

**Marked Agendas
Approved Minutes
Approved Reports**

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 15, 2016 Item No. 3
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Alta Osborn
42-DR-2016

Location: 3234 N. Scottsdale Road

Request: Request approval of the site plan, landscape plan, and building elevations for a new multi-family residential development comprised of a 5-story-tall building, with 277 dwelling units in approximately 426,000 square feet of building area, all on an approximately 4.84-acre site.

OWNER

David L. Chapman Trust

ARCHITECT/DESIGNER

Biltform Architecture Group

ENGINEER

Sustainability Engineering Group

APPLICANT CONTACT

John V. Berry, Esq.
Berry Riddell, LLC
480-385-2727

BACKGROUND

Zoning

This site is zoned Downtown/Downtown Multiple Use – Type 2, Planned Block Development, Downtown Overlay (D/DMU-2 PBD DO). This district is intended to support a high-quality urban development pattern within the Downtown area.

Context

The property is located at the intersection of N. Scottsdale Road and the southbound lane of the N. Drinkwater Boulevard couplet; the surrounding developments are a mix of multi-family residential, restaurant, hotel, and office uses. Please refer to the context graphics attached.

Adjacent Uses and Zoning

- North: An existing restaurant and a multi-family residential development are located north of the site in the Downtown Office/Commercial–Type 2, Planned Block Development, Downtown Overlay (D/OC-2 PBD DO) and Downtown/Downtown Multiple Use–Type 2, Planned Block Development, Downtown Overlay (D/DMU-2 PBD DO) zoning districts.
- South: An existing mobile home park is located south of the site in the Highway Commercial (C-3) and Single-family Residential (R1-7) zoning districts.
- East: N. Scottsdale Road abuts the property to the east. An existing restaurant and hotel are located farther east in the Highway Commercial, Downtown Overlay (C-3 DO) zoning district.
- West: N. 71st Street abuts the property to the west. An existing multi-family residential complex is located farther west in the Multiple-family Residential (R-5) zoning district.

Key Items for Consideration

- Conformance with the Downtown Urban Design and Architectural Guidelines
- Implementation of Scottsdale Road Streetscape Design Guidelines
- No public comment received as of the date of this report

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant is seeking approval of the site plan, landscape plan, and building elevations for a new 4-story multi-family residential development consisting of 277 units. All existing improvements on the site will be demolished to allow the redevelopment of the site.

Neighborhood Communication

The City mailed notification postcards to the surrounding property owners within 750 feet of the site, and has posted the property notifying the public of the Development Review Board hearing. As of the date of this report, staff has not received any neighborhood or citizen correspondence regarding the applicant's request.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

The proposed multi-family development reflects the goals and policies of the Character and Design chapters of the General Plan 2001 and the Downtown Scottsdale Character Area Plan by varying the physical massing to create different points of perception at the human scale and by enhancing the proposed building relationship with the adjacent N. Scottsdale Road through patios and increased setbacks. In addition, the project utilizes different types of outdoor open spaces to emphasize the project's connection with the natural environment. Access to the site is adequately provided by four entrances. The primary entrance will utilize the drive aisle located on the south side of the site with access from either N. Scottsdale Road or N. 71st Street. A secondary access will be provided directly from N. Scottsdale Road to the on-grade visitor and leasing parking located on the north side of the building. Parking is provided primarily within the proposed 5-level parking structure that has been located internally to the residences on the site. Pedestrian connectivity is provided to N. Scottsdale Road by new sidewalks along the entry drives and walkways from the aforementioned patios and by

connections to N. 71st Street on the west side of the project area, with other pedestrian connections from new outdoor patios located adjacent to ground-floor units. Spatially, the building mass has been located to create one large open space between units in two central courtyards.

The proposed development is primarily comprised of four floors of residential units wrapping a centralized 5-level parking structure and two centralized amenity areas. The building has been designed in a contemporary aesthetic with each elevation featuring shading elements over most windows to reduce solar exposure and heat gain to the building. The building utilizes several massing forms to reduce overall bulk while also incorporating several architectural design elements to separate wall expanses, add visual interest, and create shading for the building's outdoor balconies. An outdoor living space has been provided adjoining each unit that further enhances the building façade while allowing residents to enjoy the desert climate, as suggested in the Scottsdale Sensitive Design Principles. Mechanical equipment will be located on the roof of the building, appropriately concealed behind rooftop parapets.

Landscape and hardscape improvements for the site are focused on enhancing resident amenity areas located outside the building footprint along N. Scottsdale Road and N. 71st Street as well as the large central amenity areas. Consistent with the Scottsdale Road Streetscape Design Guidelines, a wide sidewalk has been provided along N. Scottsdale Road with enhanced landscape plantings. To respond to environmental considerations, the landscaping has been designed to provide shade over most pedestrian walkways using large shade trees including Mulga Acacia, Chinese Pistache, Thornless Cascalote, and several species of drought-tolerant shrubs and groundcover. In addition, the two amenity areas incorporate generous use of vegetation for shading in consideration of the unique desert environment.

Development Information

• Existing Use:	Vehicle leasing, rental, sales and repair (largely vacant)
• Proposed Use:	Multi-family residential
• Parcel Size:	4.84 gross acres 4.22 net acres 183,705 square feet
• Dwelling unit space (residential):	425,652 square feet
• Gross Floor Area Ratio Allowed:	1.4
• Gross Floor Area Ratio Proposed:	None
• Building Height Allowed:	66 feet, inclusive of rooftop appurtenances
• Building Height Proposed:	56 feet, inclusive of rooftop appurtenances
• Parking Required:	382 spaces
• Parking Provided:	447 spaces
• Open Space Required:	None
• Open Space Provided:	33,778 square feet / 0.78 acres
• Number of Dwelling Units Allowed:	277 units (per zoning case 12-ZN-2016)
• Number of Dwelling Units Proposed:	277 units
• Density Allowed:	57.24 dwelling units per gross acre (Achieved through bonus with public art contribution)
• Density Proposed:	57.24 dwelling units per gross acre

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the Alta Osborn per the attached stipulations, finding that the provisions of Character and Design Element of the General Plan, the Downtown Urban Design and Architectural Guidelines, and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACTS

Brad Carr, AICP, LEED-AP

Principal Planner

480-312-7713

E-mail: bcarr@ScottsdaleAZ.gov

Meredith Tessier

Planner

480-312-4211

E-mail: mtessier@ScottsdaleAZ.gov

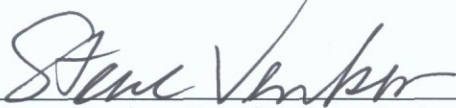
APPROVED BY



Brad Carr, AICP, LEED-AP, Report Author

12-6-2016

Date



Steve Venker, Development Review Board Coordinator

Phone: 480-312-2831, E-mail: svenker@ScottsdaleAZ.gov

12/6/16

Date



Randy Grant, Planning and Development Services Director

480-312-2664, E-mail: rgrant@ScottsdaleAZ.gov

12/8/16

Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Site Plan
 - 5. Building Elevations
 - 6. Perspectives
 - 7. Streetscape Elevations
 - 8. Landscape Plans
 - 9. Transition Plan
 - 10. Site Cross Sections

**Stipulations for the
Development Review Board Application:
Alta Osborn
Case Number: 42-DR-2016**

*** Stipulations added by the Development Review Board at the December 15, 2016 hearing are shown in **BOLD CAPS**. ***

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Biltform Architecture Group, with a city staff date of 10/19/2016 **AND THE REVISED ELEVATIONS SUBMITTED BY BILTFORM ARCHITECTURE GROUP, WITH A CITY STAFF DATE OF 12/8/2016.**
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Sustainability Engineering Group, with a city staff date of 10/19/2016.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Anderson Baron, with a city staff date of 10/19/2016.
 - d. The case drainage report submitted by Sustainability Engineering Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the subject site was: 12-ZN-2016.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

Ordinance

- B. Pursuant to 12-ZN-2016, the development shall conform to the Development Plan, entitled "Alta Osborn Development Plan" and shall conform to the property development standards that are part of the Development Plan.

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. At time of final plans, the applicant shall relocate any electrical transformers and other above ground utility and mechanical equipment to a location that is not within the street frontages of N. Scottsdale Road and N. 71st Street. Final location of equipment is subject to the satisfaction of final plan review staff.

OPEN SPACE:

Ordinance

- C. Pursuant to Zoning Ordinance Sec. 5.3006.G. all dwelling units shall include private outdoor living space located beside the dwelling unit. Each private outdoor living space shall be at least six (6) feet deep and sixty (60) square feet in area.

DRB Stipulations

6. At time of final plans, the applicant shall provide an open space worksheet that identifies compliance with the required private outdoor living space.

LANDSCAPE DESIGN:

Ordinance

- D. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.
- E. Per Section 10.501.B. of the Zoning Ordinance, because the proposed building is taller than one (1) story, fifty (50) percent of the trees shall meet the following standards: Palm trees: trunk twelve (12) feet tall; Single trunk trees: three (3) inch caliper; and Multiple trunk trees: one and one-half (1 ½) inch caliper average trunk.

DRB Stipulations

7. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
8. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

9. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.

EXTERIOR LIGHTING:

Ordinance

- F. Pursuant to 12-ZN-2016, the maximum height of any outdoor lighting source, except any light sources for patios and/or balconies, shall be twenty (20) feet above the adjacent finished grade.
- G. Pursuant to 12-ZN-2016, light sources that are utilized to illuminate patios and/or balconies that are above twenty (20) feet shall be subject to the approval of the Development Review Board.
- H. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting)
- I. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward and have an integral lighting shield.
- J. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- K. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

10. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
11. All exterior HID lamps shall be High Pressure Sodium; all other lamp shall have a Kelvin temperature of 4000 or warmer.
12. All fixtures and associated hardware, including poles, shall be flat black or dark bronze.
13. Incorporate the following parking lot and site lighting into the project's design:
Parking Lot and Site Lighting:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. The total lumen per luminaire shall not exceed 24,000 lumens.

STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:

Ordinance

- L. Pursuant to 12-ZN-2016, the owner shall provide street lights at all driveway entrances to the satisfaction of traffic engineering staff, unless determined that they are not needed by a lighting engineer.
- M. Pursuant to 12-ZN-2016, the owner shall dedicate to the city a public non-motorized access easement over any portion of the public sidewalk and associated improvements along N. Scottsdale Road and N. 71st Street that are not located within the city right-of-way.
- N. The owner shall modify the existing pavement markings on N. Scottsdale Road at the northern site driveway from a southbound left-turn to a two-way left turn lane, to the satisfaction of traffic engineering staff.

