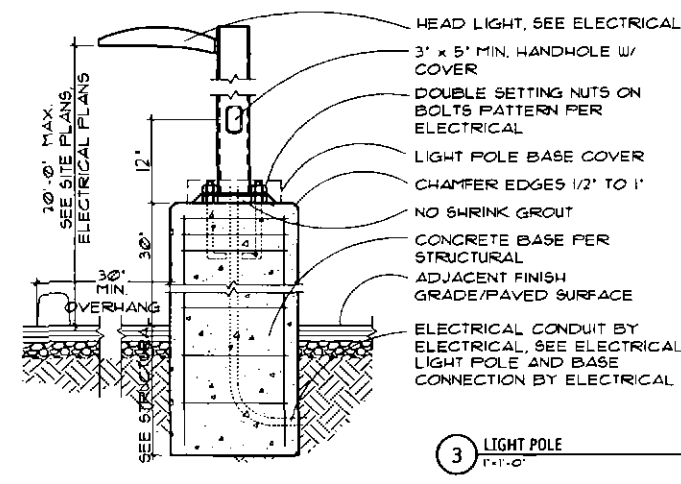
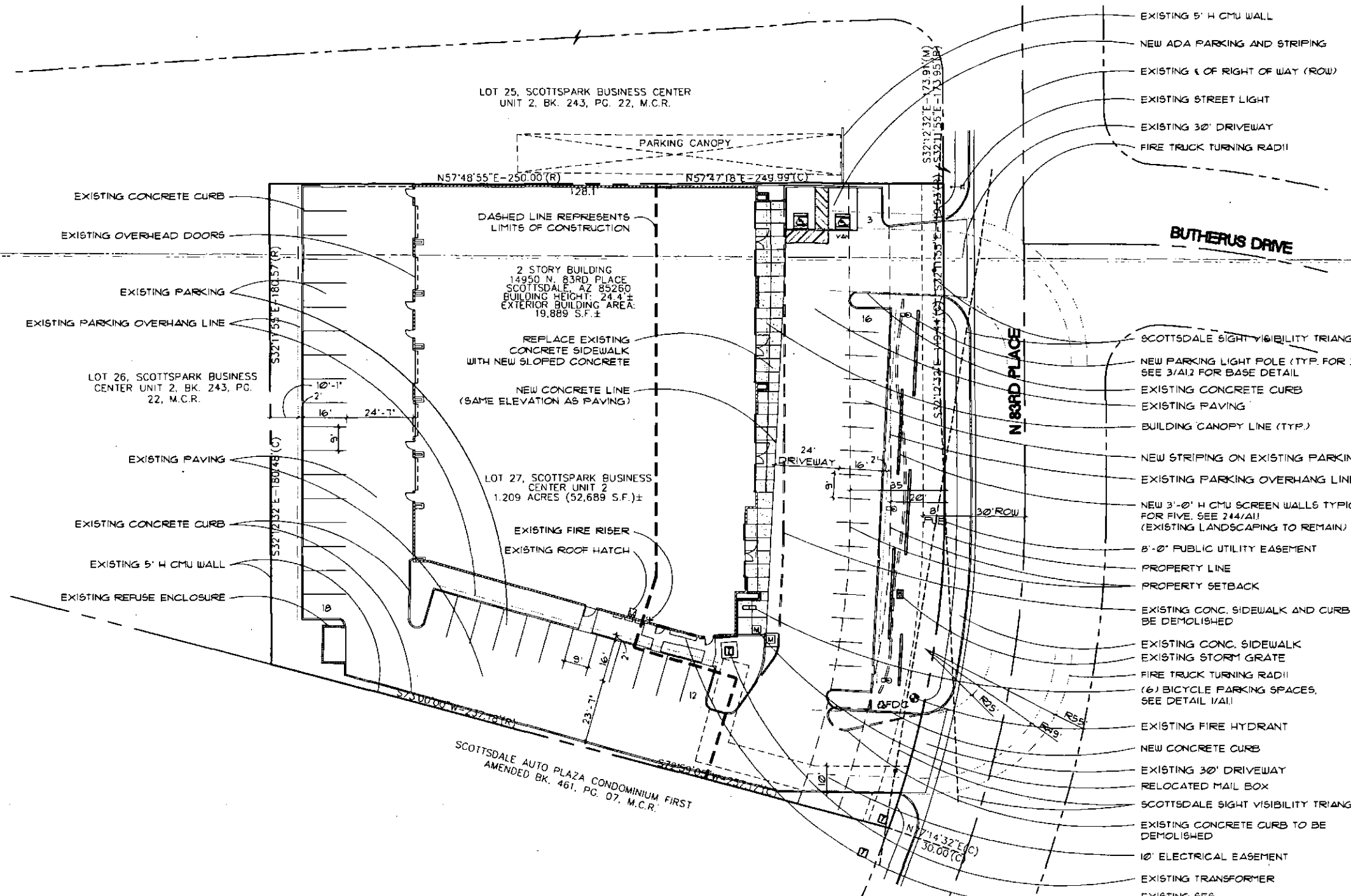
DATE

PRELIMINARY SET	05-23-2016
DR SUBMITTAL	06-16-2016
PRICING SET	06-17-2016
DR RE-SUBMITTAL	08-11-2016

NOTICE OF ALTERNATE BILLING CYCLE:
 The contract above the number to require submission of billings is amended in billing cycles other than thirty days. A written description of each billing cycle shall be included in the project file available from the owner or the owner's designated agent. Any other use or reliance of these drawings may result in civil damages.

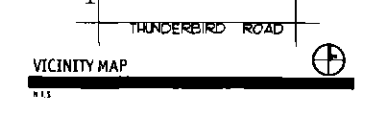
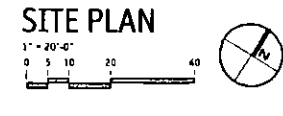
The architectural design, conception and construction shall be in accordance with the contract documents and the applicable laws and regulations. The architect shall be responsible for the workman use of Cawley Architects. Any other use or reliance of these drawings may result in civil damages.

Project - SAM
A1.1



SCREEN WALL NOTES

1. PARKING SCREEN WALLS ARE TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS FOR THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. GROUT SOLID ALL CELLS BELOW GRADE.
4. SEE STRUCTURAL DRAWINGS, SC-1, FOR ALL FOOTING AND REINFORCING INFORMATION.
5. COORDINATE OPENINGS AND WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

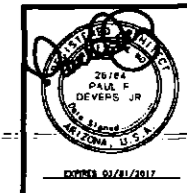




CAWLEY ARCHITECTS

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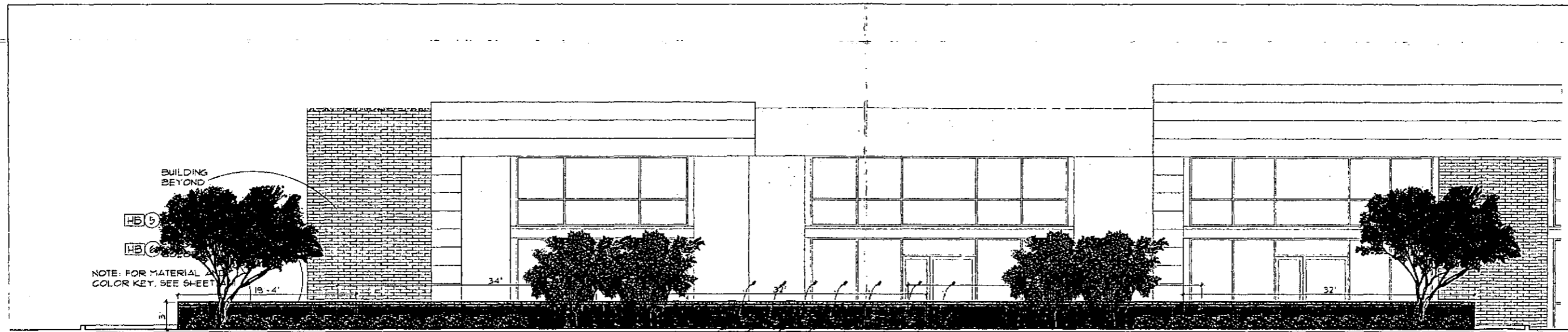
The contract shall be the order to retain submission of plans or drawings in billing cycles other than 90 days. A written description of such other billing cycle applicable to the project is available from the owner or the owner's designated agent. The owner's telephone number and address on other sheets and the name or its designated agent shall provide the written description upon request.

The architect design, conception and construction herein constitutes an agreement of service provided in connection with the design build project development agreement for the exclusive use of Cawley Architects. Any other use or misuse of these drawings may result in civil damages.

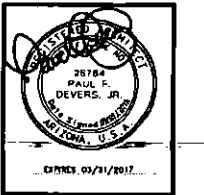
The site plan has been prepared without the benefit of a survey. Dimensions may not be accurate or fully reflect all dimensions, details, which may affect the design and quality of the site, and design team has a strict copyright.

Project: SAM

A12



1 STREETScape ELEVATIONS
3/16"=1'-0"

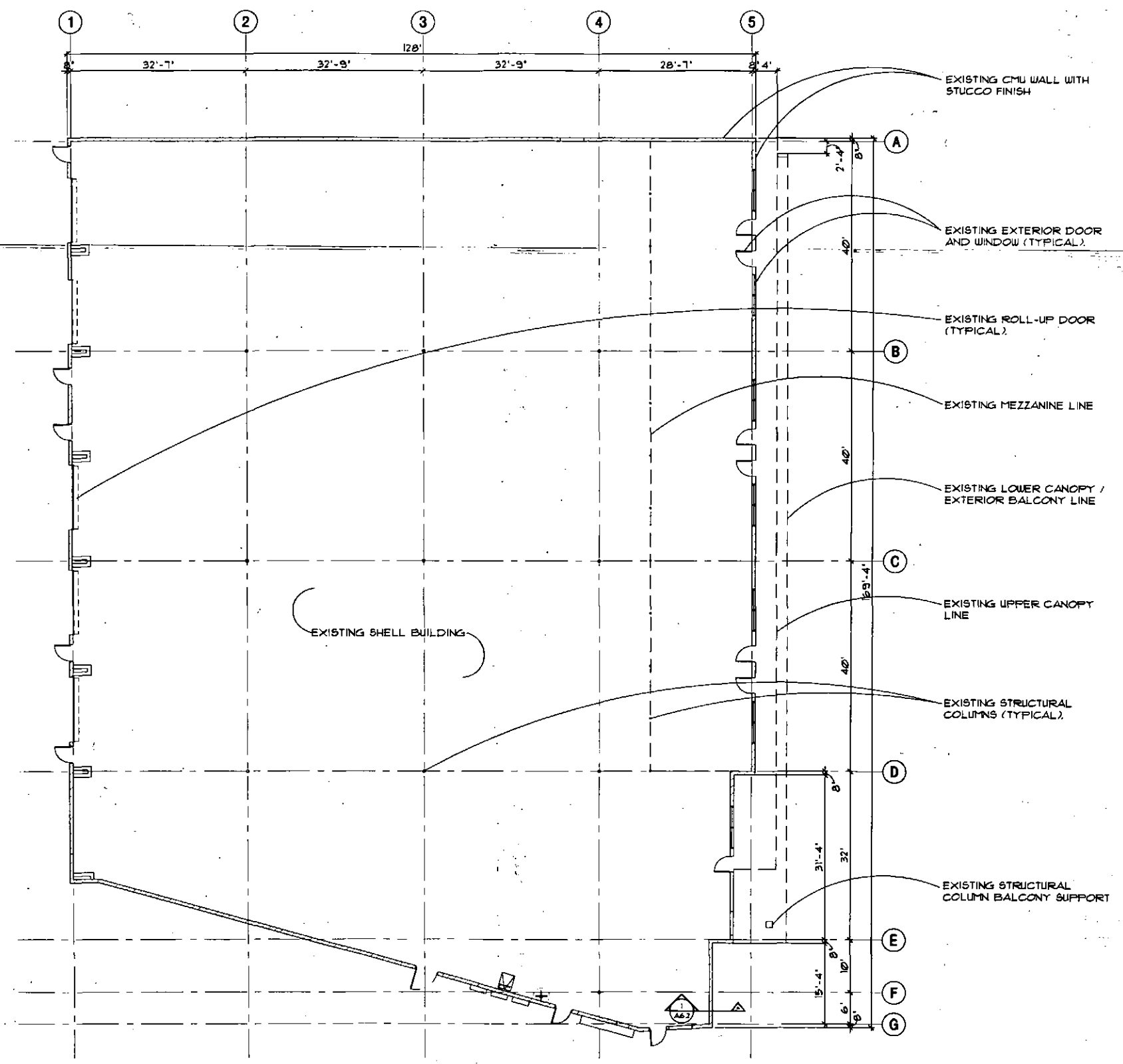


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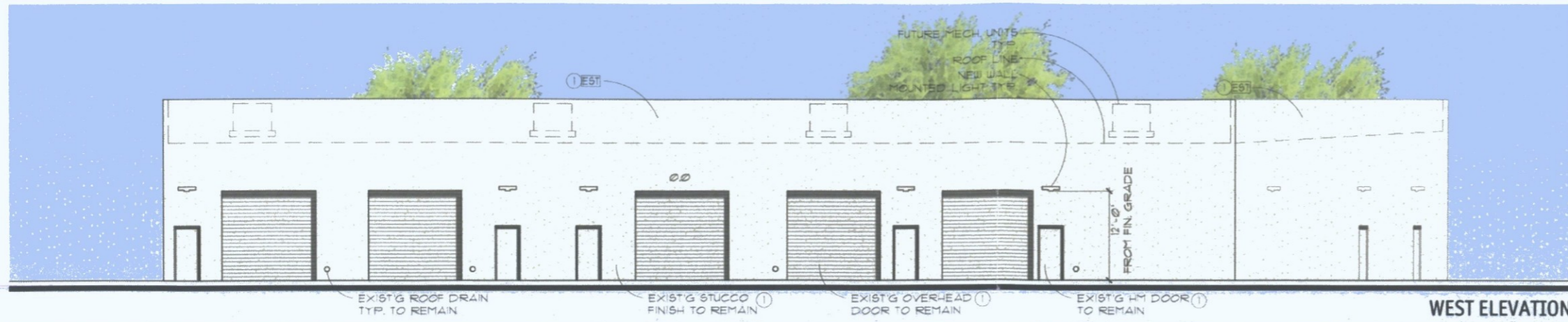
EXISTING FLOOR PLAN
 1/32" = 1'-0"

NOTICE OF ALTERNATE BIDDING CYCLE

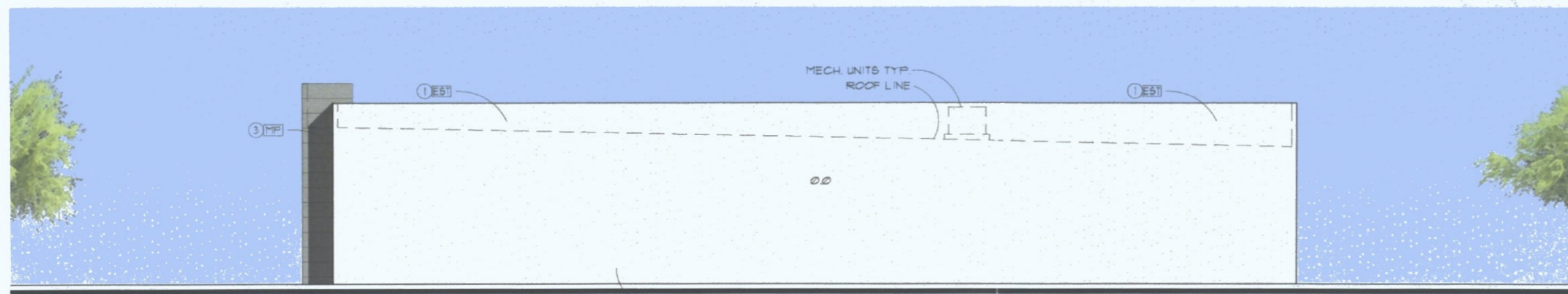
The contract allows the owner to require submission of bidders or architect in bidding cycle prior than 10 days in writing. Description of such other bidding cycle applicable to the project is available from the owner. The owner's designated agent (see owner's response number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design built project development's requirement for the exclusive use of Cawley Architects. Any other use or release of this drawings may result in the drawings.

