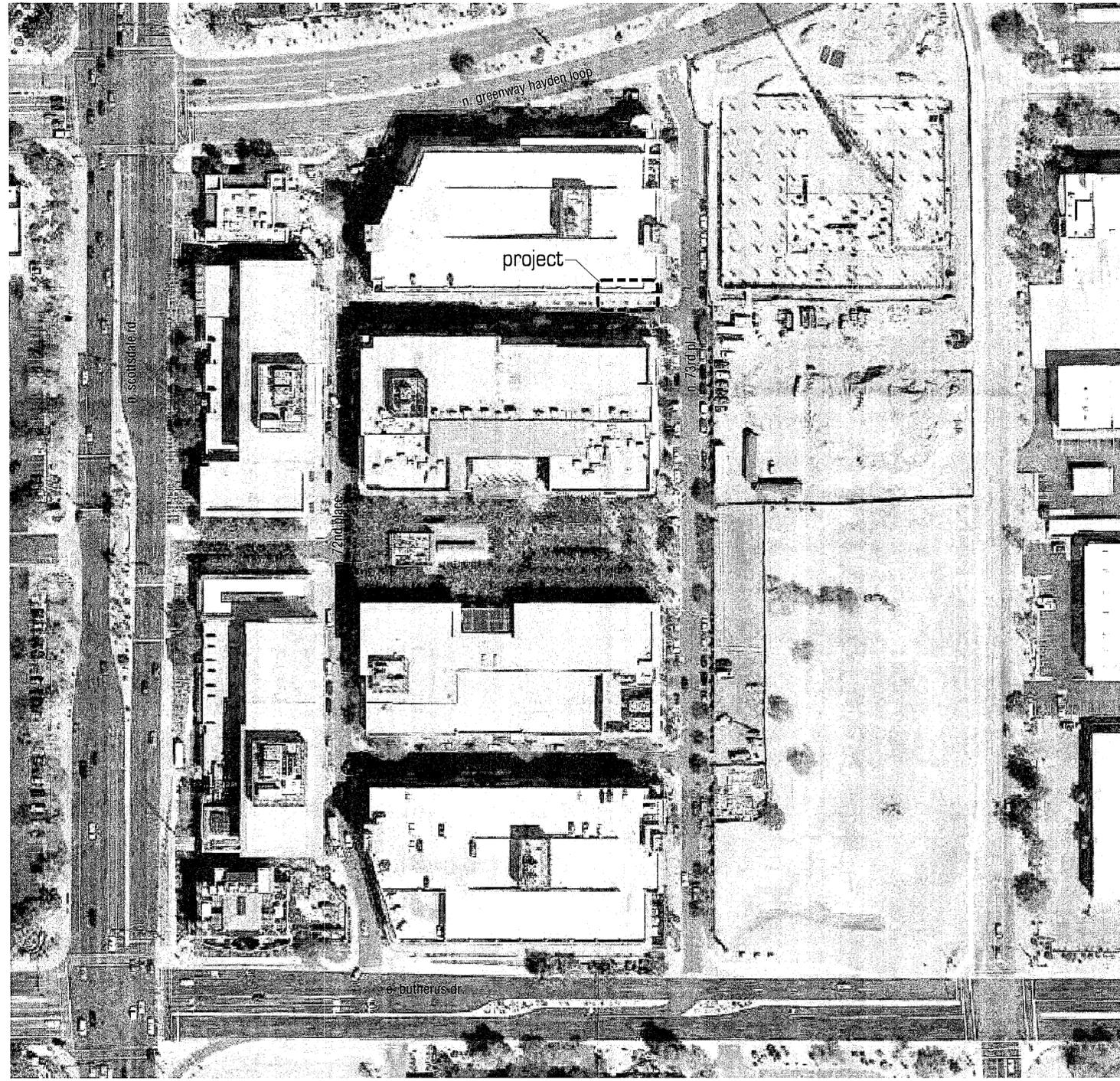


**Full Size**

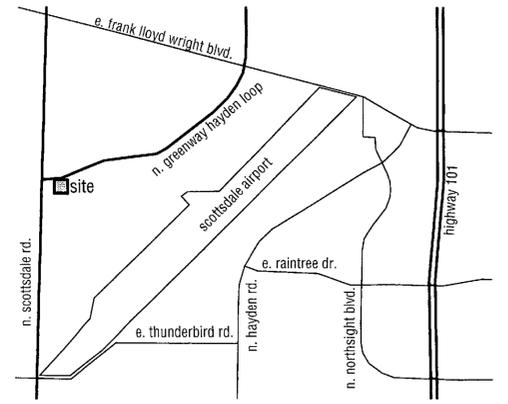
**8.5 x 11**

**11 x 17**

**(site plan, landscape, elevations)**



01 . site plan  
1" = 80'