DRB Stipulations

- 14. Prior to the issuance of a building permit for the site, the owner shall dedicate to the city the following right-of-way and submit plans to construct the following street improvements:

Street Name	Street Type	Dedications	Improvements	Notes
N. Scottsdale Road	Major Arterial	10 feet for a 65 foot total half street	Site driveways; new sidewalk	a., b., e., f., g
N. 71 st Street	Local	None	Site driveway; new sidewalk	d,e,f

- a. At the time of final plans, the owner shall use COS Standard Detail 2256, Type CL-1 driveways for site entrances on N. Scottsdale Road and be in accordance with DSPM Sec. 5-3.20.
 - b. At the time of final plans the owner shall make the northern site driveway on Scottsdale Road to be restricted to right-in/right-out only access.
 - c. At the time of final plans the owner shall construct a minimum 8-foot-wide sidewalk along Scottsdale Road, separated from the back of curb. The sidewalk and landscaping along Scottsdale Road shall be consistent with the Scottsdale Road Streetscape Guidelines, DSPM Sections 5-3.100, 5-8.300 and the 2008 Transportation Master Plan: Chapter 7, Section 8.
 - d. At the time of final plans the owner shall use COS Standard Detail 2256, Type CL-1 driveway for site entrance on 71st Street and be in accordance with DSPM Sec. 5-3.20.
 - e. At the time of final plans the owner shall provide a pedestrian connection from the interior units (not fronting the adjacent public streets) to both Scottsdale Road and 71st Street. DSPM 2-1.808.
 - f. At the time of final plans the owner shall make all curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match brick red or terracotta.
 - g. At the time of final plans the owner shall provide a signing and striping plan showing modifications to the existing pavement markings on Scottsdale Road at the northern site driveway from a southbound left-turn lane to a two-way left-turn lane and shall be approved by the transportation Department.
15. With the improvement plan submittal, the owner shall provide streetlights at all site entrances.
 16. With the improvement plan submittal, the owner shall ensure the internal drives 24-foot in width excluding any curb and gutter and shall be in accordance with Zoning Ordinance Section 9.106.
 17. Before any building permit is issued for the site, the owner shall submit plans and receive plan approval to construct all driveways in general conformance with City of Scottsdale's Supplement to the MAG Standard details, detail 2256 FOR CL-1.

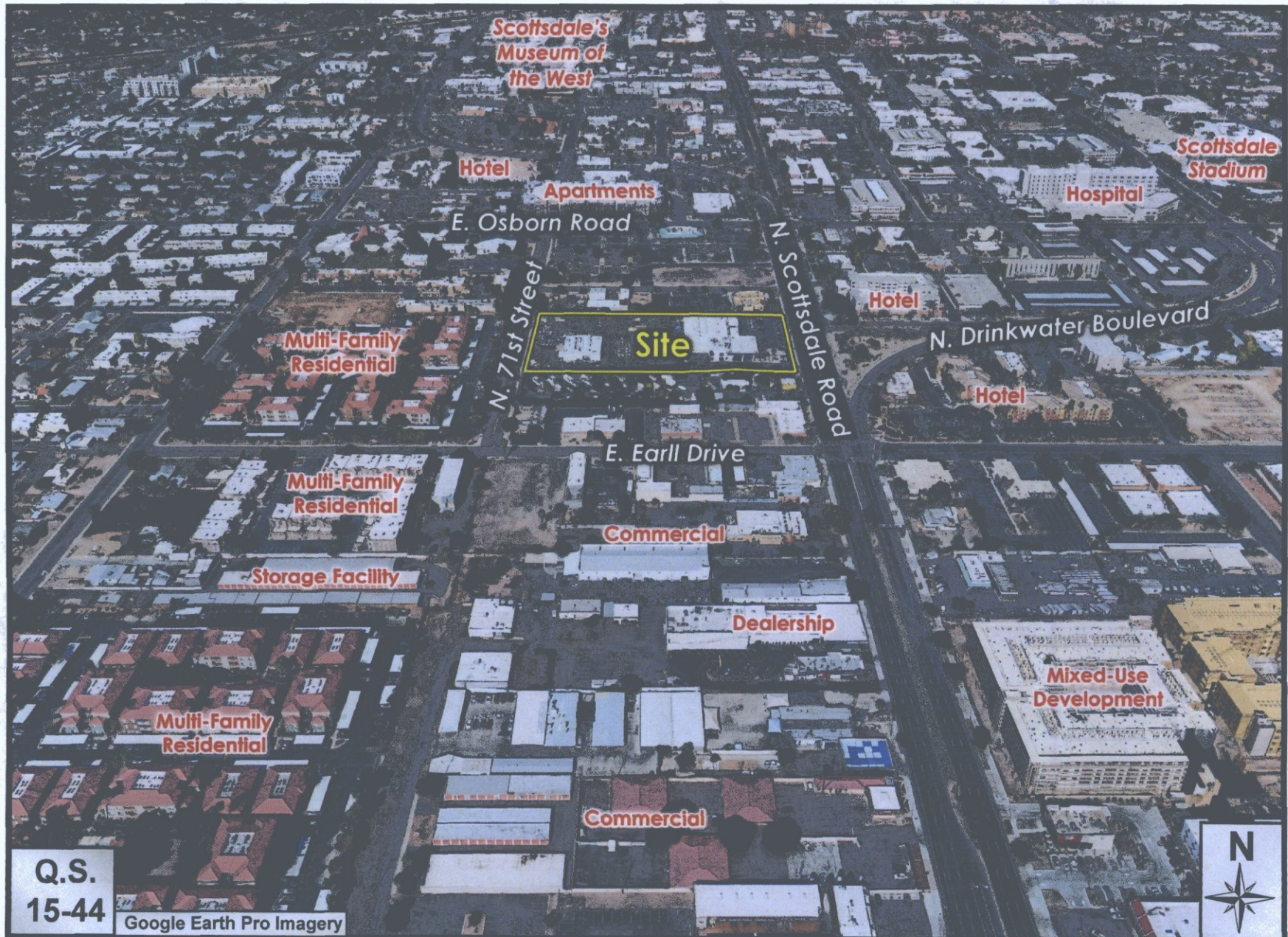
EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

Ordinance

- O. Pursuant to 21-ZN-2016, the owner shall dedicate a one-foot-wide vehicular non-access easement on N. Scottsdale Road and N. 71st Street, except at the approved street entrances.

DRB Stipulations

18. Before any building permit is issued for the site, the owner shall dedicate a sight distance easements at all driveways and over sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM.



Alta Osborn

42-DR-2016



Q.S.
15-44

Google Earth Pro Imagery

Alta Osborn

42-DR-2016



Alta Osborn

Alta Osborn
3220 N. Scottsdale Road
DRB Application
Project Narrative
42-DR-2016



Prepared for: Wood Partners

Prepared by: Berry Riddell LLC

John V. Berry, Esq.
Michele Hammond, Principal Planner
6750 East Camelback Road
Suite 100
Scottsdale, Arizona 85251
480-385-2727

Table of Contents

I. Property Information.....	3
II. Current/Proposed Zoning.....	3
III. Project Overview.....	4
IV. Design & Development Plan.....	5
V. DRB Criteria.....	8
VI. Downtown Plan Urban Design & Architectural Guidelines.....	10
VII. Scottsdale Sensitive Design Principles.....	12
VIII. Conclusion.....	15
Other: Summary of Refuse Collection.....	16
Alta Osborn Property Development Standards.....	17

I. Property Information

Location: North of the northwest corner of Scottsdale and Earll (the “Property”)

Address: 3220 N. Scottsdale Road

Property Size: Approximately 4.84+/- gross acres, 4.1+/- net acres

II. Zoning

Current

- C-3

Proposed 12-ZN-2016

- D/DMU-2 PBD DO

The Downtown Multiple Use sub-district replaced the Office/Commercial sub-district per the November 2012 Downtown Ordinance text amendment



III. Project Overview

This request is for Development Review Board approval of Alta Osborn, a residential development on a 4.84 +/- gross acre site located north of the northwest corner of Scottsdale and Earll (the "Property") which is situated directly south of U.S. Egg and the recently approved Agave Residential development in Downtown Scottsdale.

The associated zoning case is 12-ZN-2016 which is a request from C-3 to D/DMU-2 PBD DO. The Property occupies a partially abandoned dealership building and auto repair and body shop service facility (formerly Luxor Auto Group car dealership). Wood Partners intends to redevelop the site with residential development consisting of 277+/- residences (approximately 4.84+/- acres) and onsite amenities consistent with the goals and policies of the Downtown Plan adopted by City Council in 2009. The Property is surrounded by a variety of retail, entertainment, residential, employment and service related business in Downtown Scottsdale and is within close proximity to two of Scottsdale's largest employers, Honor Health and the City of Scottsdale.

Existing Site Photos



IV. Design & Development Plan Summary

The Alta Osborn development provides an urban residential living experience with numerous onsite amenities and a lifestyle that integrates with the existing Downtown fabric and collection of uses (entertainment, arts, employment, retail, support services) contributing towards the variety of housing options available to the residents of Scottsdale.

The building design for the Alta Scottsdale preserves and enhances the existing architectural character of the Downtown Scottsdale while creating a unique architectural style and providing appropriate scale, massing and hierarchy within the existing Downtown setting. The proposed development also provides continuity between the newly proposed and existing architecture in the surrounding area, providing contextually appropriate redevelopment and visual fluidity along Scottsdale Road.

Alta Osborn proposes a high quality multifamily residential community near the southern edge of Scottsdale's thriving Downtown. The project consists of a wrap-style building design (residential units wrapping above ground parking structure), ranging from two-stories along Scottsdale Road and 71st Street to four-stories with fifth floor mezzanine in limited areas. Amongst the internal parking area will also be a secured bicycle parking area as well as bike shop for residents. There are two internal courtyards with a wide range of amenities and a common open space amount reaching approximately 20,000 s.f. in courtyard space.

The mix of ground level uses along Scottsdale Road will include a fitness center, a clubhouse/business center, and direct unit access to the street frontages. In total, over one-half of the ground level building area along Scottsdale Road will be designated as residential support uses (ie: fitness, common area, etc.) with a commercial storefront appearance that ties into the existing architecture of the surrounding area engaging the streetscape both visually and physically. The state-of-the art, 7,000+/- s.f. clubhouse is a lifestyle center for the residents, with a large-scale social room, kitchen for entertaining, business center, conference room, leasing offices and a 3,000+/- s.f. fitness facility with a separate yoga room. These uses will be designated for the residents of Alta Osborn and not open to the general public.

Alta Osborn seamlessly combines pedestrian oriented design at the ground level with front door stoops to each first floor unit defining the streetscape along Scottsdale Road and 71st Street, and also along the south drive and north pedestrian-way. This approach will activate all four sides of the building, allowing both convenient access and opportunities for outdoor living on patios defined by low walls with metal railing details. Sensitivity to context is addressed by use of brownstone-type articulation along the east and west elevations of the project. This articulation emulates an appropriate urban housing model, which provides a distinctive and memorable streetscape for the project. Exterior building materials include a generous use of brick veneer at the ground level, application of gray limestone at key accent areas, metal canopies and railings, and sand

finished stucco rendered in various contemporary Southwestern colors (see materials board). The contemporary Southwest architecture is defined by an intricate light colored grid, wrapping the building both horizontally and vertically, and projecting across patios for visual interest and shade elements.

Further, providing gathering space for residents and pedestrians through ground level improvements including enhanced hardscape, landscape, gathering spaces and outdoor furniture will revitalize an area that currently feels suburban in nature with single-story commercial dealership buildings, abundant pavement and minimal pedestrian improvements. The design elements proposed for Alta Osborn will greatly enhance the character of the Scottsdale Road street frontage in this location. Activating the pedestrian experience and enhancing the streetscape improvements in combination with the proposed residential use reinforces the vibrant Downtown synergy that the City strongly promotes in both the Downtown Plan and Downtown Urban Design & Architectural Guidelines.

The proposed landscape character will complement the proposed developments north and south of this site. The development will comply with the Scottsdale Road Streetscape Design Guidelines utilizing plant materials that were approved with Agave Residential (38-DR-2015) to the north and the proposed L'Esperance development (13-ZN-2016) to the south. Similar planting patterns and groupings as well as complementary textures, colors and plant varieties will create strong aesthetic connections between different outdoor spaces while still maintaining a unique and identifiable character. The plant palette along the sidewalks will provide year-round color and texture encouraging increased pedestrian activity and alternative modes of transportation.

Cultural Improvements Program & Bonus Provision for Special Improvements

Contributions to the Cultural Improvements Program include original works of art costing a minimum of one percent (1%) of the applicable building valuation are required at the time of permitting. The developer has elected to contribute an in-lieu fee to the Cultural Trust Fund to be dispersed in accordance with the public places program.