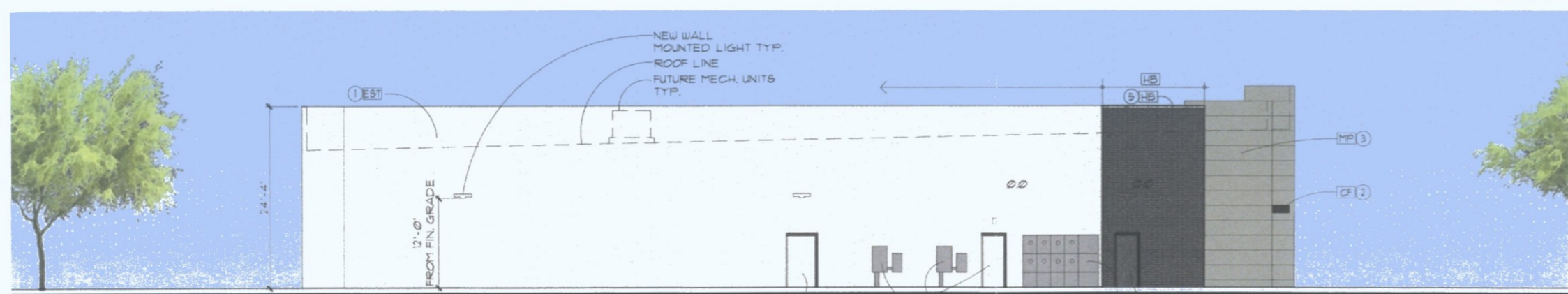
This site plan has been prepared without the benefit of a survey. Data shown may not be accurate or may reflect all elevations, walls, etc. which may affect the design and usability of the site. All design shown here is strictly conceptual.



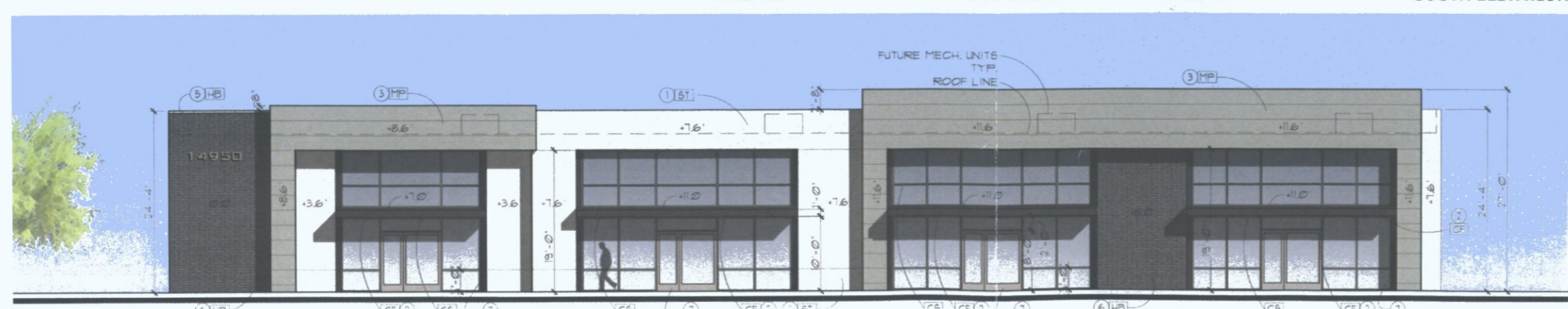
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES

- SEE STRUCTURAL FOR L INTEL INFORMATION
- SEE DOOR SCHEDULE FOR DOOR JOINTS
- SEE STRUCTURAL FOR CONTROL JOINTS

MATERIAL SAMPLE APPROVAL

- PRIOR TO ORDERING GC TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU ETC.)
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME ONSITE IN SIZES OF NO LESS THAN 12" X 12"

MATERIAL KEY

MATERIAL	DESCRIPTION
ST	NEW STUCCO FINISH, SMOOTH
HB	HONED BLOCK 4 X 8 X 16 VENEER
MP	SMOOTH METAL PANEL
CF	CANOPY FRAME - 12" STEEL TUBE PAINTED
CS	CANOPY SOFFIT- REDWOOD "NATURAL OILED FINISH"
CR	CANOPY ROOF-SINGLE PLY MEMBRANE
EST	EXISTING STUCCO

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	ANODIZED ALUMINUM AB-1 / LIGHT CHAMPAGNE
GLAZING	1" INSULATED CLEAR

INSULATED GLAZING SYSTEM SPECIFICATION

OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.29
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
 OUTBOARD: 1/4" PPG SOLARBAN 60 CLEAR (SRF #2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (SRF #3)

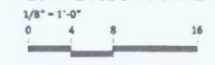
- 5' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

- COLOR NAME:
- KEY:
- DUNN EDWARDS PAINT/ 'FOGGY DAY' - DE6226 (LRV 71)
 - DUNN EDWARDS PAINT/ 'BLACK TIE' - DE6357 (LRV 6)
 - OMEGA PANEL PRODUCTS/ 1/2" PIECE TIGHT-FIT MOLDING SYSTEM COLOR CHAMPAGNE KYNAR 500 FINISH - SOLAR REFLECTIVE INDEX (SRI) 62
 - DUNN EDWARDS PAINT/ 'BOAT ANCHOR' - DE6311 (LRV 14)
 - TRENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - SEASHELL (LIGHT COLOR)
 - TRENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - BLACK CANYON (DARK COLOR)
 - ARCADIA STOREFRONT SYSTEM - AB-1 / CHAMPAGNE

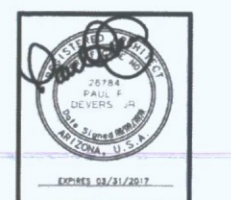
- MATERIAL**
- EXT. RAILING GATES
 BOLLARDS TRANSFORMER
 SES
- SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS
 - PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK PRECAST CONCRETE UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT
 - GC IS RESPONSIBLE FOR SUBMITTING ALL FREE MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL
 - GC TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER

EXTERIOR ELEVATIONS



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The architectural design, conception and construction shall remain the property of Cawley Architects. Any other use or release of these drawings may result in civil damages.

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Project - SAM
A7.1

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PRICING SET 06-17-2016
OR RE-SUBMITTAL 08-11-2016

CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX
NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.









RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

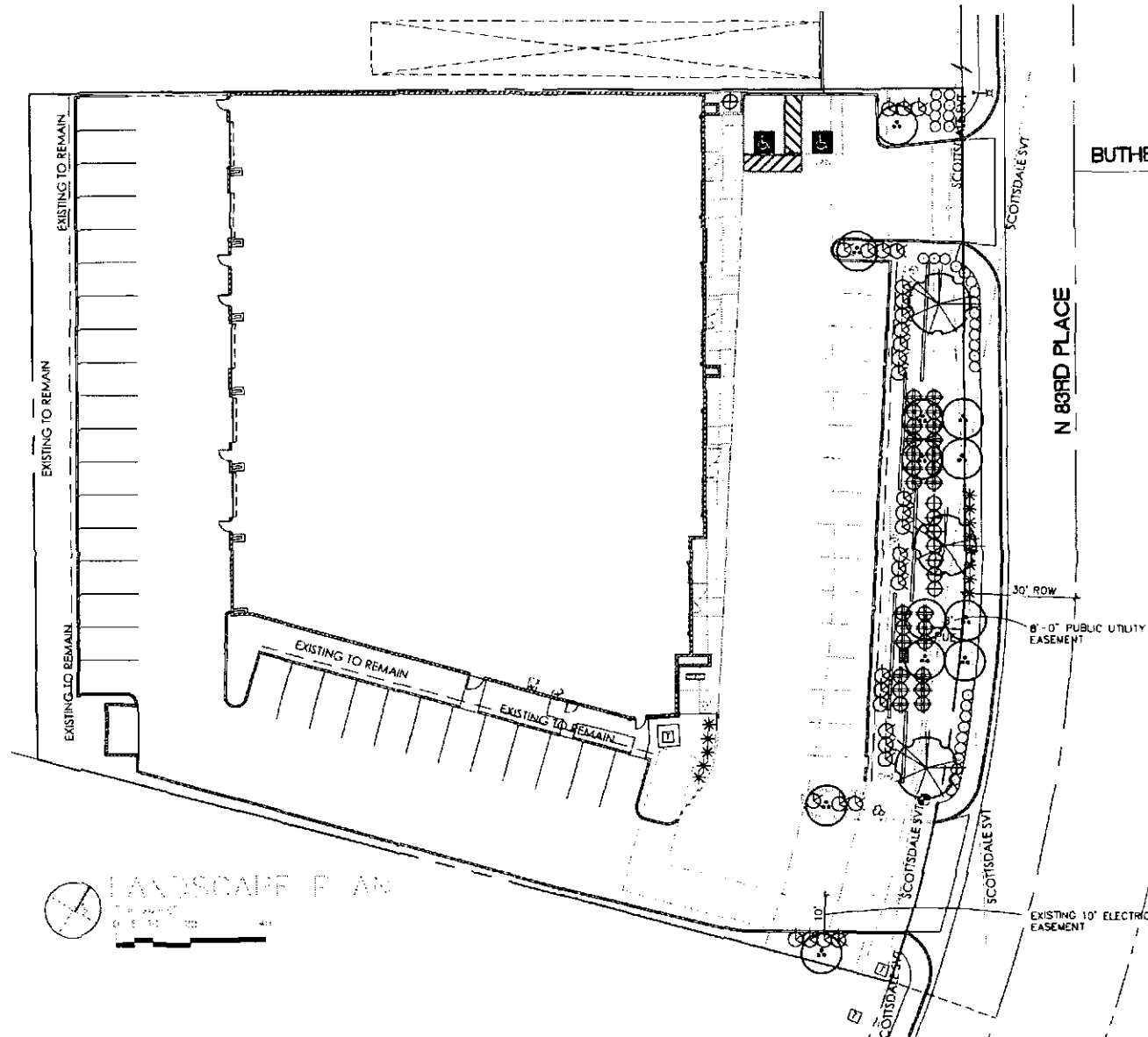
LANDSCAPE LEGEND

-  CERCIDIUM HYBRID
DESERT MUSEUM PALO VERDE
24" BOX (MATCHING)
 -  SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
24" BOX
 -  RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
 -  TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
 -  HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
 -  DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
 -  ALOE 'BLUE ELF'
BLUE ELF ALOE
1 GALLON
 -  LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- MATCH EXISTING R.O.W.
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

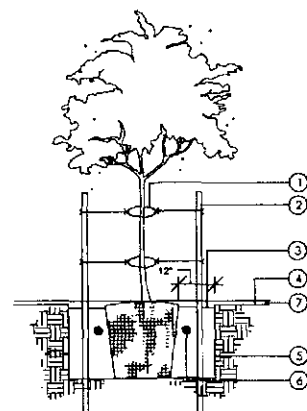
LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER	APPROVED	DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.		

Case No: 00 - DR - 2016



LANDSCAPE PLAN
NOT TO SCALE



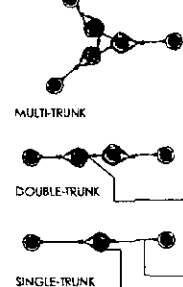
1. 1/2" RUBBER HOSE WITH #10 WIRE
2. TWO 2" ROUND BY 8' LONG GREEN TREE STAKES BURY 3" BELOW GRADE
3. 4" BASIN
4. GRADE (PRIOR TO GRANITE)
5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
6. AGRIFORM TABLETS
7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

DOUBLE STAKING DETAIL

NOT TO SCALE

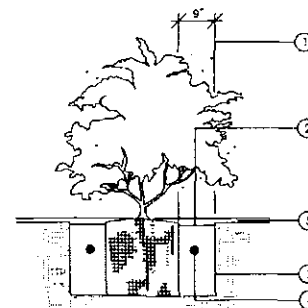
NOTE:
MULTI-TRUNKED TREES TO HAVE ALL MAJOR LEADERS STAKED



1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
2. #10 WIRE RUBBER COATED
3. 1/2" RUBBER HOSE

TREE GUYING DETAIL

NOT TO SCALE



1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
2. 1" BASIN
3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

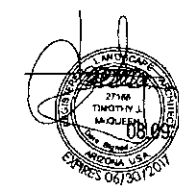
BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPE DATA:

OFF SITE LANDSCAPE AREA: 970 SQ. FT.
ON-SITE LANDSCAPE AREA: 9,692 SQ. FT.
TOTAL LANDSCAPE AREA: 10,662 SQ. FT.

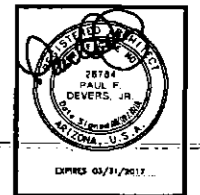


T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Choila St., Suite 101
Scottsdale, Arizona 85260
P. (602) 285-0320 F. (602) 285-6619
EMAIL: timmcqueen@tjmia.net

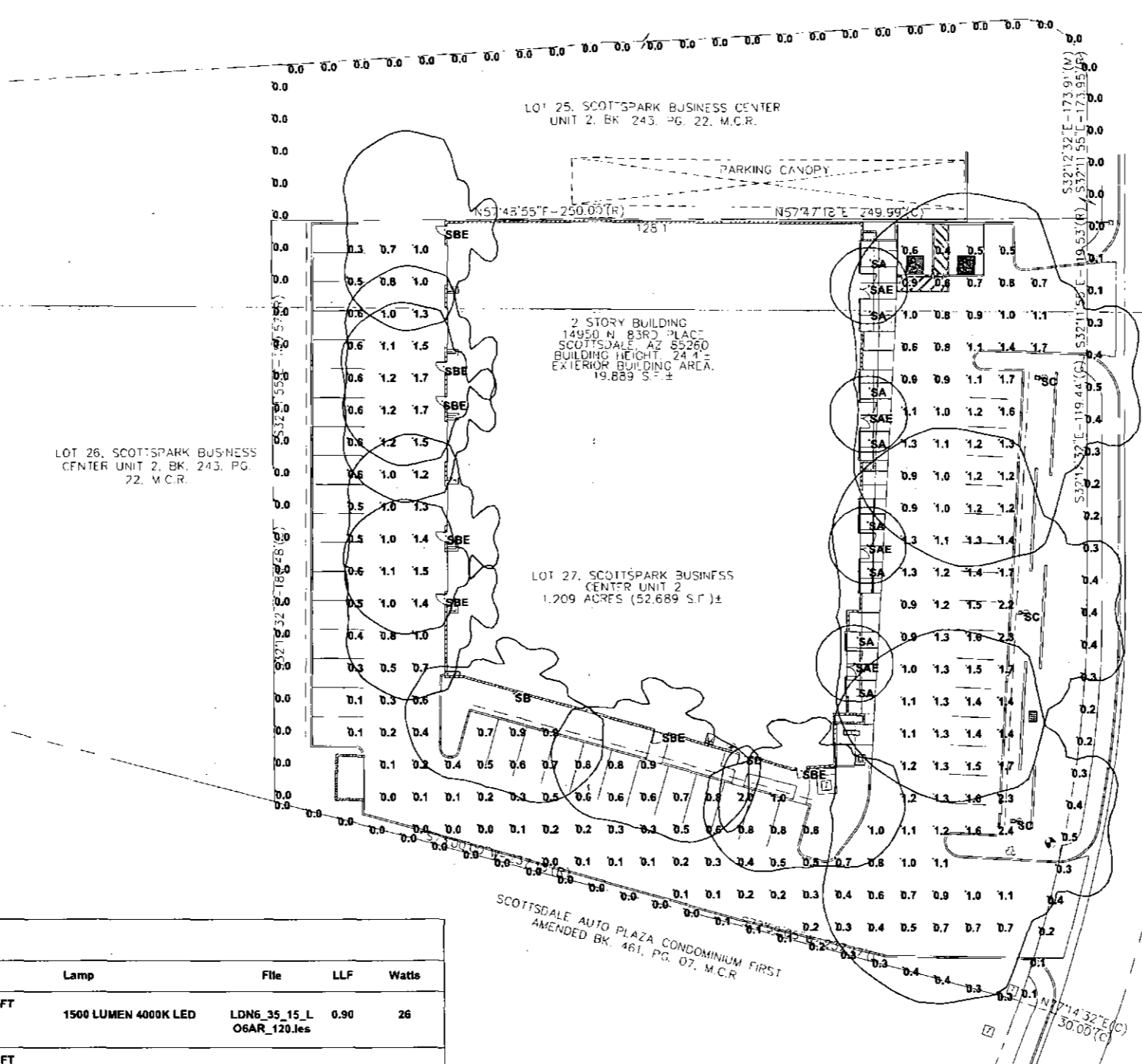




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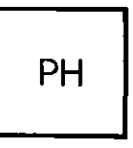
LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	LLF Watts
○	SA	8	LITHONIA LDN6 40/15 LOGAR	DOWNLIGHT IN 10 FT SOFFIT	1500 LUMEN 4000K LED	LDN6_35_15_L_O6AR_120.les	0.90 26
⊗	SAE	4	LITHONIA LDN6 40/15 LOGAR ELCW	DOWNLIGHT IN 10 FT SOFFIT WITH INTEGRAL EMERGENCY LIGHTING SYSTEMS	1500 LUMEN 4000K LED	LDN6_35_15_L_O6AR_120.les	0.90 26
□	SB	1	LITHONIA DSXW1 LED 10C 700 40K T4M MVOLT	FULL CUTOFF WALL MOUNT AT 12 FT AFG	2515 LUMEN 4000K LED	DSXW1_LED_10C_700_30K_T4M_MVOLT.1.es	0.90 27
▣	SBE	7	LITHONIA DSXW1 LED 10C 700 40K T4M MVOLT ELCW	FULL CUTOFF WALL MOUNT AT 12 FT AFG WITH INTEGRAL EMERGENCY LIGHTING SYSTEM	2515 LUMEN 4000K LED	DSXW1_LED_10C_700_30K_T4M_MVOLT.1.es	0.90 27
□	SC	3	LITHONIA DSX1 LED 40C 530 40K T4M MVOLT SSS17.5	FULL CUTOFF AREA LIGHT MOUNTED AT 20 FT AFG	8687 LUMEN 4000K LED	DSX1_LED_40C_530_40K_T4M_MVOLT.les	0.90 68
□	SD	1	LITHONIA AFN FWD	EMERGENCY ONLY FIXTURE MOUNTED ABOVE EXIT DOOR	390 LUMEN LED	AFN_FWD.les	1.00 6

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AND DRIVES	+	0.9 fc	2.4 fc	0.0 fc	N/A	N/A
Property line calculation	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

PHOTOMETRICS PLAN



Project - SAM



NOTICE OF ALTERNATE BILLING CYCLE:
 The contract shall be deemed to include a provision of alternate billing cycle. The alternate billing cycle shall be the billing cycle of the contractor. The contractor shall be responsible for the alternate billing cycle. The contractor shall be responsible for the alternate billing cycle. The contractor shall be responsible for the alternate billing cycle.