02 . vicinity map  
1" = 1/2 mi

**applicable codes**

- 2012 international building code
- 2012 international mechanical code
- 2012 international fire code
- 2012 international energy conservation code
- 2012 international green construction code
- 2011 national electric code
- 2012 international plumbing code
- 2012 international existing building code
- 2009 international code council / american national standards institute
- a117.1 accessibility code
- 2010 americans with disabilities act accessibility guidelines

**project summary**

this submittal is for the addition of a 260 s.f. patio on the south sidewalk of an existing 2,453 s.f. wine bar/ restaurant, with a new 36" high railing to match the existing patio's railing. this railing does not project into the 6'-0" clear path within the sidewalk.

**legal description**

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 2 AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AS 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON, AND HEREBY PUBLISHES THIS FINAL PLAT FOR 'SCOTTSDALE QUARTER'. SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND EASEMENTS CONSTITUTING THE SAME. EACH LOT AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN EACH RESPECTIVELY ON SAID PLAT.

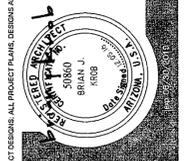
**building data**

building address:	15323 n. scottsdale rd. #e1-150
occupancy:	A-2
existing use:	none
proposed use:	bar/restaurant (series B)
construction type:	IB
fire protection:	equipped w/ nfpa-13
fire separation:	separated uses
total existing tenant area	<b>2,453 net s.f.</b>
total proposed tenant area + new patio	<b>2,750 net s.f.</b>

**site data**

assessors parcel number:	215-56-414
zoning	PRC
total building area / footprint	60,640 s.f.
net site area:	631,748 s.f.

1st city submittal  
 project # 16040  
 date issued: december 5, 2016  
 385-sa-2016  
 scottsdale, az 85254  
 alinea  
 15323 n. scottsdale rd.  
 # e1-150  
 scottsdale, az 85254  
 project: 16040  
 385-sa-2016  
 scottsdale, az 85254  
 soriso wine room patio  
 site, floor plan + details  
**a-1.0**