Existing Property Condition – Lacking Pedestrian Connectivity



Proposed Design – Strong Pedestrian Connectivity



V. Development Review Board Criteria

In considering any application for development, the Development Review Board shall be guided by the following criteria:

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.***

Response: Alta Osborn will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, General Plan and Downtown Plan. While the zoning narrative submitted under separate application (12-ZN-2016) speaks in more detail to the broader context of the General Plan and Downtown Plan, below is a summary of how this proposal complies.

The proposed development is consistent with the Downtown Plan's land use designation of Downtown Multiple Use – Type 2. The Downtown Plan (LU 2.5) states that the City should “encourage new development, redevelopment and infill that strengthens Downtown Scottsdale's mix of uses and activities through the development of mutually supportive land uses within the Downtown Multiple Use urban neighborhoods.” The Downtown Plan highlights the City's desire to maintain and expand the diversity of interconnected land uses and pedestrian synergy in the Downtown Area. Alta Osborn fulfills this goal by bringing additional residential development to southern end of Downtown, further anchoring its presence and strengthening the economic stability of Downtown Scottsdale. The proposed development accomplishes a range of Downtown Plan goals and policies including the redevelopment of a partially vacated property, integrating high quality, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding Downtown context.

- 2. The architectural character, landscaping and site design of the proposed development shall:***

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;***

Response: The overall project massing steps down from four and five stories (fifth floor mezzanine only) to two stories creating a logical transition from the Downtown boundary (71st Street) and the existing lower-scale multifamily development to the west (two and three-story apartments). Additional setbacks are provided along 71st as well; where a 20' minimum setback is required, 26' to 32' is provided. Along Scottsdale Road, a 20' minimum setback is required and a 43' to 59' setback is provided. Additional building undulation has been provided along the streetscape with a brownstone-style character and direct/stoop access.

The site is flat with existing buildings and surface parking. The common open space areas and landscape character of the proposed Alta Osborn development includes a wide variety of plants that will provide year-round color, shade, and texture for the site. The proposed plant palette incorporates hardy plants known to thrive in the intense heat and sun of the desert climate. The planting design includes dense planting patterns and shade trees in areas with the most human interaction such as entries, amenity areas and pedestrian areas.

b. Avoid excessive variety and monotonous repetition;

Response: In addition to the comments above, a critical design quality that was considered in the building design was the importance of human scale. Human scale provides for both a higher quality pedestrian environment, which is created with a variety of small-scale buildings elements rather than a single large unarticulated building, and a sense of “home” for the residents. Inherently this type of design lends itself to visually interesting architecture vs. monotonous repetition or static building forms.

c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

Response: Please see the Scottsdale Sensitive Design Principle section below (VII.)

d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and

Response: Not applicable.

e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

Response: Not applicable.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: By internalizing the parking, the Alta Osborn development has removed the pedestrian obstacle of the parking lot from the streetscape and reinforced the idea of other alternative means of transportation. The ground level will also be activated with an open plaza-like feel along Scottsdale Road and ground-level residences along all four sides with direct access to the streetscape which will include quality hardscape surfaces, pedestrian furniture/seating, and landscape canopies to enhance the pedestrian experience. The pedestrian connections around and through the site reflect a healthy

urban environment and reinforce the desire to engage with the community through close proximity to Downtown's range of uses and pedestrian synergy.

VI. Downtown Plan Urban Design & Architectural Guidelines **Conformance**

A. Site Development

A1 – Relationship of New to Existing Development

The proposed development has sensitive edge buffering through the implementation of appropriate setbacks and stepbacks per the Downtown Ordinance. The proposed development also provides continuity between the newly proposed and existing architecture in the surrounding area, providing contextually appropriate redevelopment and visual fluidity along Scottsdale Road and 71st Street. See Site Plan and Sections.

A2 – Active Street Frontages

Active street frontages are provided along Scottsdale and 71st Street with the integration of fitness uses, patios, direct unit access to street frontages (all four sides have ground level access), sidewalks and shade trees for the pedestrians and shading elements on the buildings. In addition to landscaping, windows and doors will be shaded by metal canopies and wall projections.

A3 – Courtyards and Passages

The community is designed with a large active courtyards that includes a resort style pool, seating areas, cabanas and spa. The courtyard is designed for active and passive areas with the goal being resident social connectivity.

A4 – Parking Facilities

The development is served by an internal parking structure accessed from the southern driveway. The parking structure includes secured bike storage.

A5 – Building Equipment & Services

All services and loading areas will be obscured from public street view. Mechanical and electrical equipment and appurtenances will be concealed from public view and neighboring properties.

A8 – The Continuity of Street Spaces

-and-

A9 – The Building Setback Zone

Alta Osborn is designed to create an active street frontage within the building setback zone. This mixed-use setting will contain residential support services such as a clubhouse, a fitness center, office and outdoor patio space along Scottsdale Road. All of the ground level residences along Scottsdale Road, 71st Street and along the north and south will have direct access to the streetscape and/or sidewalk connections to the street.

Additionally, quality hardscape surfaces and appropriately placed pedestrian furniture and landscape canopies will be provided along the perimeter and throughout the community thereby contributing towards the activation of the street frontages and continuity of the streetscape. The landscape palette for Scottsdale Road will be consistent with Scottsdale Road Streetscape Design Guidelines.

A10 – The Linkage of Neighboring Developments

Pedestrian circulation along both the perimeter and internal to the residential community is an important feature of this Downtown project, as numerous retail, restaurant, entertainment, and cultural uses are within walking distances from this site. Special consideration has been given to the frontage along Scottsdale Road with over one-half of the ground level building area to be designated as residential support uses (ie: fitness, clubhouse), direct unit access/stoops and outdoor seating/gathering space along Scottsdale Road. The ground level residences along all edges of the development (north, south, east & west) will have direct access to pedestrian connections and the streetscape to encourage walkability and street interaction. Additionally, quality hardscape surfaces, appropriately placed pedestrian furniture and landscape canopies will be provided along this edge thereby contributing towards the activation of the Scottsdale Road frontage.

B. Building Form

B1- Reduction of Apparent Size and Bulk

The building design for Alta Osborn preserves and enhances the existing building character of the Downtown Scottsdale while creating a unique brownstone architectural style and providing appropriate scale, massing and hierarchy within the existing Downtown context.

B2 – Covered Walkways

The street facing elevations along both Scottsdale and 71st will provide shaded environments for the pedestrian through the placement of trees and building overhangs.

C. Architectural Character

C1 - Proportion and Scale

The proportion and scale of the proposed development is in conformance with the Downtown design guidelines. The architecture provides variation, movement, and hierarchy of massing to create visual interest and varied proportions.

C2 – Building Materials

-and-

C3 – Architectural Detail

The proposed materials, colors, textures and detailing are indicative of Downtown Scottsdale and include a wide range of elements reflecting the vibrancy and character of this urban Sonoran Desert location while maintaining a warm earth tone palette with appropriate accents. Exterior building materials include a generous use of brick veneer at the ground level, application of gray limestone at key accent areas, metal canopies and

railings, and sand finished stucco rendered in various contemporary Southwestern colors (see Colors/Materials Board). The contemporary Southwest architecture is defined by an intricate light colored grid, wrapping the building both horizontally and vertically, and projecting across patios for visual interest and shade elements.

D. Landscape Character

D1- Streets

The street trees proposed will be consistent with the Downtown design guidelines providing appropriate spacing, theming and shade for the pedestrians. See Landscape Plans.

D2- Site Spaces

This building is a courtyard-style project with special emphasis creating resident social interaction. The overall project massing has been developed in a configuration to create multiple areas that optimize the buildings opportunities for natural light and ventilation.

D3- Plant Selection

Plant selection will include low-water use, desert appropriate trees with a range of sizes to provide hierarchy in scale, year round color and a variety of textures.

VII. Scottsdale Sensitive Design Principles

The Character and Design Element of the General Plan states that “Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment, all of which are considered amenities that help sustain our community and its quality of life.” The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

- 1. The design character of any area should be enhanced and strengthened by new development.***

Response: The contemporary building character and stepped massing is complementary to the surrounding development including the Ten-Wine Lofts, Agave Residential, Tomscot Apartments, the Courtyard by Marriott hotel and several newer projects throughout Downtown. The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwestern climate by creating outdoor living spaces for each unit, recreational amenities, and gathering places for its residents. See Elevations and Perspectives.

2. *Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.*

Response: Although the setting of this Downtown site is urban in character and does not have natural features such as washes and natural area open space, the developer has taken special consideration in maintaining providing meaningful open space and recreational amenities for the residents (approximately 18,000 s.f. for the courtyard areas, 9,000 s.f. along Scottsdale Road and 6,000 s.f. along 71st Street).

3. *Development should be sensitive to existing topography and landscaping.*

Response: The property is a Downtown redevelopment site. All landscaping will consist of low-water use desert appropriate landscaping materials. See Landscape Plan.

4. *Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.*

Response: The proposed redevelopment will preserve and restore natural habitats and ecological processes through the inclusion of additional desert appropriate landscaping (as well as integration of native plants). Additional landscaping will contribute to the urban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand. See Landscape Plan.

5. *The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.*

Response: Pedestrian circulation along both the perimeter and internal to the community is an important feature of this Downtown project, as numerous retail, restaurant, resort/hotel, and entertainment uses are within walking distances from this site (see pedestrian circulation plan). The design of these public spaces will be in the character of surrounding developments and will comply with the Downtown Design Guidelines. See Pedestrian and Vehicular Circulation Plan.

6. *Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.*

Response: The Property is within walking distance to an established Downtown core and within close proximity to Honor Health's 44-acre Downtown/Osborn campus and approximately one-half a mile of the City of Scottsdale government offices (including city hall, library and civic center). As such, the site plan has been designed with an emphasis on pedestrian connectivity enhancing the connectivity land use goals for this

area. Developing housing in Downtown along the Scottsdale Road corridor within close proximity to a range of employment, retail and entertainment uses with established transportation options reduces the number and distance of automobile trips, improves air quality, thereby enhancing the quality of life for surrounding residents. See Pedestrian and Vehicular Circulation Plan. See Site Plan for incorporation of secured bike storage in the parking structure.

7. ***Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.***

Response: The proposed development will incorporate design elements that respect human-scale, providing shade and shelter through building, site and landscape design. A detailed pedestrian circulation plan is provided with the application showing connectivity to/from/along the site to the north, south, east and west and well internal connections. See Pedestrian and Vehicular Circulation Plan and Planting Plans.

8. ***Buildings should be designed with a logical hierarchy of masses.***

Response: The proposed use of building massing is compatible to surrounding developments and is appropriately placed back from Scottsdale Road and 71st Street. Building articulation and stepped massing promote a natural hierarchy. See the cross-section and stepback exhibits for more details.

9. ***The design of the built environment should respond to the desert environment.***

Response: The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwest climate by creating abundant outdoor living spaces and amenities for its residents.

10. ***Developments should strive to incorporate sustainable and healthy building practices and products.***

Response: Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized. The developer intends to incorporate sustainable design elements into the building design and plans to develop in accordance with green building standards where feasible.

11. ***Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.***

Response: Context appropriate, mature arid-region plant materials will be utilized with the redevelopment of the Property. The desert character will be upheld through the

careful selection of plant materials in terms of scale, density, and arrangement. See Planting Plans.

- 12. *Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.***

Response: The proposed development will maintain a low-water use plant palette. Context appropriate desert plant materials will be utilized with the development of the Property, consistent with the established vegetative pattern along Scottsdale Road. See Landscape Plan.