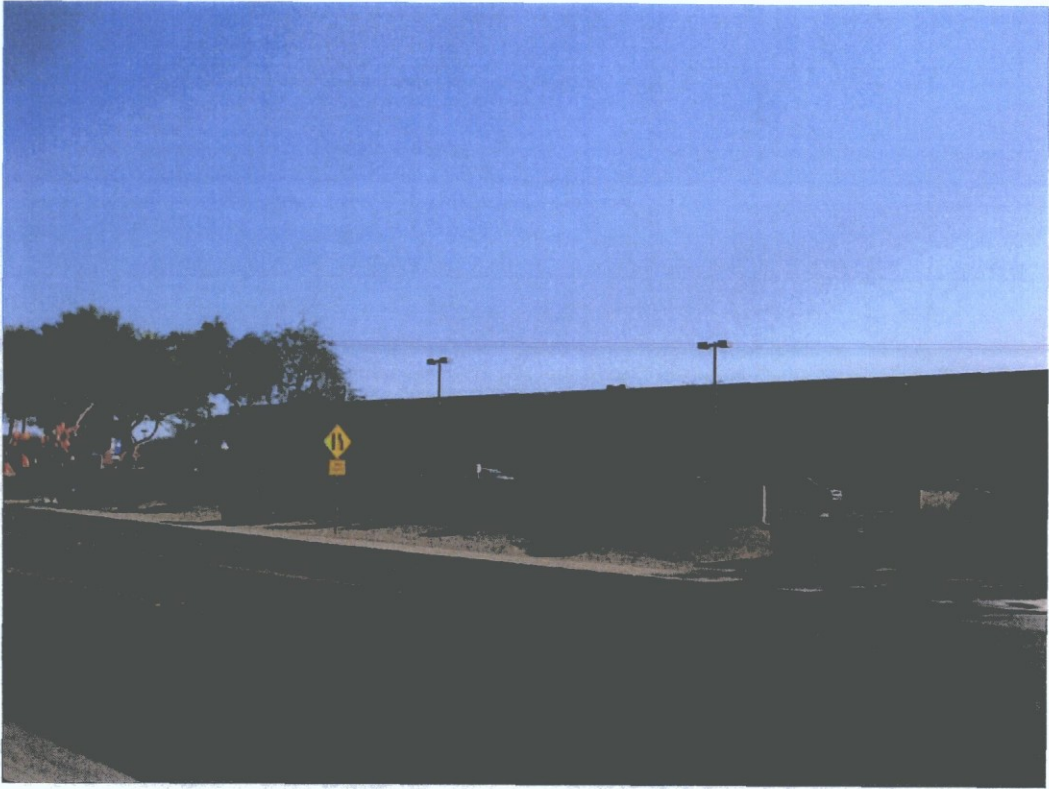
Context SITE PHOTOS

A Remodel Project:

14950 83rd Place
Scottsdale, AZ 85260

27-DR-2016

06/16/16



1



2



3



4



5



6



7



8



9



10



11



12



13



14



15



16



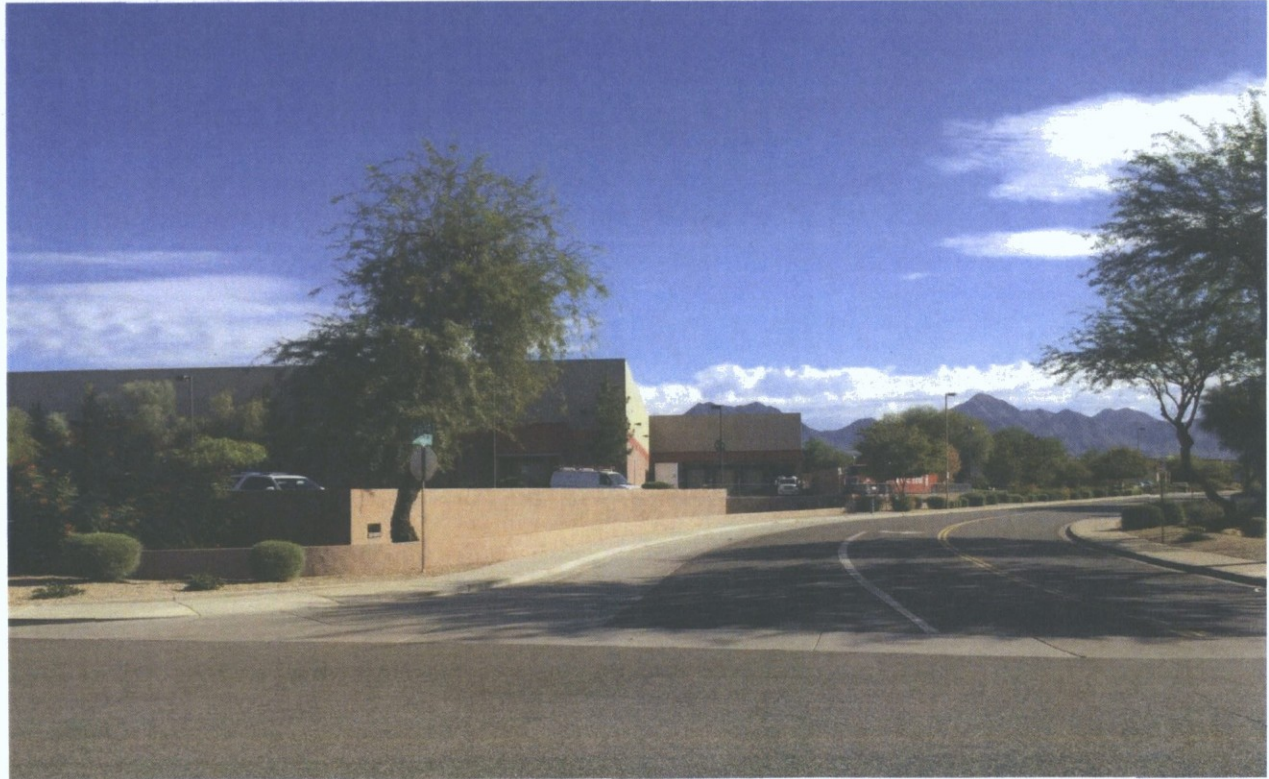
17 - Tesla (Hayden Road)



18 - United Blood (Hayden Road)



CONTEXT PHOTO #1



CONTEXT PHOTO #2



CONTEXT PHOTO #3



CONTEXT PHOTO #4

740 N. 52nd Street, Phoenix, AZ 85008
480-966-4001



CONTEXT PHOTO #5



CONTEXT PHOTO #6



CONTEXT PHOTO #7

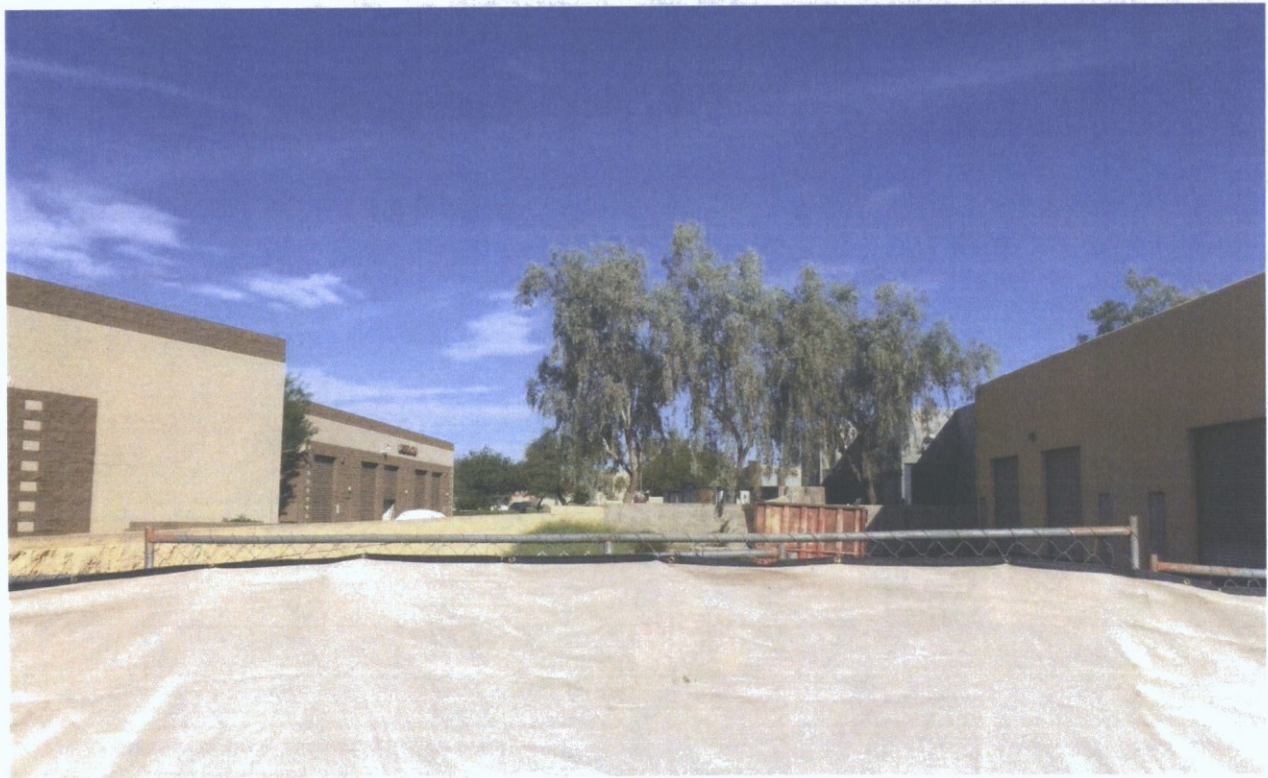


CONTEXT PHOTO #8

740 N. 52nd Street, Phoenix, AZ 85008
480-966-4001



CONTEXT PHOTO #9



CONTEXT PHOTO #10



CONTEXT PHOTO #11



CONTEXT PHOTO #12



CONTEXT PHOTO #13

A REMODEL PROJECT:

14950 N. 83rd Place



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5050

CawleyArchitects.com



14950 N 83RD PLACE

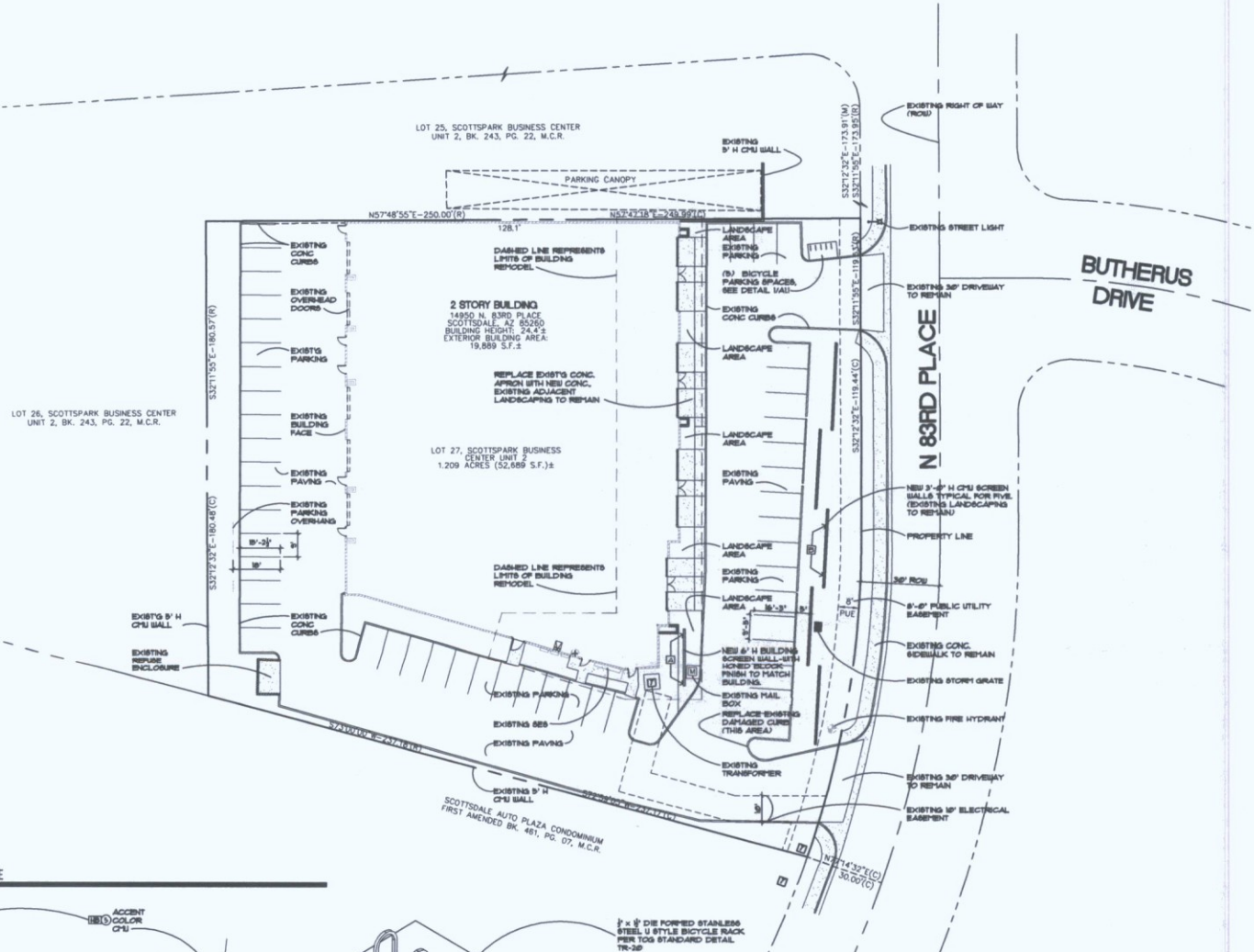
14950 N 83RD PLACE
SCOTTSDALE
ARIZONA

DATE
PRELIMINARY SET
05-23-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE
The contractor shall be liable to the owner to make a number of billings per month or as indicated in other portions of the contract documents. The number of billings per month shall be the number of billings per month indicated on the contract documents. The contractor shall be liable to the owner to make a number of billings per month as indicated in other portions of the contract documents. The contractor shall be liable to the owner to make a number of billings per month as indicated in other portions of the contract documents.

The architect's design, construction and other contractual documents shall be prepared in accordance with the design and construction documents prepared by the architect and the contractor. The contractor shall be liable to the owner to make a number of billings per month as indicated in other portions of the contract documents. The contractor shall be liable to the owner to make a number of billings per month as indicated in other portions of the contract documents.

Project - SAM
A1.1



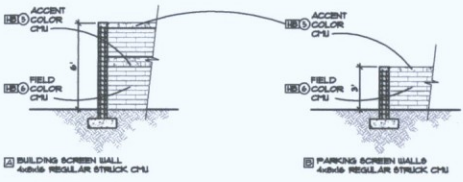
AREA CAL.	1ST FLOOR	TOTALS
OFFICE	4000 SF	4000 SF
WAREHOUSE	15,889 SF	15,889 SF
STORAGE	-	-
PRODUCTION	-	-
TOTAL:	19,889	19,889

REQUIRED PARKING CALC.	OCCUPANCY	FACOR	TOTAL
OFFICE	4000 SF	1/200	14
WAREHOUSE	15,889	1/800	20
STORAGE	-	-	-
PRODUCTION	-	-	-
TOTAL:			34
PARKING PROVIDED (EXISTING)			50
BICYCLE PARKING CALC.			
RATIO	REQUIRED	PROVIDED	
1 PER 10 PARKING STALLS	5	5	

LEGEND

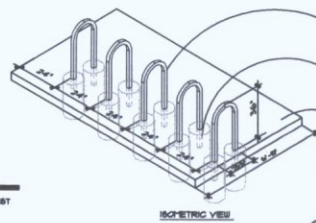
- PROPERTY LINE
- - - EASEMENT/RETRICK LINE
- - - CAR OVERHANGS HEADRAMP FRONT FACE OF CURB AS DIMENSIONED ON SITE PLAN.
- EXISTING CURB
- - - CAST IN PLACE CURB
- SITE WALL
- BUILT FINISH CONC. SIDEWALK
- PAINT STRIPS ON PAVING
- ⊙ NEW FIRE HYDRANT
- ⊙ EXISTING FIRE HYDRANT
- ⊙ FIRE DEPT. CONNECTION
- ⊙ ACCESSIBLE ROUTE/PATH OF TRAVEL
- ⊙ FIRE RISER

SITE SCREEN WALL SCHEDULE



SCREEN WALL NOTES

1. PARKING SCREEN WALLS ARE TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS PER THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. GROUT SOLID ALL CELLS BELOW GRADE.