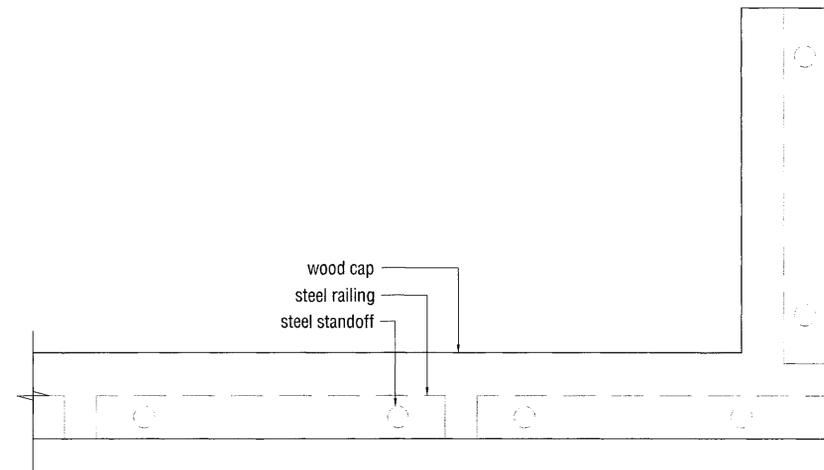
revisions

site, floor plan + details

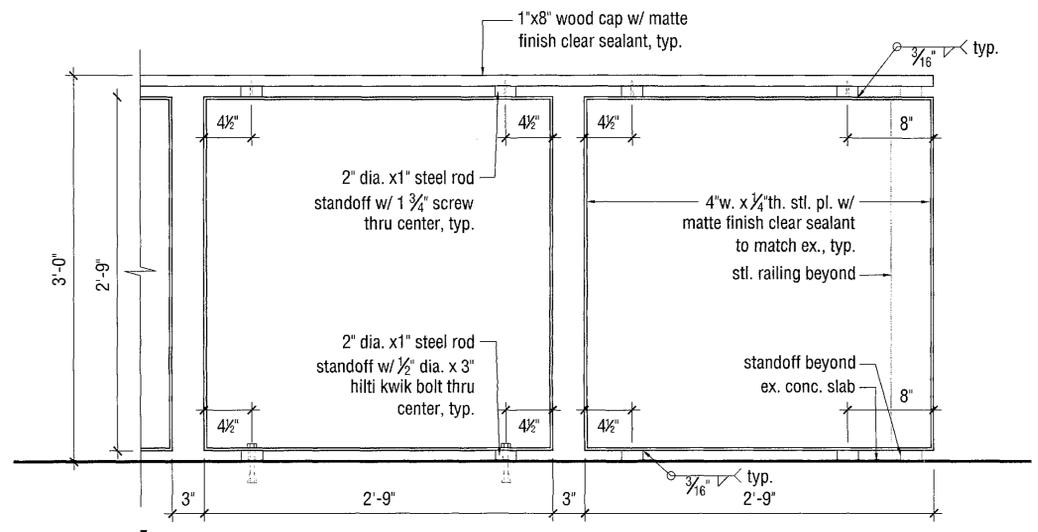
**a-1.0**

**general plan notes**

- do not scale drawings.
- contractor shall check and verify all field conditions and dimensions with the construction drawings at the project site prior to construction, erection and/or fabrication. contractor shall inspect related work and adjacent surfaces. contractor shall report any discrepancies between the contract documents and the existing conditions which shall prevent proper execution of this work to the architect/engineer before proceeding with the work. contractor is responsible for dimensions, quantities and coordination of other trades. contractor to cross-reference and coordinate architectural, mechanical, electrical, structural, civil and landscape drawings and notify architect of any discrepancies before bidding and construction.
- patch, repair and prep existing partitions as required for new finishes.
- provide adequate blocking for all wall mounted items as req'd.
- all construction shall conform to the latest m.a.g. specifications and standard details.
- all interior dimensions from face of finish of existing walls and face of finish of new walls.
- all exterior dimensions from face of masonry of existing walls.