- 13. *The extent and quality of lighting should be integrally designed as part of the built environment.***

Response: Lighting will be designed in a manner that is respectful of the surrounding context while maintaining safety for future residents. See Lighting Plan and Photometric Plan.

- 14. *Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.***

Response: Project identification will be contextually appropriate and processed under a separate approval and permit process.

VIII. Conclusion

Downtown Scottsdale is a diverse community where residents enjoy an enhanced standard and quality of life. The support services and range of employment opportunities found within Downtown contribute to Scottsdale's well-earned reputation as a premier destination and place to live and work. Redevelopment of the Property will play a meaningful role in the fabric of Scottsdale's Downtown by implementing the goals and policies set forth in the General Plan and Downtown Plan. Wood Partners is dedicated to reinvesting in the Downtown core by promoting a development that will continue to improve the urban community character in a mixed use setting.

Refuse Collection Summary

Solid waste and recycling will be collected from in front of each residence each day between scheduled times only. No trash is allowed to sit overnight or past the scheduled pickup time in front of a residence. The valet service will then take each residence's trash and recycling to the first floor and place it into the compactor and place the compacted trash into a series of bins for pickup. If a residence misses the daily pickup, he or she may take the trash/recycling to holding bins on each floor of the parking garage that have access to residential floors. These holding bins are emptied daily and taken down to the ground level and placed into trash compactors on a routine schedule. Tenants do not have the ability to take trash directly to the compactor. Only authorized workers may access the compactor. The Private disposal company has special access to the trash enclosure. The bins are then rolled on onto the curb by the private disposal company for emptying and rolled back into the compactor room. Estimated time for pickup is between 12 and 15 min. The disposal company will make modifications to the schedule pickup passed on usage as needed. The private company expects to pick-up the trash every other day at maximum unit occupancy.

Alta Osborn - Property Development Standards

A. *Maximums for building height, GFAR and density, are shown on Table A.1.*

Table A.1 Building Height, Gross Floor Area Ratio (GFAR), Density Maximums			
Sub-district and Development Type	Building Height Maximum ⁽¹⁾	GFAR Maximum (up to 2.0 with bonuses) ⁽²⁾	Density Maximum per acre of gross lot area
Downtown Multiple Use – Type 2	66 feet	1.3-2.0	57 dwelling units
Note: 1. Includes rooftop appurtenances 2. See Table 5.3008.B.			

B. *Setbacks from public streets, except alleys.*

1. The minimum setback from public streets (except alleys) is shown in Table B.1. The setback is measured from the back of curb.

Table B.1. Minimum Setback for Buildings Adjacent to Public Streets, except alleys	
Street	Minimum Building Setback
Scottsdale Road in Downtown Multiple Use sub-district	20 feet
All other public streets and public street segments in the Type 2 Area	20 feet

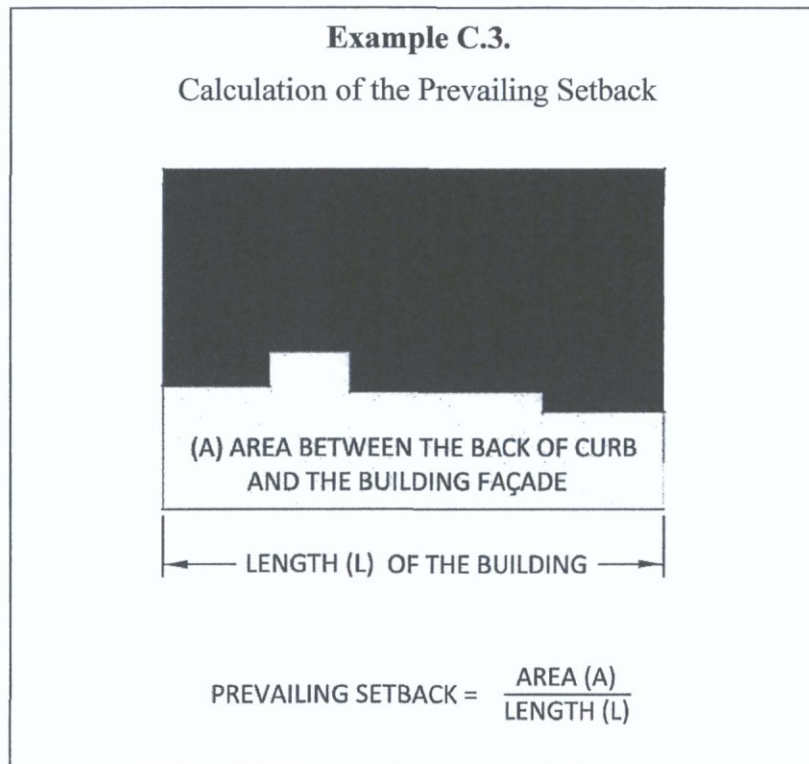
2. The adjustment of front yard requirements in Article VII. does not apply.

C. *Building location.*

1. In a Type 2 Area, a building with a building façade length of 200 feet or more shall be located to achieve a prevailing setback shown in Table C.2. The building façades on a corner lot are calculated separately, and not added together.

Table C.2. Prevailing Setbacks for Buildings Adjacent to a Public Street (except alleys)	
Street	Prevailing Setback
All public street and public street segments*	Between 20 and 60 Feet

- The prevailing setback is equal to the area between the back of curb and the building facade, divided by the length of the building, as shown in Example C.3.

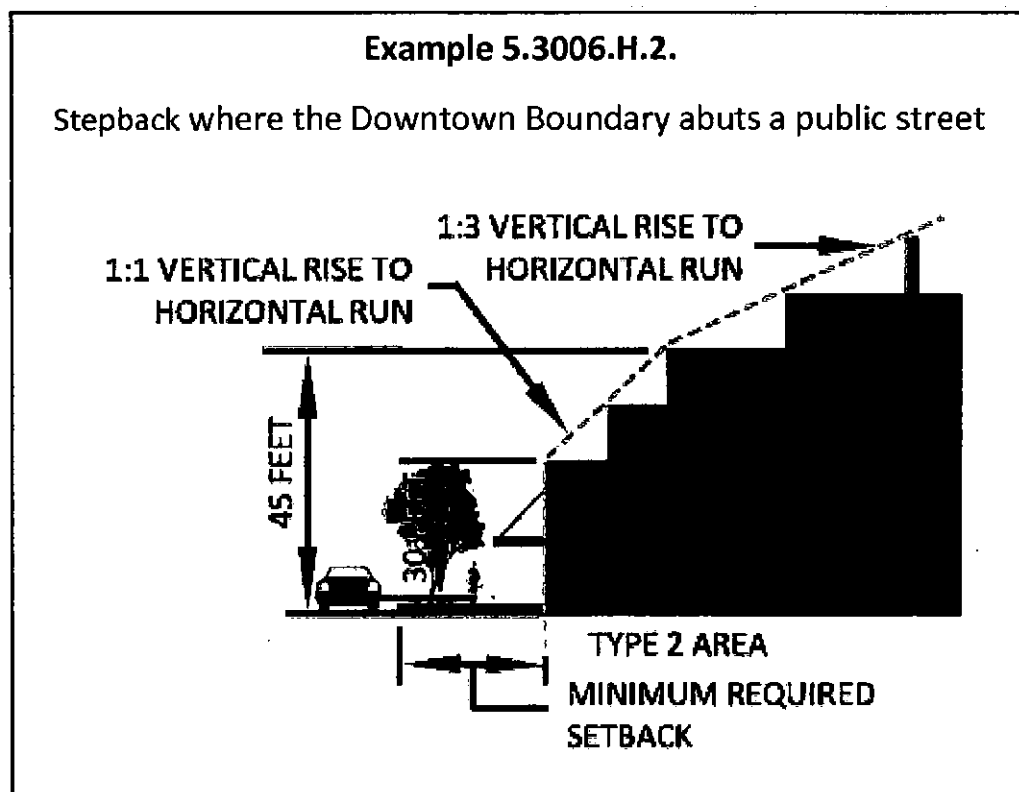


D. Private outdoor living space.

- All dwelling units shall include private outdoor living space located beside the dwelling unit.
- Each private outdoor living space shall be at least six (6) feet deep and sixty (60) square feet in area.

E. Stepbacks.

1. **Downtown Multiple Use – Type 2 Areas:** The stepback plane shall incline at a ratio of 1:1, beginning 30 feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to 45 feet; and beginning at 45 feet, incline at a ratio of 2:1.
2. **Downtown Boundary—additional requirements for property in a Type 2 Area:** Where the Downtown Boundary abuts a public street (except alleys), the stepback plane shall incline at a ratio of 1:1, beginning thirty (30) feet above the minimum setback from the public street (except alleys) to forty-five (45) feet; and beginning at forty-five (45) feet, incline at a ratio of 1:3.



F. Exceptions to setback, prevailing setback and stepback standards.

1. Except as provided in Subsection F.5. below, certain exceptions to setback and stepback standards are allowed if the Development Review Board finds the exceptions conform to:
 - a. The Downtown Plan and Downtown Plan Urban Design & Architectural Guidelines; and
 - b. The sight distance requirements of the Design Standards and Policy Manual.

2. Subject to design approval by the Development Review Board, the following exceptions to setback and stepback standards are allowed:
 - a. A maximum of five (5) feet for cornices, eaves, parapets and fireplaces.
 - b. A maximum of seven (7) feet for canopies and other covers over sidewalks, balconies and terraces.
 - c. Balcony walls and railings with a maximum inside height of forty-five (45) inches.
 - d. Uncovered balconies, uncovered terraces and patios at and below grade.
 - e. Covered sidewalks and uncovered terraces directly above a sidewalk.
 - f. A maximum of three (3) feet for covered balconies.
3. Subject to design approval by the Development Review Board, in a Type 2 Area, a maximum 15 feet exception to stepback and setback standards above the first floor (not specified in F.2. above), is allowed for projections that:
 - a. Are less than 50 percent of the length of the segment of the building facade where the projections occur; and
 - b. Are less than 33 percent of the surface area of the segment of the building facade where the projections occur.
4. Subject to design approval by the Development Review Board, an exception to the stepback standard is allowed for stairwells and elevator shafts.
5. Exceptions to setback or stepback standards are not allowed:
 - a. To cross a property line; however, exceptions that encroach into the public street may be allowed, subject to the Scottsdale Revised Code.
 - b. To increase the maximum building height.

G. *Shaded sidewalks.*

1. The property owner shall provide shaded sidewalks that conform to the Downtown Plan Urban Design & Architectural Guidelines, subject to Development Review Board approval.

H. *Signs.*

1. The provisions of Article VIII. shall apply.

I. *Off-street parking.*

1. The provisions of Article IX. shall apply.

2. Vehicle parking is prohibited in the required setback specified in Table 5.3006.C.
3. The underground portion of a parking structure may be built to the property line.
4. A development with dwelling units that is required to provide:
 - a. Fifty (50) to two hundred (200) parking spaces for the dwelling units, shall provide at least ninety (90) percent of those parking spaces in a parking structure, podium parking, or tuck-under parking.
 - b. Two hundred one (201) or more parking spaces for the dwelling units, shall provide at least ninety (90) percent of those parking spaces in a parking structure, excluding podium parking and tuck-under parking.
5. The Development Review Board may approve an above-ground parking structure, podium parking and tuck-under parking adjacent to a public street if it finds that such parking conforms to the Downtown Plan and Downtown Plan Urban Design & Architectural Guidelines.