7 x 8" DIE FORMED STAINLESS STEEL PER 100 STANDARD DETAIL TR-30
BICYCLE RACK ANCHORED WITH METAL PINS IN 6" DIA X 24" D CONC. PIERS
PROVIDE 4" THICK CONC. SLAB - EACH BIKE POST REQUIRES 2"x8" PAD
6" DIA X 24" DEEP CONCRETE FOOTINGS TYP. EACH RACK

1 BIKE RACK
3/4" x 1'-0"

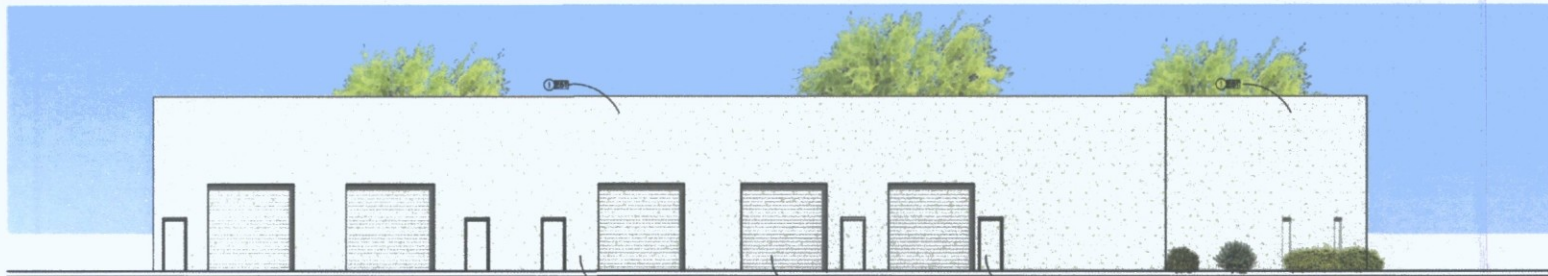
SITE PLAN



VICINITY MAP



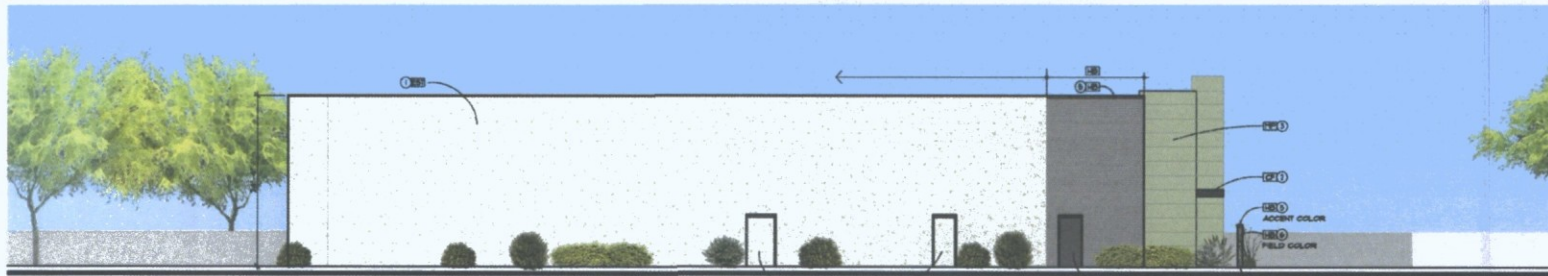
27-DR-2016
06/16/16



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

GENERAL NOTES

1. SEE STRUCTURAL FOR Lintel INFORMATION.
2. SEE DOOR SCHEDULES FOR CONTROL JOISTS.
3. SEE STRUCTURAL FOR CONTROL JOISTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, S.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (PAINTED ONLY ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, CHITS IN SIZES OF NO LESS THAN 8" X 8".

MATERIAL KEY

MATERIAL	DESCRIPTION
001	NEW STUCCO FINISH, SMOOTH
002	HONEY BLOCK, 4" X 8" X 16" VENEER
003	SMOOTH METAL PANEL
004	CANOPY FRAME - 3" STEEL TUBE, PAINTED
005	CANOPY ROOF - TREX OR SIGAL
006	CANOPY ROOF - SINGLE PLY MEMBRANE
007	EXISTING STUCCO

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	ANODIZED ALUMINUM AB-1 / LIGHT CHAMPAGNE
GLAZING	1" INSULATED CLEAR

INSULATED GLAZING SYSTEM SPECIFICATION
 GLAZING SYSTEM - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.25
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
 OUTBOARD: 1/4" PPG SOLARBAN 60 CLEAR (TWP 5)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (TWP 5)

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

COLOR NAME	KEY
1	DUNN EDWARDS PAINT/ 'POSER' - DE6225
2	DUNN EDWARDS PAINT/ 'BLACK TIE' - DE6397
3	CPX PANEL PRODUCTS/ 'UPRICE TIGHT-JIT' HOLDING SYSTEM COLOR CHAMPAGNE, KYMAR 800 FINISH
4	DUNN EDWARDS PAINT/ 'BOAT ANCHOR' - DE5171
5	TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - SEASHELL (LIGHT COLOR)
6	TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - BLACK GRAY (DARK COLOR)
7	ARCADIA STOREFRONT SYSTEM - AB-1 / CHAMPAGNE

MATERIAL

- EXT. RAILING
 - BOLLARDS
 - SEB
 - GLAZES
 - TRANSFORMER
1. REALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
 2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A SEAMER RELATED PROJECT.
 3. S.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
 4. S.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

EXTERIOR ELEVATIONS



CAWLEY ARCHITECTS
 730 N 52nd St Ste 203
 Phoenix, Arizona 85008
 P. 602.993.5000



10950 N 83RD PLACE

14950 N 83RD PLACE
 SCOTTSDALE ARIZONA

DATE
 PRELIMINARY SET
 05-23-2016

NOTICE OF ALTERNATE BIDDING CYCLE

This document shows the number of bidders to register and the number of bidders to bid. It is the responsibility of the bidder to verify the number of bidders to bid. The bidder shall verify the number of bidders to bid with the design team prior to submitting a bid. The bidder shall verify the number of bidders to bid with the design team prior to submitting a bid. The bidder shall verify the number of bidders to bid with the design team prior to submitting a bid.

Project - SAM
 A7.1

27-DR-2016
06/16/16



14950 N 83RD
PLACE

14950 N 83RD
PLACE
SCOTTSDALE
ARIZONA

DATE
PRELIMINARY SET
05-23-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BIDDING
CYCLE:
The contractor shall be the owner to receive
a minimum of 10 business days prior to the
opening of bids or other offers to bid.
The contractor shall be the owner to receive
a minimum of 10 business days prior to the
opening of bids or other offers to bid.
The contractor shall be the owner to receive
a minimum of 10 business days prior to the
opening of bids or other offers to bid.

The architect design, construction and
costs shall be the responsibility of the
owner. The architect shall not be responsible
for the design, construction or cost of any
work not shown on the drawings. Any other
work not shown on the drawings shall be
the responsibility of the owner. The architect
shall not be responsible for the design and
costs of any work not shown on the drawings.

Project - SAVI
A.7.1

GENERAL NOTES

1. SEE STRUCTURAL FOR Lintel INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHL ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON SITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
(BT)	NEW STUCCO FINISH, SMOOTH
(HB)	HONED BLOCK 4" X 8" X 16" VENEER
(SP)	SMOOTH METAL PANEL
(CF)	CANOPY FRAME - 2" STEEL TUBE, PAINTED
(CR)	CANOPY ROOF - REDWOOD "NATURAL OILED FINISH"
(CP)	CANOPY ROOF-SINGLE PLY MEMBRANE
(ES)	EXISTING STUCCO

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	ANODIZED ALUMINUM AB-1 / LIGHT CHAMPAGNE
GLAZING	1" INSULATED CLEAR

INSULATED GLAZING SYSTEM SPECIFICATION

GLAZING - 1" INSULATED GLAZING SYSTEM U-FACTOR: 0.29
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.38
OUTBOARD: 1/4" PPG SOLARBAN 60 CLEAR (RFP 5)
AIRSPACE: 1/2" (AIR FILL)
INSBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (RFP 5)

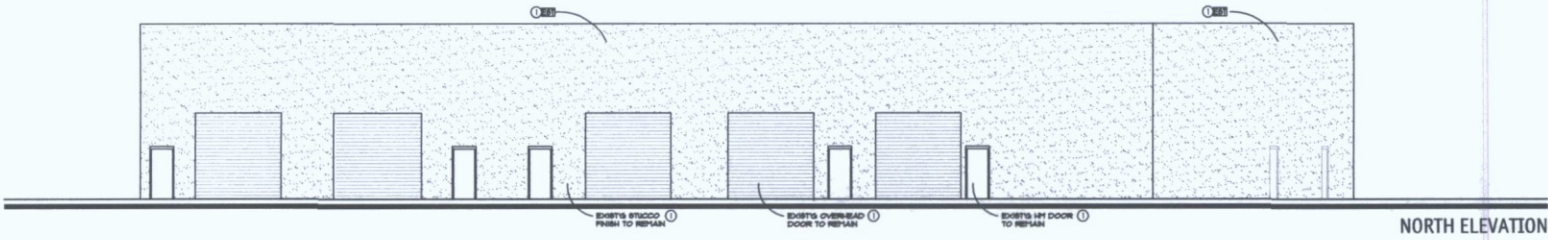
1. 1/4" AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

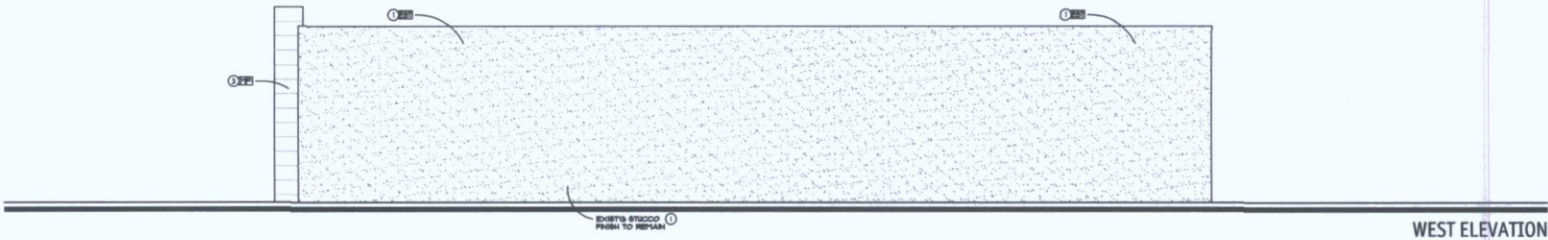
- COLORS/PAINTS**
- KEY**
1. DUNN EDWARDS PAINT/ "TOMB" - DE629
 2. DUNN EDWARDS PAINT/ "BLACK TIE" - DE630T
 3. OREGA PANEL PRODUCTS/ T-PIECE, TIGHT-FIT FOLDING SYSTEM, COLOR CHAMPAGNE, KTMAR BED FINISH
 4. DUNN EDWARDS PAINT/ "BOAT ANCHOR" - DE67T
 5. TENDSTONE "FLY" - FILLED AND POLISHED GROUND FACE MASONRY UNITS - SEARHELL (LIGHT COLOR)
 6. TENDSTONE "FLY" - FILLED AND POLISHED GROUND FACE MASONRY UNITS - BLACK CANYON CORAL COLOR
 7. ARCADIA STOREFRONT SYSTEM - AB-1 / CHAMPAGNE

MATERIAL
EXT. RAILING
BOLLARDS
RIS
GLAZING
TRANSFORMER

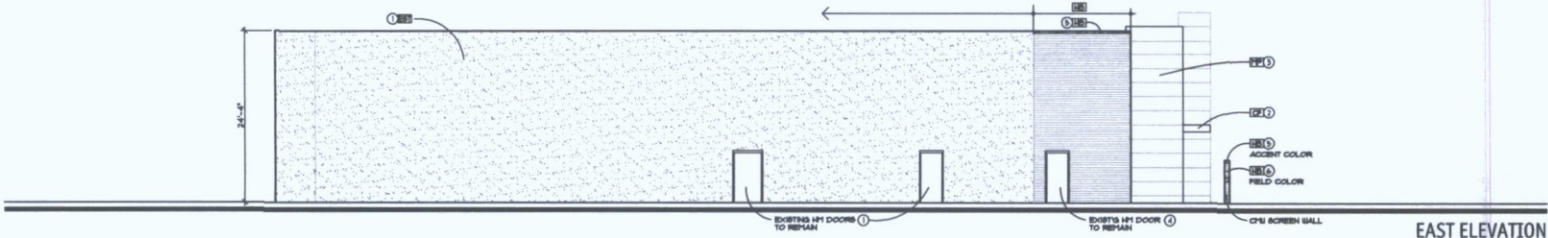
1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.



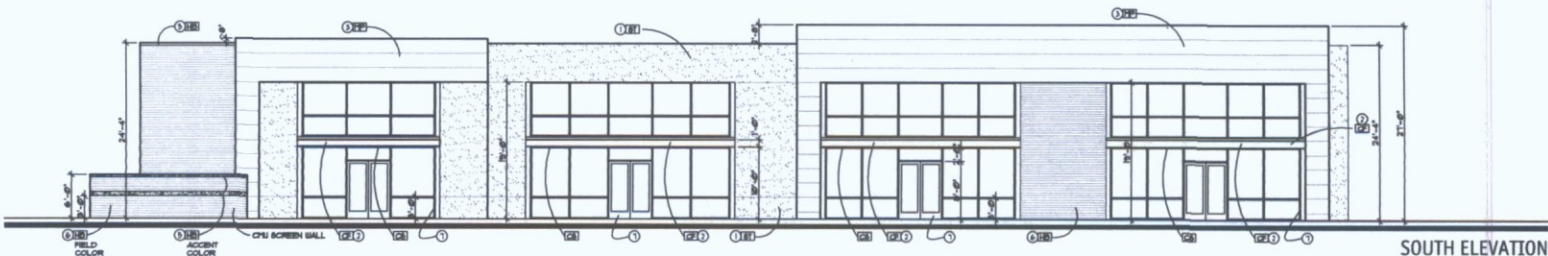
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS



27-DR-2016
06/16/16



14950 N 83RD PLACE

14950 N 83RD PLACE
 SCOTTSDALE
 ARIZONA

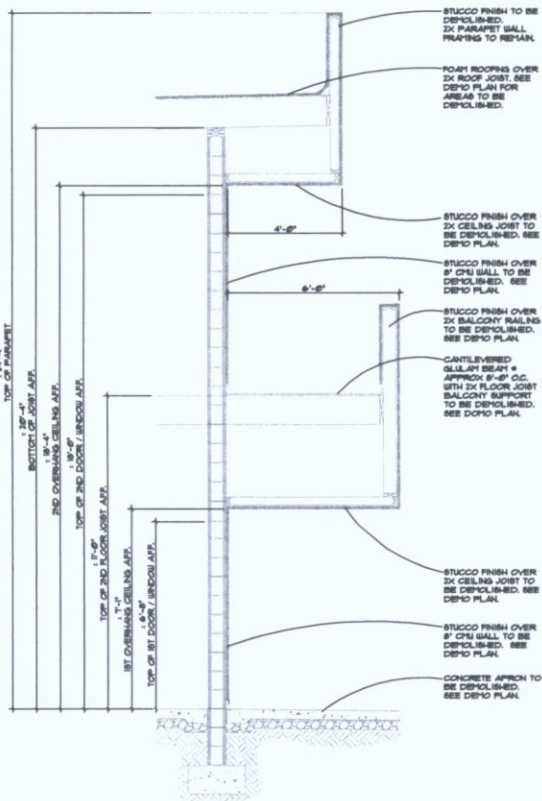
DATE
 PRELIMINARY SET
 05-23-2016
 DR SUBMITTAL
 06-16-2016

NOTICE OF ALTERNATE BIDDING CYCLE:

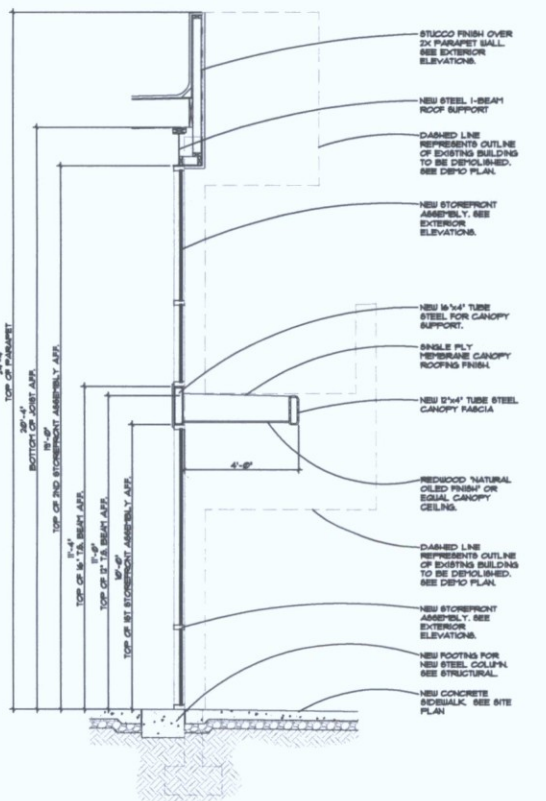
The contract shall be subject to a single bidding cycle. The number of bidders or contractors bidding shall be determined by the number of bidders or contractors who are qualified to bid the project. The number of bidders or contractors who are qualified to bid the project shall be determined by the number of bidders or contractors who are qualified to bid the project. The number of bidders or contractors who are qualified to bid the project shall be determined by the number of bidders or contractors who are qualified to bid the project.