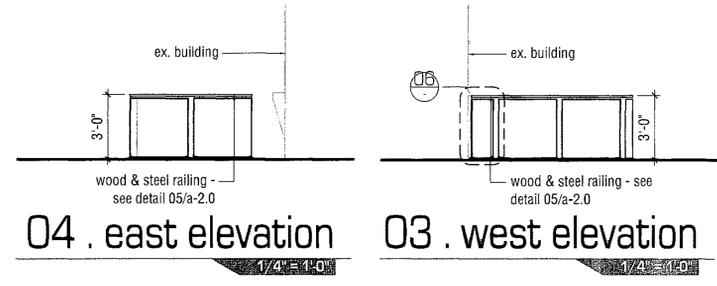


**a** plan



**b** elevation

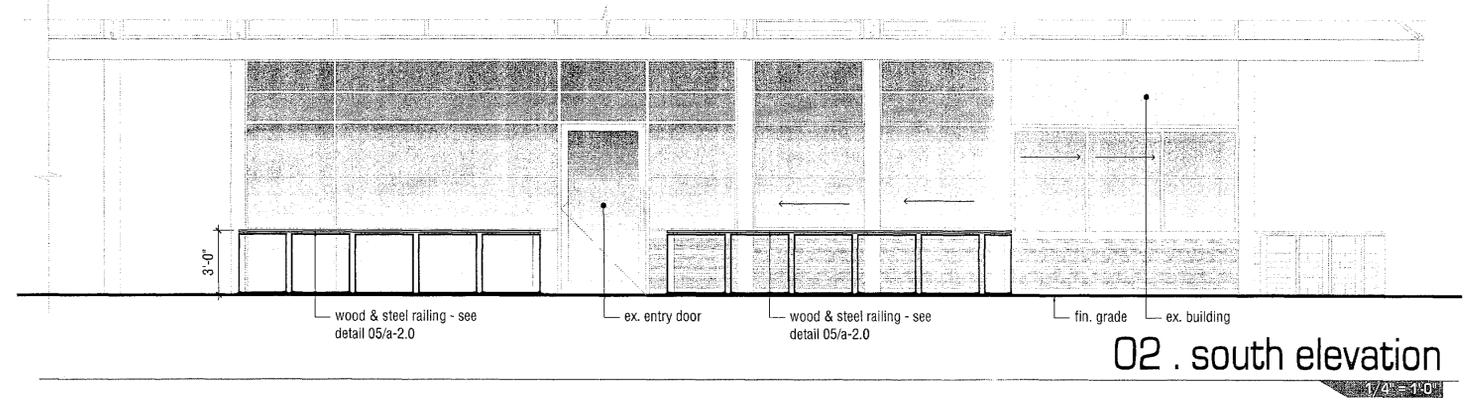
**05 . typ. railing details**



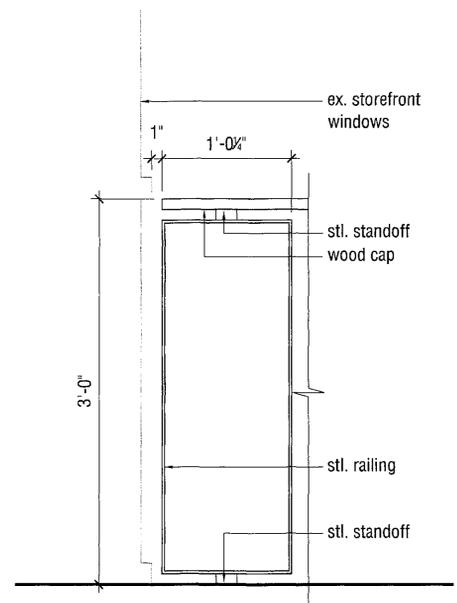
**04 . east elevation**

**03 . west elevation**

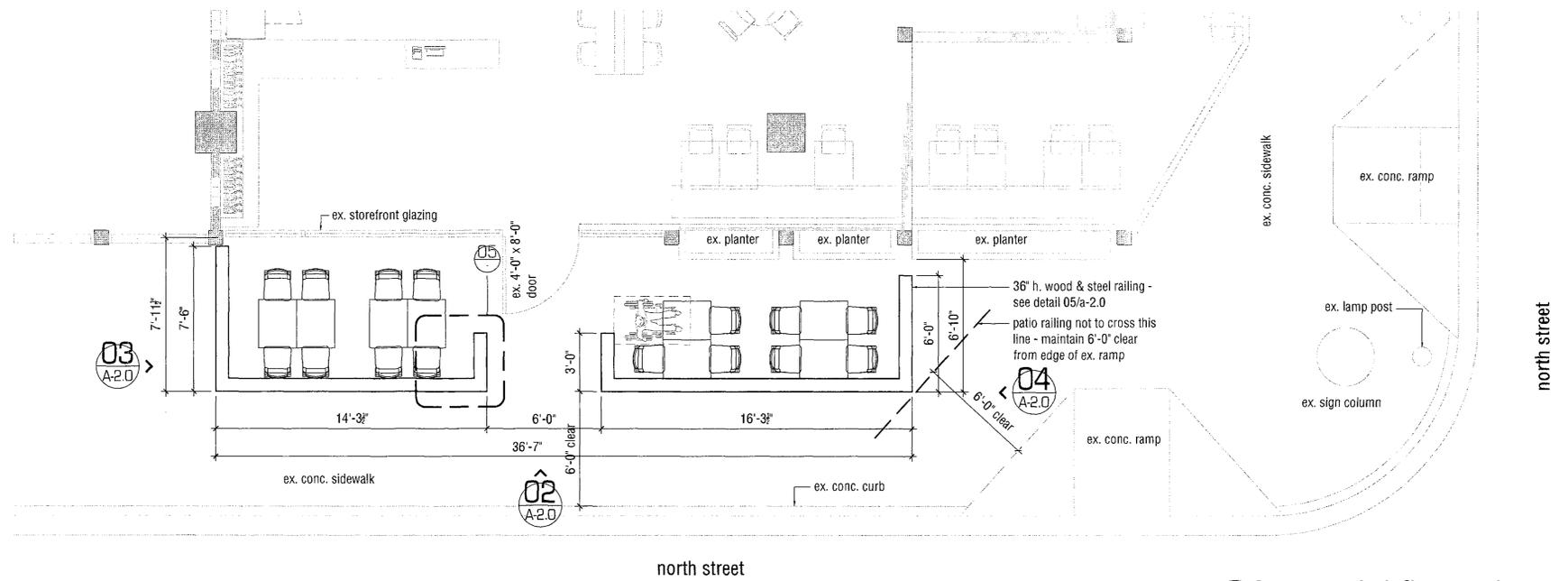
7/29/16  
**APPROVED**  
 FINAL PLANS PLANNING  
 DATE: 12/22/16  
 APPROVED BY: [Signature]  
 385-671-2016



**02 . south elevation**



**06 . railing @ storefront**



**01 . partial floor plan**

project # 16040  
 date issued: december 5, 2016  
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 15923 n. scottsdale rd.  
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 scottsdale, az 85254  
**caline**  
 architecture, concepts  
 & interior design  
 1st city submittal  
 sorso wine room patio  
 floor plan + elevations + details  
**a-2.0**  
 11/22/16  
 1/4" = 1'-0"