J. Landscaping.

1. The provisions of Article X. shall apply.

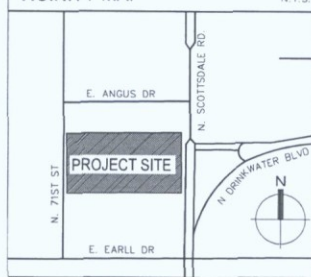
ALTA OSBORN

WOOD PARTNERS

PROJECT DATA

SITE AREA GROSS:	210,779.22 S.F. / 4.839 AC.
SITE AREA NET:	183,705.29 S.F. / 4.217 AC.
ZONING:	EXISTING: C-3 PROPOSED: D/DMU-2 PBD DO
APN NO.:	130-16-006A
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
BUILDING HEIGHT MAX. ALLOWABLE:	66 FEET
BUILDING HEIGHT PROVIDED:	56 FEET
PRIVATE OPEN SPACE PER UNIT TYPE:	60 S.F. MIN. (8 FOOT CLEAR DEPTH X 10 CLEAR WIDTH)
NUMBER OF RESIDENTIAL UNITS:	
ONE BEDROOM UNITS:	172 (60%)
TWO BEDROOM UNITS:	92 (37%)
THREE BEDROOM UNITS:	13 (3%)
TOTAL:	277 D.U.
DENSITY:	57.24 D.U. PER GROSS ACRE
	277 UNITS/4.839 GROSS LOT AREA
GROSS FLOOR AREA PROVIDED:	425,652 S.F.
BIKE PARKING REQ'D: 1 SPACE PER 10 VEH. SPACES	447 P.S./10 = 45 SPACES
BIKE PARKING PROVIDED:	48 SPACES
OPEN SPACE PROVIDED: COURTYARDS:	18,063 S.F.
SCOTTSDALE OSBORN PLAZA AND	9,453 S.F.
71ST STREET FRONTAGE:	6,262 S.F.
TOTAL:	33,778 S.F.
PARKING REQ'D: (172) 1 BED UNITS X 1 = 172 P.S.	
(105) 2/3 BED UNITS X 2 = 210 P.S.	
TOTAL:	382 P.S.
PARKING PROVIDED:	OPEN SPACES = 7 P.S.
GARAGE/COVERED SPACES = 440 P.S.	
TOTAL:	447 P.S.
ACCESSIBLE PARKING REQ'D: 4% X 447 P.S. = 18 P.S.	
ACCESSIBLE PARKING PROVIDED:	OPEN = 1 P.S.
COVERED = 17 P.S.	
TOTAL:	18 P.S.

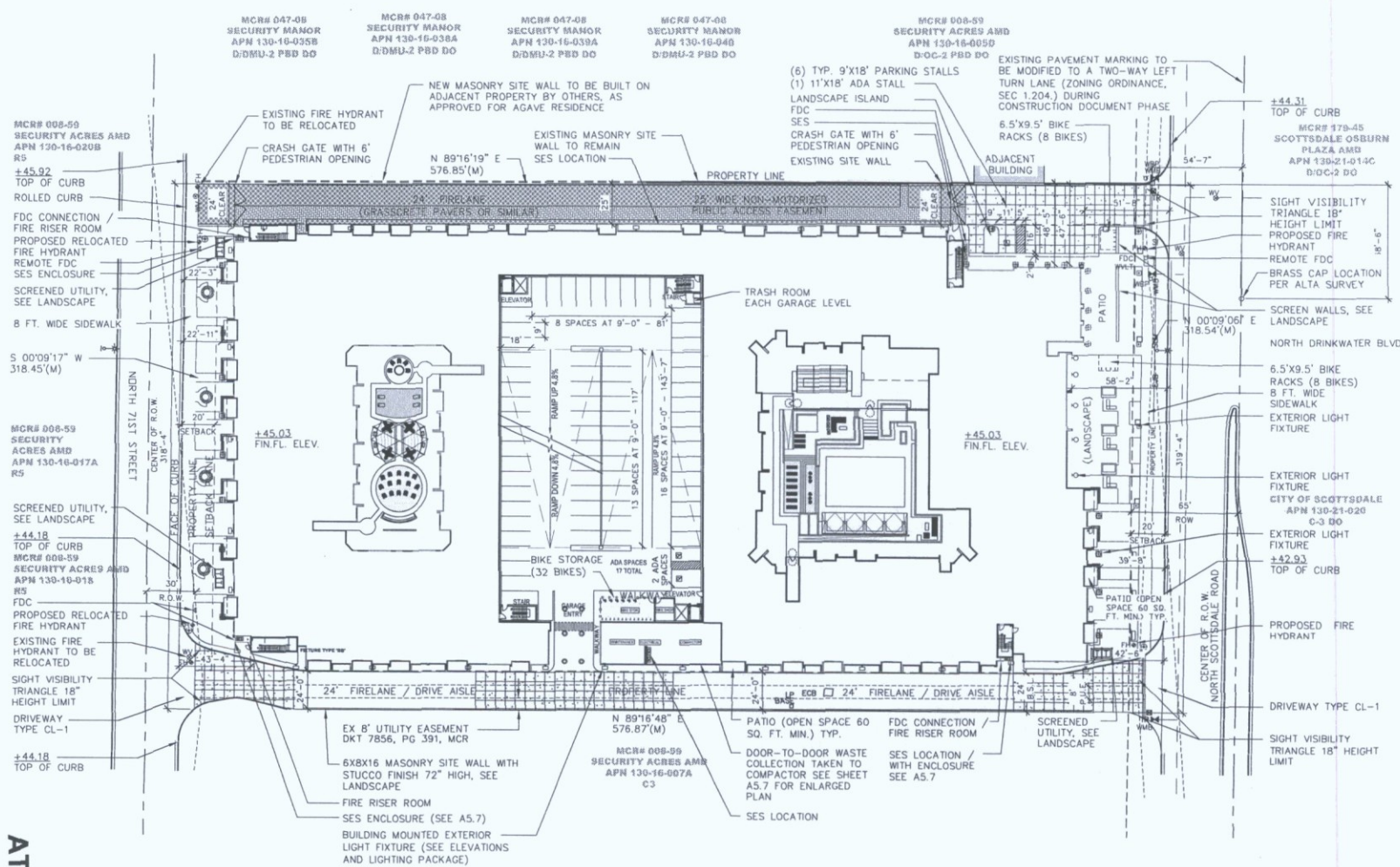
VICINITY MAP

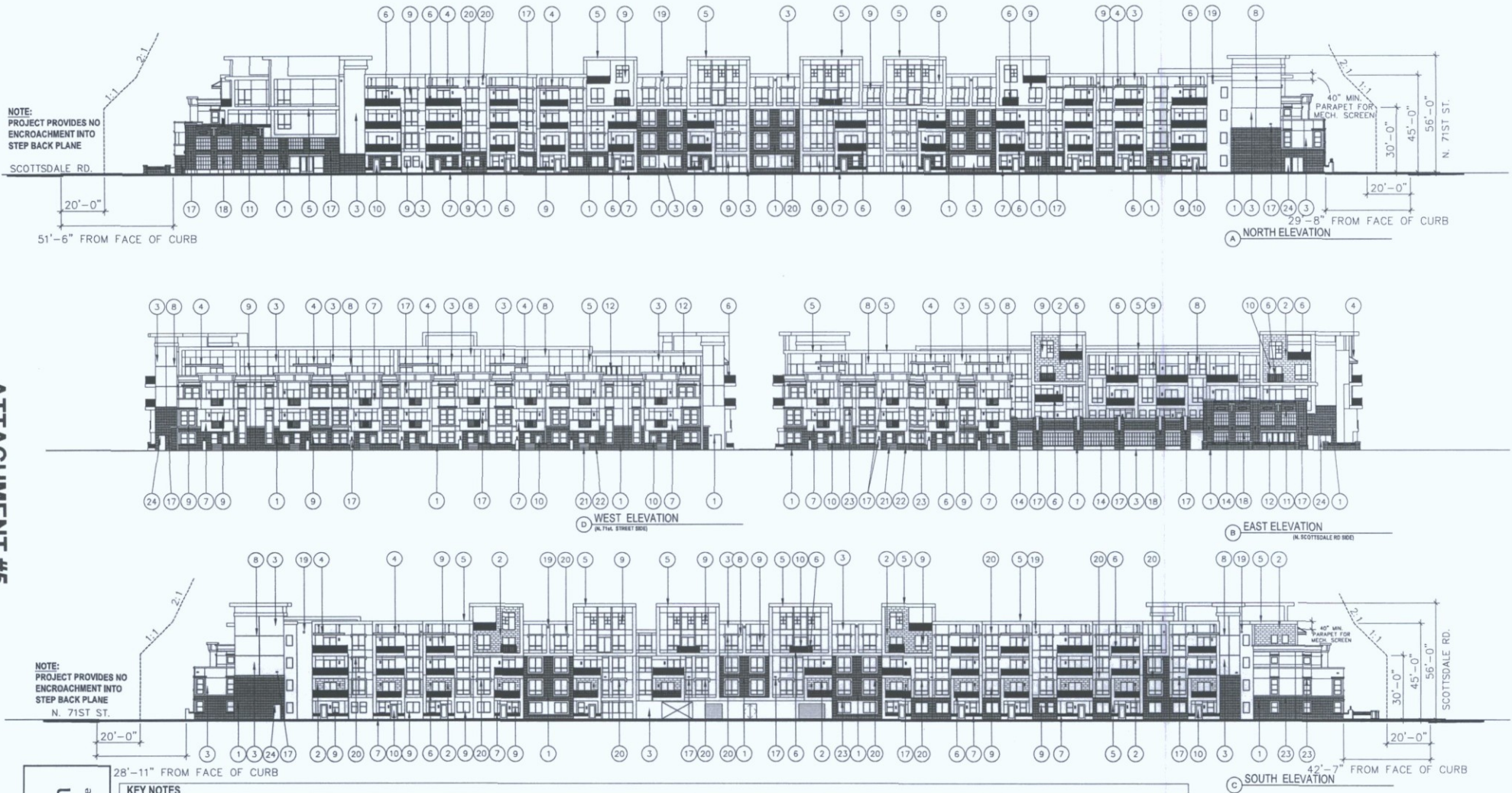


- SHEET NOTES:**
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
 - KEY SWITCH/PRE-EMPTION SENSOR REQUIRED. (ORD. 4045, 503.6.1)
 - FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW. (DS&PM, 2-1.802(3))
 - NO FENCE/WALL OVER 6' IN HEIGHT.
 - SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE TO NFPA 13.