The architectural design is provided for informational purposes only. It is not intended to be used for construction. The design is provided for informational purposes only. It is not intended to be used for construction. The design is provided for informational purposes only. It is not intended to be used for construction.

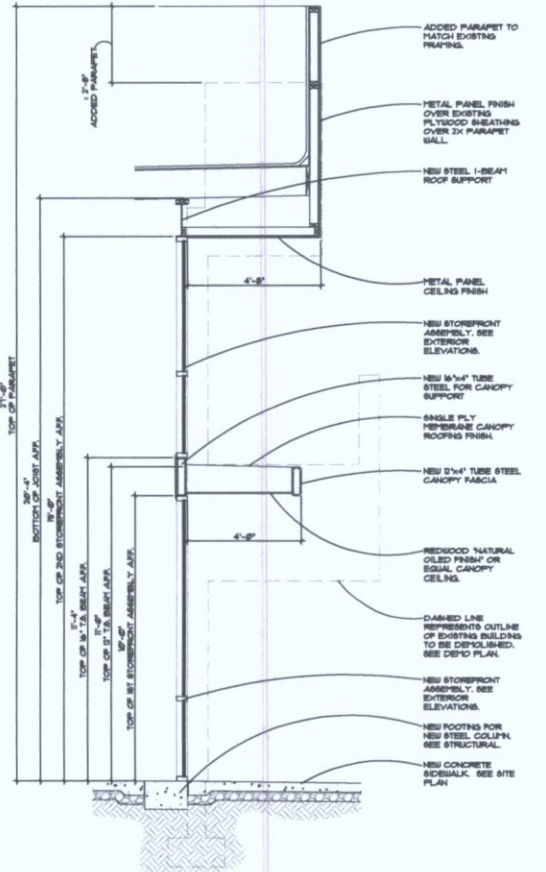
Project - SAM
 A6.1



1 EXISTING WALL SECTION
 SCALE: 1/2" = 1'-0"



2 WALL SECTION @ TYPE 1 ENTRY
 SCALE: 1/2" = 1'-0"



3 WALL SECTION @ TYPE 2 ENTRY
 SCALE: 1/2" = 1'-0"

27-DR-2016
 06/16/16



14950 N 83rd Place Scottsdale, Arizona

2016.06.07

This artist's rendering is for conceptual design and should not be referred to as a construction document

27-DR-2016
06/16/16

 CAWLEY
ARCHITECTS



14950 N 83RD PLACE

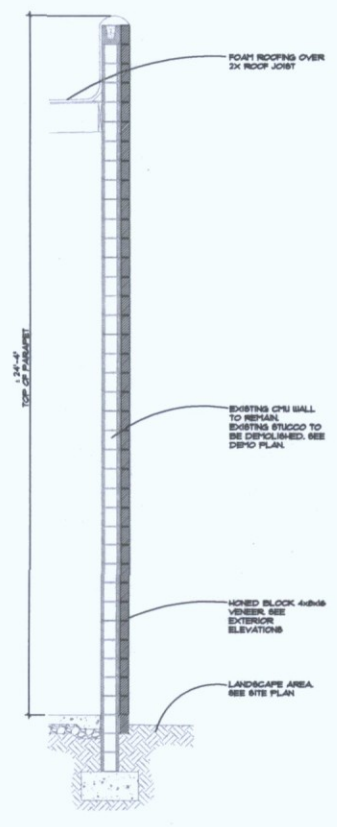
14950 N 83RD PLACE
 SCOTTSDALE ARIZONA

DATE
 PRELIMINARY SET 05-23-2016
 DR SUBMITTAL 06-16-2016

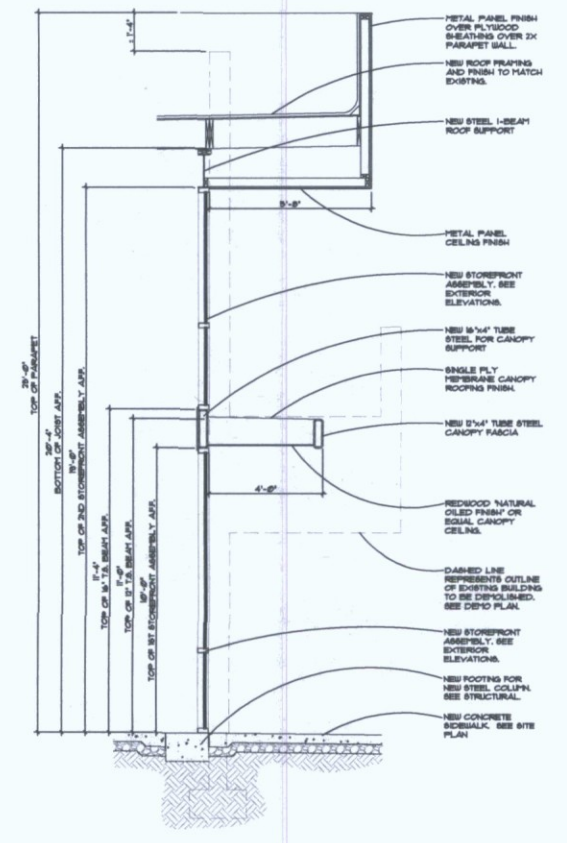
NOTICE OF ALTERNATE BILLING CYCLE:
 The contract shall be billed on the basis of a calendar month or billing cycle unless otherwise specified in writing. Billing shall be based on the calendar month or billing cycle unless otherwise specified in writing. The owner of the contract shall be responsible for the payment of the contract. Payment shall be made on or before the date specified in the contract. Payment shall be made on or before the date specified in the contract. Payment shall be made on or before the date specified in the contract.

The architectural design, construction and other services herein are prepared by the architect and are subject to the terms and conditions of the contract. The architect shall be responsible for the design and construction of the project. The architect shall be responsible for the design and construction of the project. The architect shall be responsible for the design and construction of the project.

Project - SAM
 A6.2



1 WALL SECTION @ VENEER FINISH
 SCALE: 1/2" = 1'-0"



2 WALL SECTION @ TYPE 3 ENTRY
 SCALE: 1/2" = 1'-0"

27-DR-2016
06/16/16



14950 N 83RD PLACE

14950 N 83RD PLACE
 SCOTTSDALE ARIZONA

DATE

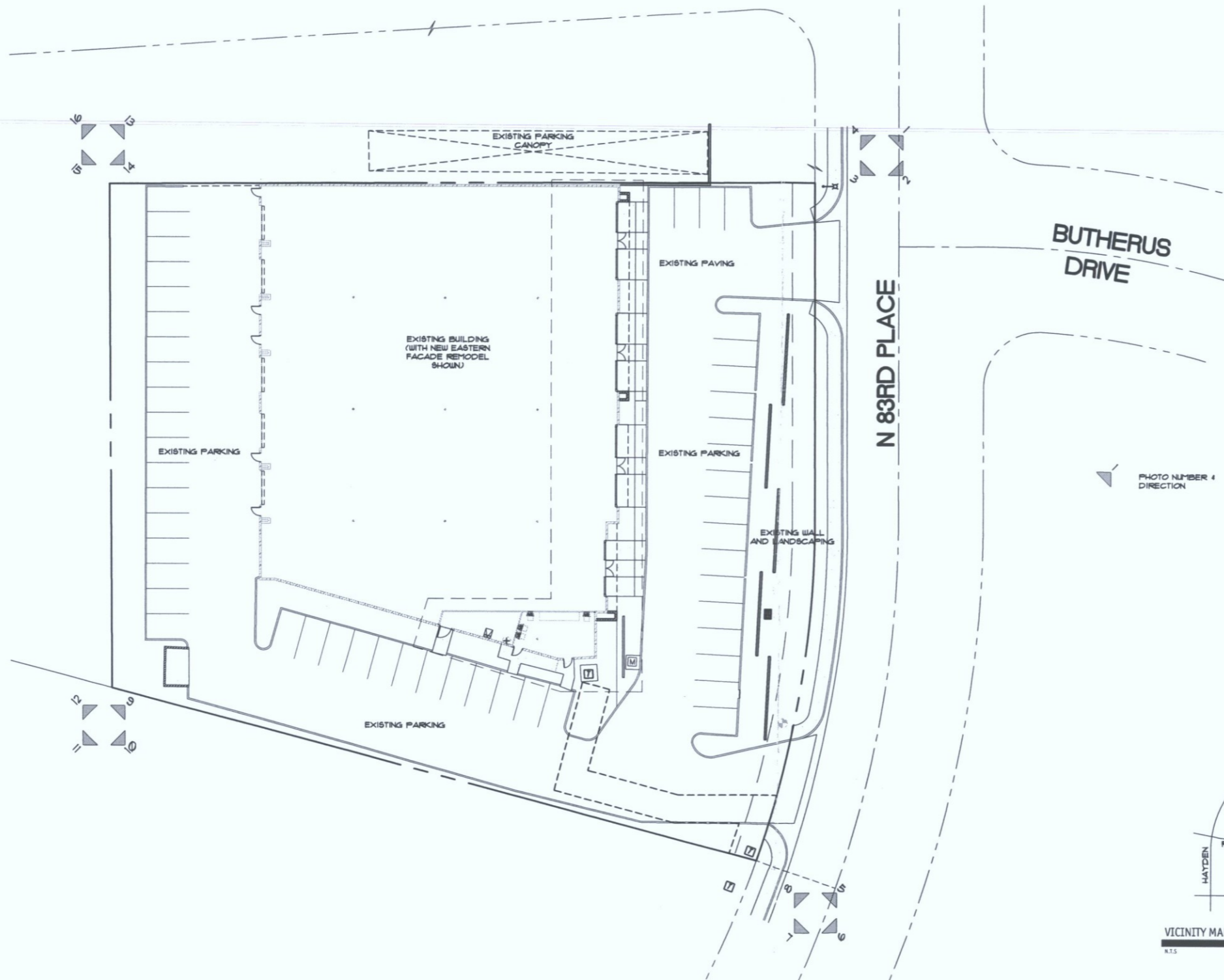
PRELIMINARY SET
 05-23-2016
 PRICING SET
 06-13-2016
 DR SUBMITTAL
 06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to require a variation of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

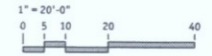
The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build process development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in third damages.

This site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, data, etc., which may affect the design and usability of this site. All design shown here is strictly conceptual.



VICINITY MAP
 N.T.S.

CONTEXT PHOTO PLAN



27-DR-2016
06/16/16

Project - SAM



A REMODEL PROJECT:

14950 N. 83rd Place

PROJECT: 14950 N. 83rd Place
 ADDRESS: 14950 N. 83rd Place
 Scottsdale, Arizona
 E. Randy Stoelworthy 480-305-1960
 DEVELOPER: Pathfinder TRF Four LLC
 21 E 56th St. #706, Tempe AZ 85281
 A LIMITED REMODEL PROJECT
 SCOPE: LOT 27, Scottspark Business Center Unit 2
 ASSESSOR PARCEL #: 215-55-046
 ZONING: C-4
 SITE AREA: +/- 52,689 S.F. (+/- 1.209 ACRES)
 BUILDING AREA: +/- 19,889 S.F. GROSS (EXIST'G)
 STORIES: SINGLE STORY
 LOT COVERAGE: 38.7%
 LANDSCAPE AREA: 10,170 SF (EXIST'G)
 LANDSCAPE COVERAGE: 19.3%
 OCCUPANCY: B/S-1 (NO CHANGE IN OCCUPANCY)
 CONSTRUCTION TYPE: V-B W/A.F.E.S.
 ALLOWABLE AREA: 36,000 S.F. (SINGLE STORY)
 CLEAR HEIGHT: 19'-4" to 20'-4" +/-
 BUILDING HEIGHT: +/- 24'-4" (27'-0" NEW)

AREA CALC.	1ST FLOOR	TOTALS
OFFICE	4000 SF	4000 SF
WAREHOUSE	15,889 SF	15,889 SF
STORAGE	-	-
PRODUCTION	-	-
TOTAL:	19,889	19,889

REQUIRED PARKING CALCS			
OCCUPANCY	S.F.	FACTOR	TOTAL
OFFICE	4000 SF	1/300	14
WAREHOUSE	15,889 SF	1/800	20
STORAGE	-	-	-
PRODUCTION	-	-	-
TOTAL:			34
PARKING PROVIDED (EXISTING)			
			50
BICYCLE PARKING CALCS			
RATIO	REQUIRED	PROVIDED	
1 PER 10 PARKING STALLS	5	5	



730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.393.5060

CawleyArchitects.com



EXPIRES 02/21/2017

14950 N 83RD PLACE

14950 N 83RD PLACE
 SCOTTSDALE ARIZONA

DATE

PRELIMINARY SET
 05-23-2016
 DR SUBMITTAL
 06-16-2016

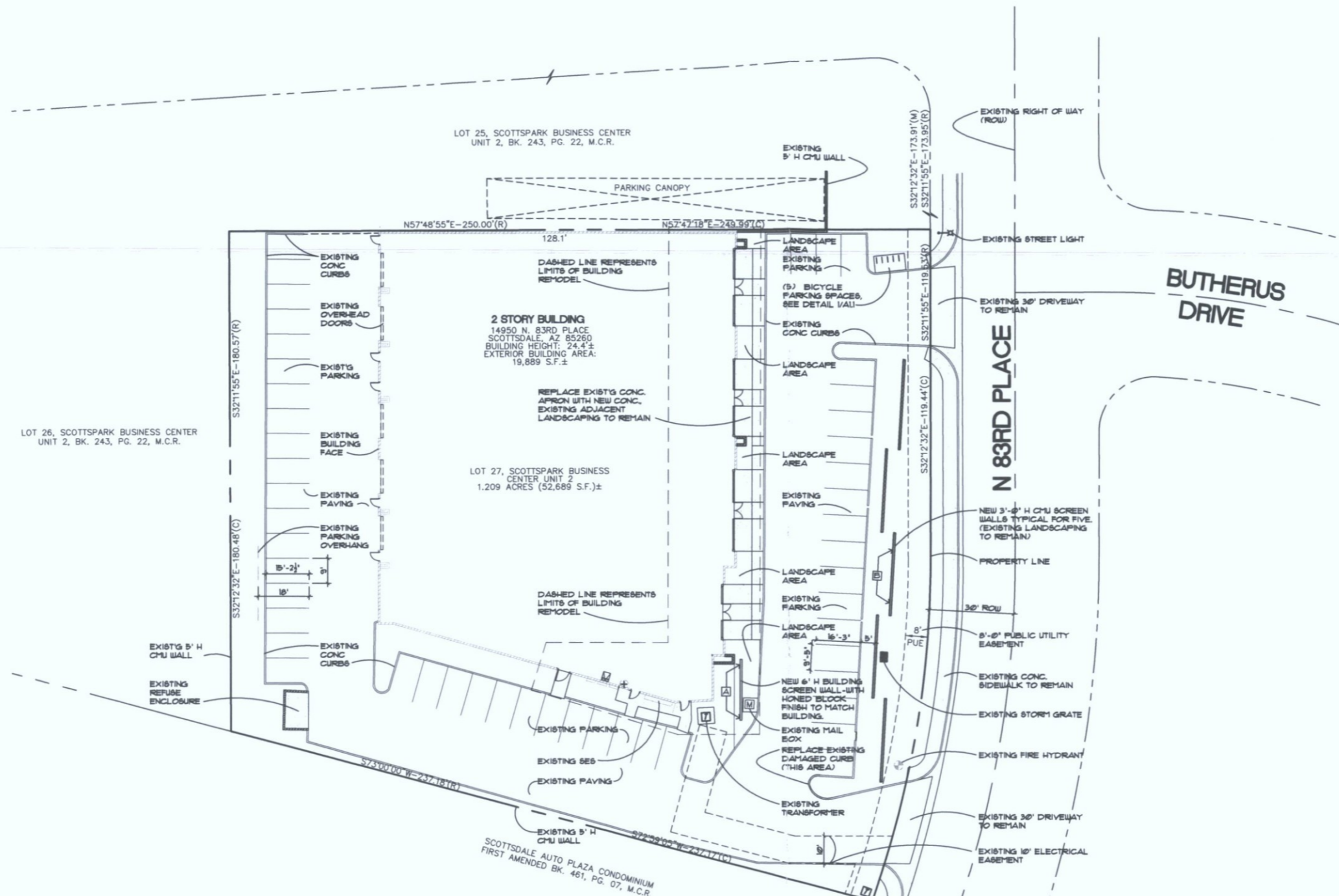
NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to require alternation of billing or increments in billing cycles other than thirty days. A written description of such other billing cycle applicable to the project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

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The site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, contours, etc. which may affect the design and usability of the site. All design shown here is strictly conceptual.