SITE PLAN
SCALE: 1"=30'-0"

A1.3
10-17-16





KEY NOTES

- | | | | |
|---|--|---|--------------------------|
| 1. BRICK VENEER | 7. PATIO WALL WITH STUCCO FINISH AND DECORATIVE RAILING. | 13. PATIO WALL WITH STUCCO FINISH | 19. SCUPPER |
| 2. SYNTHETIC CUT STONE VENEER. | 8. STUCCO CONTROL JOINT | 14. STOREFRONT GLAZING WITH DECORATIVE GRID PATTERN. | 20. SHADE DEVICE |
| 3. STUCCO FINISH | 9. WINDOW UNIT | 15. PARAPET - 42" MIN. HEIGHT MEASURED FROM FINISHED ROOF | 21. DECORATIVE STOOP |
| 4. METAL SHADE CANOPY | 10. FRENCH DOOR | 16. METAL DOOR | 22. RAISED PLANTER BOX |
| 5. FRAME-OUT GRID ELEMENT WITH STUCCO FINISH. | 11. BRICK DETAIL | 17. EXTERIOR LIGHTING | 23. DECORATIVE POPOUT |
| 6. DECORATIVE METAL RAILING | 12. FOLDING OR TELESCOPING DOOR SYSTEM | 18. FAUX C-CHANNEL HEADER | 24. SES OR FIRE RISER RM |

BUILDING ELEVATIONS
LINE DRAWING

A2.1

1"=20'-0" 10-17-2016

ALTA OSBORN
WOOD PARTNERS

biltform architecture
bform p, llc.
11402 north central express road - suite 31
phoenix, arizona 85026
phone 602.955.5000
www.biltform.com

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



KEY NOTES

- | | | | |
|---|--|---|------------------------|
| 1. BRICK VENEER | 7. PATIO WALL WITH STUCCO FINISH AND DECORATIVE RAILING. | 13. PATIO WALL WITH STUCCO FINISH | 19. SCUPPER |
| 2. SYNTHETIC CUT STONE VENEER. | 8. STUCCO CONTROL JOINT | 14. STOREFRONT GLAZING WITH DECORATIVE GRID PATTERN. | 20. SHADE DEVICE |
| 3. STUCCO FINISH | 9. WINDOW UNIT | 15. PARAPET - 42" MIN. HEIGHT MEASURED FROM FINISHED ROOF | 21. DECORATIVE STOOP |
| 4. METAL SHADE CANOPY | 10. FRENCH DOOR | 16. METAL DOOR | 22. RAISED PLANTER BOX |
| 5. FRAME-OUT GRID ELEMENT WITH STUCCO FINISH. | 11. BRICK DETAIL | 17. EXTERIOR LIGHTING | 23. DECORATIVE POPOUT |
| 6. DECORATIVE METAL RAILING | 12. FOLDING OR TELESCOPING DOOR SYSTEM | 18. FAUX C-CHANNEL HEADER | |

**BUILDING ELEVATIONS
COLOR ELEVATIONS**

A2.2

1"=20'-0"

10-17-2016

bilform
architecture

bilform architecture
group, llc
11460 north cave creek road - suite 11
phoenix - arizona 85020
phone: 602.285.9200
www.bilform.com

ALTA OSBORN
WOOD PARTNERS

42-DR-2016
10/19/16

© BILFORM ARCHITECTURE GROUP, INC.

ATTACHMENT #6



billform
architecture

billform architecture
group, llc
11460 north central express road suite 11
phoenix arizona 85020
phone 602.285.9200
www.billform.com

ALTA OSBORN

WOOD PARTNERS

PERSPECTIVE
SCOTTSDALE ROAD
NOT TO SCALE

A3.1
6-22-16

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



bilform architecture
group, llc
11460 north cave creek trail suite 111
phoenix arizona 85020
phone 480.285.3090
www.bilform.com

ALTA OSBORN

WOOD PARTNERS

PERSPECTIVE | A3.2
71ST STREET
NOT TO SCALE 8-11-16

© BILFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



ALTA OSBORN

WOOD PARTNERS

PERSPECTIVE
CLUBHOUSE
NOT TO SCALE

A3.3
6-22-16

billform
architecture

billform architecture
group, LLC
11460 North Cave Creek Road, Suite 11
Phoenix, Arizona 85028
Phone: 602.265.3030
www.billform.com

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



biltform architecture
group, llc
11460 north central expressway suite 11
phoenix arizona 85020
phone 602.285.9200
www.biltform.com

ALTA OSBORN

WOOD PARTNERS

PERSPECTIVE
71STREET
NOT TO SCALE

A3.4
8-11-16

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



biltform architecture
group, llc
11460 north cave creek road suite 11
phoenix arizona 85020
phone 602.285.3200
www.biltform.com

ALTA OSBORN

WOOD PARTNERS

PERSPECTIVE | A3.5
SCOTTSDALE ROAD
NOT TO SCALE 8-11-16

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16

KEYNOTES

- (A) 6'(W) PEDESTRIAN GATE
- (B) 6'(H) CRASH GATE
- (C) BENCH SEATING
- (D) MASONRY TREE PLANTER
- (E) PARKING SCREEN WALL
- (F) PERIMETER WALL
- (G) PRECAST CONCRETE PLANTER & SEATING



Scottsdale Road

ATTACHMENT #7



71st Street

bilform
architecture

bilform architecture
group, LLC
11400 North Greenway Road, Suite 111
Phoenix, Arizona 85026
Phone: 602.255.9003
www.bilform.com

ALTA OSBORN WOOD PARTNERS

Streetscape Elevations

date: 10.17.16
andersonbaron
plan - design - achieve
50 N. McClintock Drive, Ste 1
Chandler, Arizona 85226
ph. 480.699.7956 f. 480.699.7986

© BILFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



Scottsdale Road
Street Elevation

KEYNOTES

- (A) 6'(W) PEDESTRIAN GATE
- (B) 6'(H) CRASH GATE
- (C) BENCH SEATING
- (D) MASONRY TREE PLANTER
- (E) PARKING SCREEN WALL
- (F) PERIMETER WALL



Clubhouse Enlargement

ALTA OSBORN

WOOD PARTNERS

Streetscape Elevations
Clubhouse Enlargement

date: 10.17.16
andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.699.7956 f. 480.699.7986

billform
architecture

billform architecture
group, LLC
11400 North Greenway Road, Suite 11
Phoenix, Arizona 85022
Phone: 602.288.9000
www.billform.com

© BILLFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



bilform
architecture

Refer to sheet LA3.0 for Plant Palette

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

bilform architecture
group, llc
1440 NORTH 100TH AVENUE, SUITE 101
PHOENIX, ARIZONA 85028
PHONE: 602.280.0000
WWW.BILFORM.COM

ALTA OSBORN

WOOD PARTNERS

Landscape Plan

andersonbaron
plan · design · achieve
50 N. MCCLINTOCK DRIVE, SUITE 1
CHANDLER, ARIZONA 85226
PH: 480.699.7956 FAX: 480.699.7986

10' 20'
plan scale 1/20
date: 10.17.16

42-DR-2016
10/19/16

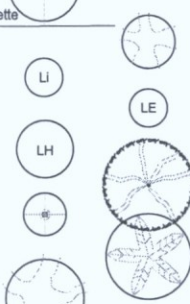
© BILFORM ARCHITECTURE GROUP, INC.

PLANT MATERIALS LEGEND

Scottsdale Road Plant Palette



Site Plant Palette



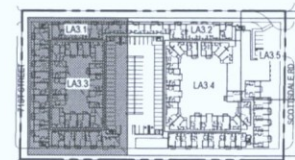
Scottsdale Road Plant Palette

Botanical Name	Common Name			
Trees				
Acacia anuera		36" BOX	4	
Mulga Acacia				
Pistacia chinensis		36" BOX	9	
Chinese Pistache				
Caesalpinia cacalaco smoothie		24" BOX	8	
Thornless Cascalote				
Shrubs				
Acacia willardiana		48" BOX	2	
Palo Blanco				
Citrus sp.		18" B&B	4	INTERNAL COURTYARD ONLY
Lemon - Dwarf				
Citrus sp.		18" B&B	5	INTERNAL COURTYARD ONLY
Lime - Dwarf				
Citrus sp.		24" Box	6	INTERNAL COURTYARD ONLY
Orange - Navel - Robertson II				
Parkinsonia hyb.		24" BOX	10	
'Desert Museum' Palo Verde		MULTI TRUNK		
Pistacia lentiscus		24" BOX	33	
Mastic Tree				
Phoenix dactylifera		18"	7	INTERNAL COURTYARD ONLY
Date Palm		CLEAR TRUNK		
Ulmus parvifolia		48" BOX	9	
'Allee' Elm				

Extra Large Shrubs				
Bougainvillea 'Rosenka'		5 gal.	24	
Bougainvillea				
Cordia Boissieri		5 gal.	11	
Anachuita				
Tecoma alata 'Orange Jubilee'		15 gal.	28	
Orange Jubilee				
Large Shrubs				
Leucophyllum langmaniae 'Rio Bravo'			110	
Rio Bravo Sage		5 gal.		
Salvia clevelandii		5 gal.	142	
Chaparral Sage				
Medium Shrubs				
Eremophila glabra spp. caranosa-Winter Blaze				
Winter Blaze		5 gal.	391	
Eremophila hygrophana		5 gal.	126	
Blue Bells				
Groundcovers				
Eremophila prostrata 'Outback Sunrise'		1 gal	638	
Outback Sunrise Eremophila				
Hymenoxys acaulis		1 gal.	73	
Angelita Daisy				
Cacti/ Accents				
Hesperaloe parviflora		3 gal.	71	
'Brakelights' Red Yucca				
Yucca rupicola		20 gal.	141	
Twisted Yucca				

Site Plant Palette

Extra Large Shrubs				
Dodonea viscosa		5 gal.	8	
Hopbush				
Large Shrubs				
Ligustrum japonicum		5 gal.	7	
Japanese Privet				
Simmondsia Chinensis 'Vista'		15 gal.	77	
Compact Jojoba				
Medium Shrubs				
Punica granatum		5 gal.	12	
Dwarf Pomegranate				
Rosmarinus officinalis 'Tuscan Blue'		5 gal.	46	
'Tuscan Blue' Rosemary				
Small Shrubs				
Bougainvillea 'Alexandra'		1 gal	2	
Alexandra Bougainvillea				
Buxus microphylla japonica		5 gal.	170	
Green Beauty Boxwood				
Groundcovers				
Eremophila serpens		1 gal	65	
Snake Emu				
Teucrium chamaedrys prostratum		1 gal.	44	
Prostrate Germander				
Cacti/ Accents				
Aloe hyb. 'Blue Elf'		5 gal.	53	
Blue Elf Aloe				
Bouteloua gracilis		1 gal	279	
Blond Ambition				
Dasylium longissimum		5 gal.	3	
Mexican Grass Tree				
Euphorbia antisyphilitica		5 gal	21	
Candelilla				
Nolina matapensis		5 gal.	8	
Beargrass				
Opuntia 'x' Kelly's Choice		8 Pad Min.	117	
Kelly's Choice Prickly Pear				
Pedilanthus macrocarpus		5 gal.	54	
Slipper Plant				
Yucca pallida		5 gal	37	
Pale Leaf Yucca				
Vines				
Ficus pumila		5 gal	8	
Creeping Fig				



Key Map



andersonbaron
plan · design · achieve
50 N. McClintock Drive, Suite 1
Chandler, Arizona 85226
phone 480.699.7956 fax 480.699.7986

PLANTING LEGEND - LA3.0

ALTA OSBORN
WOOD PARTNERS

42-DR-2016
10/19/16

biltform
architecture

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

biltform architecture group, LLC
11402 North Cave Creek Road, Suite 11
Phoenix, Arizona 85026
Phone 602.295.8000
www.biltform.com

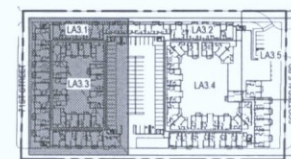
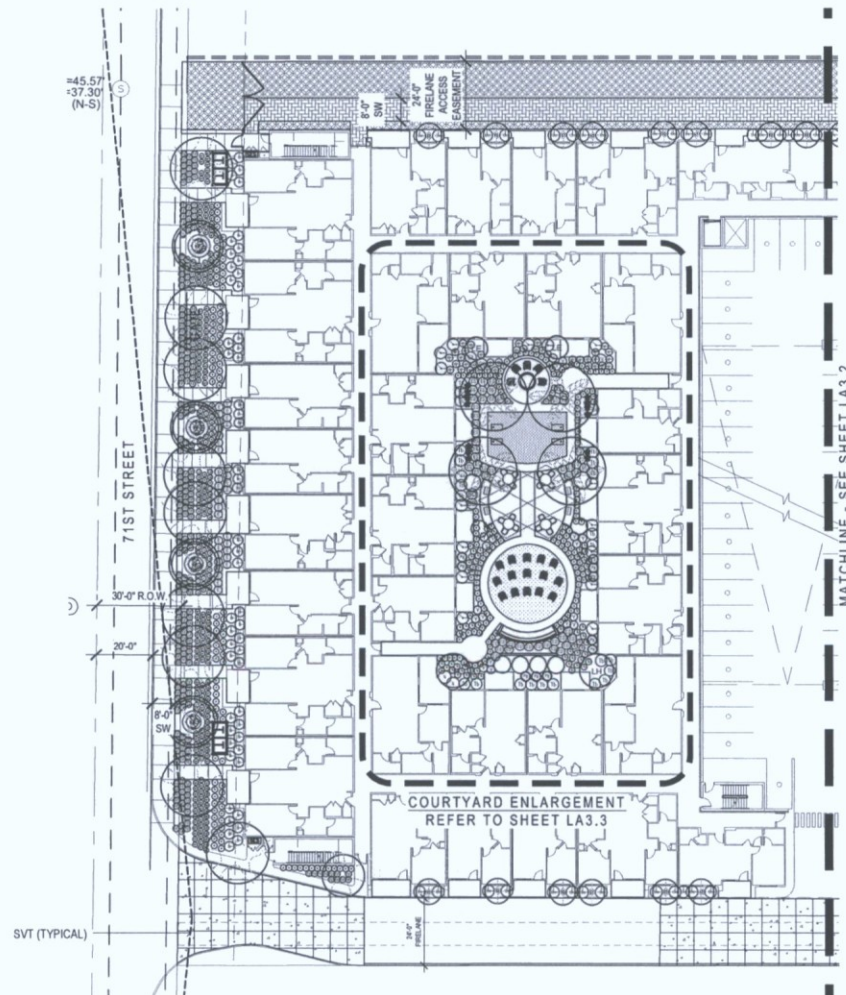
© BILTFORM ARCHITECTURE GROUP, INC.

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

bilform architecture
group, llc.
11400 north cave creek road, suite 11
phoenix, arizona 85020
Phone: 602.255.0200
www.bilform.com

ALTA OSBORN

WOOD PARTNERS



Key Map

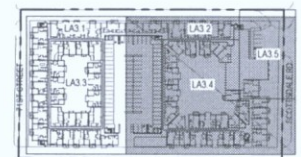
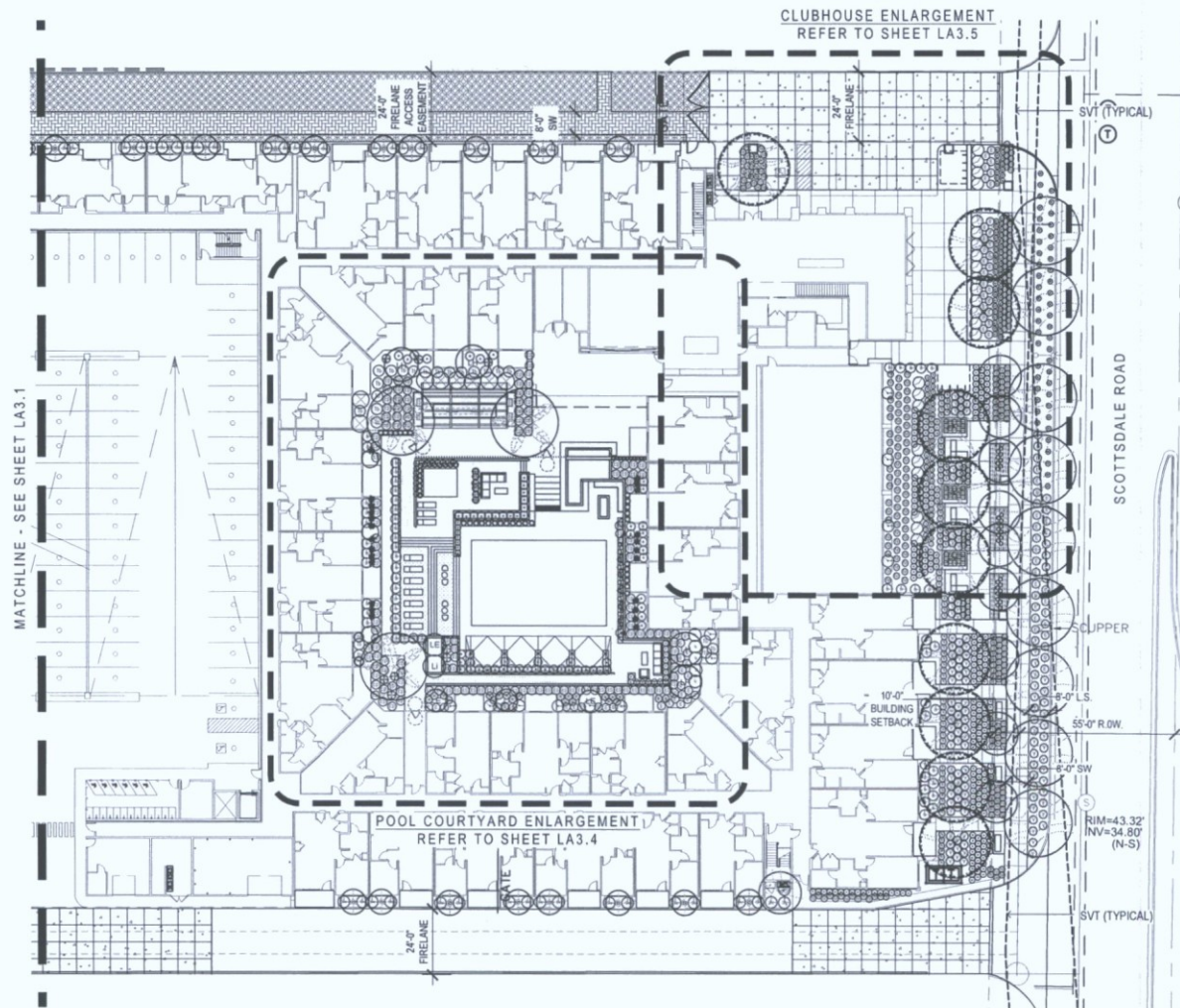
Not To Scale



andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.699.7956 f. 480.699.7986

PLANTING PLAN - LA3.1

42-DR-2016
10/19/16



Key Map

andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.699.7956 f. 480.699.7986

PLANTING PLAN - LA3.2

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

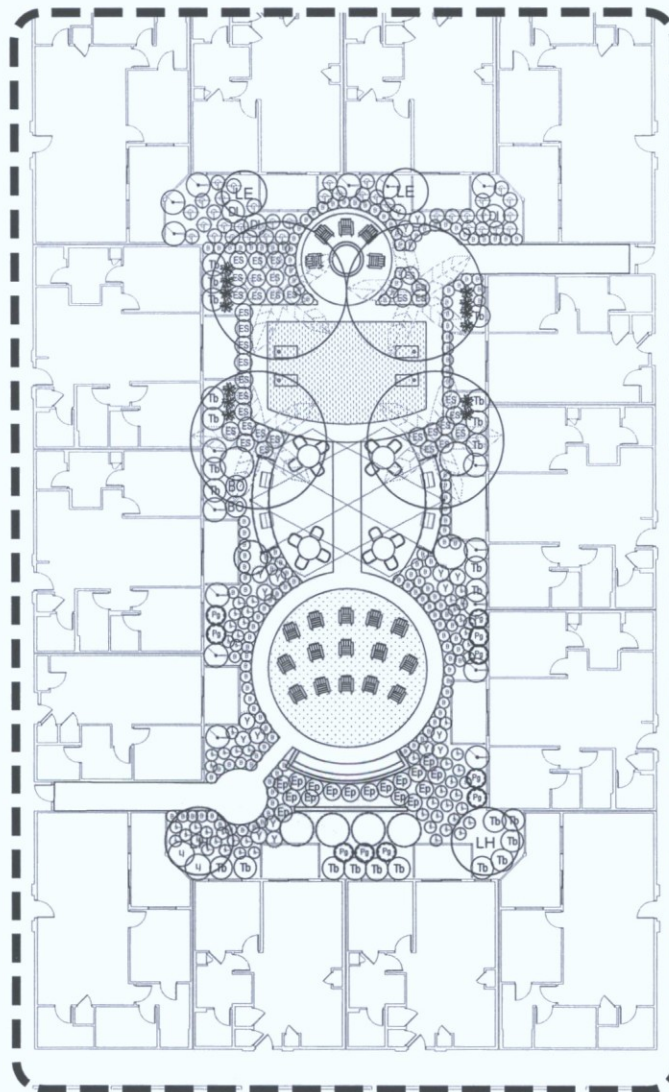
biltform architecture
group, llc.
11480 north cave creek road suite 11
phoenix arizona 85020
phone 602.265.0000
www.biltform.com

ALTA OSBORN

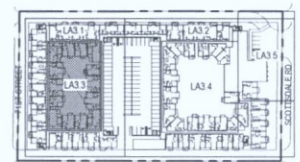
WOOD PARTNERS

42-DR-2016
10/19/16

© BILTFORM ARCHITECTURE GROUP, INC.



COURTYARD ENLARGEMENT



Key Map

Not To Scale



andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.699.7956 f. 480.699.7986

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

bilform architecture
group, LLC
11400 north cave creek road suite 11
phoenix arizona 85020
phone 602.265.5000
www.bilform.com

ALTA OSBORN

WOOD PARTNERS

COURTYARD ENLARGEMENT PLANTING - LA3.3

ph. 480.699.7956 f. 480.699.7986

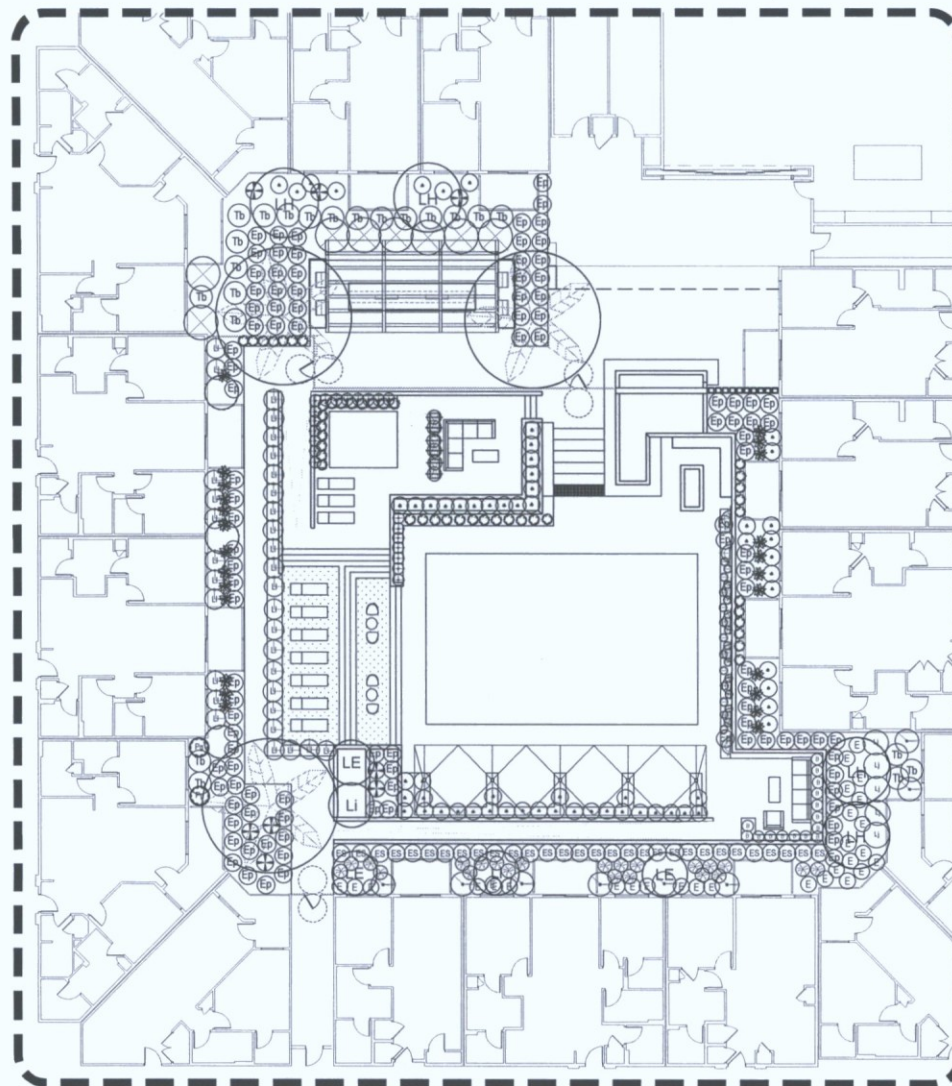
© BILFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16

bilform
architecture

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

bilform architecture
group, LLC
11400 north cave creek road, suite 11
phoenix, arizona 85020
phone 480.200.8000
www.bilform.com