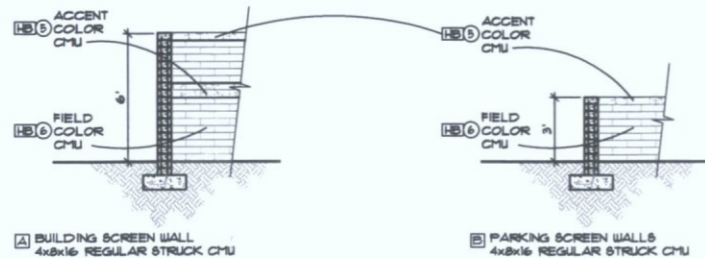
Project - SAM
A1.1



LEGEND

- PROPERTY LINE
- - - EASEMENT/SETBACK LINE
- - - CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN.
- 6" EXTRUDED CURB
- 6" CAST IN PLACE CURB
- SITE WALL
- ▨ SALT FINISH CONC. SIDEWALK
- ▨ PAINT STRIPING ON PAVING
- ⊙ NEW FIRE HYDRANT
- ⊙ EXISTING FIRE HYDRANT
- ⊙ FDC FIRE DEPT. CONNECTION
- ⚡ ACCESSIBLE ROUTE/PATH OF TRAVEL
- ⊕ FIRE RISER

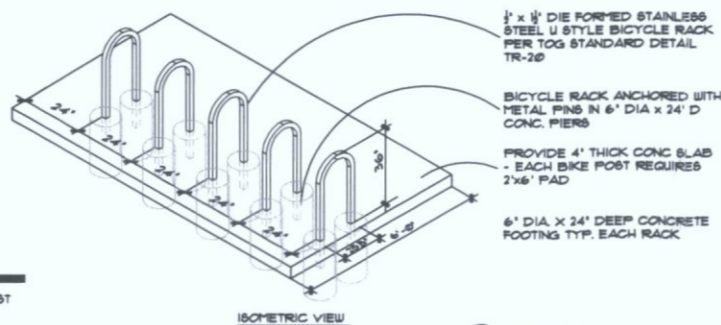
SITE SCREEN WALL SCHEDULE



- Ⓐ BUILDING SCREEN WALL 4x8x16 REGULAR STRUCK CHU
- Ⓑ PARKING SCREEN WALLS 4x8x16 REGULAR STRUCK CHU

SCREEN WALL NOTES

1. PARKING SCREEN WALLS ARE TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS PER THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. GROUT SOLID ALL CELLS BELOW GRADE.



1 BIKE RACK 3/4" x 1'-0"

27-DR-2016
 06/16/16

SITE PLAN



VICINITY MAP





CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

CawleyArchitects.com



GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOISTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHL, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
1	NEW STUCCO FINISH, SMOOTH
2	MONED BLOCK 4 X 8 X 16 VENEER
3	SMOOTH METAL PANEL
4	CANOPY FRAME - 12" STEEL TUBE, PAINTED
5	CANOPY SOFFIT - TREX OR EQUAL
6	CANOPY ROOF-SINGLE FLY MEMBRANE
7	EXISTING STUCCO

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	ANODIZED ALUMINUM AB-1 / LIGHT CHAMPAGNE
GLAZING	1" INSULATED CLEAR

INSULATED GLAZING SYSTEM SPECIFICATION
 OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: @29
 SOLAR HEAT GAIN COEFFICIENT (SHGC): @18
 OUTBOARD: 1/4" PPG SOLARBAN 60 CLEAR (BRF 2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (BRF 3)

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

COLOR NAME

KEY

- 1 DUNN EDWARDS PAINT/ 'FOSSIL' - DE6225
- 2 DUNN EDWARDS PAINT/ 'BLACK TIE' - DE6351
- 3 OMEGA PANEL PRODUCTS/ '1-PIECE, TIGHT-FIT MOLDING SYSTEM, COLOR CHAMPAGNE, KITCHEN 9000 FINISH
- 4 DUNN EDWARDS PAINT/ 'BOAT ANCHOR' - DE6371
- 5 TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - SEASHELL (LIGHT COLOR)
- 6 TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - BLACK CANYON (DARK COLOR)
- 7 ARCADIA STOREFRONT SYSTEM - AB-1 / CHAMPAGNE

MATERIAL

- EXT. RAILINGS
- BOLLARDS
- GATES
- TRANSFORMER

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

10950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

DATE

PRELIMINARY SET
06-23-2016

NOTICE OF ALTERNATE BILLING CYCLE:

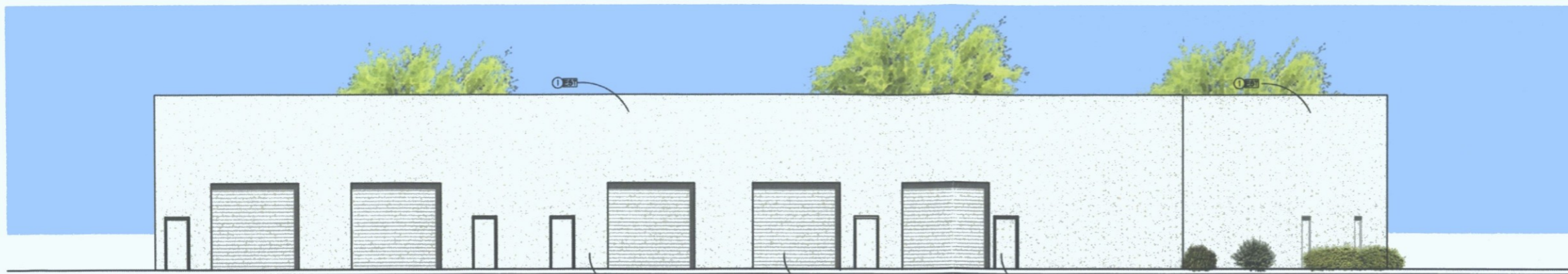
The contract allows the owner to require submission of bills or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to the project is available from the owner or the owner's designated agent. See owner's telephone number and address on cover sheet and the owner or its designated agent shall provide the written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build phase of development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in civil damages.

The site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, data etc. which may affect the design and usability of the site. All design team items is strictly conceptual.

Project - SAM

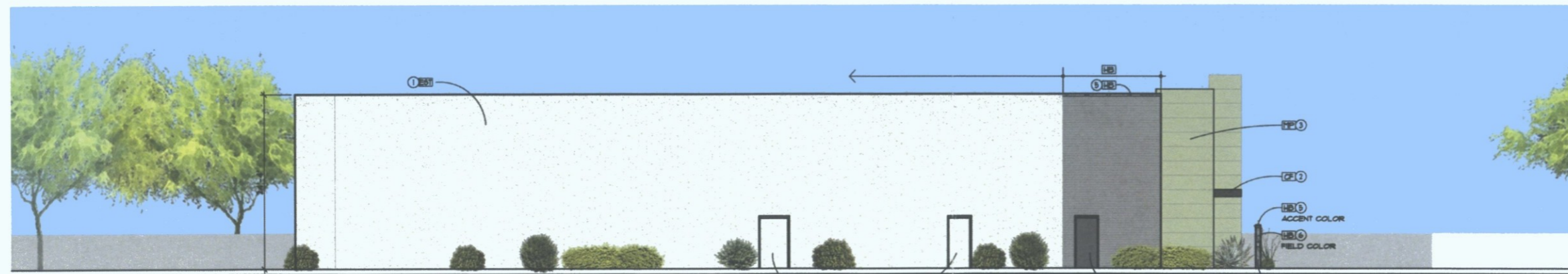
A7.1



NORTH ELEVATION



WEST ELEVATION

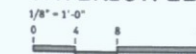


EAST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS



27-DR-2016
06/16/16



14950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

DATE

PRELIMINARY SET
05-23-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to secure extension of billing or advance in billing cycle other than thirty days. A written description of such other billing cycle applicable to this contract is available from the owner or the owner's designated agent (see owner's master number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build project development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in third party damage.

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Project: SAM

A7.1

GENERAL NOTES

1. SEE STRUCTURAL FOR Lintel INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
1BT	NEW STUCCO FINISH, SMOOTH
1BB	HONED BLOCK 4 X 8 X 16 VENEER
1BP	SMOOTH METAL PANEL
1C1	CANOPY FRAME - 12" STEEL TUBE, PAINTED
1C2	CANOPY SOFFIT - REDWOOD "NATURAL OILED FINISH"
1C3	CANOPY ROOF-SINGLE PLY MEMBRANE
1BT	EXISTING STUCCO

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	ANODIZED ALUMINUM AB-1 / LIGHT CHAMPAGNE
GLAZING	1" INSULATED CLEAR

INSULATED GLAZING SYSTEM SPECIFICATION

OLDCASTLE - 1" INSULATED GLAZING SYSTEM
U-FACTOR: @.29
SOLAR HEAT GAIN COEFFICIENT (SHGC): @.18
OUTBOARD: 1/4" PPG SOLARBAN 60 CLEAR (SRF #2)
AIRSPACE: 1/2" (AIR FILL)
INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (SRF #3)

1. 8' AT WINDOW LOCATIONS INDICATED SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

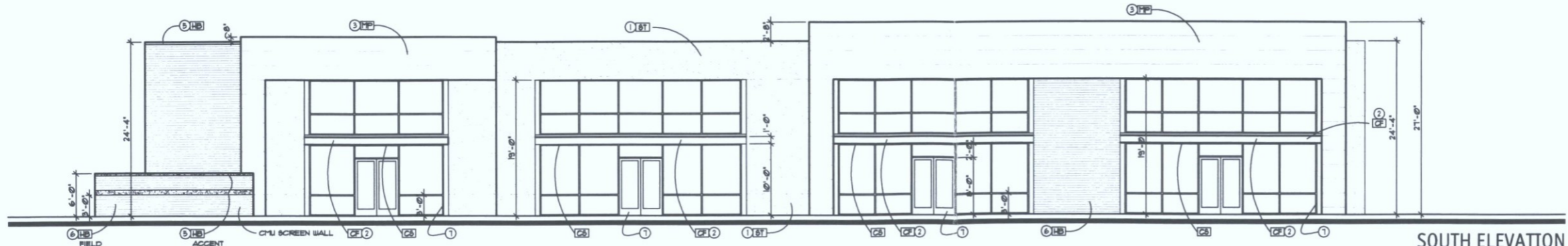
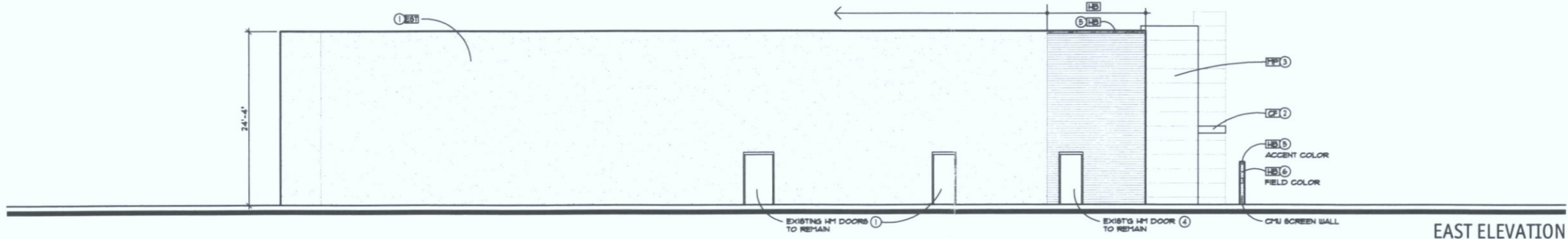
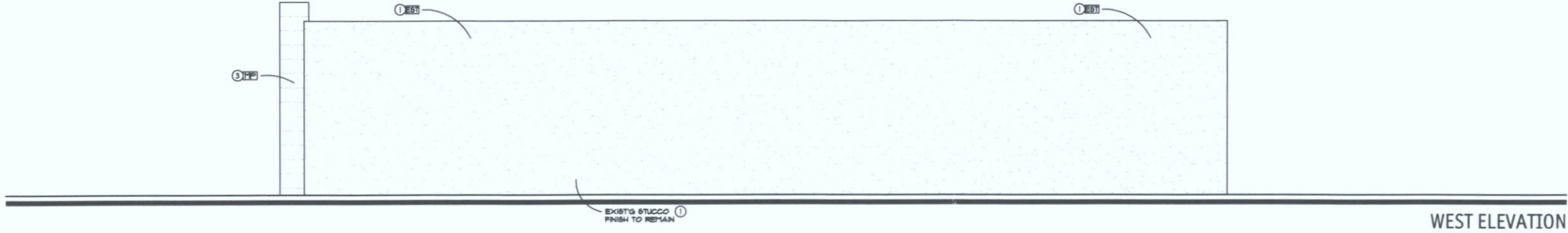
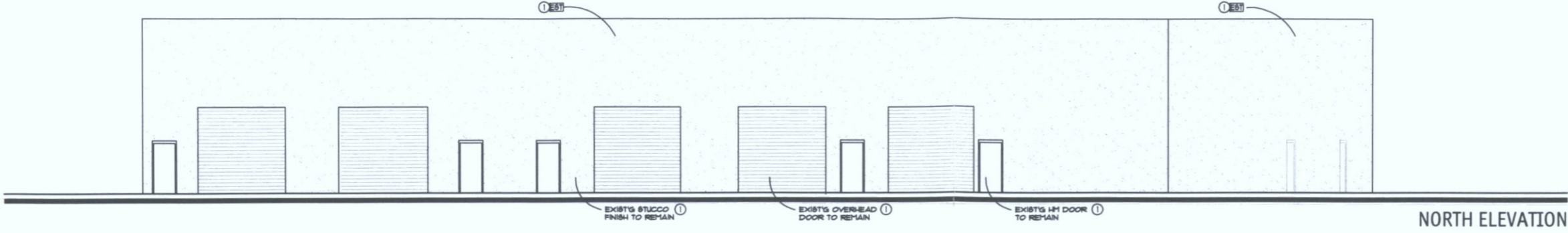
COLOR KEY

- COLOR NAME:**
- KEY:**
1. DUNN EDWARDS PAINT/ 'POBBIL' - DE6225
 2. DUNN EDWARDS PAINT/ 'BLACK TIE' - DE6351
 3. MEGA PANEL PRODUCTS/ '1-PIECE, TIGHT-FIT MOLDING SYSTEM, COLOR CHAMPAGNE, KYNAR 800 FINISH
 4. DUNN EDWARDS PAINT/ 'BOAT ANCHOR' - DE6371
 5. TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - SEASHELL (LIGHT COLOR)
 6. TENDSTONE 'PLUS' - FILLED AND POLISHED GROUND FACE MASONRY UNITS - BLACK CANYON (DARK COLOR)
 7. ARCADIA STOREFRONT SYSTEM - AB-1 / CHAMPAGNE

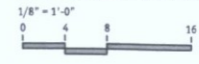
MATERIAL

- EXT. RAILING
- BOLLARDS
- GATES
- TRANSFORMER

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.