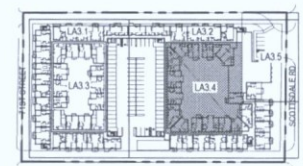


POOL COURTYARD ENLARGEMENT

ALTA OSBORN

WOOD PARTNERS

POOL COURTYARD ENLARGEMENT PLANTING - LA3.4



Key Map

Not To Scale

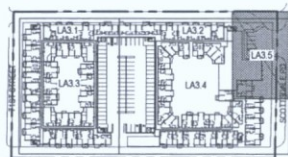


andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
p. 480.699.7956 f. 480.699.7986

© BILFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16

LANDSCAPE AREA	QUANTITY (S.F.)
ON-SITE	6,705
RIGHT-OF-WAY	2,155
PARKING LOT	470

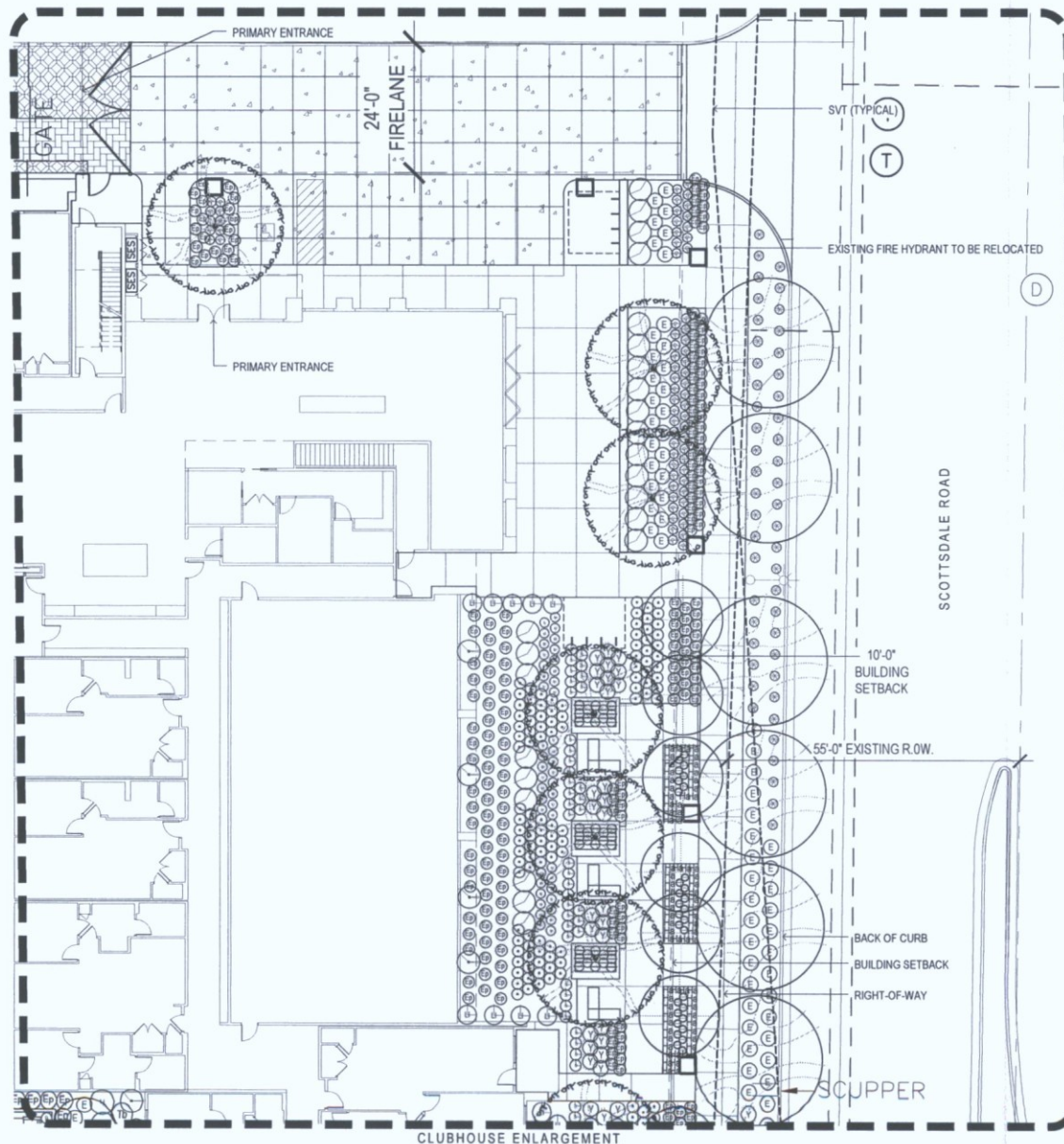


Key Map

Not To Scale

biltform
architecture

biltform architecture
group, llc
11480 north cave creek road, suite 11
phoenix, arizona 85020
Phone 480.235.9000
www.biltform.com



ALTA OSBORN

WOOD PARTNERS

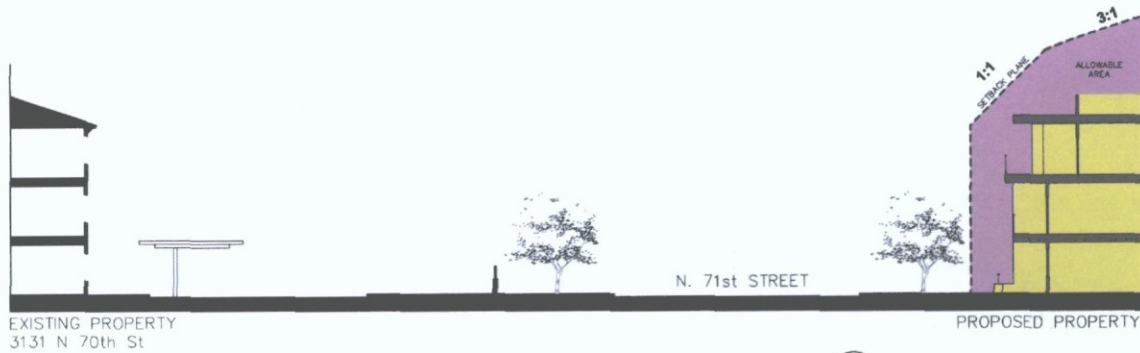
CLUBHOUSE PLANTING ENLARGEMENT - LA3.5



andersonbaron
plan · design · achieve
50 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.699.7956 f. 480.699.7986

© BILTFORM ARCHITECTURE GROUP, INC.

42-DR-2016
10/19/16



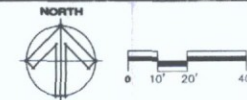
(A) 71ST STREET SECTION

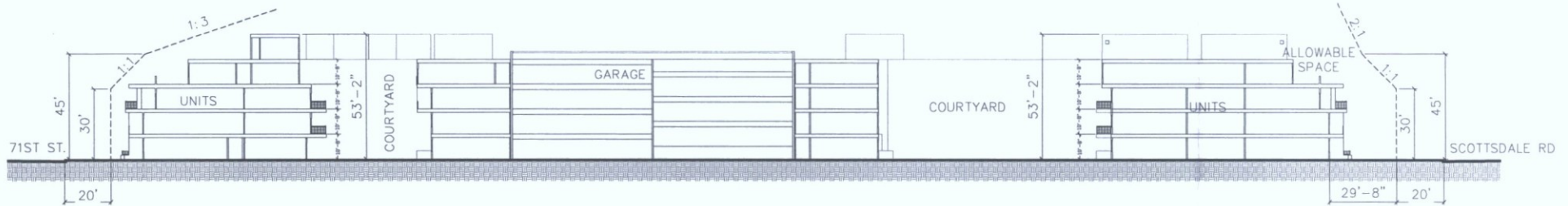


PERSPECTIVE RENDERING

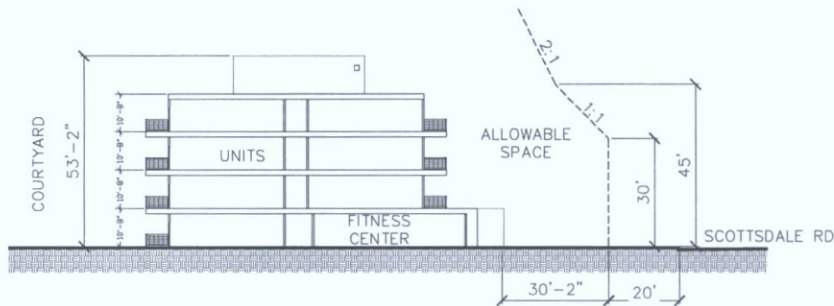


TRANSITIONAL SITE PLAN

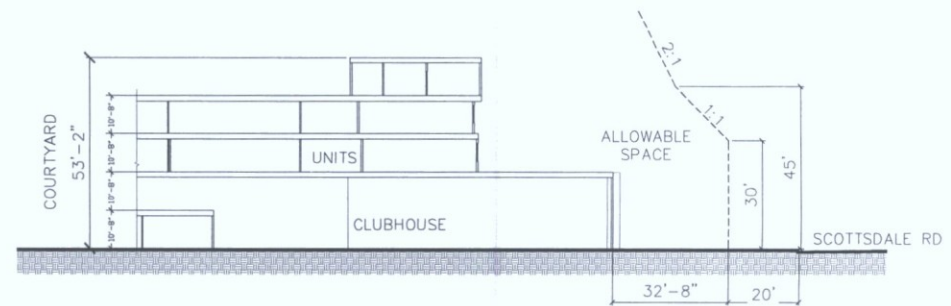




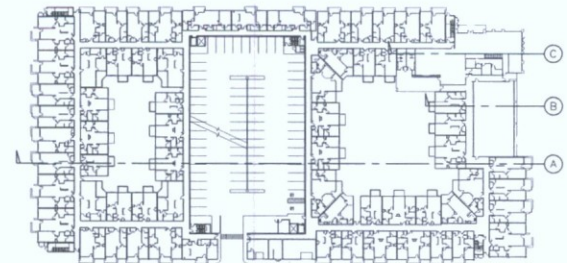
(A) SITE SECTION
1/16"=1'-0"



(B) SITE SECTION
1/16"=1'-0"



(C) SITE SECTION
1/16"=1'-0"



KEY PLAN

ALTA OSBORN

WOOD PARTNERS

SITE SECTIONS **A1.4**
SCALE: AS NOTED 10-17-16

biltform
architecture

biltform architecture
group, LLC
11401 north oak creek road - suite 11
phoenix - arizona 85020
Phone 602.285.5200
www.biltform.com

42-DR-2016
10/19/16

© 2016 BILTFORM ARCHITECTURE GROUP, INC.