EXTERIOR ELEVATIONS



27-DR-2016
06/16/16



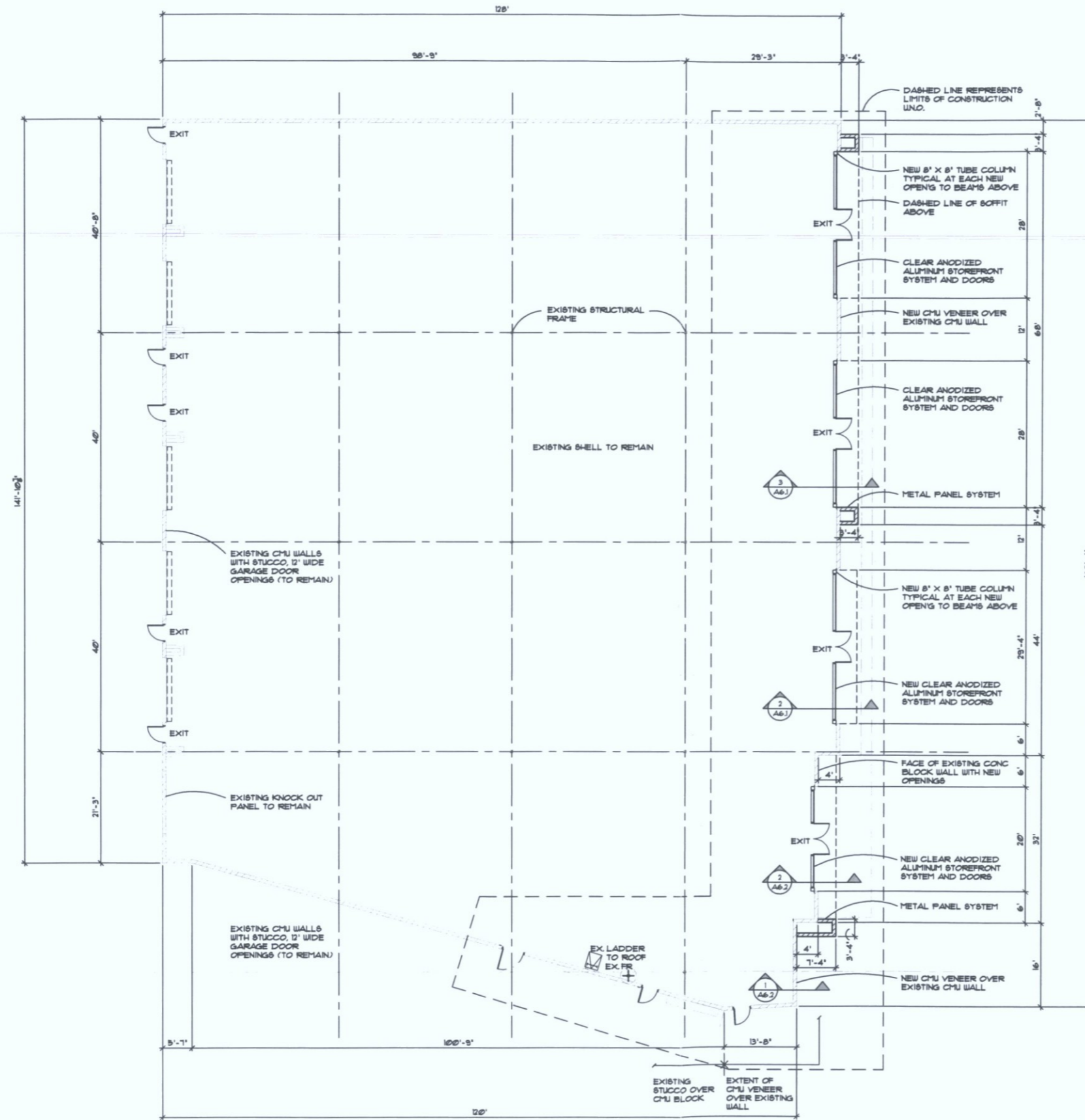
14950 N 83rd Place Scottsdale, Arizona

2016 . 06 . 07

This artist's rendering is for conceptual design and should not be referred to as a construction document

27-DR-2016
06/16/16

CAWLEY
ARCHITECTS



FLOORING:

- EXISTING CONC. FLOORING TO REMAIN
- REPLACE EXISTING CONC APRONS AT 4 ENTRIES

CEILING:

- EXISTING SHELL ROOF/ CEILING TO REMAIN

DOORS / WINDOWS:

- PROVIDE NEW ALUM STOREFRONT AS SPECIFIED ON ELEVATIONS

ELECTRICAL:

- PROVIDE NEW SOFFIT LIGHTS AT NEW CANOPIES AND BUILDING PROJECTION OVERHANGS



CAWLEY ARCHITECTS

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CawleyArchitects.com



14950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

DATE

PRELIMINARY SET
05-23-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

The contract obligates the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is provided from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build process development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in 3rd party damage.

This site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, details, etc. which may affect the design and usability of the site. All design shown here is strictly conceptual.

27-DR-2016
06/16/16

OVERALL FLOOR PLAN
3/32" = 1'-0"

Project - SAM

A2.1



14950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

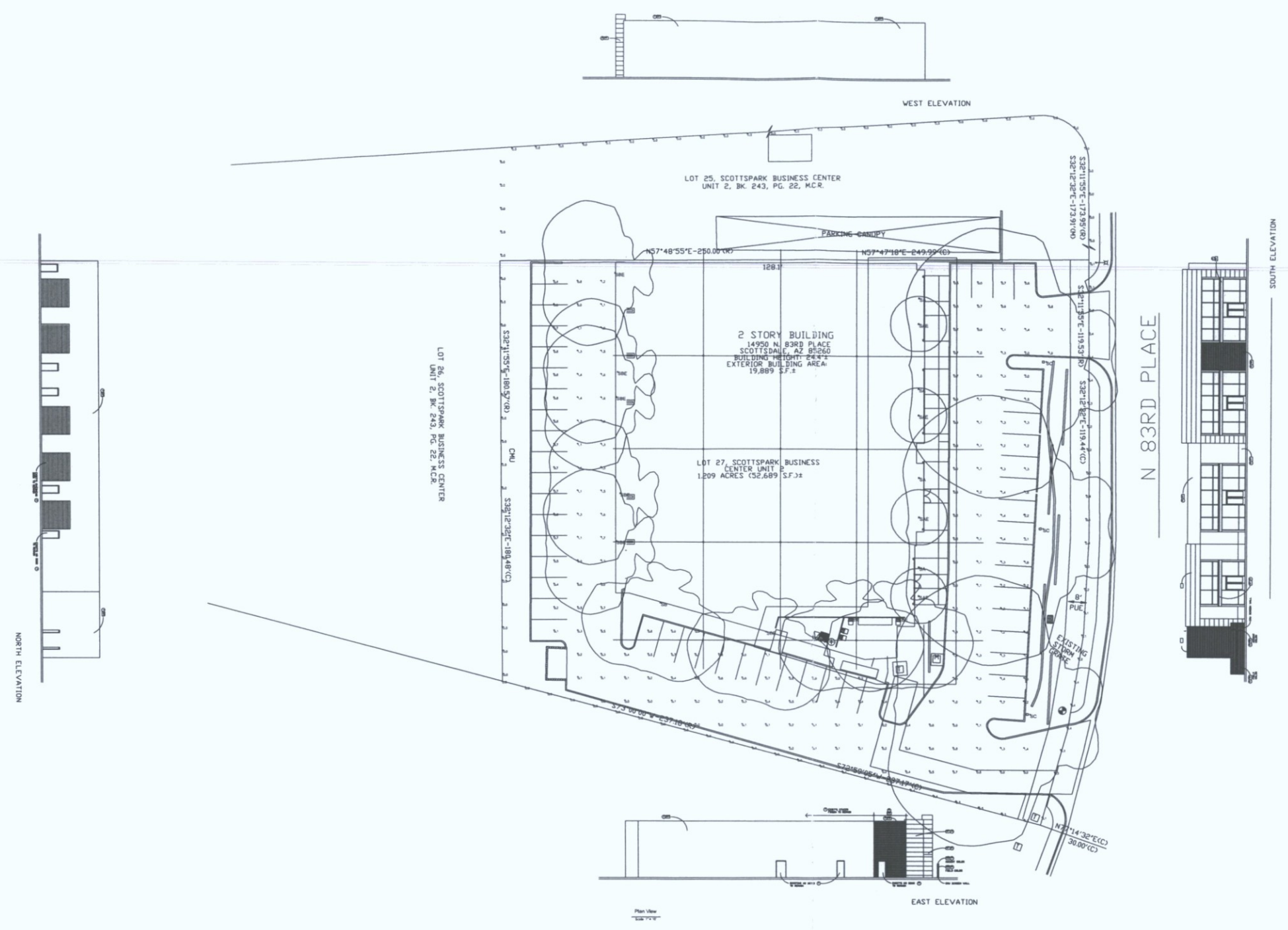
DATE
PRELIMINARY SET
05-23-2016
PRICING SET
06-13-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

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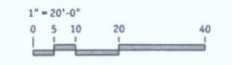
LUMINAIRE SCHEDULE

Symbol	Level	Qty	Catalog Number	Description	Lamp	File	Lumens	LF	Watts
⊙	SA	4	LFT-ORNA LDM 3515 LDM47	DOWNLIGHT IN 10 FT SOFFIT	4000K LED	LDM_35_15_11 OMA_375mm	Absolute 630	38	
⊙	SA	4	LFT-ORNA LDM 3515 LDM47	DOWNLIGHT IN 10 FT SOFFIT WITH INTEGRAL EMERGENCY LIGHTING SYSTEM	4000K LED	LDM_35_15_11 OMA_375mm	Absolute 630	38	
□	SS	1	LITHONIA DESKY LED 100 30K 14M 4000K	FULL CUTOFF WALL MOUNT AT 12 FT AFS	LED	DESKY_1 LED 100_30K_14M_4000K	Absolute 630	37	
□	SS	8	LITHONIA DESKY LED 100 30K 14M 4000K	FULL CUTOFF WALL MOUNT AT 12 FT AFS WITH INTEGRAL EMERGENCY LIGHTING SYSTEM	LED	DESKY_1 LED 100_30K_14M_4000K	Absolute 630	37	
□	SC	1	LITHONIA DESKY LED 100 30K 14M 4000K	FULL CUTOFF AREA LIGHT MOUNTED AT 30 FT AFS	LED	DESKY_1 LED 100_30K_14M_4000K	Absolute 630	38	

STATISTICS

Dimension	Symbol	Sum	Avg	Max	Min	MaxMin	Angle
PARALLEL AND ORANGE	+	0.8%	2.2%	0.0%	N/A	N/A	
Property line calculation	+	0.1%	0.5%	0.0%	N/A	N/A	

PHOTOMETRICS PLAN



27-DR-2016
06/16/16

Project - SAM
PH



14950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

DATE

PRELIMINARY SET
05-23-2016
DR SUBMITTAL
06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

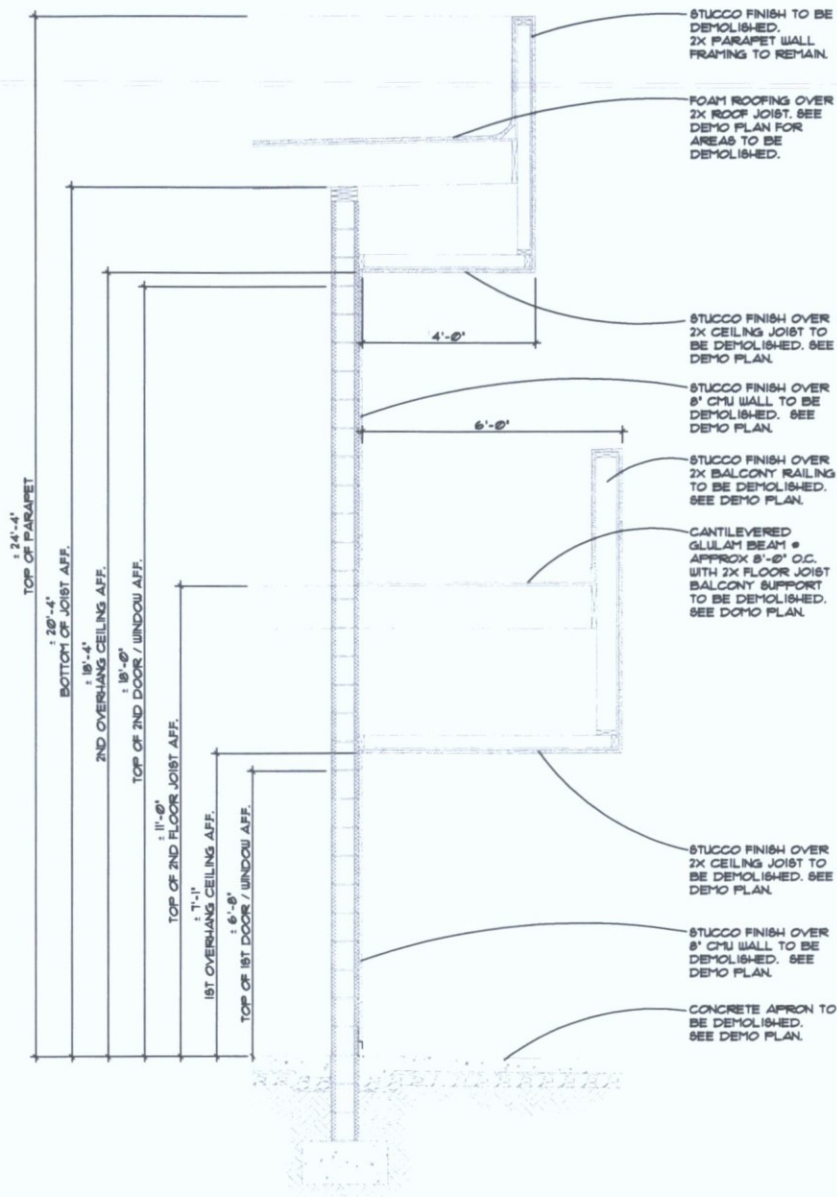
The contract allows the owner to require submission of bills or estimates in 15-day cycles other than thirty days. A written description of such other billing cycle applicable to the project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

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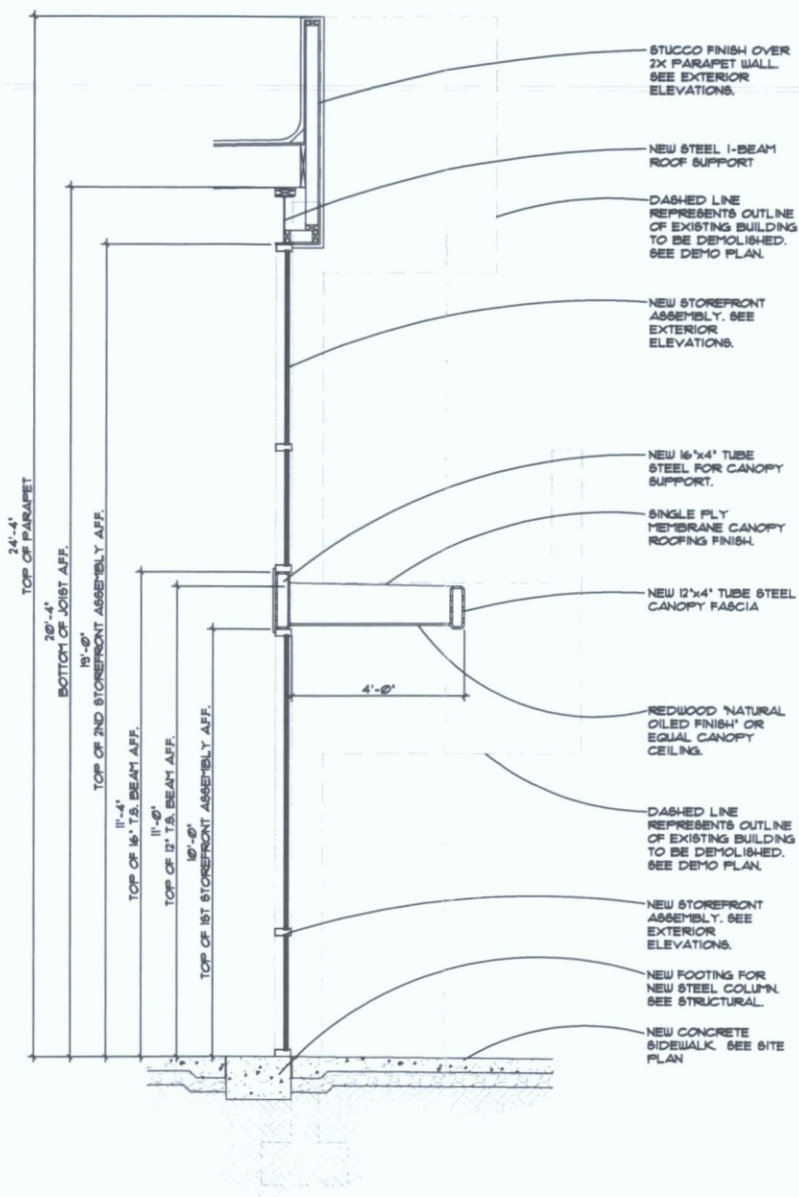
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Project - SAM

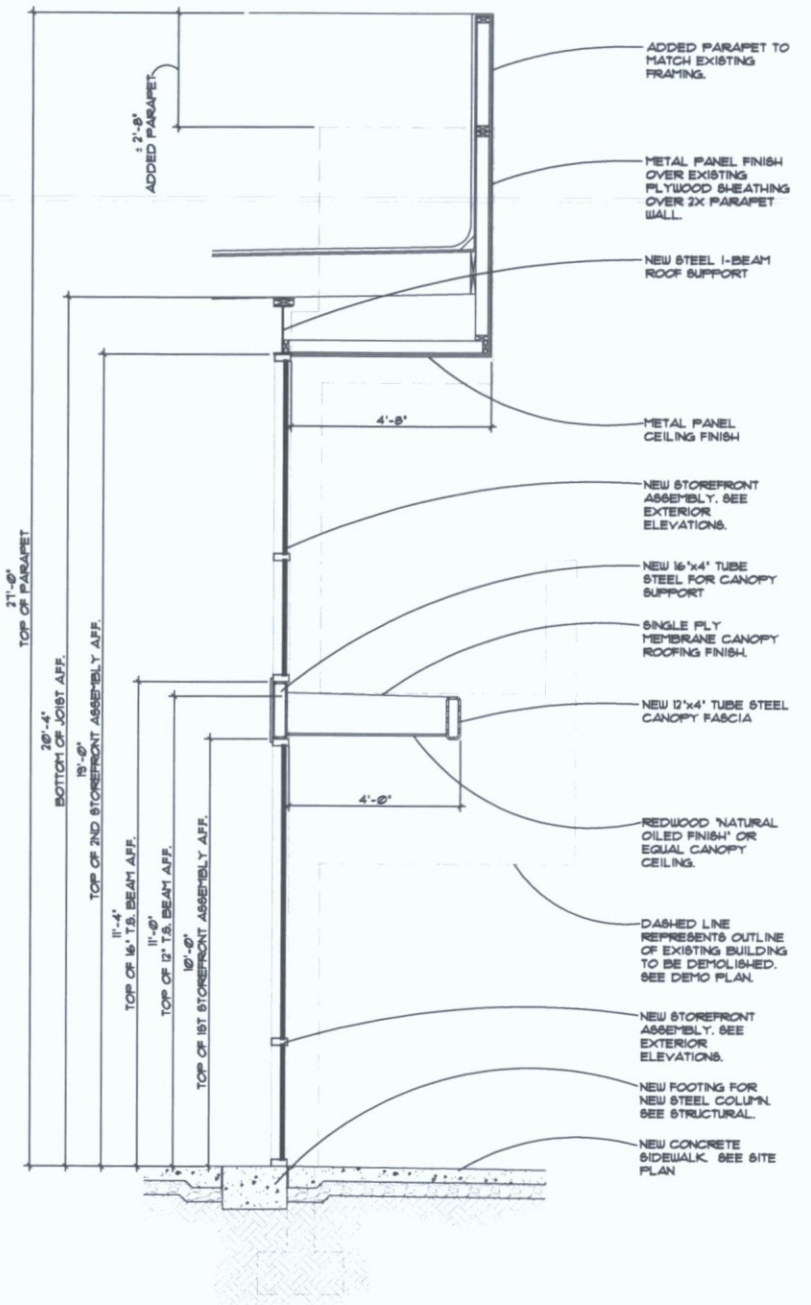
A6.1



1 EXISTING WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION @ TYPE 1 ENTRY
SCALE: 1/2" = 1'-0"



3 WALL SECTION @ TYPE 2 ENTRY
SCALE: 1/2" = 1'-0"

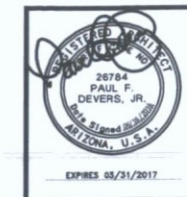
27-DR-2016
06/16/16



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06-16-2016

NOTICE OF ALTERNATE BILLING CYCLE:

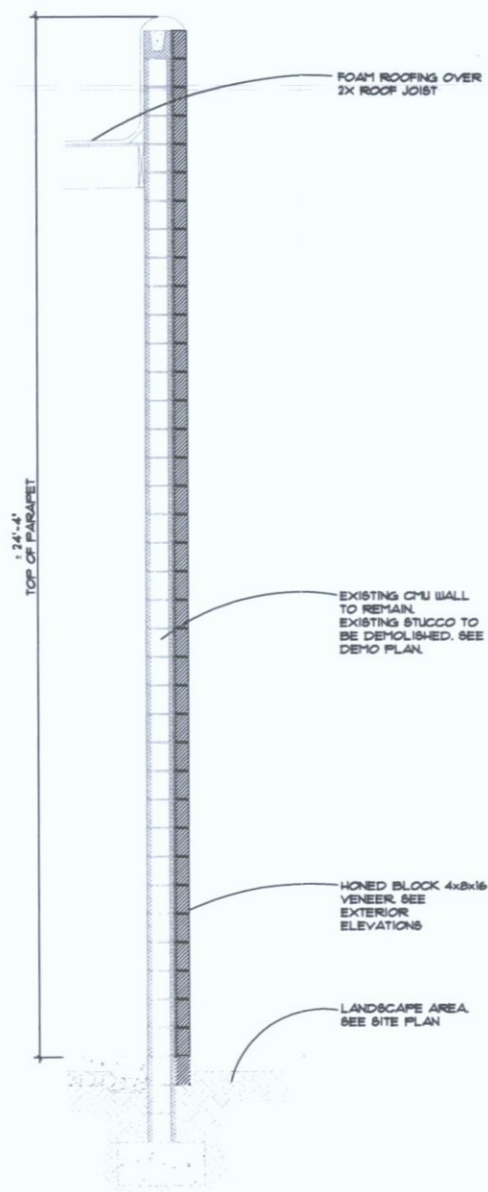
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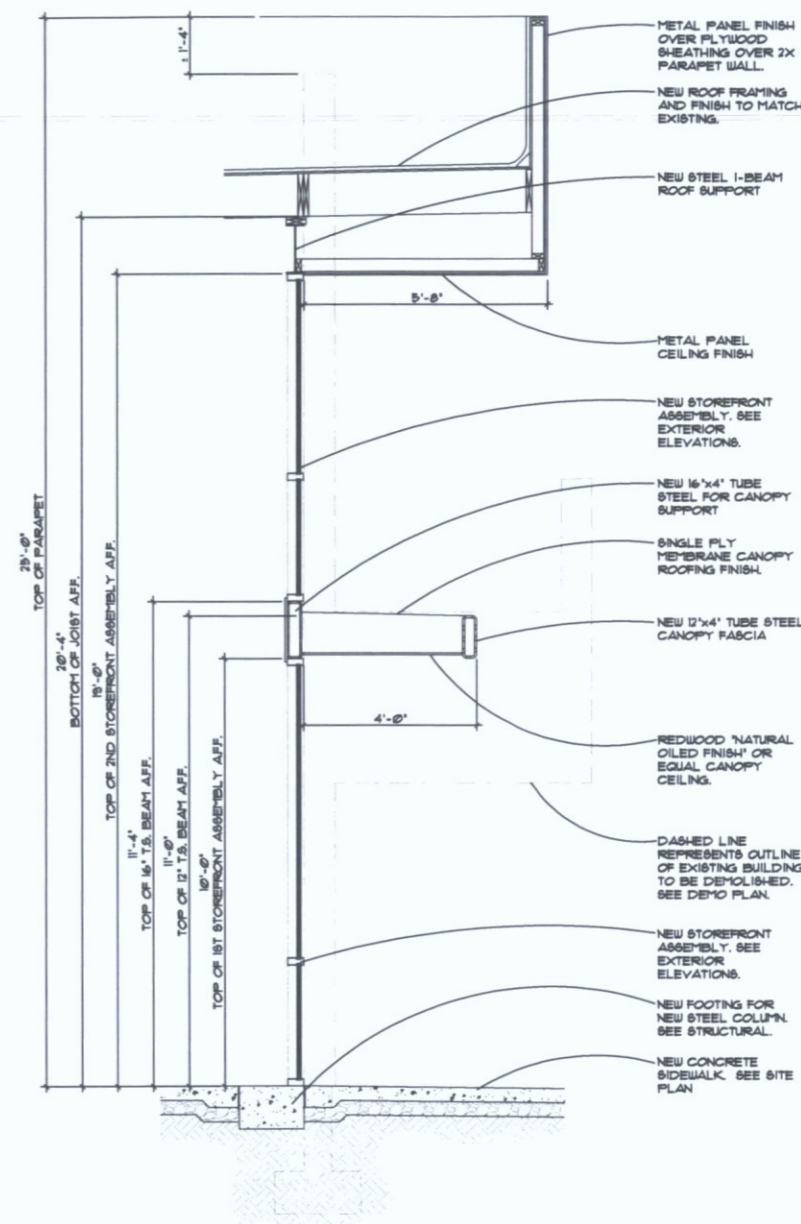
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Project: SAM

A6.2



1 WALL SECTION @ VENEER FINISH
SCALE: 1/2" = 1'-0"



2 WALL SECTION @ TYPE 3 ENTRY
SCALE: 1/2" = 1'-0"

27-DR-2016
06/16/16

Selected Parcels
Results 1 of 1

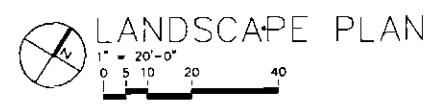
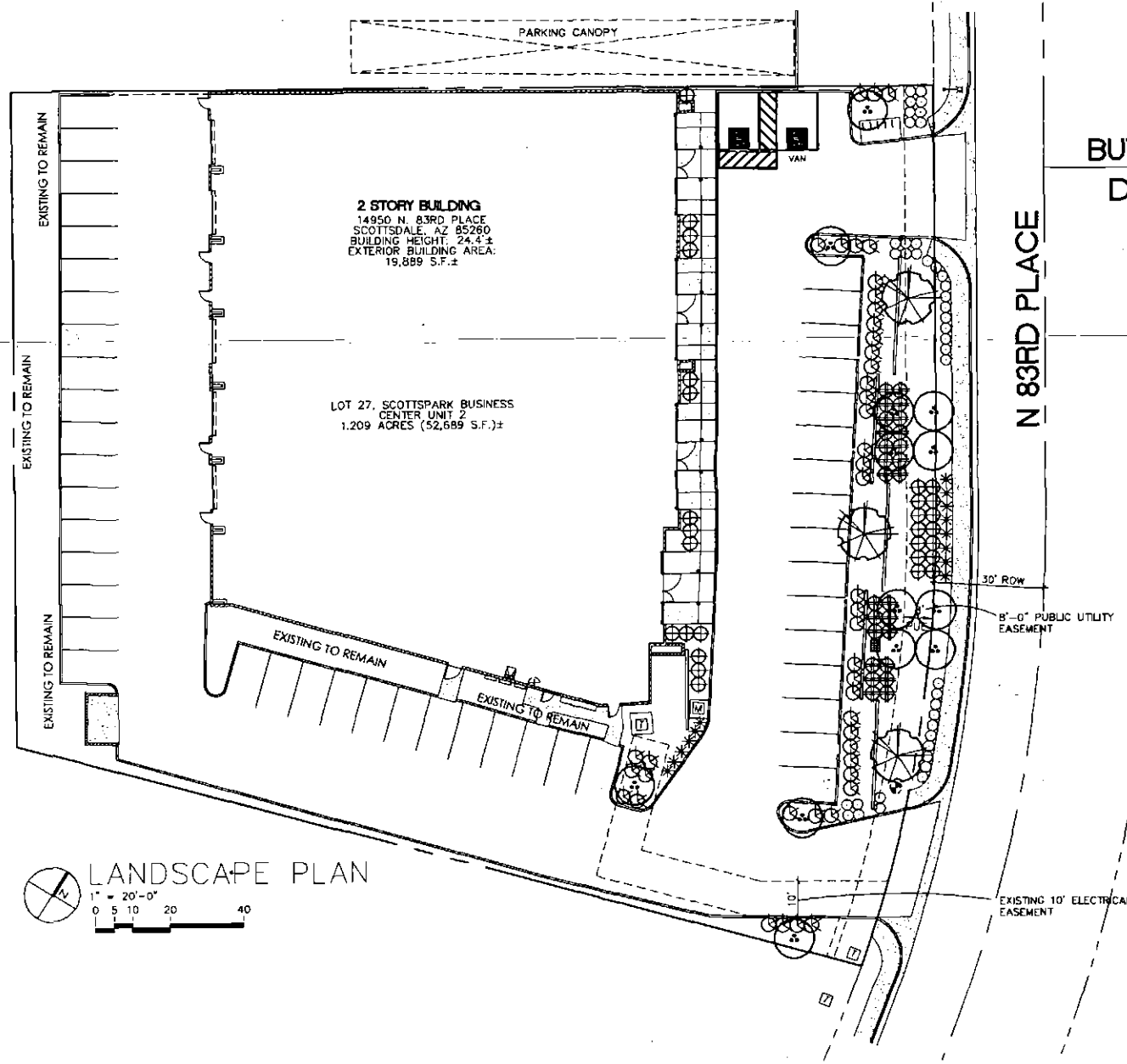
Info	Valuation	Property Data
Parcel:	215-55-046	
Ownership:	PATHFINDER TRF FOUR LLC	
Associated Parcel:		
Property Address:	14950 N 83RD PL SCOTTSDALE 85260	
Lot Size:	52,195	
Zoning:	C-4	
MCR:	24332	
Section Township Range:	12 3N 4E	
Subdivision:	SCOTTSPARK BUSINESS CENTER UNIT 2 LOT 21-38	
Lot:	27	
Local Jurisdiction:	SCOTTSDALE	

Search 83RD PLACE SCOTTSDALE
Basemap



SCOTTSDALE AUTO
PLAZA CONDOR
FIRST AM
215-55-084
28

27-DR-2016
06/16/16



LANDSCAPE LEGEND

- CERCIDIUM HYBRID
DESERT MUSEUM PALO VERDE
24" BOX (MATCHING)
- SOPHORA SECUNDFLORA
TEXAS MOUNTAIN LAUREL
24" BOX
- RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- ALOE 'BLUE ELF'
BLUE ELF ALOE
1 GALLON
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- MATCH EXISTING R.O.W.
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

**CITY OF SCOTTSDALE
LANDSCAPE NOTES:**

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF CITY STAFF WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX
NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELEC. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY.

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL.

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

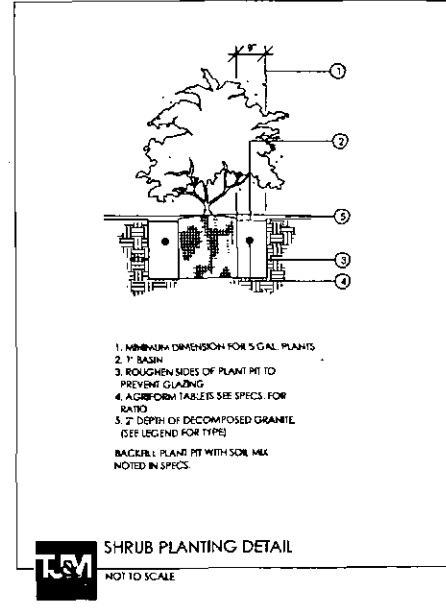
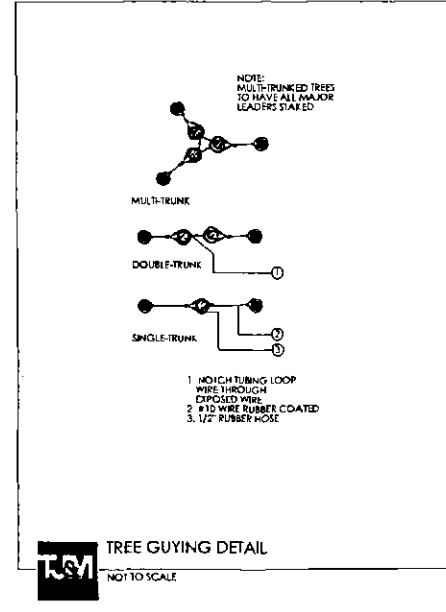
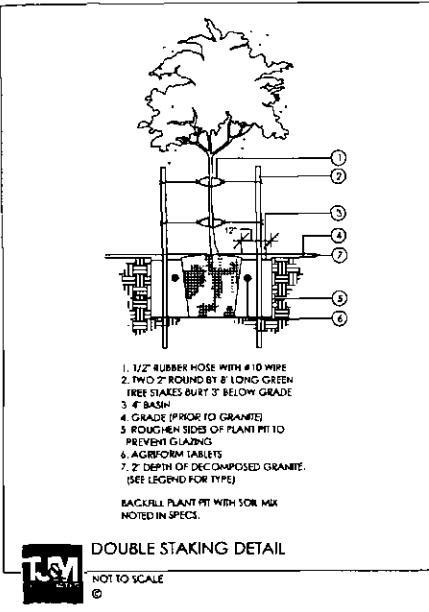
CowleyArchitects.com

14950 N 83RD PLACE

14950 N 83RD PLACE
SCOTTSDALE ARIZONA

DATE

- PRELIMINARY SET
05-23-2016
- DR SUBMITTAL
06-16-2016
- PRICING SET
06-17-2016



LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: 00 - DR - 2016

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LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
06.29.16
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Project - SAM

La.01